

# SFO @ TECHNOLOGY CENTER

1300 OLD BAYSHORE HWY, BURLINGAME, CA 94010

**OWNER:**  
FOX BAYSHORE INVESTMENTS, LLC  
1528 S EL CAMINO ROAD, SUITE 110  
SAN MATEO, CA 94402

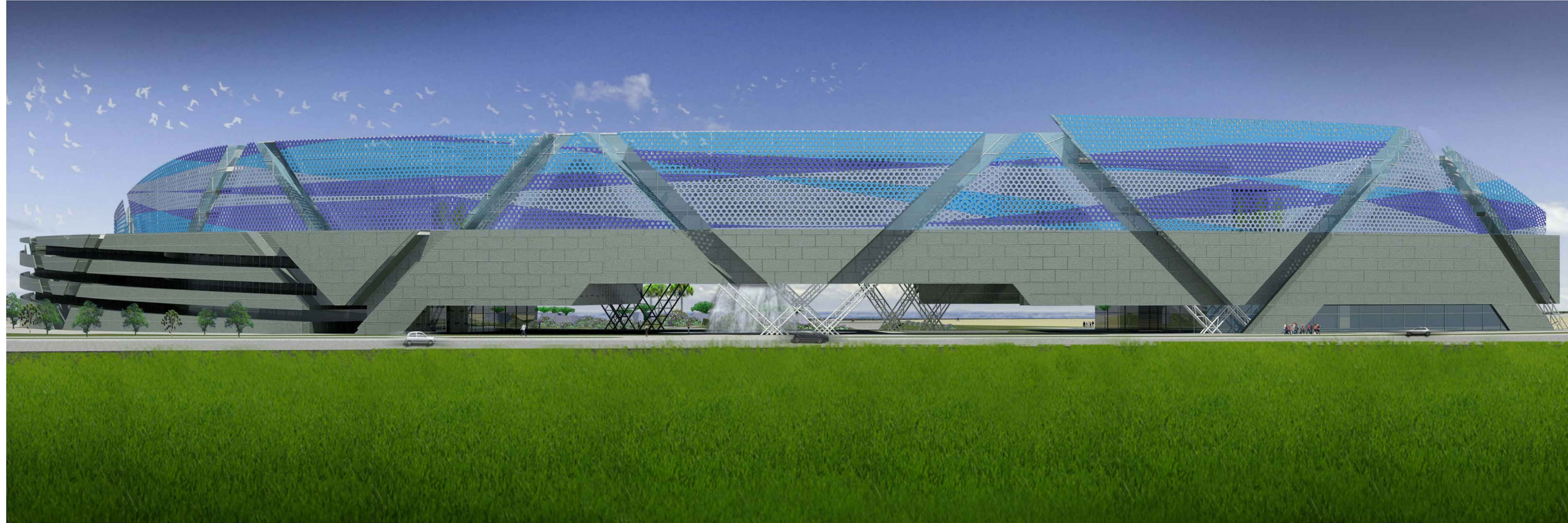
**DEVELOPER:**  
ARMAX INTERNATIONAL  
775 EAST BLITHEDALE, SUITE 533  
MILL VALLEY, CA 94941

**ARCHITECT:**  
NARDI ASSOCIATES LLP  
URBAN DESIGN, ARCHITECTURE, AND DEVELOPMENT CONSULTANT  
805 S. SHAMROCK AVE.  
MONROVIA, CA 91016  
TEL: (626) 599-1776  
FAX: (626) 599-9399  
NARDI-ASSOCIATES.COM

**LANDSCAPE ARCHITECT:**  
SILVER BAR STUDIO  
P.O. BOX 5008-373  
MARIPOSA, CA 95338

**CIVIL ENGINEER:**  
TRIAD-HOLMES ASSOCIATES  
549 OLD MAMMOTH RD., STE 202  
MAMMOTH LAKES, CA 93546  
TEL: (760) 934-7588  
FAX: (760) 934-5619

**TRAFFIC ENGINEER:**  
CRANE TRANSPORTATION GROUP  
2621 E. WINDRIM COURT  
ELK GROVE, CA 95758  
TEL: (916) 647-3406  
FAX: (916) 647-3408



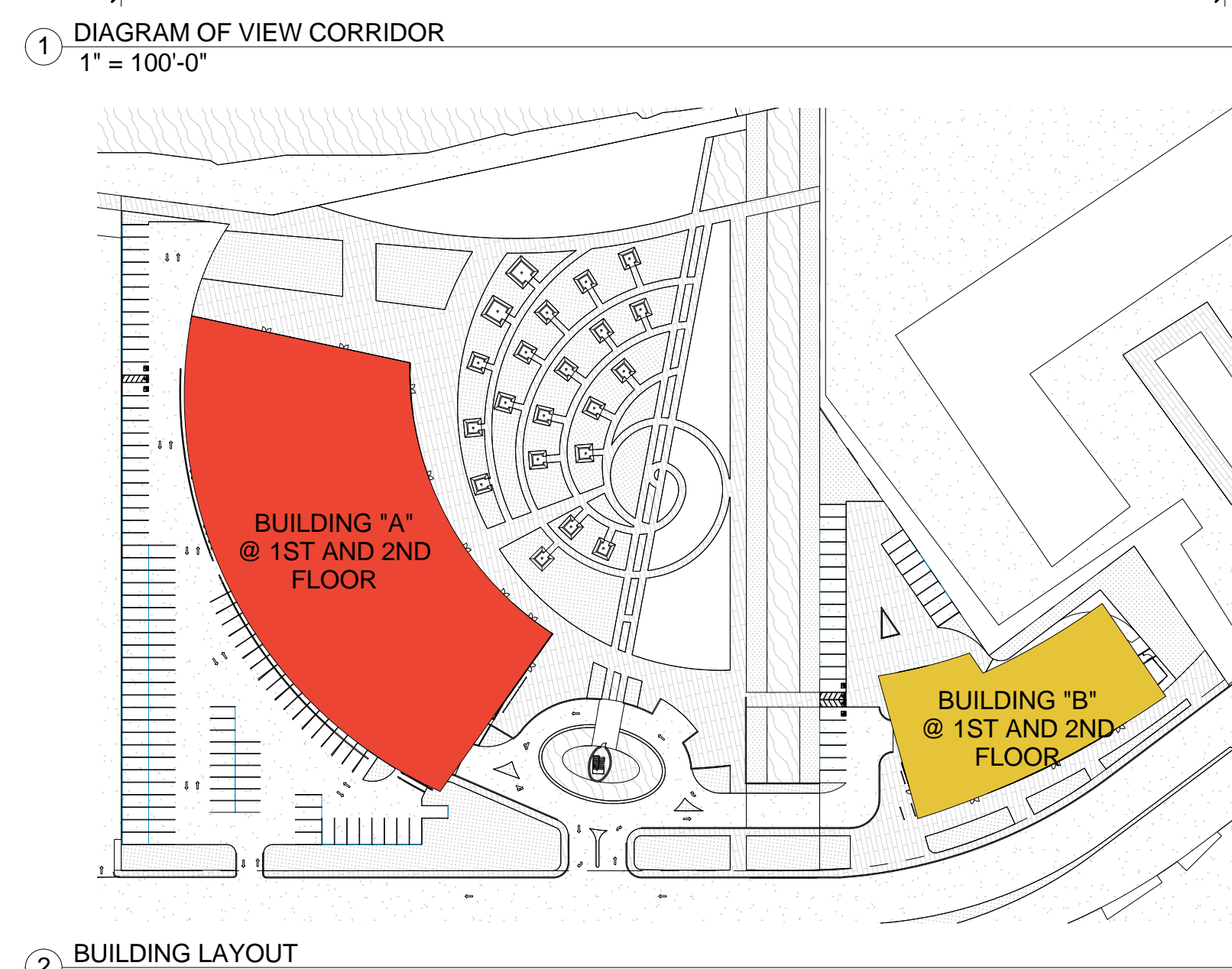
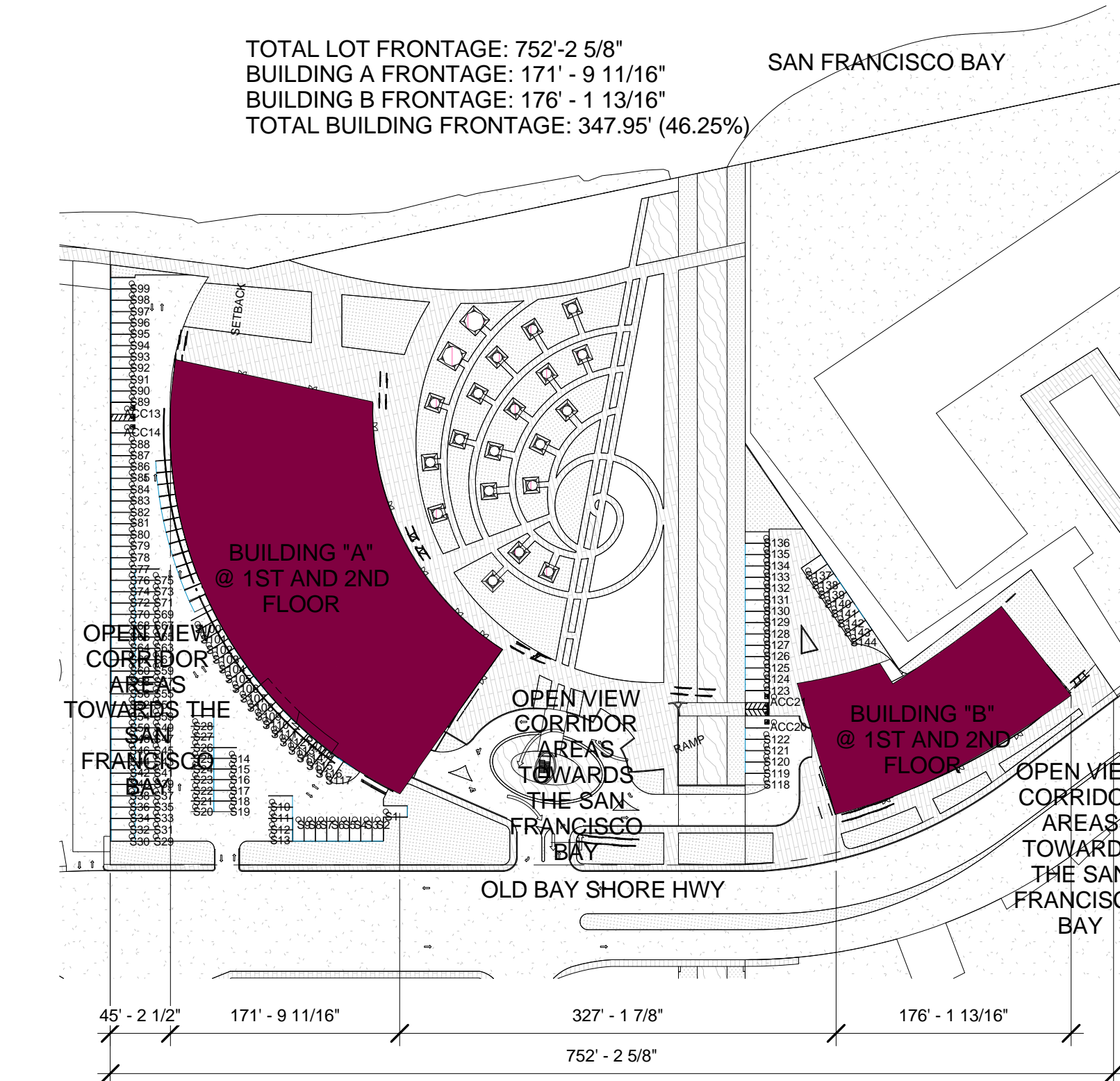
EXTERIOR PERSPECTIVE RENDERING



AERIAL RENDER VIEW



VICINITY MAP



**GENERAL INFORMATION & PROJECT BREAKDOWN:**

LOT SIZE: 268,597 SF  
FAR: OFFICE: 0.9 RESTAURANT: 0.15 RETAIL: 0.5  
BUILDING AREA:  
ALLOWED PER FAR:  
OFFICE: 241,737 SF RESTAURANT: 40,289 SF RETAIL: 134,298 SF  
PROPOSED:  
OFFICE: 238,162 SF RESTAURANT: 11,840 SF RETAIL: 8,610 SF  
TOTAL BUILDING AREA PROPOSED: 258,612 SF  
LOT COVERAGE: ALLOWED: 91,323.40 SF PROPOSED: 91,315 SF  
PARKING SPACES: REQUIRED: 947 PROPOSED: 948  
CONSTRUCTION TYPE: TYPE I

**BUILDING A:**  
TOTAL LIVABLE AREA: 167,901 SF  
OFFICE (GROSS): 156,061 SF  
1ST FLOOR: 15,643 SF  
5TH FLOOR: 43,463 SF  
6TH FLOOR: 38,587 SF  
7TH FLOOR: 32,089 SF  
8TH FLOOR: 26,279 SF  
RESTAURANT: 11,840 SF  
LOT COVERAGE: 69,832 SF  
PARKING SPACE PROVIDED: 793

**BUILDING B:**  
TOTAL LIVABLE AREA: 90,711 SF  
OFFICE (GROSS): 82,101 SF  
1ST FLOOR: 2,387 SF  
5TH FLOOR: 18,369 SF  
6TH FLOOR: 18,540 SF  
7TH FLOOR: 16,905 SF  
8TH FLOOR: 14,902 SF  
9TH FLOOR: 10,998 SF  
RETAIL: 8,610 SF  
LOT COVERAGE: 21,383 SF  
PARKING SPACE PROVIDED: 155

**OUTDOOR AREA:**  
TOTAL OUTDOOR AREA: 53,474  
OUTDOOR CONFERENCE BOOTH: 2,880 SF  
PLAZA AREA: 14,094 SF  
PATIO AREA: 26,189 SF

**BUILDING A:**  
TOTAL PATIO AREA: 25,389 SF  
5TH FLOOR: 20,099 SF  
6TH FLOOR: 1,797 SF  
7TH FLOOR: 1,746 SF  
8TH FLOOR: 1,747 SF

**BUILDING B:**  
TOTAL PATIO AREA: 800 SF  
5TH FLOOR: 800 SF  
6TH FLOOR: 0 SF  
7TH FLOOR: 0 SF  
8TH FLOOR: 0 SF  
9TH FLOOR: 0 SF

**PARKING DETAIL:**  
REQUIRED PARKING SPACES PER SF:  
RESTAURANT: 11,840 SF 1 SPACE/100 SF-CUSTOMERS 119  
OFFICE: 238,162 SF 1 SPACE/300 SF 794  
RETAIL: 8,610 SF 1 SPACE/400 SF 22

**PROPOSED PARKING SPACES:**  
TOTAL PROVIDED: 948  
ACCESSIBLE: 21  
STANDARD: 482  
COMPACT: 115  
TANDEM (STANDARD): 327  
TANDEM (COMPACT): 3  
LOADING ZONE: 2

**OCCUPANT LOAD:**

Occupancy Group	Square Feet	Occupant Load Factor	Total Occupant Load
A-3 (Dining)	10,804	15	721
A-3 (Fixed Seating)	0	See CBC 1004.4	0
B (Office)	246,772	30	8226
Kitchen	1,036	200	6
S-2 (Storage)	1,253	300	5
S-2	252,022	200	1261
* Not required to be counted in the Occupant Load Calculation per CBC §202-"Floor Area Net"			
Corridors*	38,403	0	0
Stairways*	854	0	0
Toilet Rooms*	4,213	0	0
Mechanical Rooms*	4,895	0	0
Closets*	660	0	0
Total Bldg. Area	258,612		8446

**APPLICABLE CODES:**  
- 2013 CALIFORNIA BUILDING CODE  
- 2013 CALIFORNIA ELECTRICAL CODE  
- 2013 CALIFORNIA MECHANICAL CODE  
- 2013 CALIFORNIA PLUMBING CODE  
- 2013 CALIFORNIA CODE OF REGULATIONS TITLE 24, PART 11

**SHEET INDEX:**

- A0.0 COVER PAGE
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- A0.03 DETAILS
- A0.04 DETAILS
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- A0.1 BCDC DIAGRAMS
- A0.20 SITE PLAN WITH ADJACENT PROPERTIES
- A1.0 SITE/ROOF PLAN
- A1.1 GROUND FLOOR PLAN
- A1.2 2ND FLOOR PARKING
- A1.3 3RD FLOOR PARKING
- A1.4 4TH FLOOR PARKING
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OUTDOOR CONFERENCE UNITS PERSPECTIVE RENDERING

"Construction Hours"  
Weekdays: 7:00 a.m. - 7:00 p.m.  
Saturdays: 9:00 a.m. - 6:00 p.m.  
Sundays and Holidays: 10:00 a.m. - 6:00 p.m.  
(See City of Burlingame Municipal Code, Section 13.04.100 for details.)  
Construction hours in the City Public Right-of-way are limited to weekdays and non-City Holidays between 8:00 a.m. and 5:00 p.m.  
Note: Construction hours for work in the public right of way must now be included on the plans.

**GENERAL NOTES:**

- 1) "Any hidden conditions that require work to be performed beyond the scope of the building permit issued for these plans may require further City approvals including review by the Planning Commission." The building owner, project designer, and/or contractor must submit a Revision to the City for any work not graphically illustrated on the Job Copy of the plans prior to performing the work.
- 2) No public money will be used to construct this project.
- 3) 2013 California Green Building Code Check List for New Nonresidential Building will be completed and provided at time of Plan Check Submittal.

**NARDI ASSOCIATES LLP**  
Architecture Urban Design Interiors

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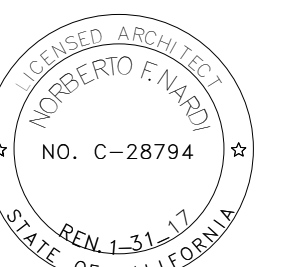
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Fox Bayshore Investments, LLC  
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San Mateo, California 94402

Consultant:

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2		1ST SUBMITTAL
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4	02/22/16	2ND RE-SUBMITTAL
5	08/03/16	3RD RE-SUBMITTAL



Sheet Title:

COVER PAGE

Key Plan:

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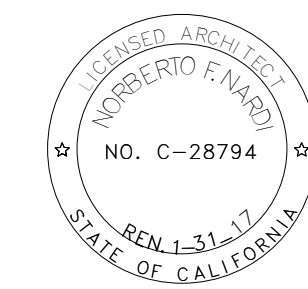
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**WHOLE  
 BUILDING  
 ELEVATIONS**

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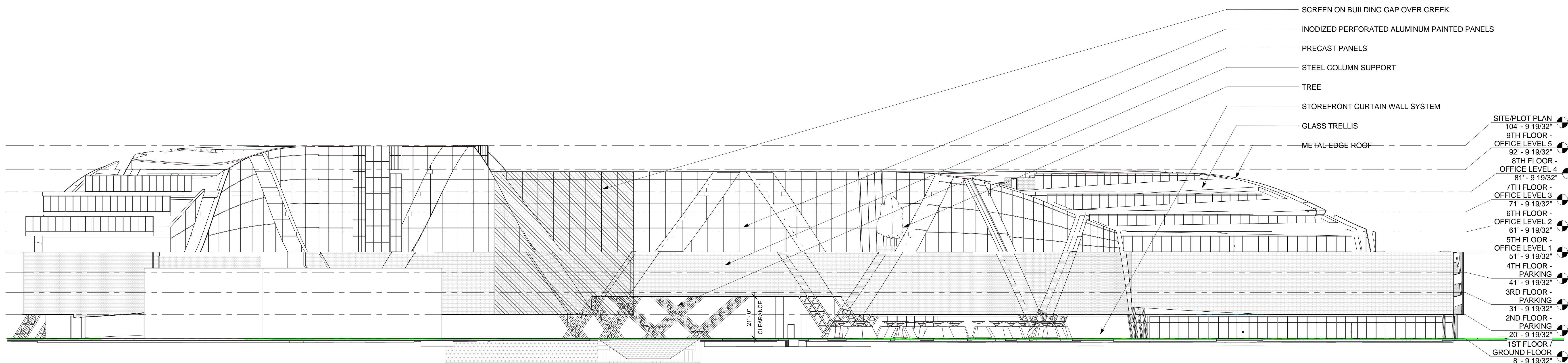
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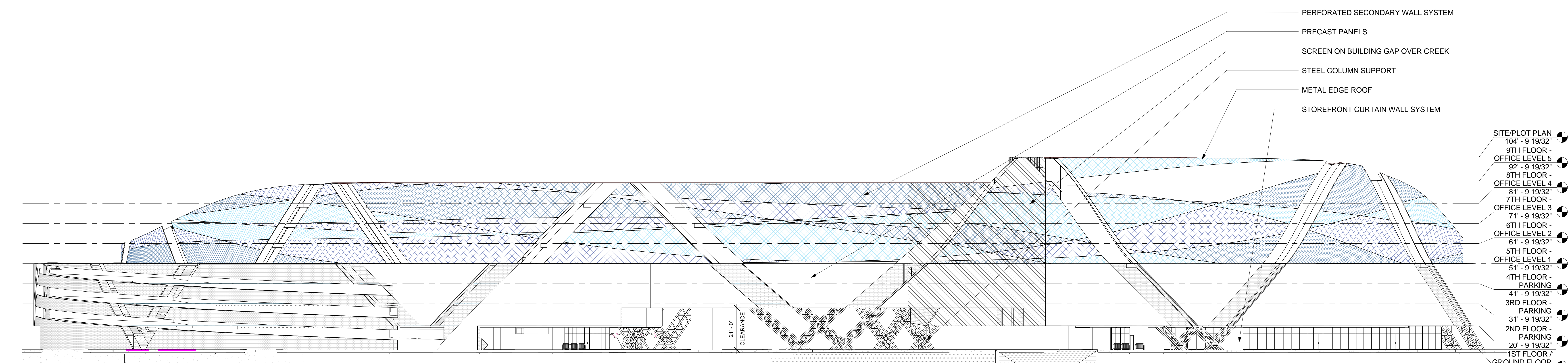
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1 WHOLE BUILDING NORTH ELEVATION  
 3/64" = 1'-0"



