

CAROLAN AVENUE / ROLLINS ROAD

PROJECT TEAM

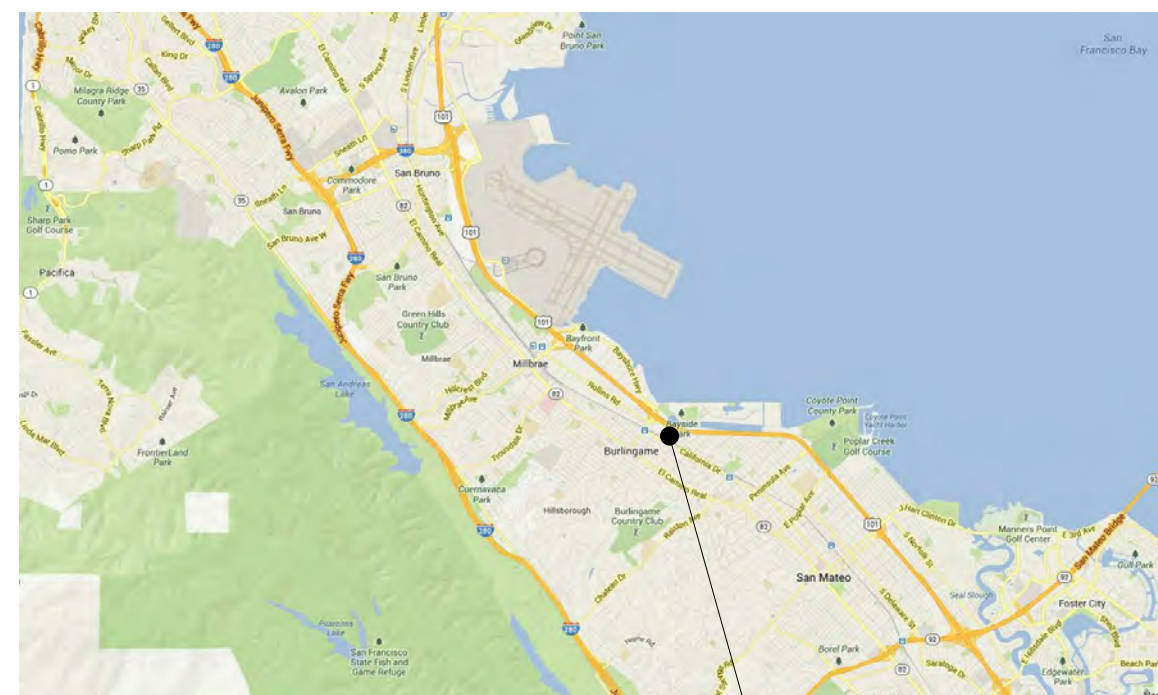
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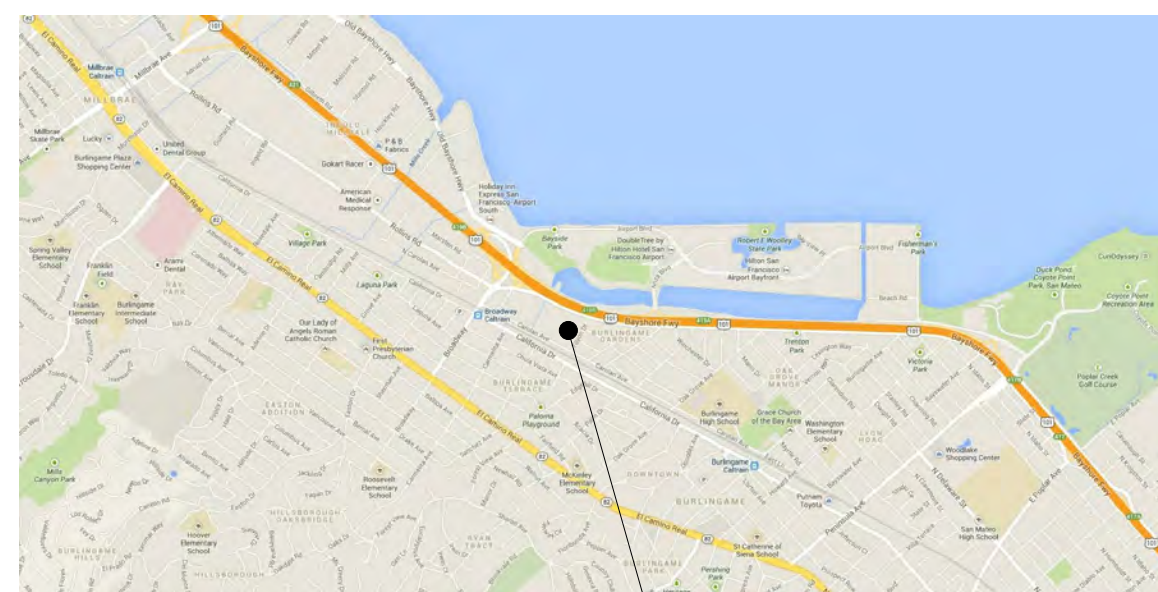
LANDSCAPE ARCHITECT
THE GUZZARDO PARTNERSHIP
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AREA MAP



PROJECT SITE

VICINITY MAP



PROJECT SITE

PROJECT INFORMATION

ADDRESS: 1008-1028 CAROLAN AVENUE &
1007-1025 ROLLINS ROAD
APNs: 026-240-290; 026-240-340; 026-240-360; 026-240-370
ZONING: C2 - CAROLAN/ROLLINS COMMERCIAL AREA
- R4 OVERLAY ZONE
LOT AREA: 5.40 ACRES / 235,030 SF
LOT WIDTH: 349'-6" (CAROLAN)
404'-4" (ROLLINS)

LOT COVERAGE: 49.93%
DENSITY: 53.7 DU/ACRE

MAX. HEIGHT AS
MEASURED FROM CURB: 61'-6" (APARTMENT)
34'-4" (TOWNHOMES)

SETBACKS: SEE SETBACK DIAGRAM ON SHEET A5.1.2

APARTMENT UNIT SUMMARY