2 WHOLE BUILDING SOUTH ELEVATION  
 3/64" = 1'-0"

- SCREEN ON BUILDING GAP OVER CREEK
- INODIZED PERFORATED ALUMINUM PAINTED PANELS
- PRECAST PANELS
- STEEL COLUMN SUPPORT
- TREE
- STOREFRONT CURTAIN WALL SYSTEM
- GLASS TRELLIS
- METAL EDGE ROOF
- SITE/PLOT PLAN 104' - 9 19/32"
- 9TH FLOOR - OFFICE LEVEL 5 92' - 9 19/32"
- 8TH FLOOR - OFFICE LEVEL 4 81' - 9 19/32"
- 7TH FLOOR - OFFICE LEVEL 3 71' - 9 19/32"
- 6TH FLOOR - OFFICE LEVEL 2 61' - 9 19/32"
- 5TH FLOOR - OFFICE LEVEL 1 51' - 9 19/32"
- 4TH FLOOR - PARKING 41' - 9 19/32"
- 3RD FLOOR - PARKING 31' - 9 19/32"
- 2ND FLOOR - PARKING 20' - 9 19/32"
- 1ST FLOOR / GROUND FLOOR 8' - 9 19/32"

- PERFORATED SECONDARY WALL SYSTEM
- PRECAST PANELS
- SCREEN ON BUILDING GAP OVER CREEK
- STEEL COLUMN SUPPORT
- METAL EDGE ROOF
- STOREFRONT CURTAIN WALL SYSTEM
- SITE/PLOT PLAN 104' - 9 19/32"
- 9TH FLOOR - OFFICE LEVEL 5 92' - 9 19/32"
- 8TH FLOOR - OFFICE LEVEL 4 81' - 9 19/32"
- 7TH FLOOR - OFFICE LEVEL 3 71' - 9 19/32"
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- 5TH FLOOR - OFFICE LEVEL 1 51' - 9 19/32"
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- 2ND FLOOR - PARKING 20' - 9 19/32"
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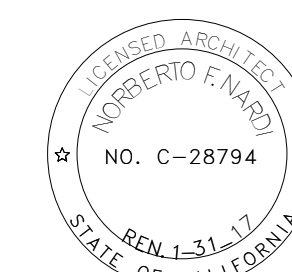
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**Building A  
 Elevation**

Key Plan:

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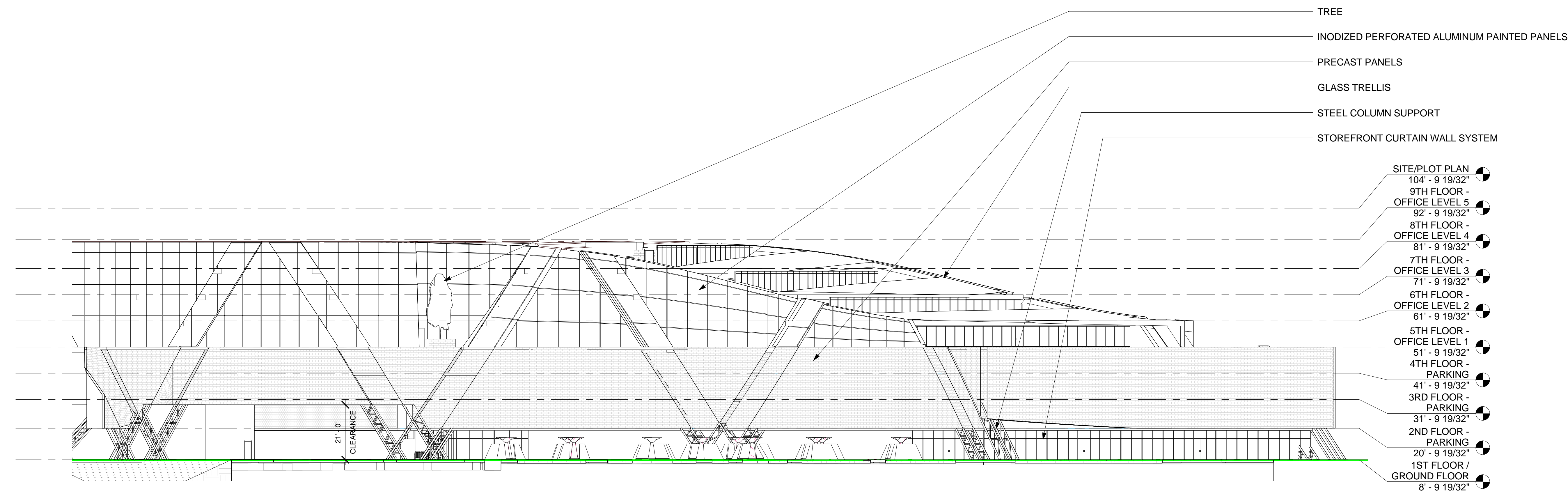
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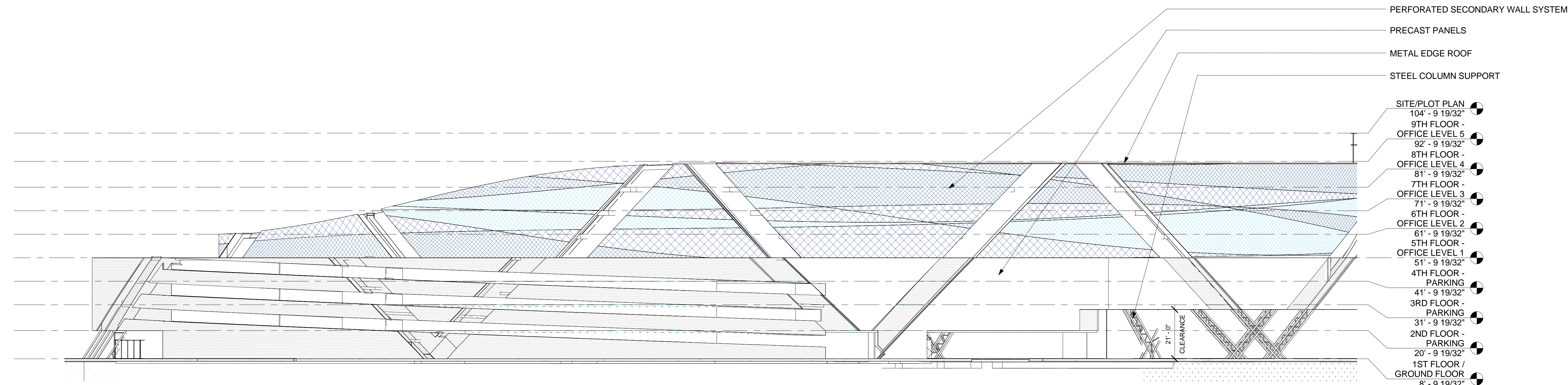
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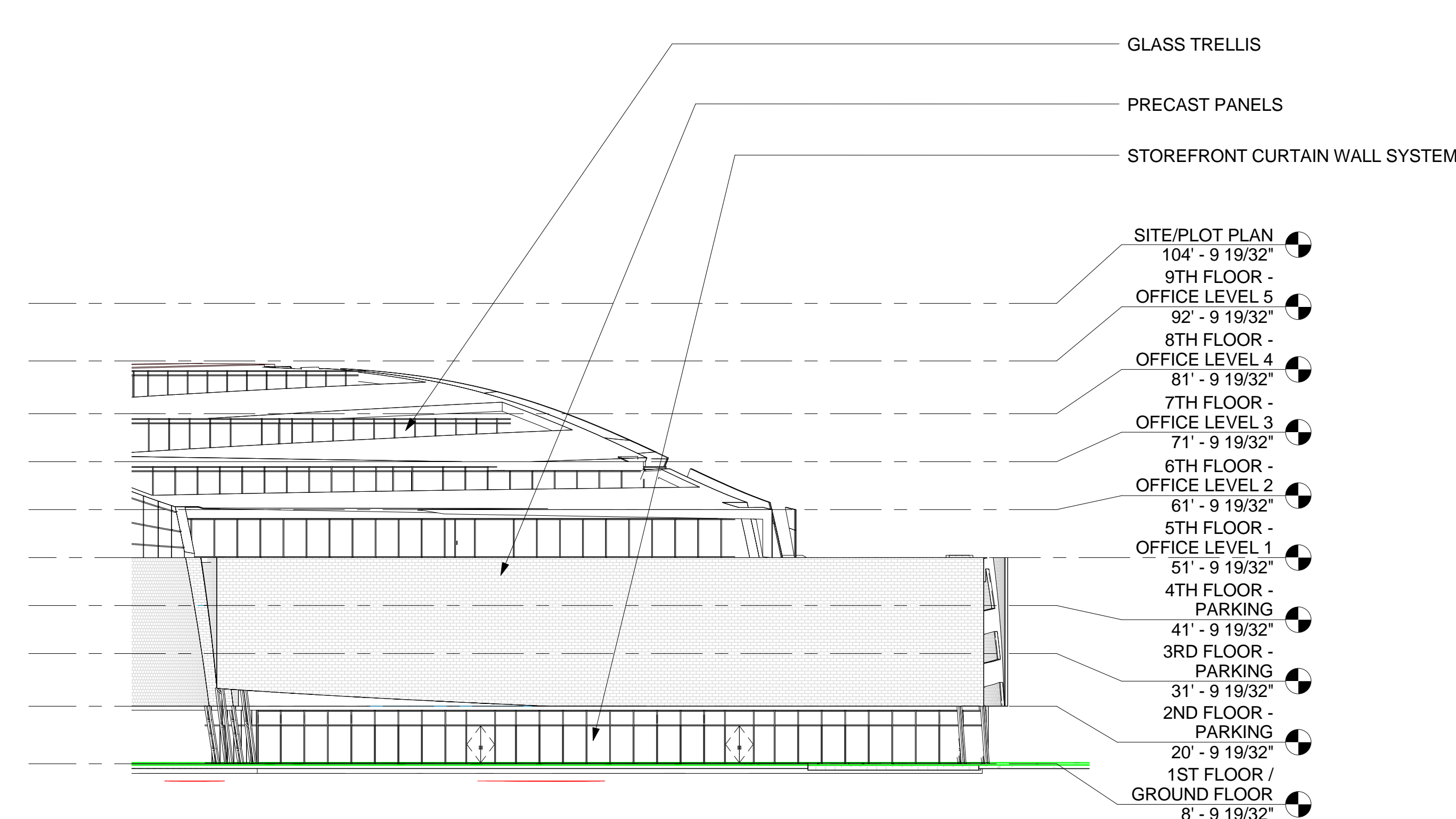
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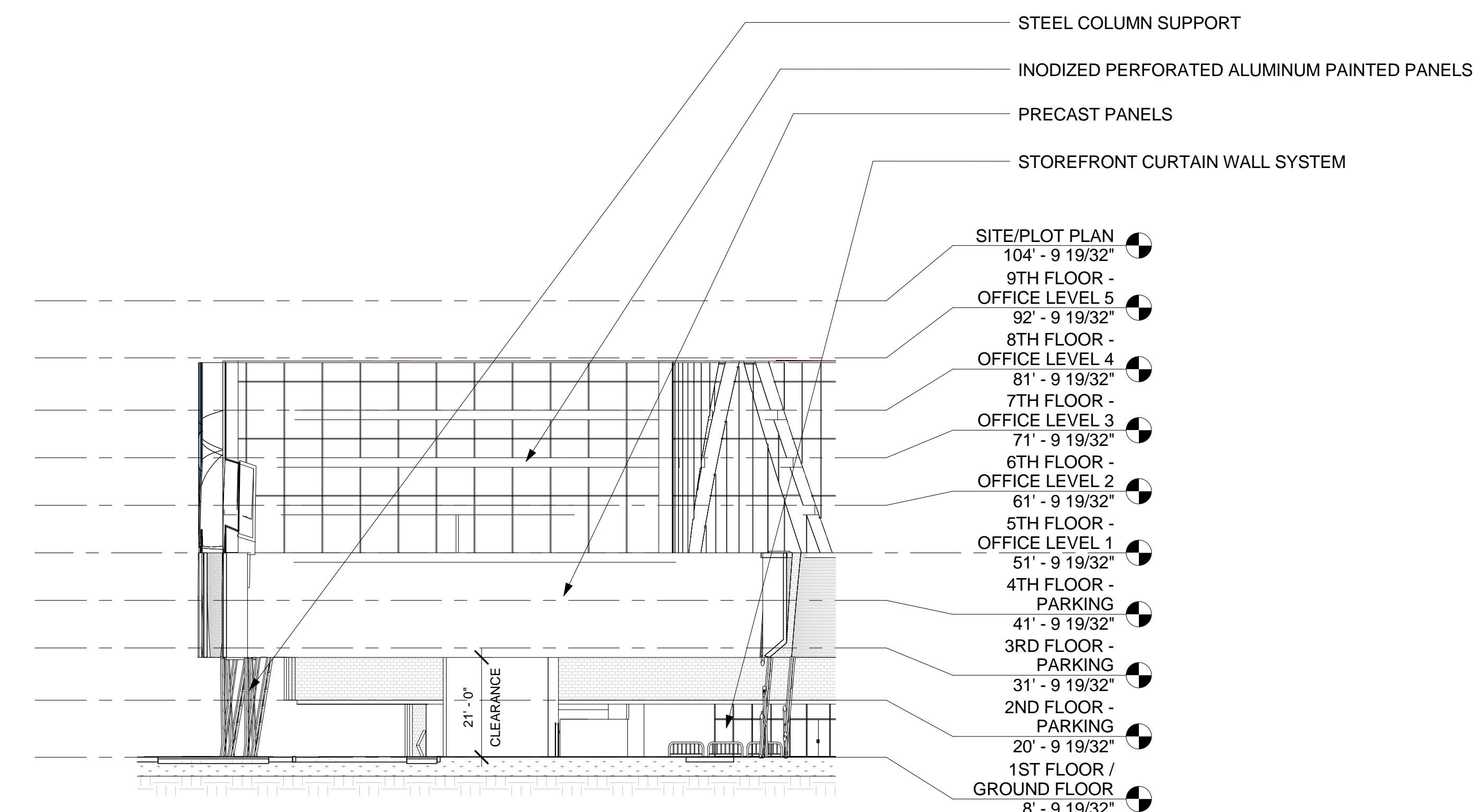
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 3/64" = 1'-0"



4 BUILDING "A" WEST ELEVATION  
 3/64" = 1'-0"



2 BUILDING "A" NORTH ELEVATION  
 3/64" = 1'-0"



3 BUILDING "A" SOUTH ELEVATION  
 3/64" = 1'-0"

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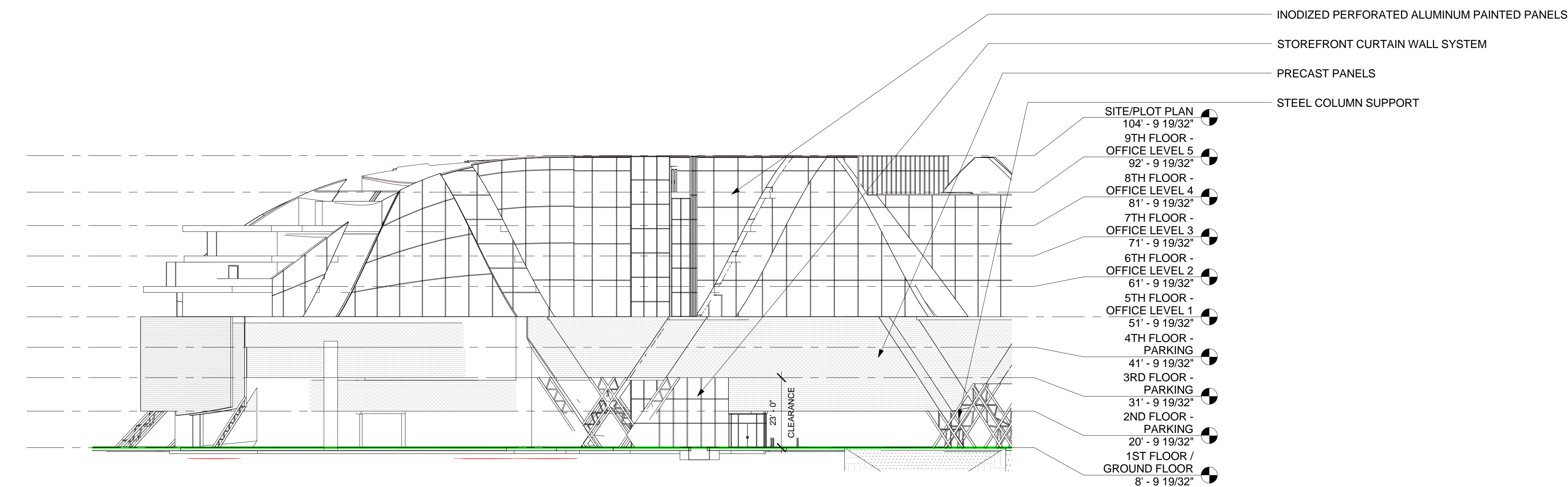
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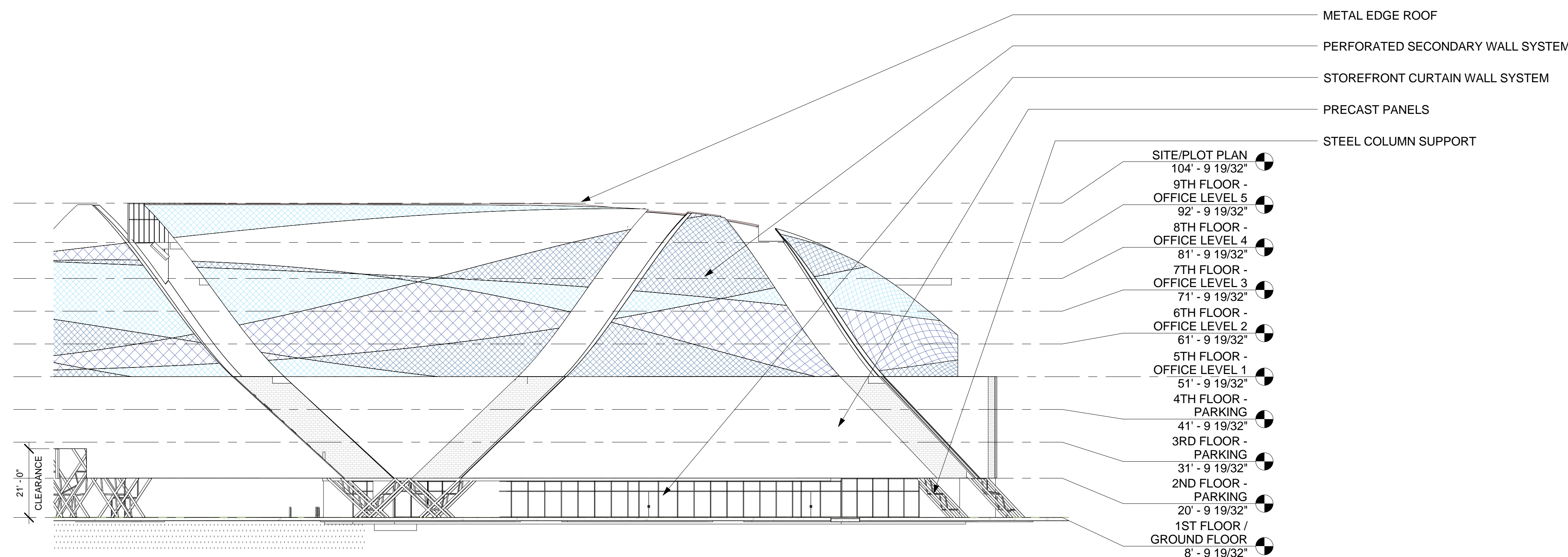
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1 BUILDING "B" NORTH ELEVATION  
 3/64" = 1'-0"

- SITE/PLOT PLAN  
104' - 9 19/32"
- 9TH FLOOR -  
OFFICE LEVEL 5  
92' - 9 19/32"
- 8TH FLOOR -  
OFFICE LEVEL 4  
81' - 9 19/32"
- 7TH FLOOR -  
OFFICE LEVEL 3  
71' - 9 19/32"
- 6TH FLOOR -  
OFFICE LEVEL 2  
61' - 9 19/32"
- 5TH FLOOR -  
OFFICE LEVEL 1  
51' - 9 19/32"
- 4TH FLOOR -  
PARKING  
41' - 9 19/32"
- 3RD FLOOR -  
PARKING  
31' - 9 19/32"
- 2ND FLOOR -  
PARKING  
20' - 9 19/32"
- 1ST FLOOR /  
GROUND FLOOR  
8' - 9 19/32"

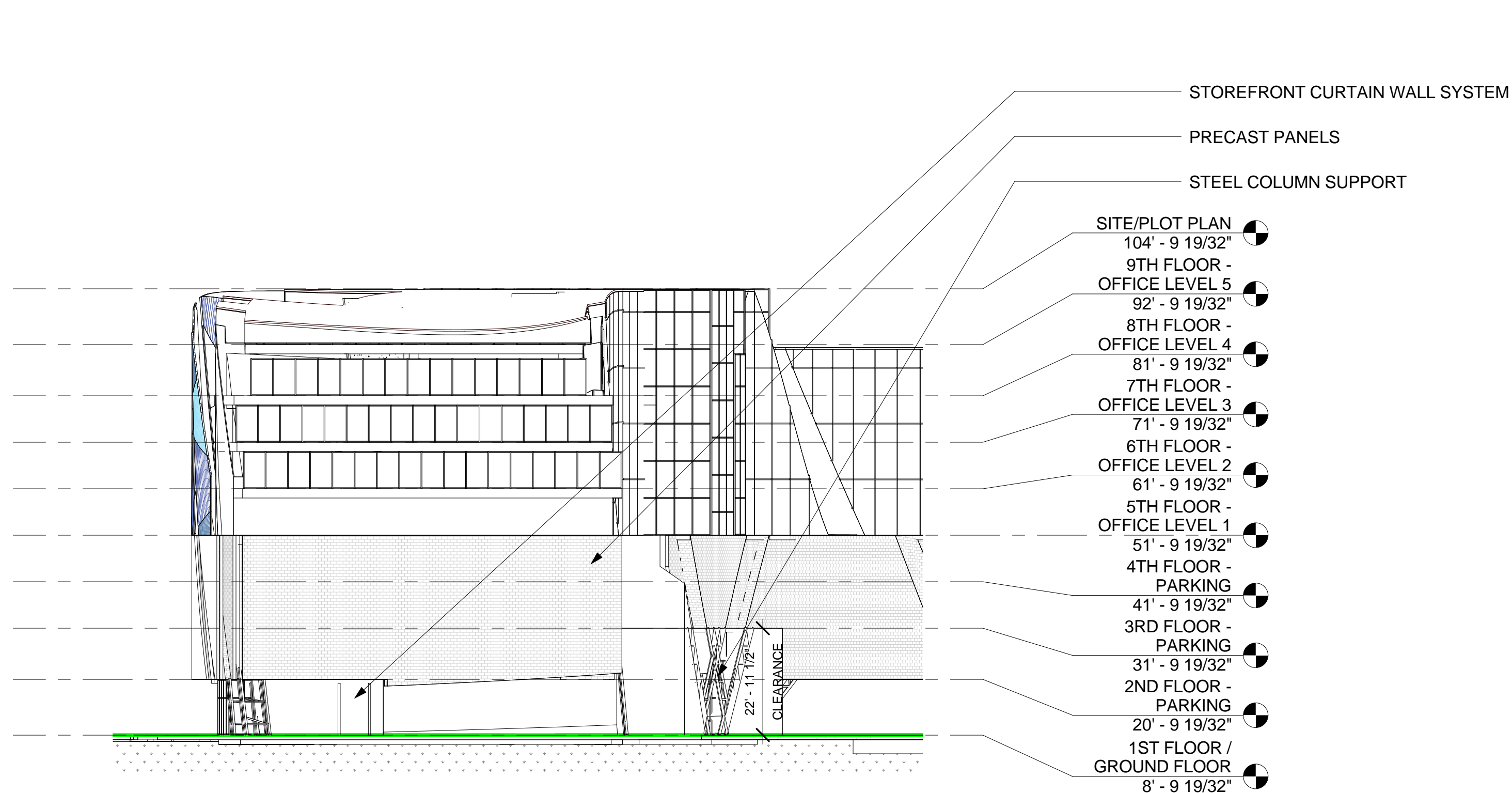
- INODIZED PERFORATED ALUMINUM PAINTED PANELS
- STOREFRONT CURTAIN WALL SYSTEM
- PRECAST PANELS
- STEEL COLUMN SUPPORT



2 BUILDING "B" SOUTH ELEVATION  
 3/64" = 1'-0"

- SITE/PLOT PLAN  
104' - 9 19/32"
- 9TH FLOOR -  
OFFICE LEVEL 5  
92' - 9 19/32"
- 8TH FLOOR -  
OFFICE LEVEL 4  
81' - 9 19/32"
- 7TH FLOOR -  
OFFICE LEVEL 3  
71' - 9 19/32"
- 6TH FLOOR -  
OFFICE LEVEL 2  
61' - 9 19/32"
- 5TH FLOOR -  
OFFICE LEVEL 1  
51' - 9 19/32"
- 4TH FLOOR -  
PARKING  
41' - 9 19/32"
- 3RD FLOOR -  
PARKING  
31' - 9 19/32"
- 2ND FLOOR -  
PARKING  
20' - 9 19/32"
- 1ST FLOOR /  
GROUND FLOOR  
8' - 9 19/32"

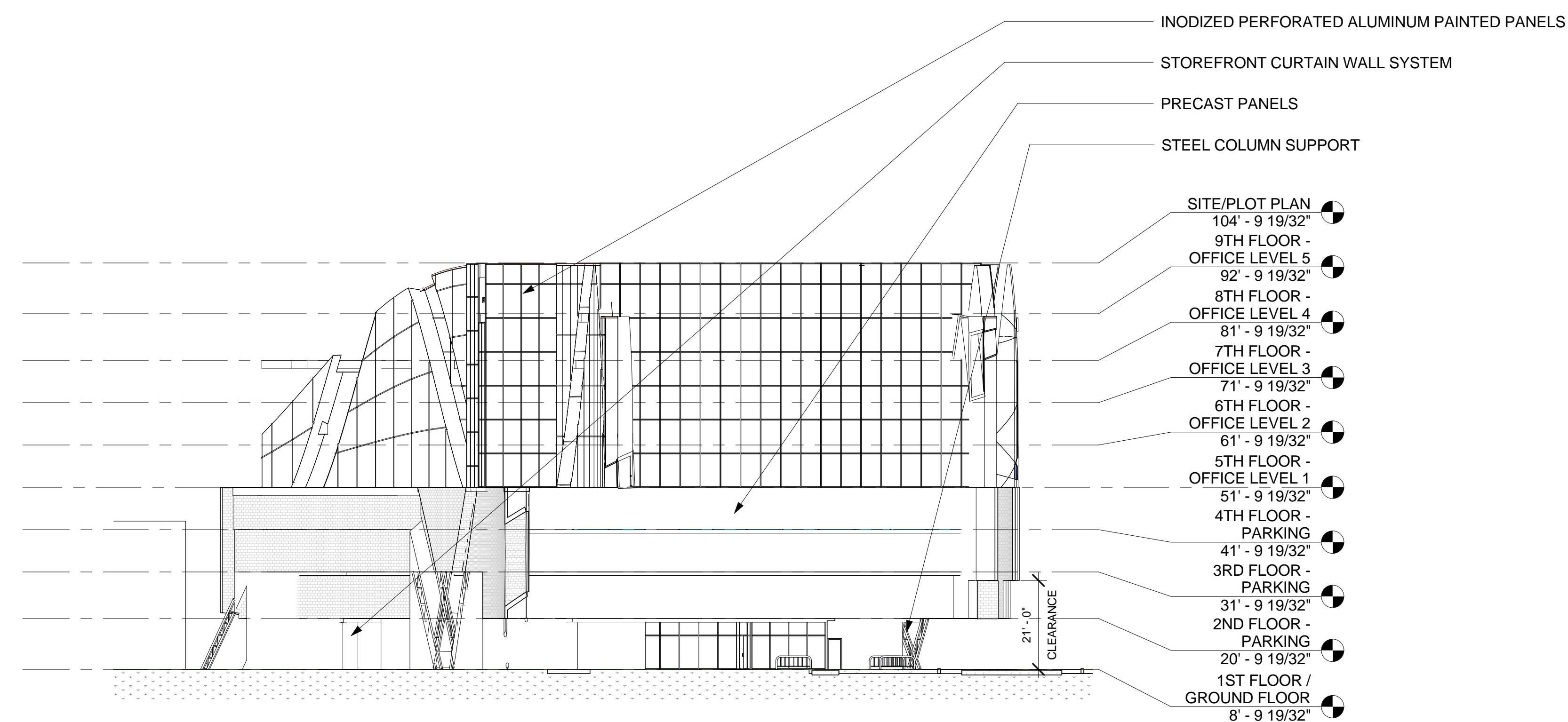
- METAL EDGE ROOF
- PERFORATED SECONDARY WALL SYSTEM
- STOREFRONT CURTAIN WALL SYSTEM
- PRECAST PANELS
- STEEL COLUMN SUPPORT



3 BUILDING "B" EAST ELEVATION  
 3/64" = 1'-0"

- SITE/PLOT PLAN  
104' - 9 19/32"
- 9TH FLOOR -  
OFFICE LEVEL 5  
92' - 9 19/32"
- 8TH FLOOR -  
OFFICE LEVEL 4  
81' - 9 19/32"
- 7TH FLOOR -  
OFFICE LEVEL 3  
71' - 9 19/32"
- 6TH FLOOR -  
OFFICE LEVEL 2  
61' - 9 19/32"
- 5TH FLOOR -  
OFFICE LEVEL 1  
51' - 9 19/32"
- 4TH FLOOR -  
PARKING  
41' - 9 19/32"
- 3RD FLOOR -  
PARKING  
31' - 9 19/32"
- 2ND FLOOR -  
PARKING  
20' - 9 19/32"
- 1ST FLOOR /  
GROUND FLOOR  
8' - 9 19/32"

- STOREFRONT CURTAIN WALL SYSTEM
- PRECAST PANELS
- STEEL COLUMN SUPPORT



4 BUILDING "B" WEST ELEVATION  
 3/64" = 1'-0"

- INODIZED PERFORATED ALUMINUM PAINTED PANELS
- STOREFRONT CURTAIN WALL SYSTEM
- PRECAST PANELS
- STEEL COLUMN SUPPORT

- SITE/PLOT PLAN  
104' - 9 19/32"
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OFFICE LEVEL 5  
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OFFICE LEVEL 4  
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- 7TH FLOOR -  
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- 6TH FLOOR -  
OFFICE LEVEL 2  
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- 5TH FLOOR -  
OFFICE LEVEL 1  
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- 4TH FLOOR -  
PARKING  
41' - 9 19/32"
- 3RD FLOOR -  
PARKING  
31' - 9 19/32"
- 2ND FLOOR -  
PARKING  
20' - 9 19/32"
- 1ST FLOOR /  
GROUND FLOOR  
8' - 9 19/32"

Sheet Title:

**Building B  
 Elevation**

Key Plan:

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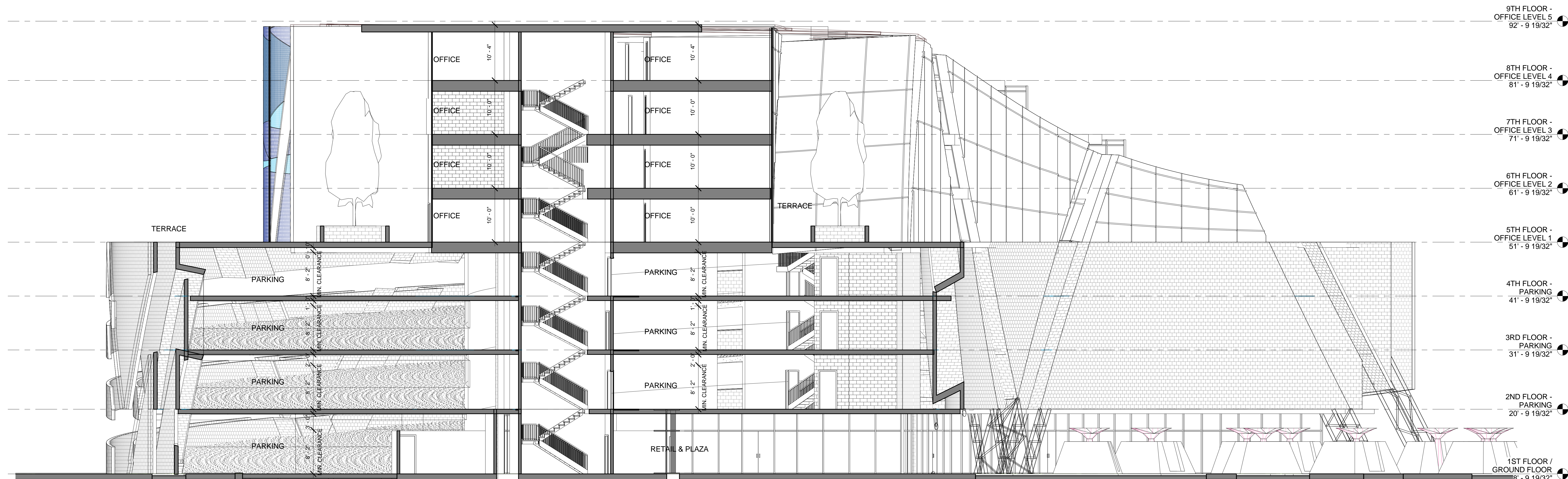
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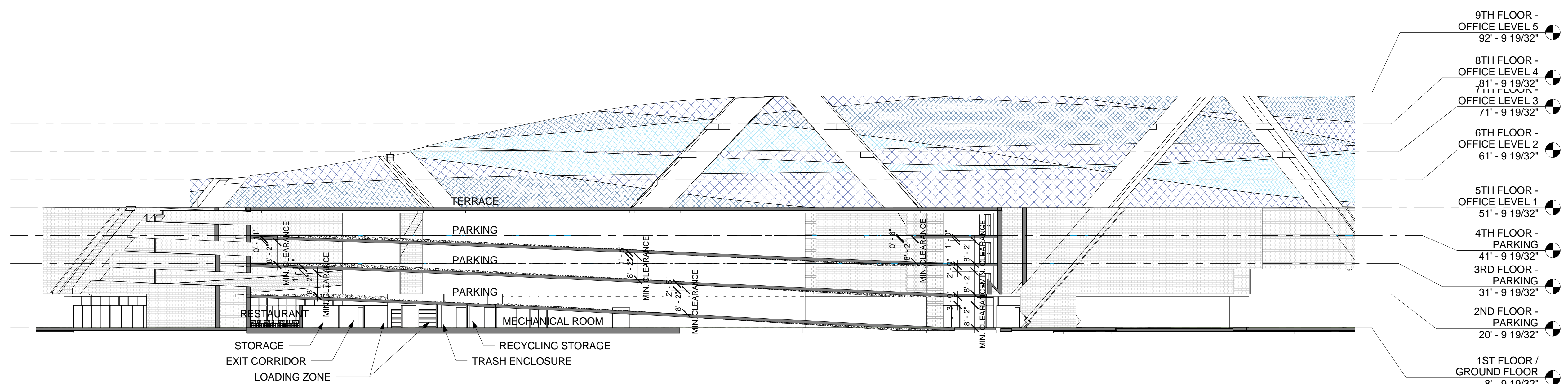
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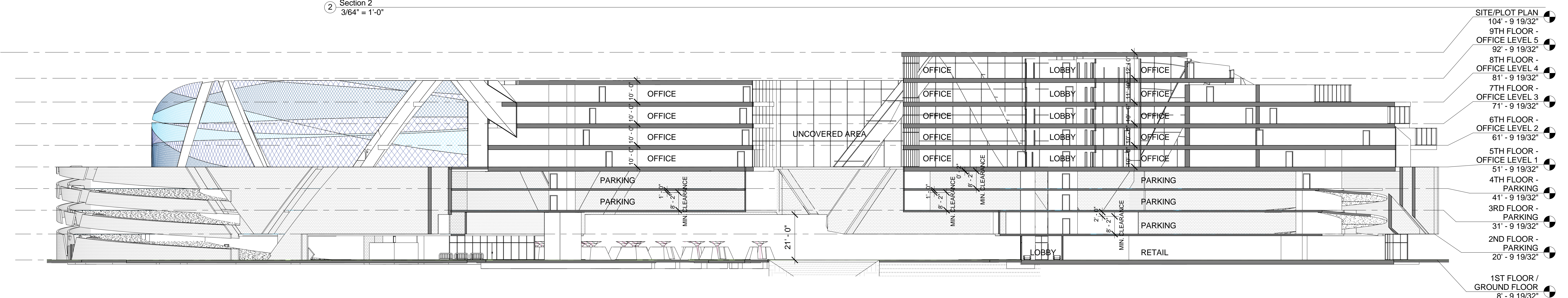
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3 Section 3  
 1/8" = 1'-0"



2 Section 2  
 3/64" = 1'-0"

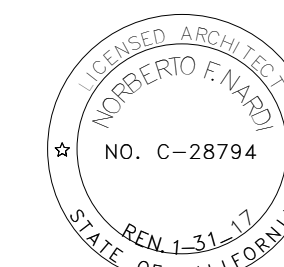


1 Section 1  
 3/64" = 1'-0"

Sheet Title:

**SECTIONS**

Key Plan:



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Scale: 3/64" = 1'-0"

Date: 08/03/2016

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Phase:

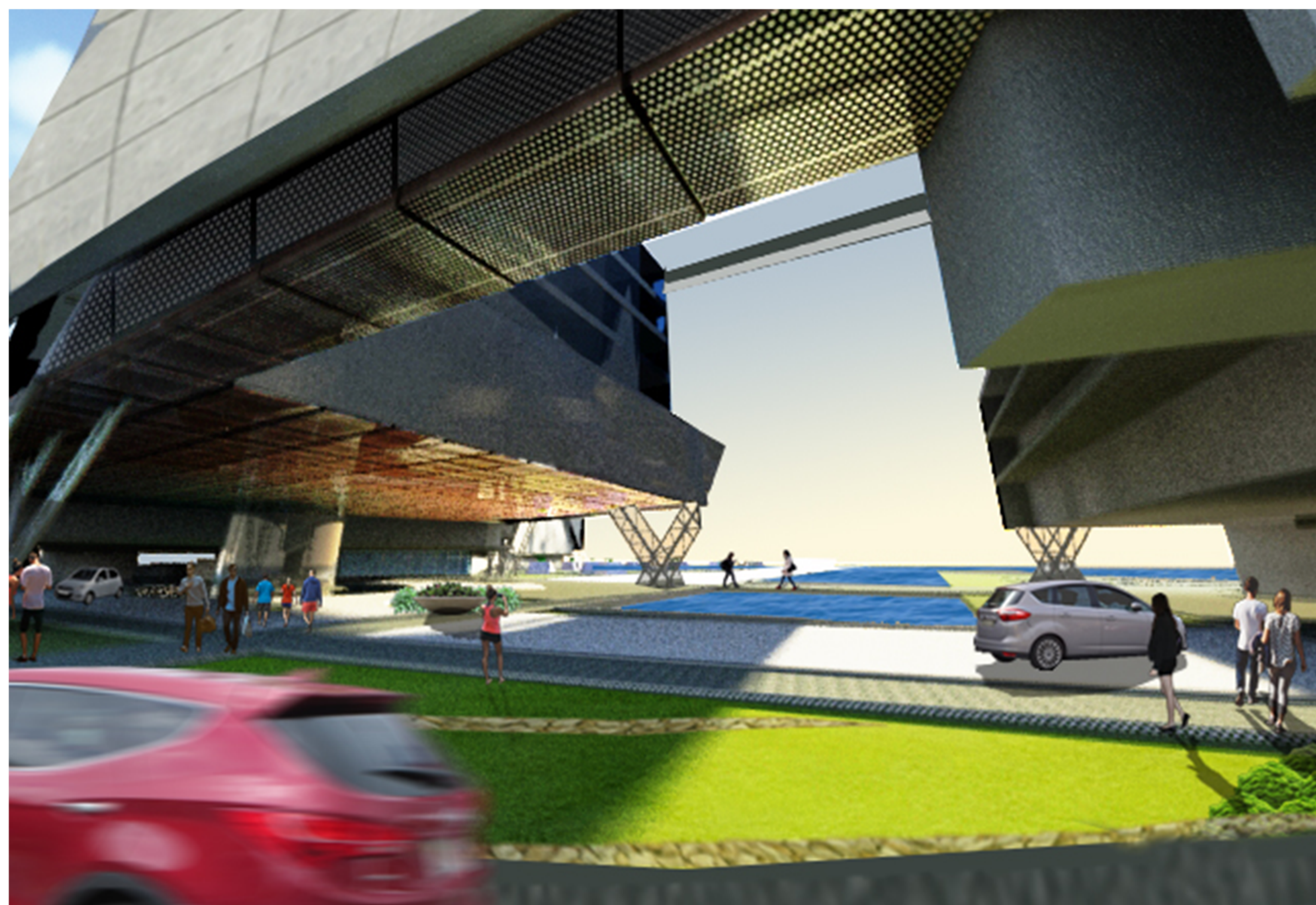
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Staff Review:

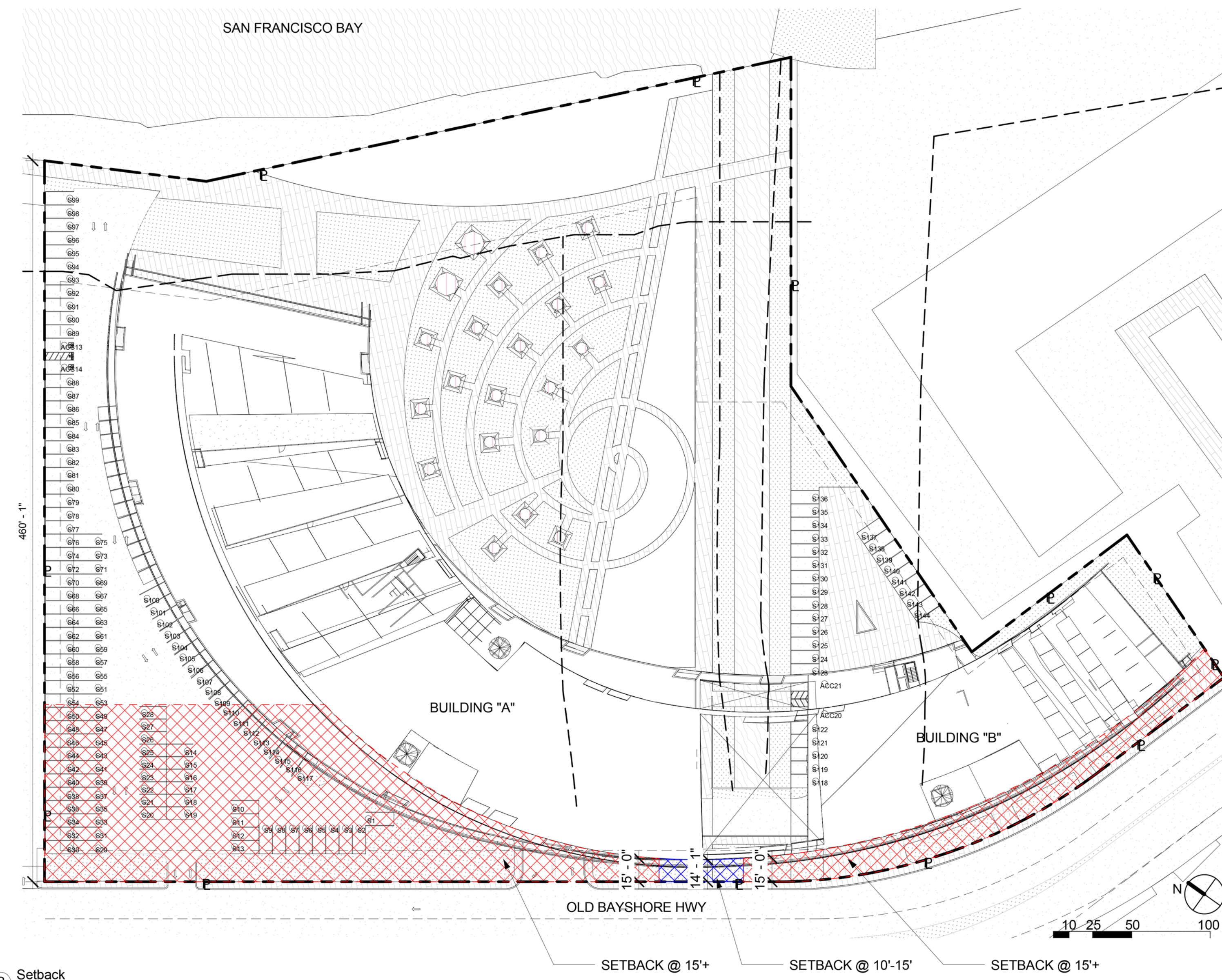
- 1) This project will comply with the 2013 California Building Code, 2013 California Residential Code (where applicable), 2013 California Mechanical Code, 2013 California Electrical Code, and 2013 California Plumbing Code, including all amendments as adopted in Ordinance 1889. Note: If the Planning Commission has not approved the project prior to 5:00 p.m. on December 31, 2016 then this project must comply with the 2016 California Building Codes.
- 2) This project will comply with the 2013 California Energy Efficiency Standards.
- 3) At the time of Building Permit application, plans and engineering will be submitted for shoring as required by 2013 CBC, Chapter 31 regarding the protection of adjacent property and as required by OSHA. The following will be addressed:
  - a. The walls of the proposed basement shall be properly shored, prior to construction activity. This excavation may need temporary shoring. A competent contractor shall be consulted for recommendations and design of shoring scheme for the excavation. The recommended design type of shoring shall be approved by the engineer of record or soils engineer prior to usage.
  - b. All appropriate guidelines of OSHA shall be incorporated into the shoring design by the contractor. Where space permits, temporary construction slopes may be utilized in lieu of shoring. Maximum allowable vertical cut for the subject project will be five (5) feet. Beyond that horizontal benches of 5 feet wide will be required. Temporary shores shall not exceed 1 to 1 (horizontal to vertical). In some areas due to high moisture content/water table, flatter slopes will be required with will be recommended by the soils engineer in the field.
  - c. If shoring is required, specify on the plans the licensed design professional that has sole responsibility to design and provide adequate shoring, bracing, formwork, etc. as required for the protection of life and property during construction of the building.
  - d. Shoring and bracing shall remain in place until floors, roof, and wall sheathing have been entirely constructed.
  - e. Shoring plans shall be wet-stamped and signed by the engineer-of-record and submitted to the city for review prior to construction. If applicable, include surcharge loads from adjacent structures that are within the zone of influence (45 degree wedge up the slope from the base of the retaining wall) and/or driveway surcharge loads.
- 4) An OSHA permit will be obtained for the shoring at the excavation in the basement per CAL/OSHA requirements.
- 5) A Grading Permit, if required, will be obtained from the Department of Public Works.
- 6)
  - a. Occupancy Group for each area of the building
  - b. Type of construction: TYPE I
  - c. Allowable area: Office 241,737 SF; Restaurant 40,289 SF; Retail 134,298 SF
  - d. Proposed area: Office 238,162 SF; Restaurant 11,840 SF; Retail 8,610 SF
  - e. Allowable height: 65'-0"
  - f. Proposed height: 96'-0"
  - g. Proposed fire separation: 114'-2" maximum
  - h. Exterior wall and opening protection
    - i. Allowable: 45%
    - ii. Fire Separation Distance: 10' minimum  
Unprotected, Sprinklered  
Proposed: 0.87%
  - i. Indicate sprinklered or non-sprinklered: Sprinklered
- 7) Plumbing Fixture

Occupancy Group	Floor	Occupant Load	Water Closets		Urinals Male	Lavatories		Drinking Fountains/Facilities	Other
			Male	Female		Male	Female		
A-2	Building A 1st Floor	361	4	8	3	3	4	2	1 Service Sink or Laundry Tray
B	Building A 1st Floor	63	2	4	1	1	2	1	1 Service Sink or Laundry Tray
	Building A 5th Floor	188	3	8	2	3	4	2	1 Service Sink or Laundry Tray
	Building A 6th Floor	165	3	8	2	3	4	2	1 Service Sink or Laundry Tray
	Building A 7th Floor	135	3	8	2	2	3	1	1 Service Sink or Laundry Tray
	Building A 8th Floor	108	3	8	2	2	3	1	1 Service Sink or Laundry Tray
	Building B 5th Floor	76	2	4	1	2	2	1	1 Service Sink or Laundry Tray
	Building B 6th Floor	69	2	4	1	1	2	1	1 Service Sink or Laundry Tray
	Building B 7th Floor	58	2	4	1	1	2	1	1 Service Sink or Laundry Tray
	Building B 8th Floor	40	1	3	1	1	1	1	1 Service Sink or Laundry Tray
	Building B 9th Floor	33	1	3	1	1	1	1	1 Service Sink or Laundry Tray
M	Building B 1st Floor	39	1	1	0	1	1	1	1 Service Sink or Laundry Tray
	Building A 1st Floor		6	12	4	4	6	3	1 Service Sink or Laundry Tray
	Building A 5th Floor		3	8	2	3	4	2	1 Service Sink or Laundry Tray
	Building A 6th Floor		3	8	2	3	4	2	1 Service Sink or Laundry Tray
	Building A 7th Floor		3	8	2	2	3	1	1 Service Sink or Laundry Tray
	Building A 8th Floor		3	8	2	2	3	1	1 Service Sink or Laundry Tray
	Building A Total		18	44	12	14	20	9	
	Building B 1st Floor		1	1	0	1	1	1	1 Service Sink or Laundry Tray
	Building B 5th Floor		2	4	1	2	2	1	1 Service Sink or Laundry Tray
	Building B 6th Floor		2	4	1	1	2	1	1 Service Sink or Laundry Tray
	Building B 7th Floor		2	4	1	1	2	1	1 Service Sink or Laundry Tray
	Building B 8th Floor		1	3	1	1	1	1	1 Service Sink or Laundry Tray
	Building B 9th Floor		1	3	1	1	1	1	1 Service Sink or Laundry Tray
	Building B Total		9	19	5	7	9	6	

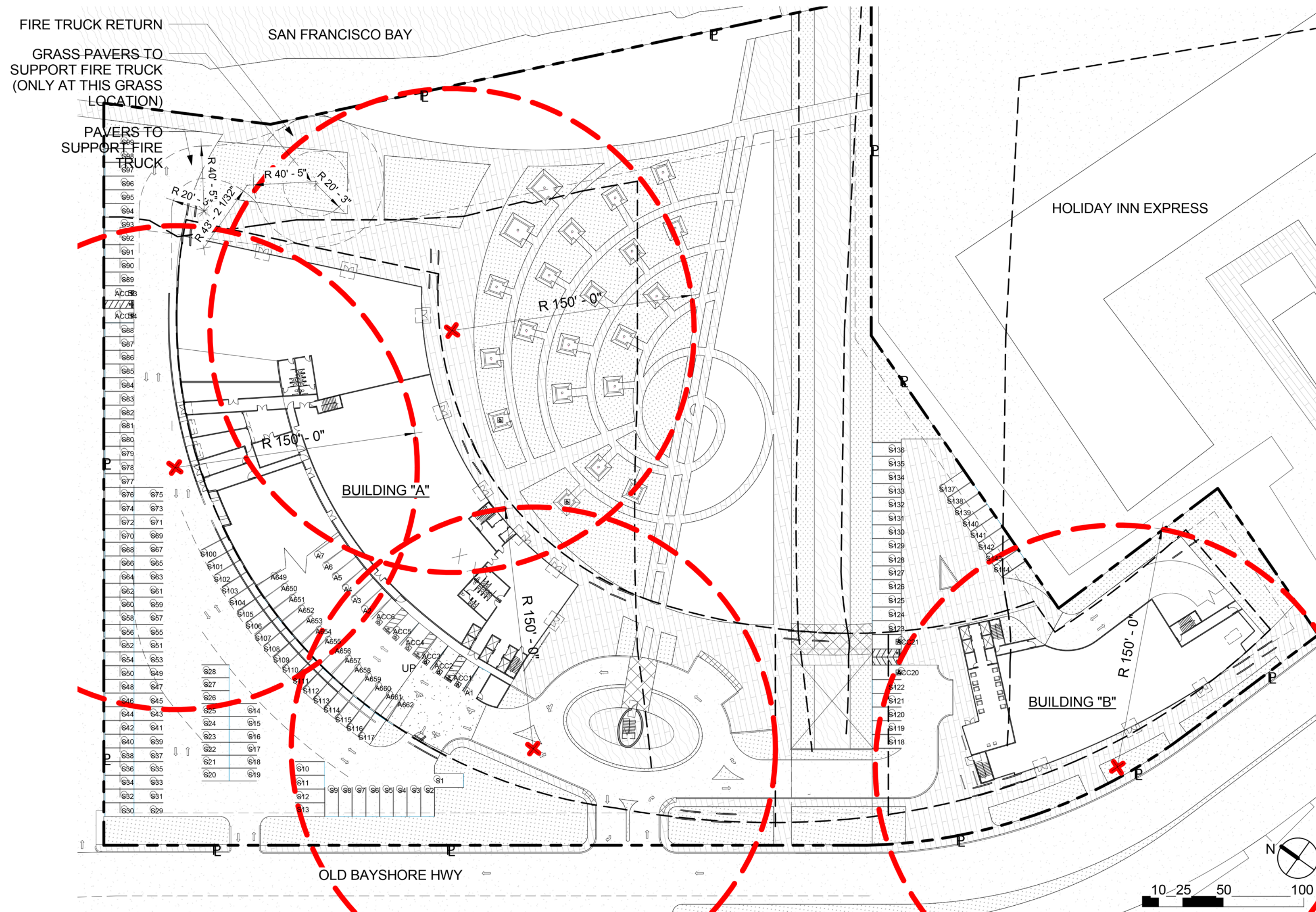
8) When plans are submitted for building code plan check, mechanical, electrical, and plumbing plans will be included.



PERSPECTIVE RENDER VIEW FROM BAYSHORE HWY TOWARDS EASTON CREEK AND TO THE BAY BEYOND



2) Setback  
1" = 50'-0"



1) FIRE ACCESS  
1" = 50'-0"

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1	02/12/2015	BCDC/BURLINGAME PRE-SUBMITTAL
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3	09/28/15	1ST RE-SUBMITTAL
4	02/22/16	2ND RE-SUBMITTAL
5	08/03/16	3RD RE-SUBMITTAL



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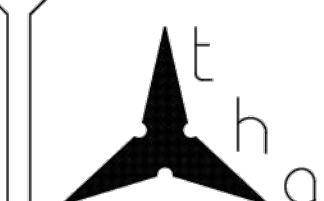
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**SITE  
SURVEY**

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Scale:

DATE 11/11/2014

SCALE 1"=30'

DRAWN SF

JOB NO. 9-1638

DWG 1

SHEET 7 OF 7

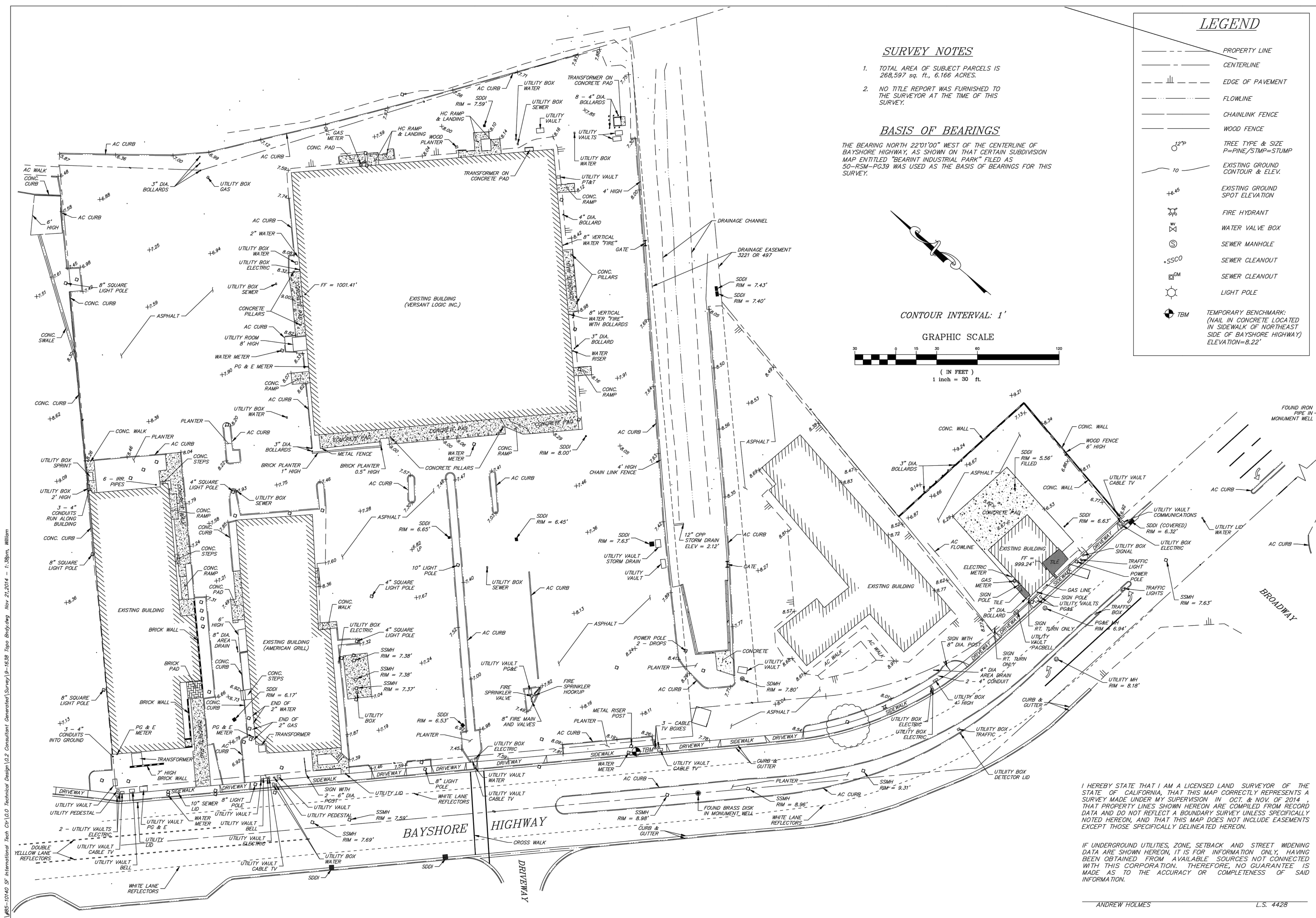
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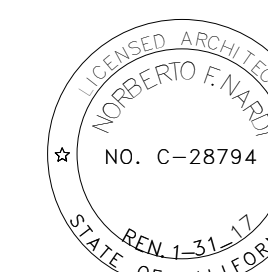
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**Site/Roof Plan**

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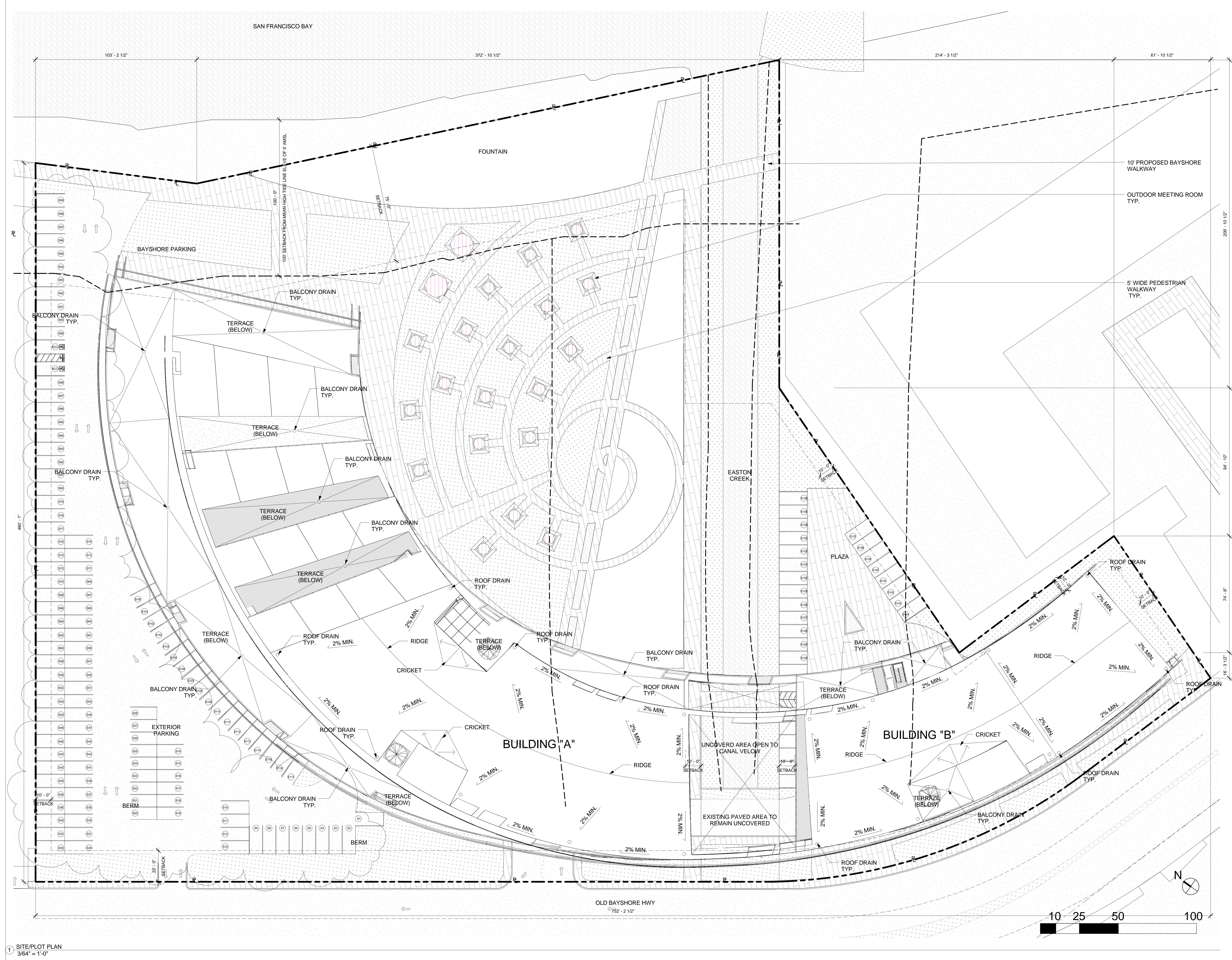
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1 SITE/PLOT PLAN  
 3/64" = 1'-0"

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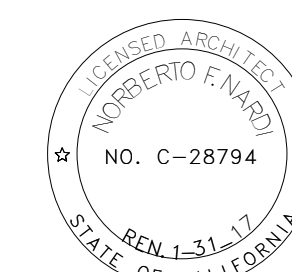
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**Site Plan With  
 Adjacent  
 Properties**

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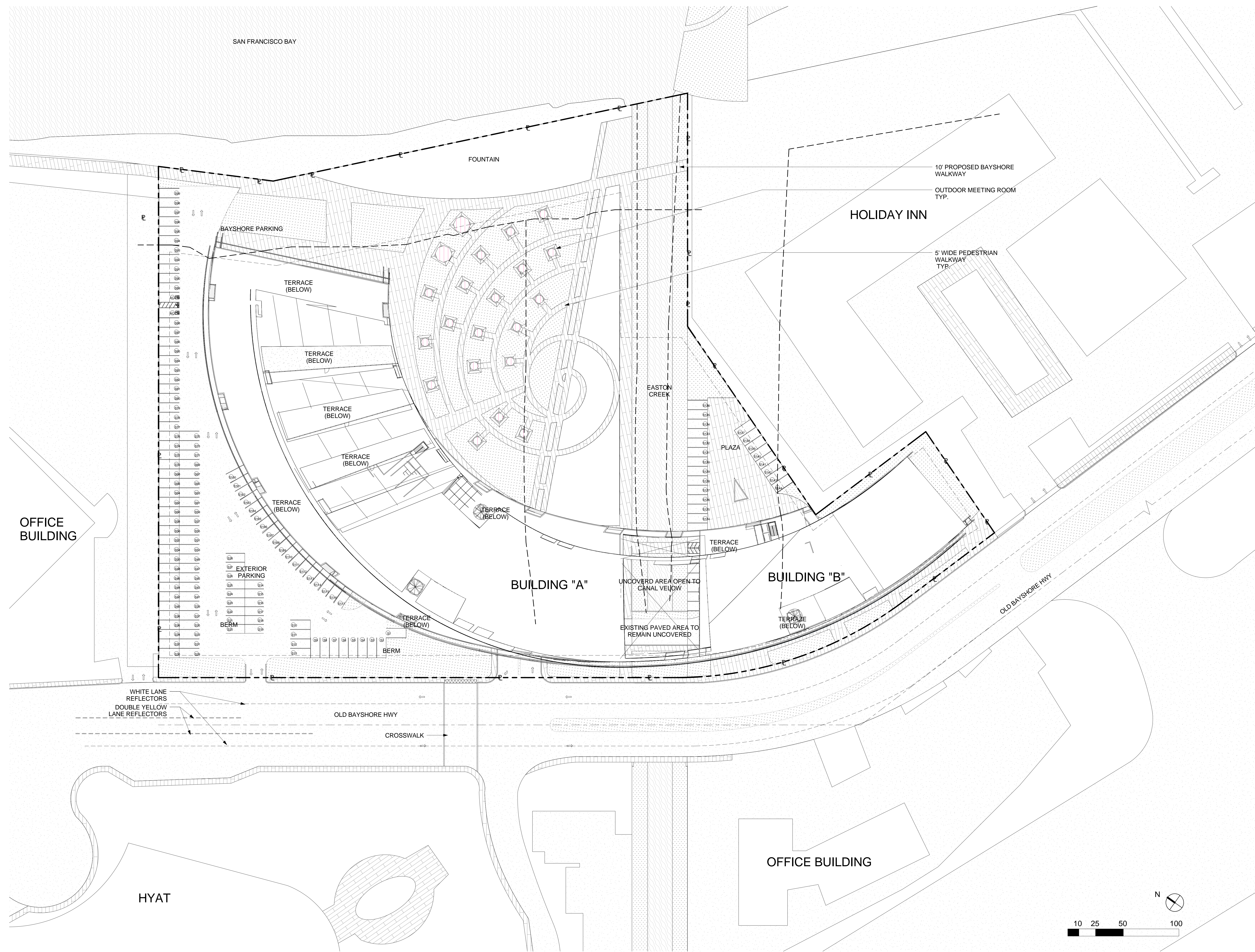
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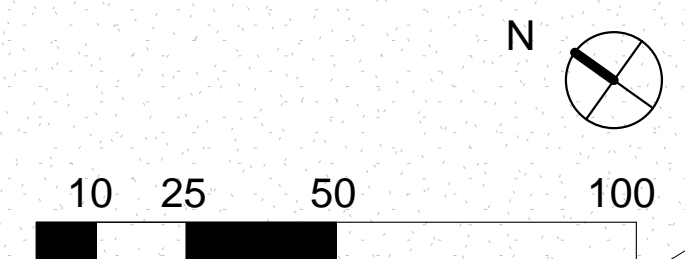
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1 SITE/PLOT PLAN w/ adjacent properties  
 1/32" = 1'-0"



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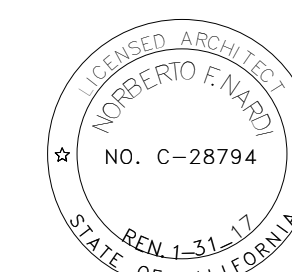
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**1ST FLOOR  
 PLAN**

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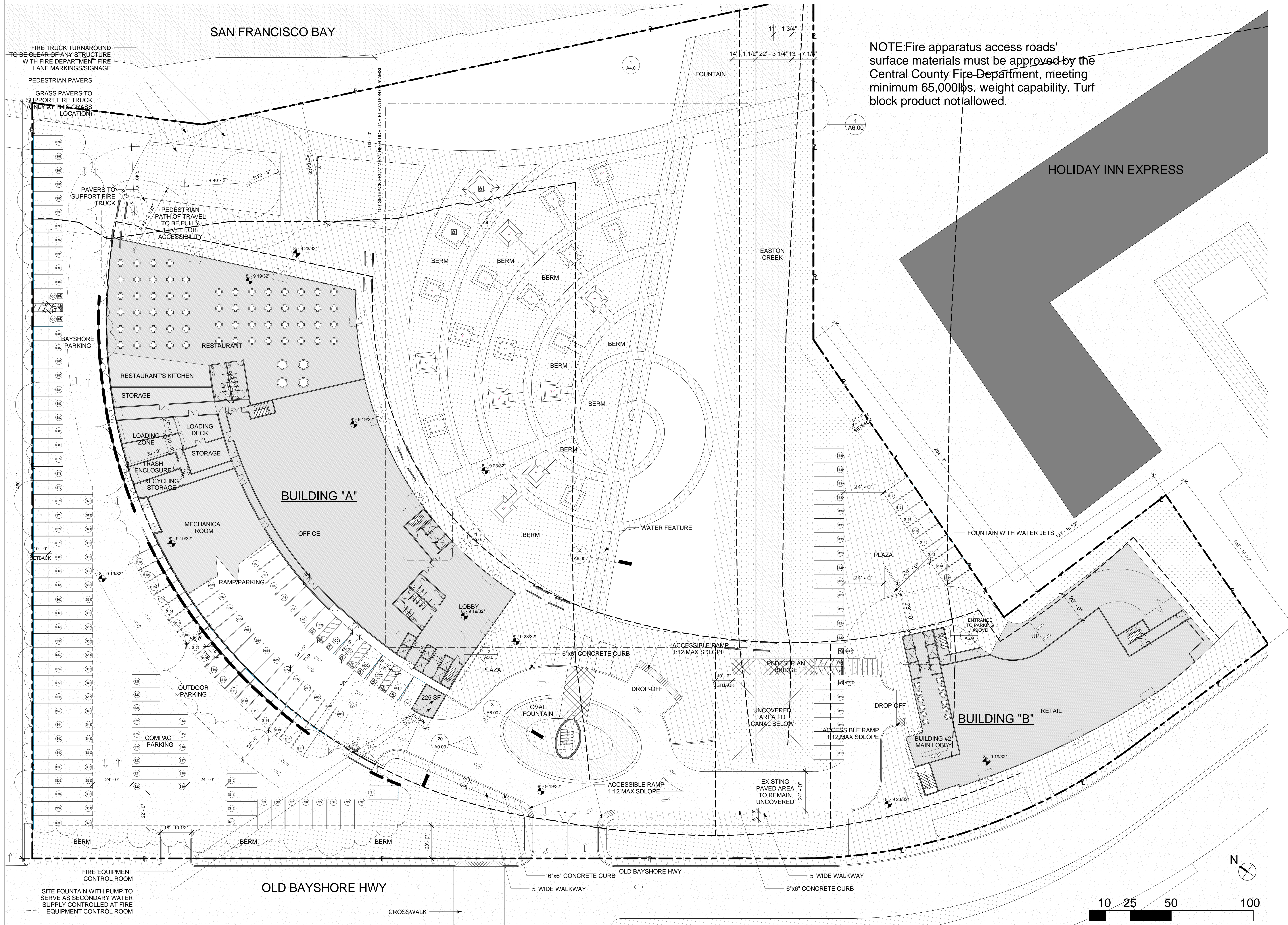
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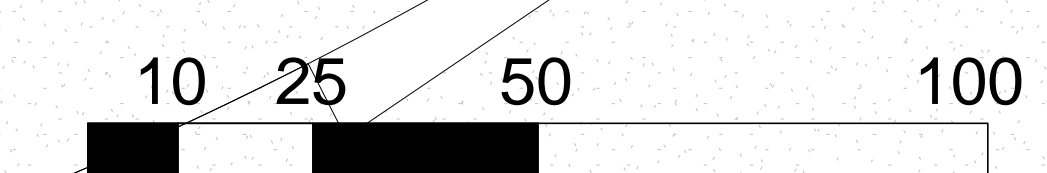
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NOTE: Fire apparatus access roads' surface materials must be approved by the Central County Fire Department, meeting minimum 65,000lbs. weight capability. Turf block product not allowed.

1 1ST FLOOR / GROUND FLOOR  
 3/64" = 1'-0"





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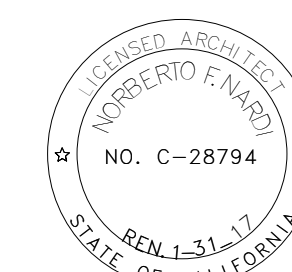
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**3rd Floor Parking**

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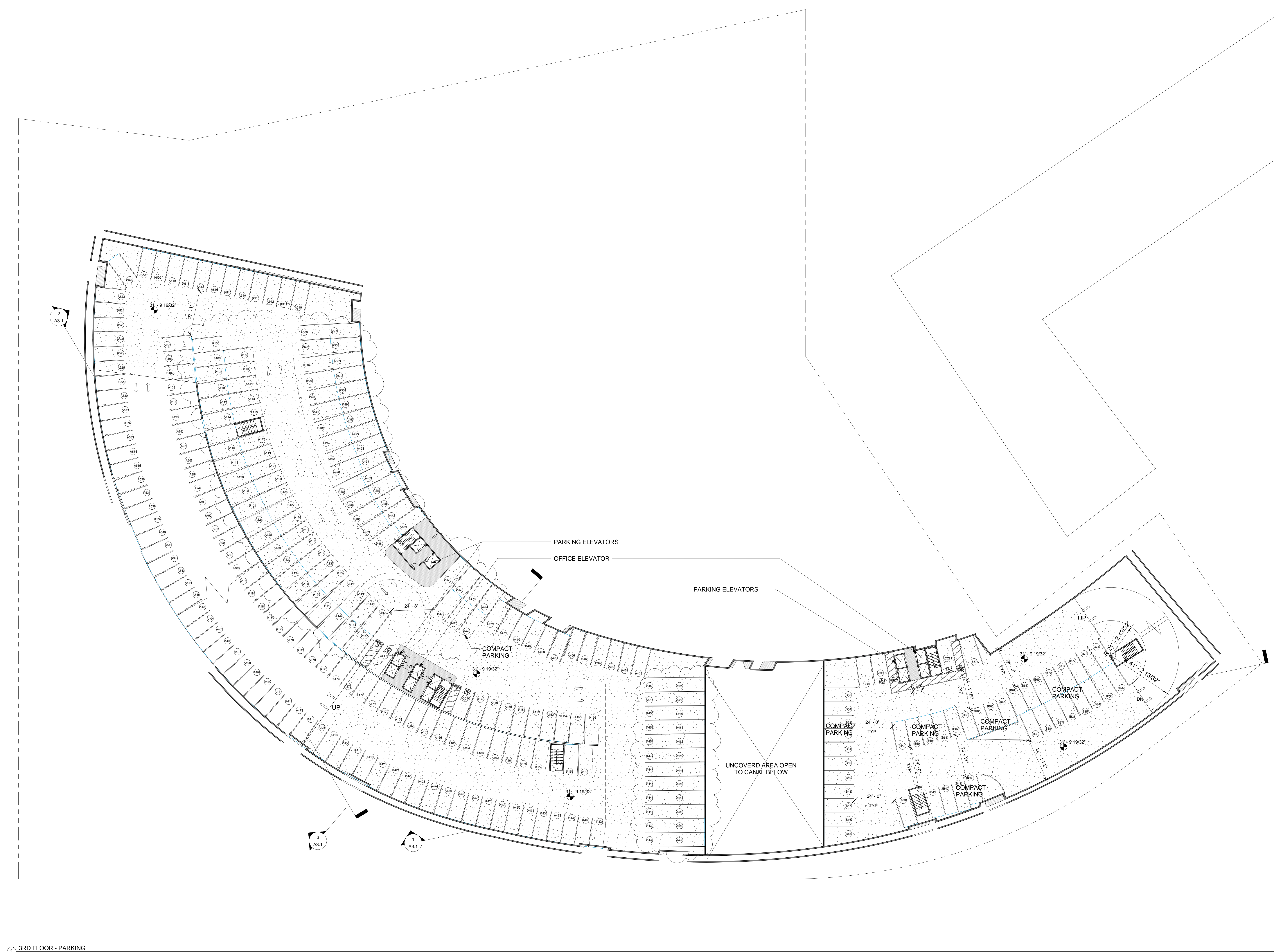
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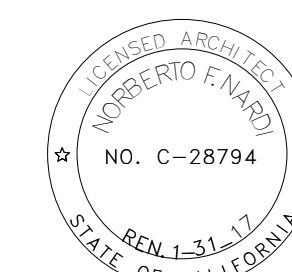
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**4th Floor Parking**

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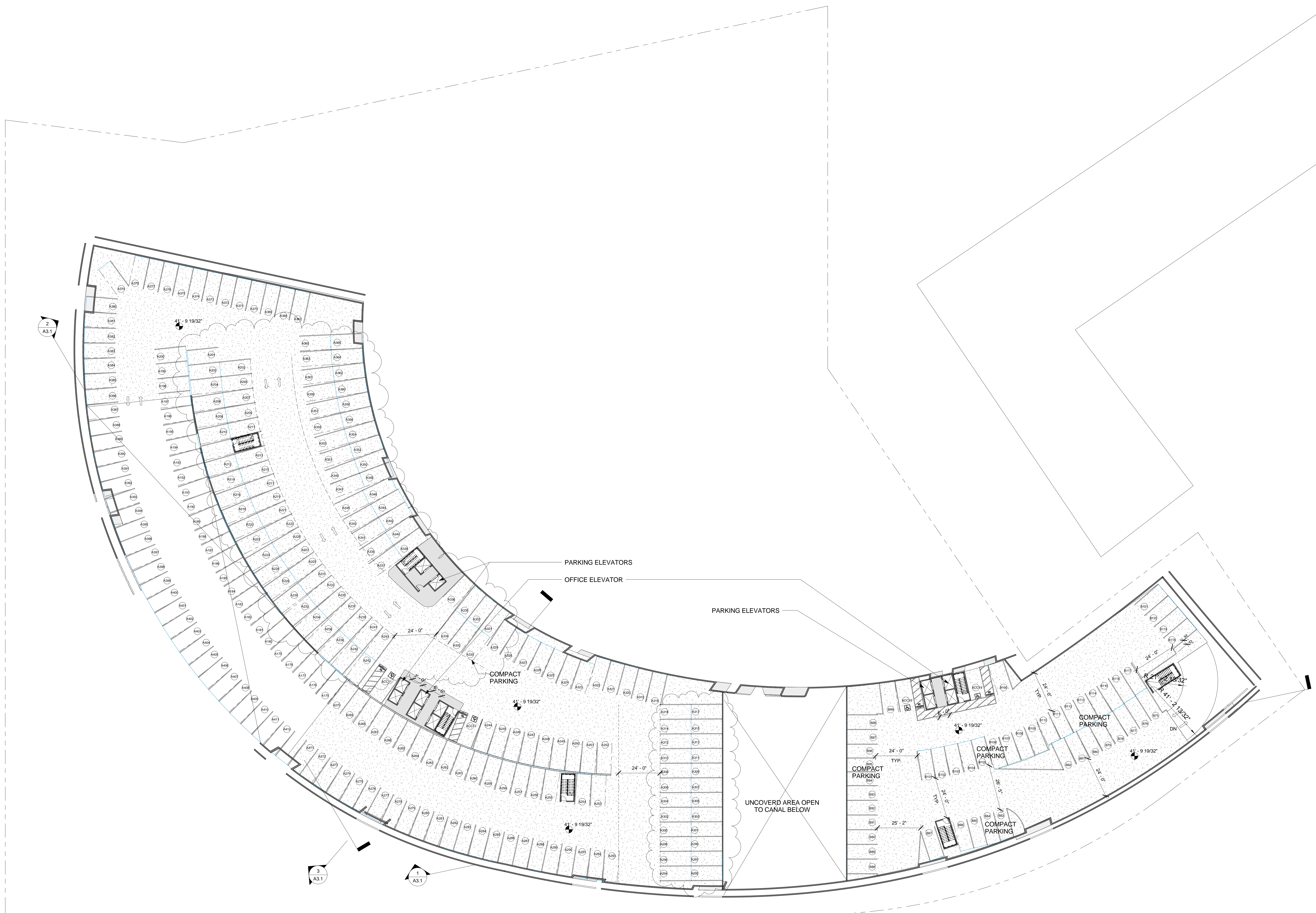
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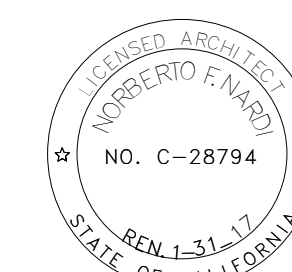
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**6th Floor-Office  
 Level 2**

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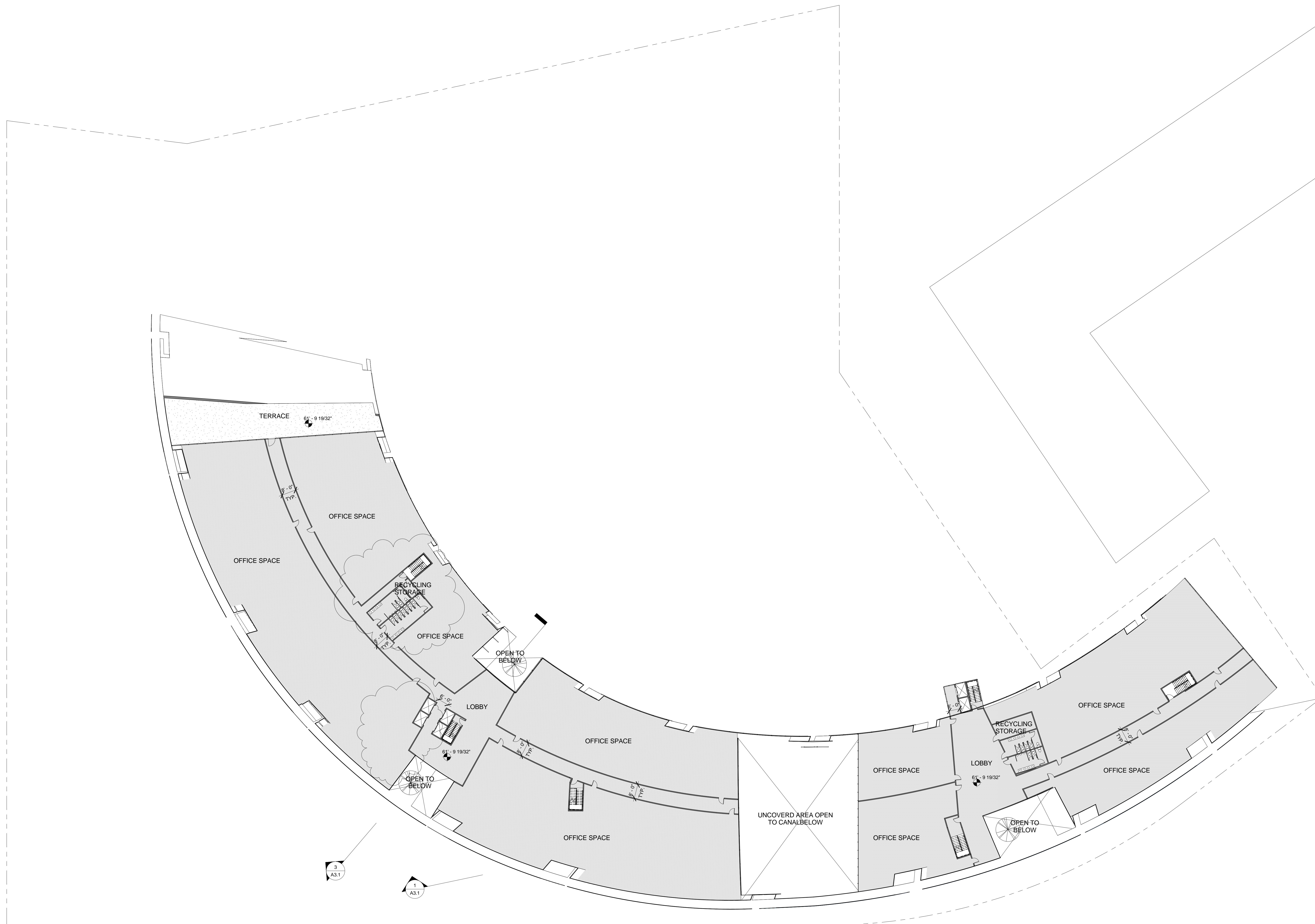
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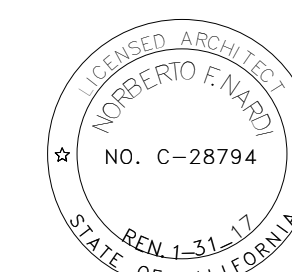
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Sheet Title:

**8th Floor-Office  
 Level 4**

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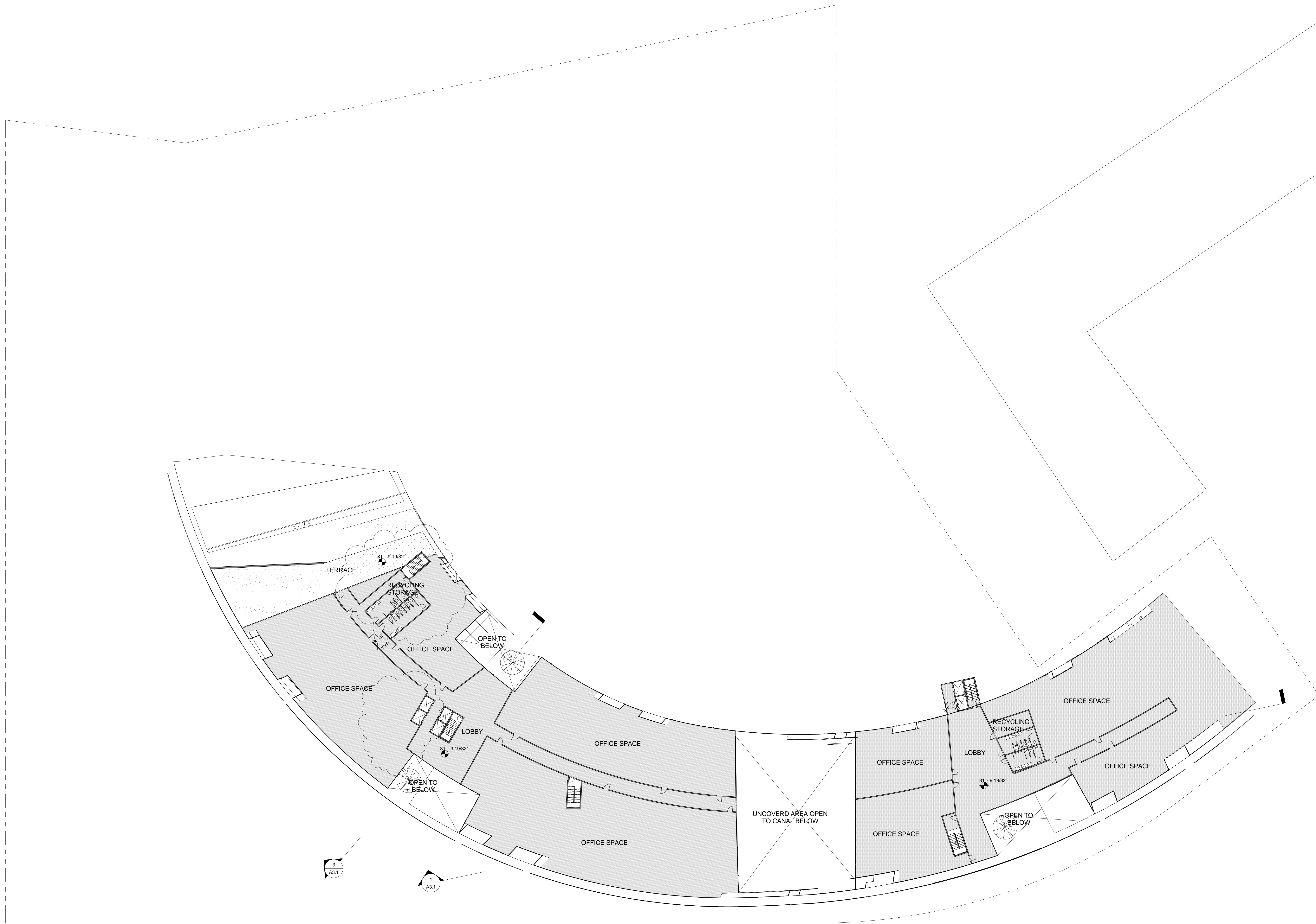
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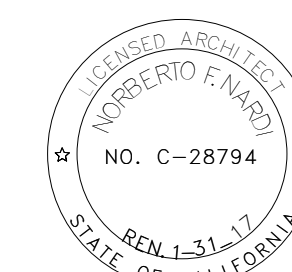
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Sheet Title:

**9th Floor-Office  
 Level 6**

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Scale: 3/64" = 1'-0"

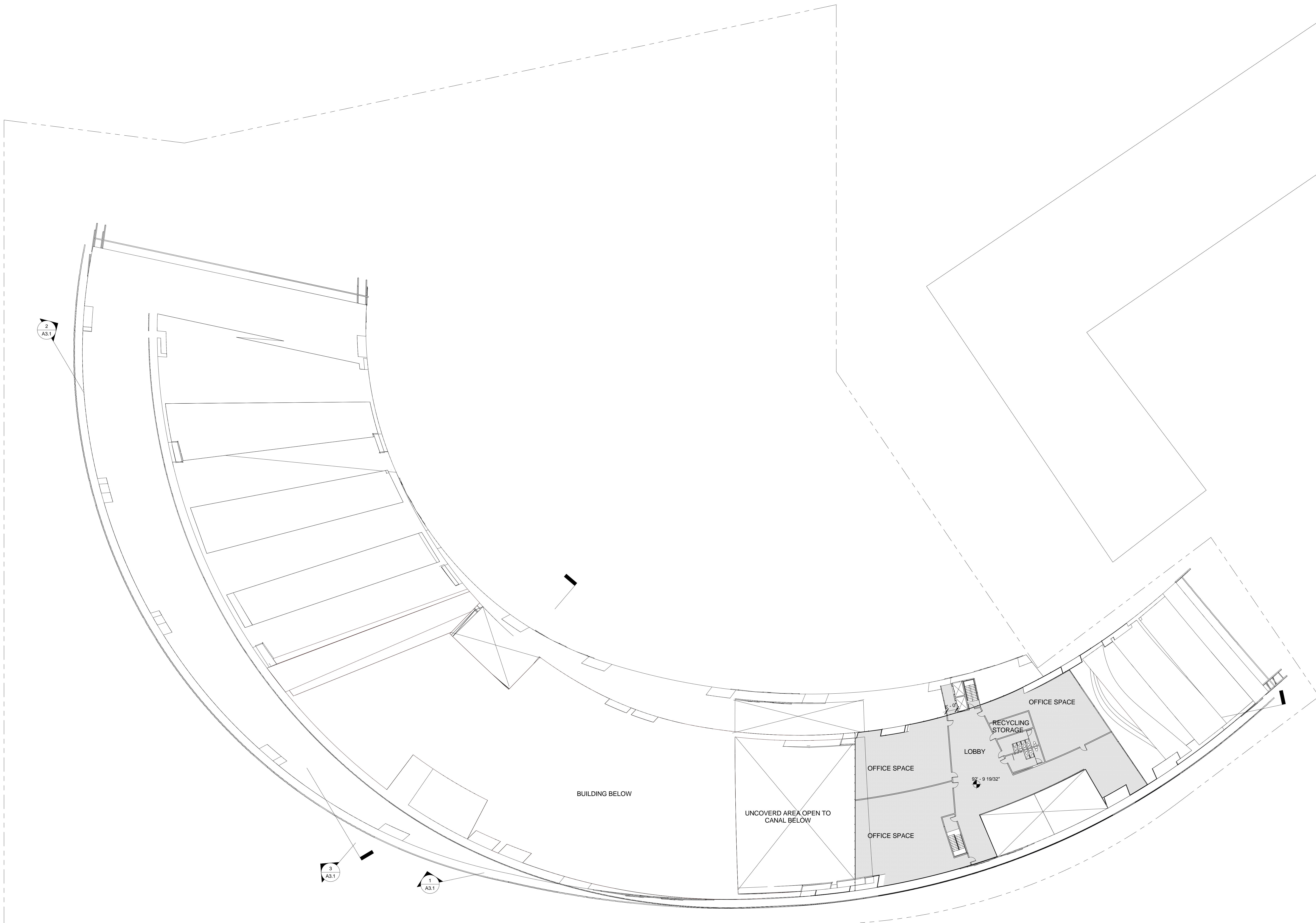
Date: 08/03/2016

Drawn by: Project No: 85-10140

Phase:

Sheet No:

**A1.9**



Consultant:

Revisions:

No.	Date	Description
1	02/12/2015	BCDC/BURLINGAME PRE-SUBMITTAL
2	05/22/2015	1st SUBMITTAL
3	09/28/2015	1st Re-SUBMITTAL
4	02/22/2016	2nd Re-SUBMITTAL
5	08/03/2016	3rd Re-SUBMITTAL



Sheet Title:

**OUTDOOR  
 CONFERENCE  
 UNITS**

Key Plan:

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Scale:

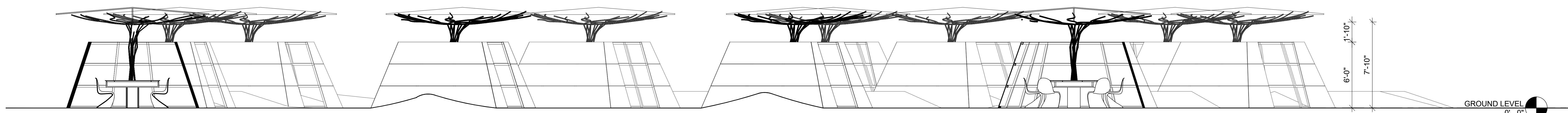
Date: **08/03/2016**

Drawn by: **C. R.** Project No:

Phase:

Sheet No:

**A4.0**



2 SITE SECTION  
 1/4" = 1'-0"

ACCESSIBLE GAZEBO

WALKING PAVER

SPIRAL WALKWAY

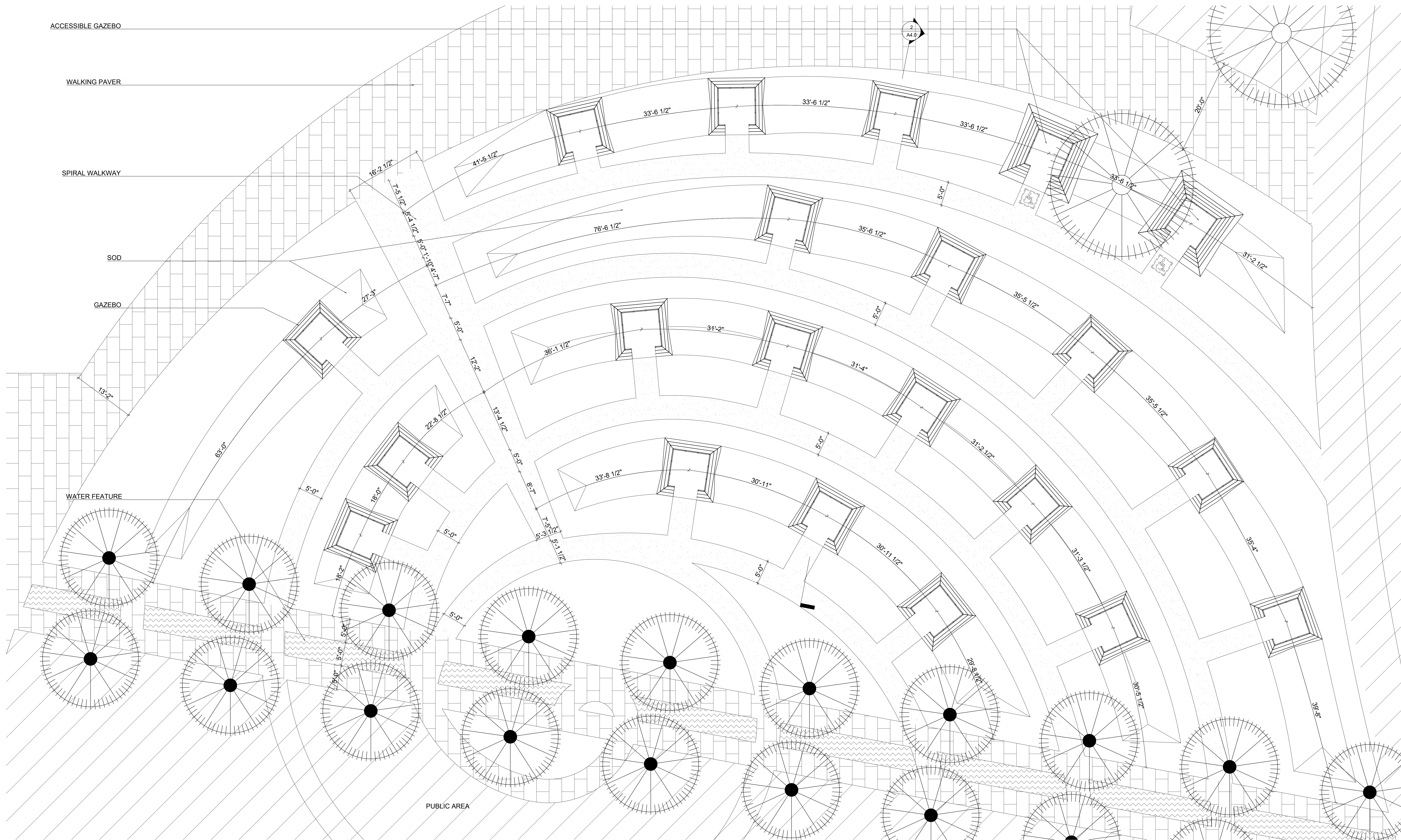
SOD

GAZEBO

WATER FEATURE

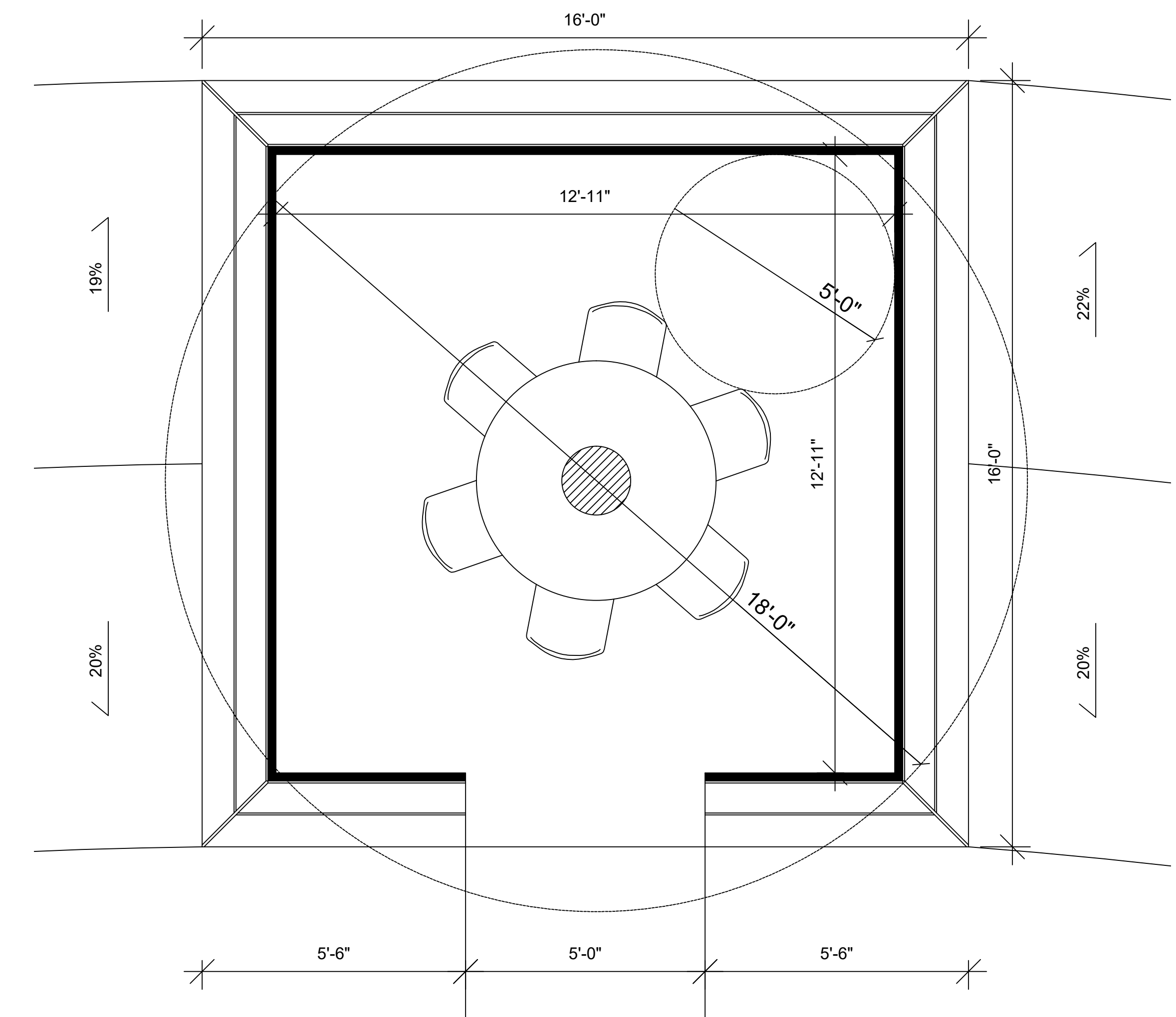
PUBLIC AREA

1 SITE PLAN  
 1/8" = 1'-0"

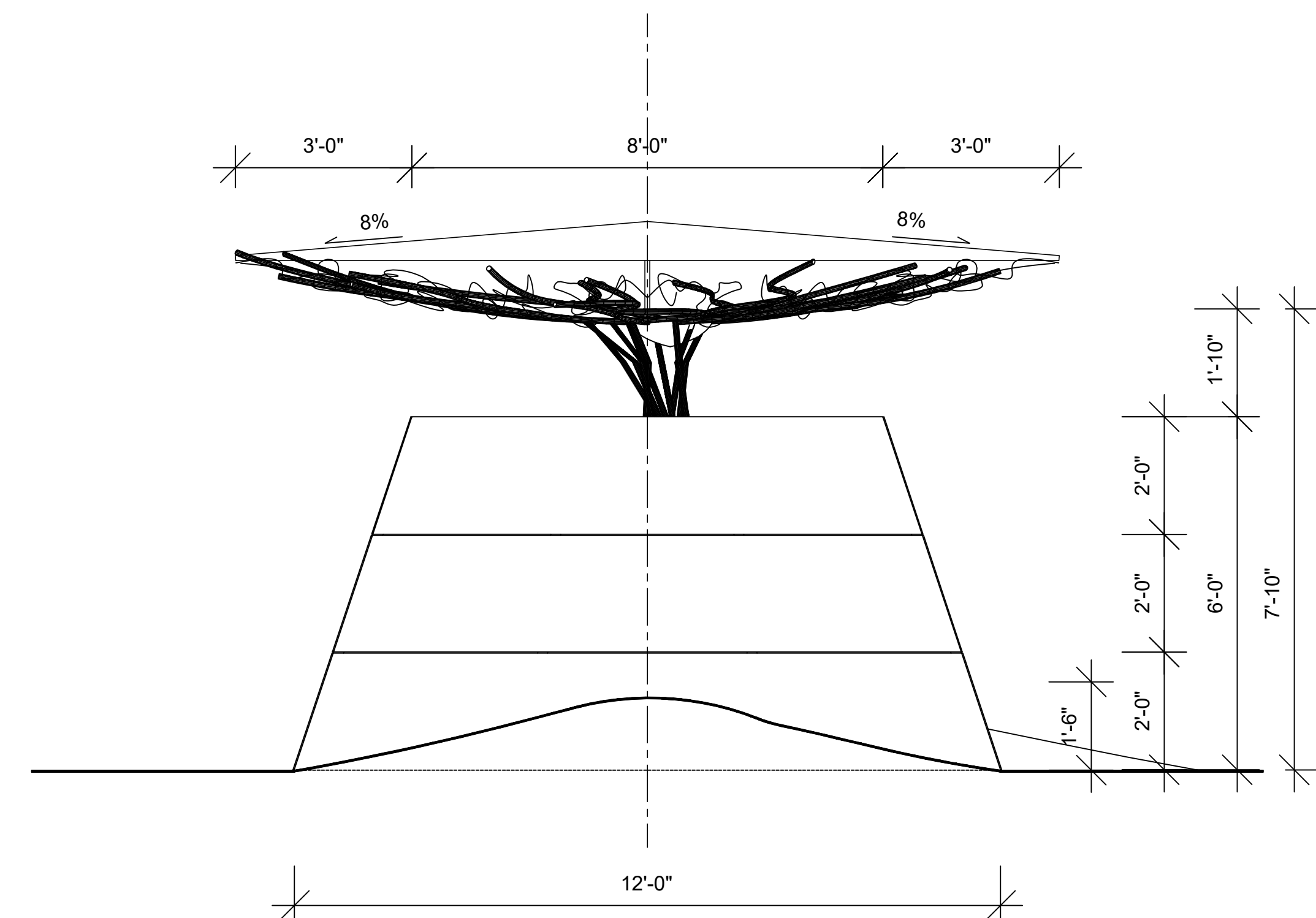




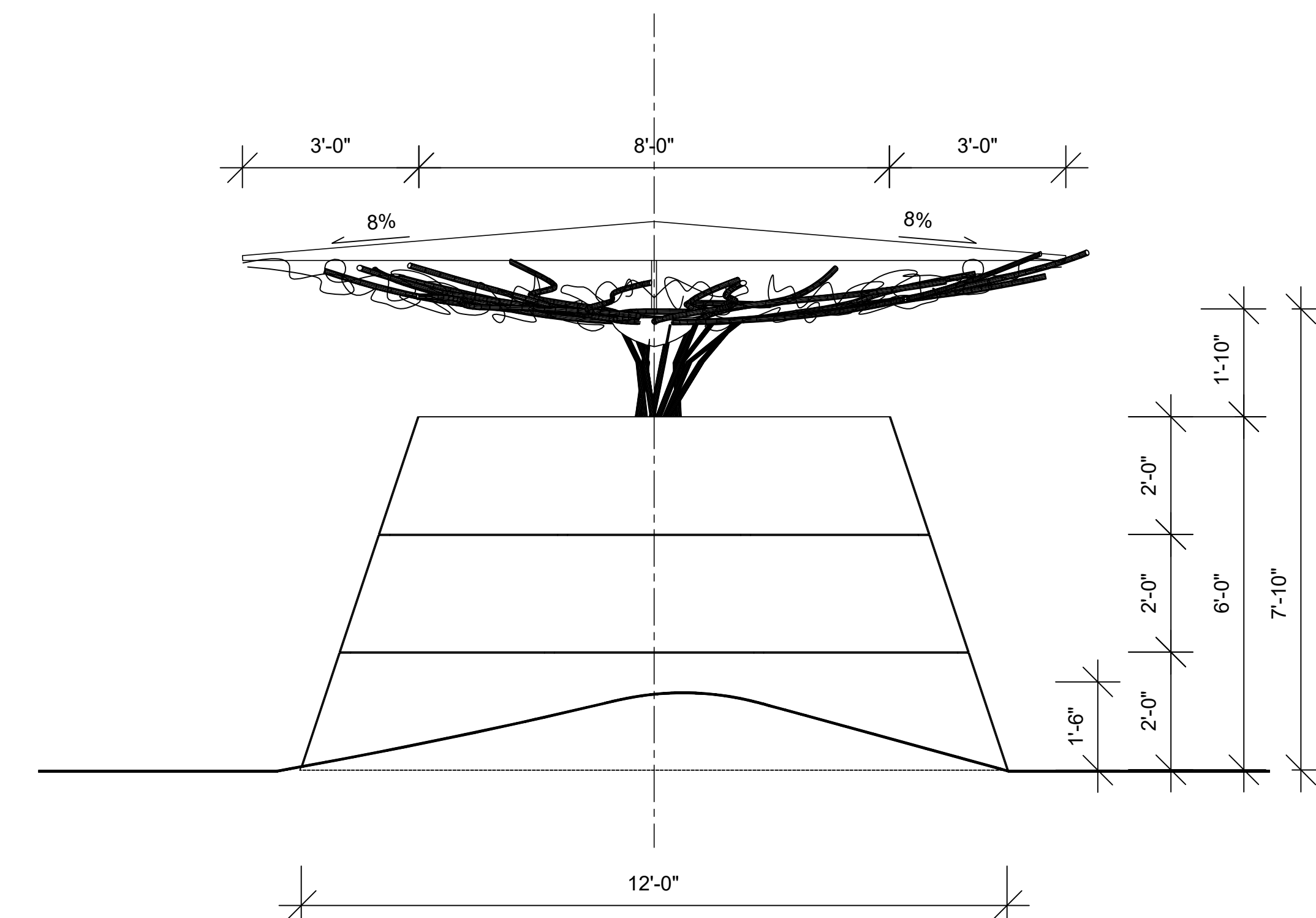
8 PERSPECTIVE RENDERING



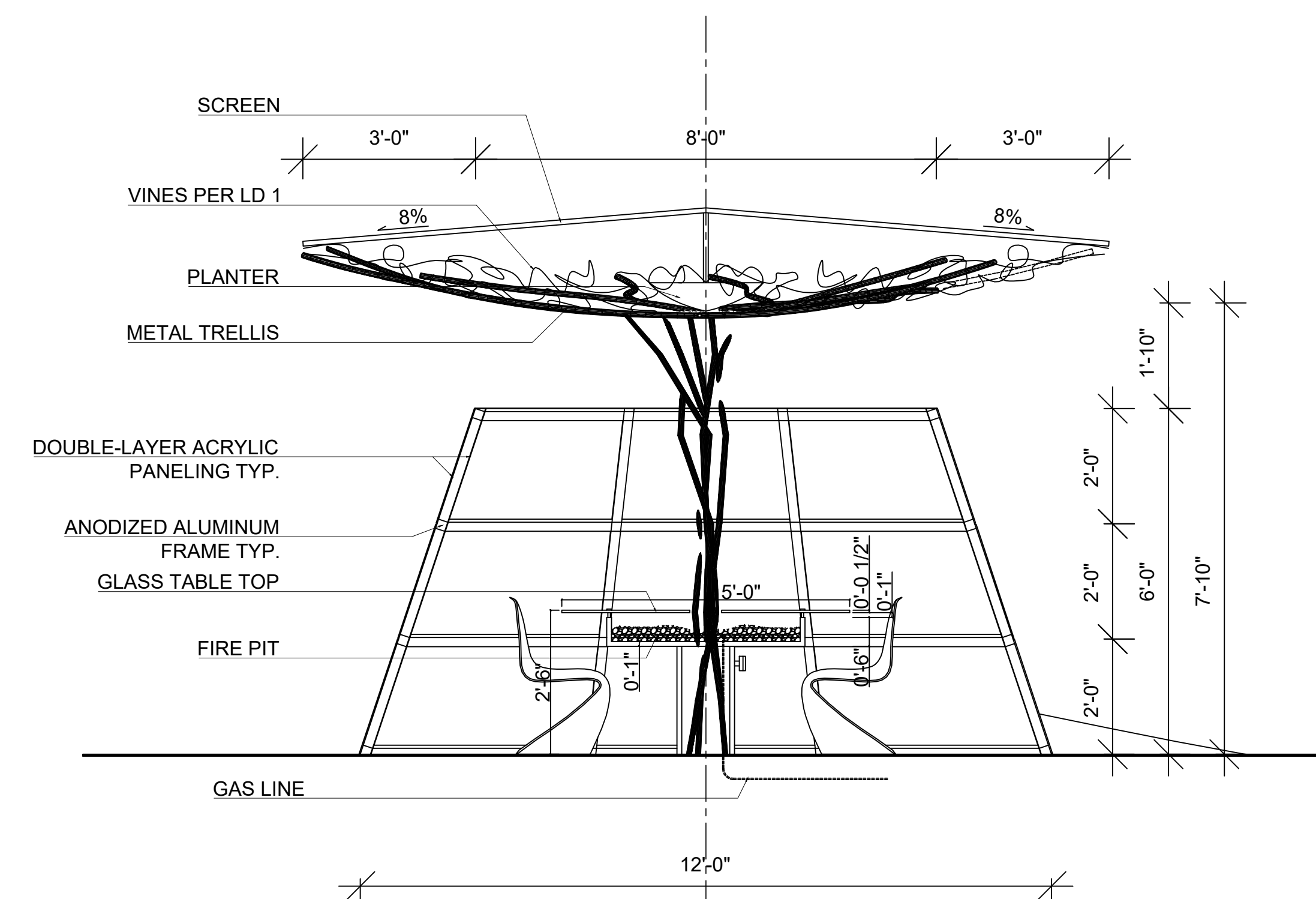
3 TYP. ACCESSIBLE UNIT FLOOR PLAN  
1/2" = 1'-0"



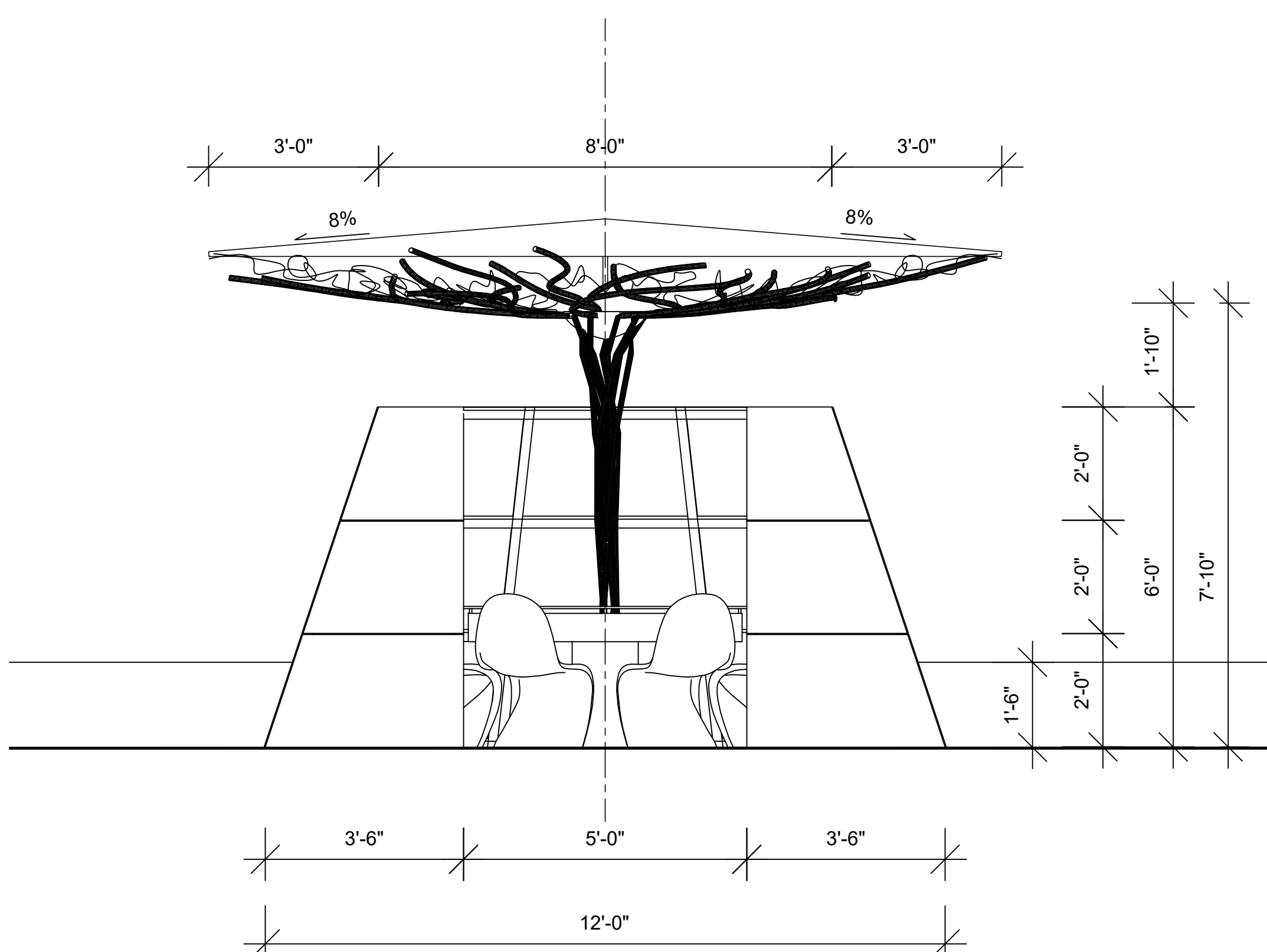
7 TYP. LEFT ELEVATION  
1/2" = 1'-0"



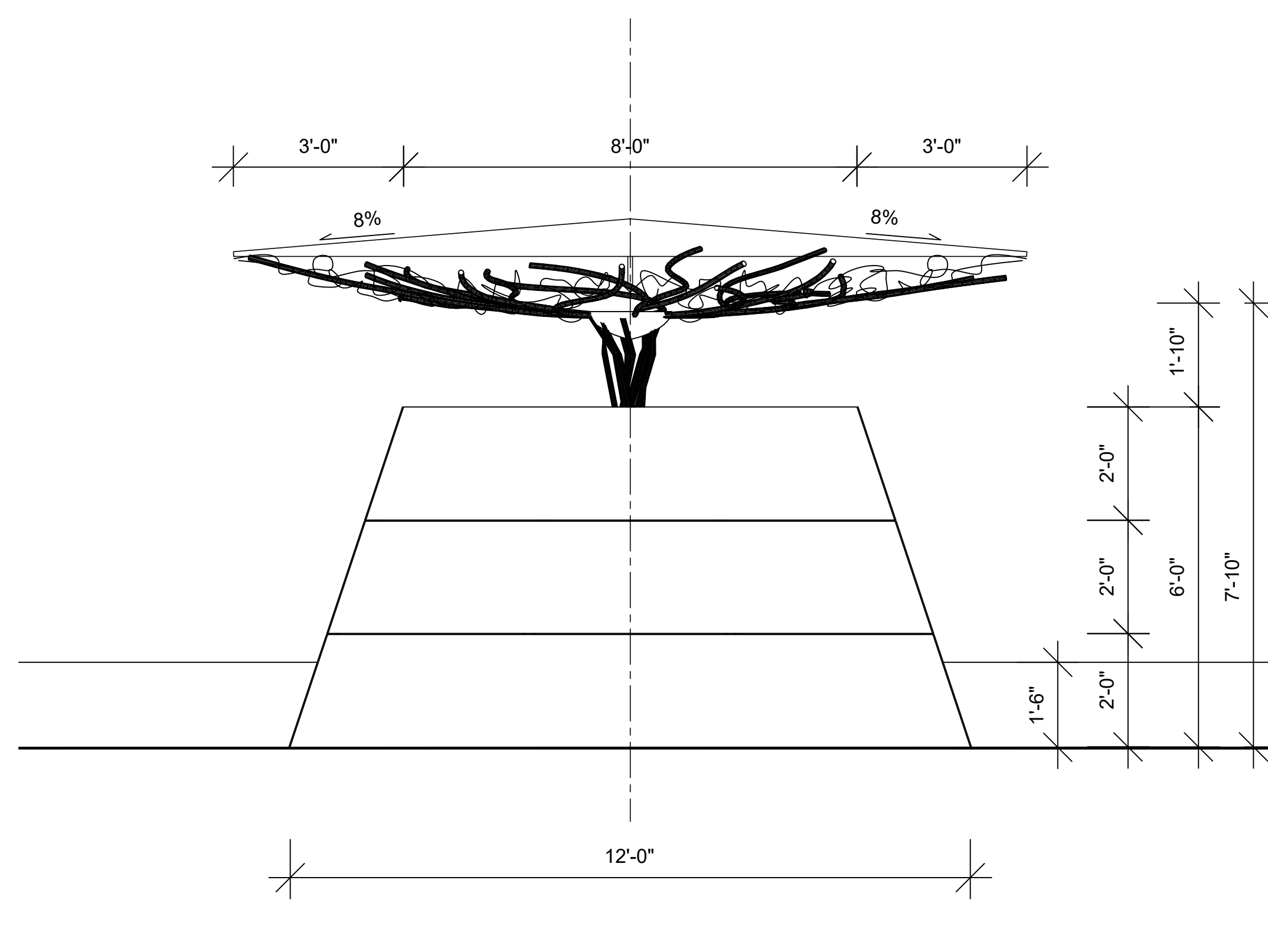
5 TYP. RIGHT ELEVATION  
1/2" = 1'-0"



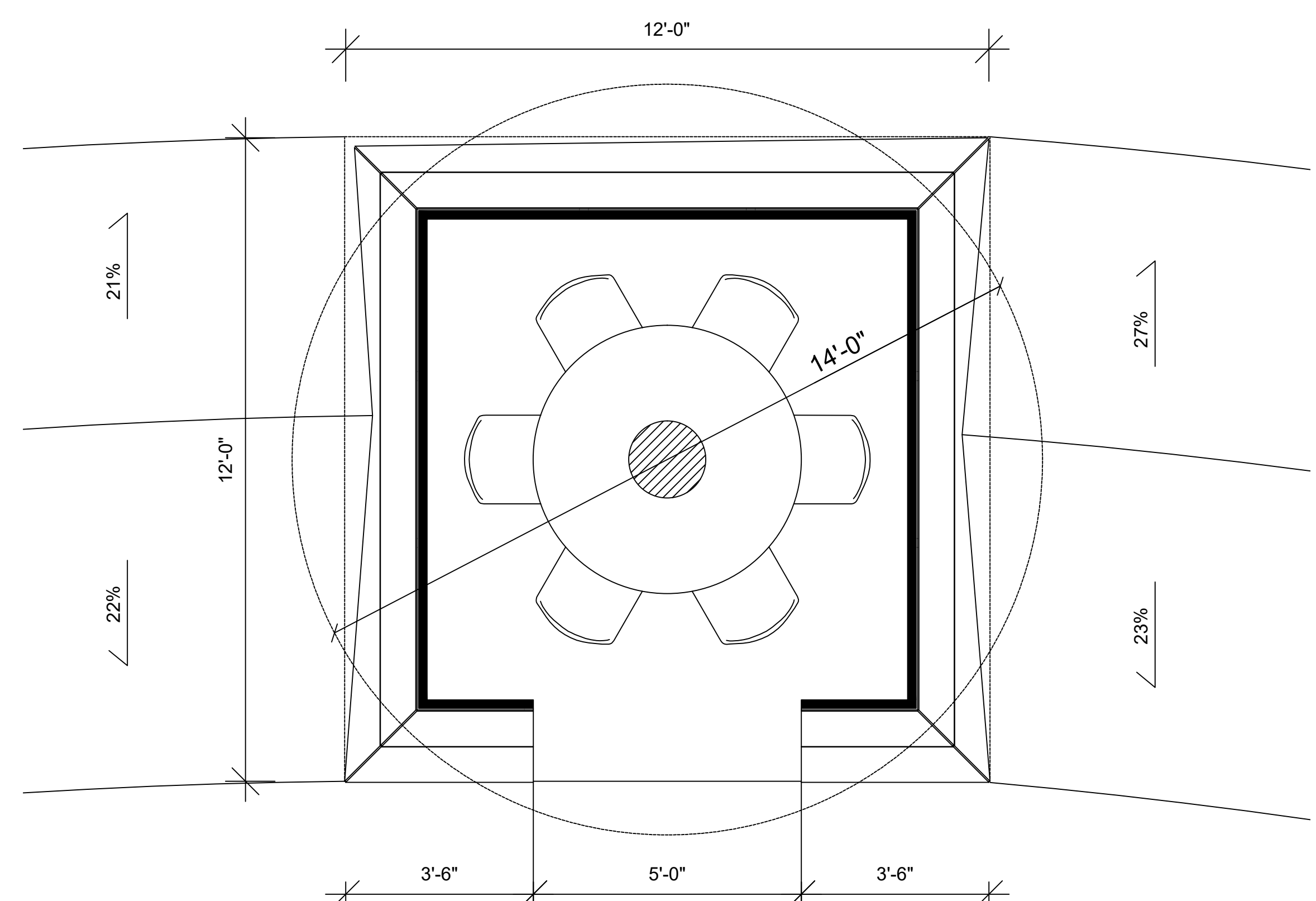
2 SEATING DETAIL  
1/2" = 1'-0"



6 TYP. FRONT ELEVATION  
1/2" = 1'-0"



4 TYP. REAR ELEVATION  
1/2" = 1'-0"

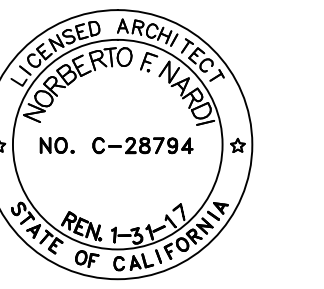


1 TYP. FLOOR PLAN  
1/2" = 1'-0"

Consultant:

Revisions:

No	Date	Description
1	02/12/2015	BCDC/BURLINGAME PRE-SUBMITTAL
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Scale:

1/2" = 1'-0"

Date: 08/03/2016

Drawn by: C. R. Project No:

Phase:

Sheet No:

**A4.1**

**Stepstone, Inc.**  
Pervious Pedestrian Pavers (3P)  
National Distribution

**CALARC**  
Architectural Precast Concrete Products

**3P**  
Today's hardscape designs demand permeable paving options. But the design options in permeable paving have been limited. Stepstone, Inc. is pleased to expand the design community's permeable paving options by offering our new Pervious Pedestrian Pavers (3P).

Honed surface reveals beautiful aggregates while maintaining slip resistance.

Form finished 3P delivers a tight surface matrix and 12 standard color options.

Optional side wall barrier removes concerns that joint material will migrate into voids. Enables an elegant finished ashlar pattern installation.

Available 3P Sizes:  
Thickness: 2 1/2" Nominal  
8" x 8"  
8" x 16"  
16" x 16"

Material: 3,000 PSI Hardrock Concrete Type III Cement

Colors Available:  
Granada White  
Santa Fe Buff  
French Gray  
Iceberg Green  
Almond  
Cafe Brown  
Espresso Brown  
Malibu  
Caramel  
Charcoal  
Agave Green  
Porcelain  
Brick Red

Finishes Available:  
Form Finish & Honed Finish

Paver Weight  
23 LBS PSF

Joint aggregate, provided by Stepstone, to maintain porosity and aesthetic appeal.

3P banded with Stepstone Large Scale Narrow Modular Pavers to create a decorative permeable paving surface. Finally a pervious paver that improves design options.

\*PLEASE NOTE: Our Pervious Pedestrian Pavers are made by hand from natural materials. Variations in color are to be expected. To confirm color, please refer to actual color concrete samples before placing order. Some minor chipping may result from shipping, but is not detrimental to appearance or function. All sizes are nominal.

CALL 800 572-9029 · GARDENA, CALIFORNIA · VISIT OUR WEBSITE WWW.STEPSTONEINC.COM

**PERVIOUS PEDESTRIAN PAVERS (3P)** **Stepstone, Inc.**  
Pervious Pedestrian Pavers (3P)  
National Distribution

Available 3P Sizes:  
Thickness: 2 1/2" Nominal  
8" x 8"  
8" x 16"  
16" x 16"

Material: 3,000 PSI Hardrock Concrete Type III Cement

Colors Available:  
Granada White  
Santa Fe Buff  
French Gray  
Iceberg Green  
Almond  
Cafe Brown  
Espresso Brown  
Malibu  
Caramel  
Charcoal  
Agave Green  
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Brick Red

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Form Finish & Honed Finish

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CALL 800 572-9029 · GARDENA, CALIFORNIA · VISIT OUR WEBSITE WWW.STEPSTONEINC.COM

**Stepstone, Inc.**  
**CALARC**  
LARGE SCALE  
NARROW MODULAR PAVERS  
ARCHITECTURAL PRECAST CONCRETE PRODUCTS

**Visit our Website**  
[stepstoneinc.com](http://stepstoneinc.com)

- Wall Cap
- Pavers
- Pool Coping
- Stair Treads
- Roof & Deck Pavers

Combine multiple colors and sizes to create your custom design.

**CalArc Colors\***

1400 Espresso Brown	1404 French Gray	1409 Malibu
1407 Cafe Brown	1413 Porcelain	1416 Brick Red
1418 Caramel	1411 Granada White	1405 Iceberg Green
1406 Almond	1403 Santa Fe Buff	1412 Agave

**Short Form Specification:**  
Product: Narrow Modular Paver - Large Scale  
Material: 5000 PSI Hardrock Concrete, Type III Cement

Sizes:  
6" x 12" x 2 1/2"    12" x 18" x 2 1/2"    24" x 36" x 2 1/2"  
6" x 18" x 2 1/2"    12" x 24" x 2 1/2"    24" x 48" x 2 1/2"  
6" x 24" x 2 1/2"    12" x 36" x 2 1/2"    24" x 48" x 2 1/2"  
6" x 36" x 2 1/2"    12" x 48" x 2 1/2"

\*Finish: Sandblast

See actual color concrete samples before ordering. Narrow Modular Pavers are hand formed of natural materials. Variations in color are to be expected. Some minor chipping may result from shipping, but is not detrimental to appearance or function. This material is copyrighted and is intended solely for the use of customers of Stepstone, Inc.

800.572.9029    STEPSTONEINC.COM

**Stepstone, Inc.**  
**CALARC**  
LARGE SCALE  
NARROW MODULAR PAVERS  
ARCHITECTURAL PRECAST CONCRETE PRODUCTS

**Visit our Website**  
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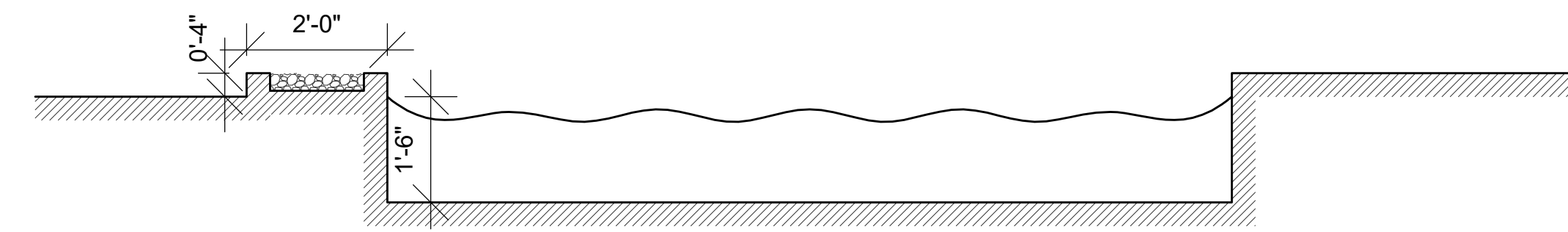
Sizes:  
6" x 12" x 2 1/2"    12" x 18" x 2 1/2"    24" x 36" x 2 1/2"  
6" x 18" x 2 1/2"    12" x 24" x 2 1/2"    24" x 48" x 2 1/2"  
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\*Finish: Sandblast

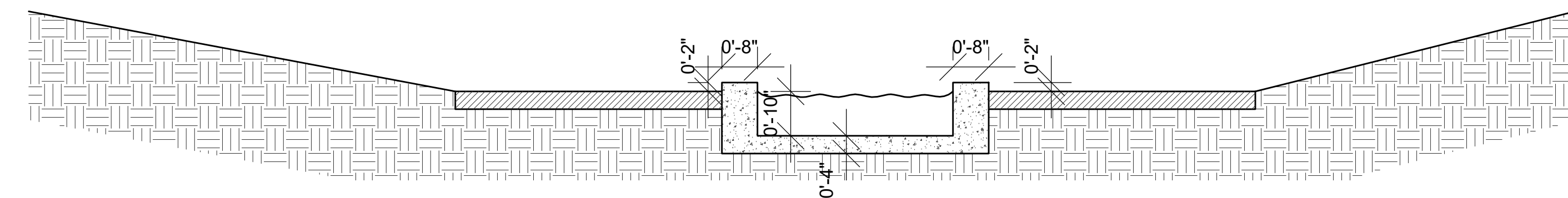
See actual color concrete samples before ordering. Narrow Modular Pavers are hand formed of natural materials. Variations in color are to be expected. Some minor chipping may result from shipping, but is not detrimental to appearance or function. This material is copyrighted and is intended solely for the use of customers of Stepstone, Inc.

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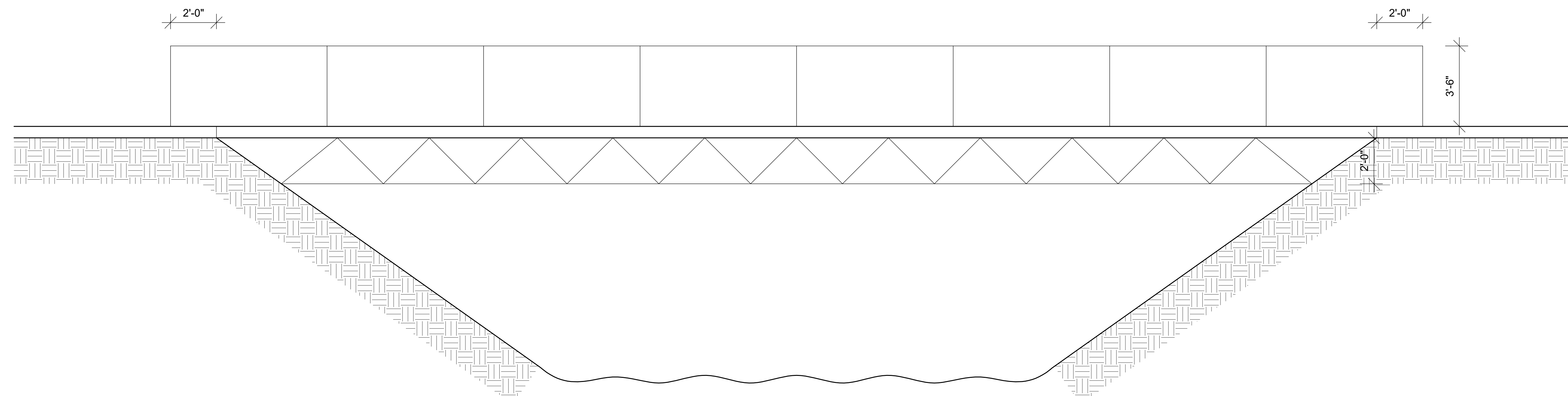
4 EXTERIOR PAVER



3 WATER FEATURE DETAIL 2  
1/2" = 1'-0"



2 WATER FEATURE DETAIL 1  
1/2" = 1'-0"



1 PEDESTRIAN BRIDGE DETAIL  
3/8" = 1'-0"

Consultant:

Revisions:

No.	Date	Description
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2	05/22/2015	1st SUBMITTAL
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4	02/22/2016	2nd Re-SUBMITTAL
5	08/03/2016	3rd Re-SUBMITTAL



Sheet Title:

**DETAILS**

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Scale:

N/A

Date: 08/03/2016

Drawn by: C. R. Project No:

Phase:

Sheet No:

**A6.00**

SAN FRANCISCO BAY

FIRE TRUCK TURNAROUND  
BE CLEAR OF ANY STRUCTURE  
WITH FIRE DEPARTMENT FIRE  
LANE MARKINGS/SIGNAGE

PEDESTRIAN PAVERS  
GRASS PAVERS TO  
SUPPORT FIRE TRUCK  
ONLY AT THIS GRASS  
LOCATION

PAVERS TO  
SUPPORT FIRE  
TRUCK

PEDESTRIAN  
PATH OF TRAVEL  
TO BE FULLY  
LEVEL FOR  
ACCESSIBILITY

BAYSHORE  
PARKING

RESTAURANT

RESTAURANT'S KITCHEN

STORAGE

LOADING ZONE

LOADING DECK

WASH ENCLOSURE

RECYCLING STORAGE

MECHANICAL ROOM

OFFICE

RAMP/PARKING

OUTDOOR PARKING

COMPACT PARKING

225 SF

ACCESSIBLE RAMP  
1:12 MAX SDLOPE

ACCESSIBLE RAMP  
1:12 MAX SDLOPE

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1:12 MAX SDLOPE

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1:12 MAX SDLOPE

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1:12 MAX SDLOPE

ACCESSIBLE RAMP  
1:12 MAX SDLOPE

ACCESSIBLE RAMP  
1:12 MAX SDLOPE

OLD BAYSHORE HWY

CROSSWALK

TYPICAL BORDER TO BE 3" THICK DECOMPOSED  
GRANITE, W/ 1/4" THICK STEEL EDGING AT  
PLANTER BORDERS.

OLD BAYSHORE HWY

EXISTING  
PAVED AREA  
TO REMAIN  
UNCOVERED

UNCOVERED  
AREA TO  
CANAL BELOW

PEDESTRIAN  
BRIDGE

DROP-OFF

ACCESSIBLE RAMP  
1:12 MAX SDLOPE

ACCESSIBLE RAMP  
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BUILDING "A"

BUILDING "B" RETAIL

BUILDING #2  
MAIN LOBBY

PLAZA

LOBBY

PLAZA

OFFICE

MECHANICAL ROOM

WATER FEATURE

PUBLIC SPACE - TBD

PUBLIC SPACE - TBD

PUBLIC SPACE - TBD

PUBLIC SPACE - TBD

PUBLIC SPACE - TBD

PUBLIC SPACE - TBD

PUBLIC SPACE - TBD

PUBLIC SPACE - TBD

PUBLIC SPACE - TBD

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PUBLIC SPACE - TBD

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PUBLIC SPACE - TBD

PUBLIC SPACE - TBD

PUBLIC SPACE - TBD

EASTON CREEK

FOUNTAIN

DASHED LINES INDICATE  
SUGGESTED 1-FOOT  
CONTOURS FOR SPIRAL  
BERMS AND BERMS AT OLD  
BAYSHORE DRIVE.

On-Site Landscape  
PROJECT ADDRESS 1300 Bayshore Highway  
MAWA Eto 44.79 Conversion 0.92 Adj Factor 0.7 Area 68,066 MAWA TOTAL 1,323,125  
GPY 1,323,125

PROJECT ADDRESS	IRRIGATED AREA	IRR METHOD	AREA-SF	% OF LANDSCAPE
Shrub-Rotary	Low	rotary	4,189	6.02%
Shrub-dripline	Low	dripline	9,358	13.44%
Tree	Low	bubbler	1,552	2.23%
Lawn	Med	rotary	5,129	7.37%
Mow Free	Low	rotary	36,445	52.35%
Juncus	Med	dripline	418	0.60%
Public Area	tbd	tbd	-	-
TOTAL IRRIGATED AREA			57,091	
NON-IRRIGATED AREA			4,863	6.70%
Fountain			7,864	11.30%
D.G.			12,527	
TOTAL NON-IRRIGATED AREA			20,391	
TOTAL SITE AREA			68,066	

MAWA	HYDROZONE	STATIONS	PLANT FACT.	H.A.-SF	I.E.	Eto	SUB-TOTAL
	Shrub-Rotary	0.3	4,189	70%		44.79	49,855
	Shrub-dripline	0.3	9,358	90%		44.79	86,623
	Tree	0.3	1,552	90%		44.79	14,368
	Lawn	0.5	5,129	70%		44.79	101,737
	Mow Free	0.3	36,445	70%		44.79	433,744
	Juncus	0.5	418	90%		44.79	6,449
	Public Area	0.85	-	70%		44.79	-
	Fountain	0.8	4,863	60%		44.79	172,854
			61,754	ANNUAL EWU-GALLONS			865,428

MODULAR PAVING PATTERN REPRESENTS A COMBINATION  
OF STEPSTONE CALARIC NARROW MODULAR PAVERS WITH  
CALARIC NARROW PERVIOUS MODULAR PAVERS. THE  
FINAL DESIGN WILL INCORPORATE APPROXIMATELY 80%  
PERVIOUS PAVERS WITH 20% NON-PERVIOUS PAVERS IN  
REPEATING PATTERN.



SPIRAL RINGS TO BE 3" THICK  
NEXPAVE STABILIZED  
DECOMPOSED GRANITE, W/ 1/  
4" THICK STEEL EDGING AT  
PLANTER BORDERS.



PERVIOUS PEDESTRIAN PAVERS (CPI) by Restore, Inc.

COMBINATION OF PERVIOUS PAVERS (80%) AND  
MODULAR PAVER (20%) IN SOUTH PARKING AREA.  
PATTERN TO MATCH/COMPLIMENT MAIN PAVING AREAS.

- PRELIMINARY PLANT MATERIAL LIST
- OPRESSUS MACROCARPA MONTEREY CYPRESS EVERGREEN CONIFER
  - PINUS TORREYANA TORREY PINE EVERGREEN CONIFER
  - LYONOTHAMNUS F. "ASPLENIFOLIUS" EVERGREEN TREE
  - SEQUOIA SEMPERVIRENS "APTOS BLUE" EVERGREEN TREE
  - PLATANUS RACEMOSA SYCAMORE EVERGREEN TREE
  - MELALEUCA NESOPHYLLA PINK MELALEUCA EVERGREEN TREE
  - JUNIPERUS SP. "SKYROCKET" EVERGREEN TREE
  - LAVATERA ASSERGETIFLORA TREE MALLOW EVERGREEN TREE
  - CERCIS OCCIDENTALIS REDBUD STANDARD FORM DECIDUOUS TREE
  - GALVESIA JUNCEA "FIRECRACKER" DECIDUOUS TREE
  - ARCTOSTAPHYLOS DENISFLORUS "HOWARD MCMINN" DECIDUOUS TREE
  - ARCTOSTAPHYLOS SP. "EMERALD CARPET" MOW TO 4" NATIVE GRASSES
  - NATIVE BENTGRASS DELTA BLUEGRASS MOW TO 4" NATIVE GRASSES
  - ACHILLEA MILEFOLIUM; MELICA SP.; BOULTELOUA G. 4"-24" TALL NATIVE PERENNIAL & BUNCH GRASS
  - LEYMUS CONDENSATUS "CANYON PRINCE" 18-30" TALL NATIVE BUNCH GRASSES
  - NASELLA CERNUA NODDING STIPA 12"-24" TALL NATIVE BUNCH GRASSES
  - FESTUCA IDAHOENSIS "SISKIYOU BLUE" 12"-24" TALL NATIVE BUNCH GRASSES
  - SATUREIA D. YERBA BUENA; LESSINGIA "SILVER CARPET"; ERIGERON SP. MIXED 4"-18" EVERGREEN GROUND COVERS
  - CAREX PRAEGRACILIS MEADOW GRASS 4"-12" EVERGREEN GROUND COVER
  - JUNCUS PATENS "ELK BLUE" 18" EVERGREEN STIFF GRASS
  - LOCAL SOURCE BOULDERS 60" 48" 30"

NARDI ASSOCIATES LLP  
Architecture Urban Design Interiors

805 S. Shamrock Avenue  
Marina, California 94116  
T.626.599.1776 F.626.599.9399

SFO @  
TECHNOLOGY  
CENTER

1300 Old Bayshore Hwy  
Burlingame, California

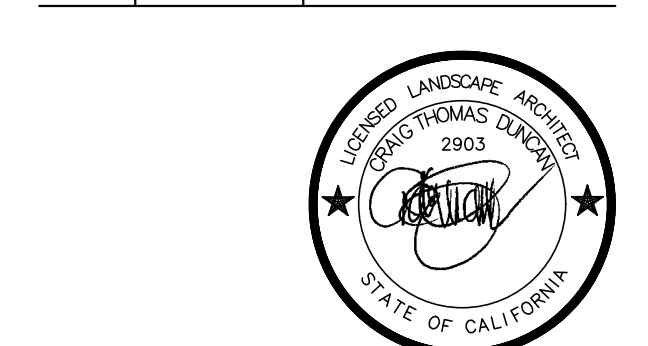
Fox Bayshore Investments, LL  
1528 S El Camino Real, Suite 110  
San Mateo, California 94402

Consultant:

silver bar studio  
landscape architecture  
environmental design  
mariposa, ca.

Revisions:

No	Date	Description
1	02/12/2015	BCDC/BURLINGAME PRE-SUBMITTAL
2	05/22/2015	1st SUBMITTAL



Sheet Title:  
100% LANDSCAPE  
DESIGN DEVELOPMENT

Key Plan:

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Scale:  
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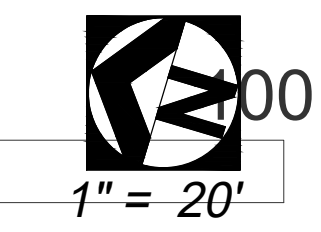
Date:  
02AUG2016

Drawn by:  
CTD

Phase:  
Phase:

Sheet No:  
LD1

10 25 50



1" = 20'

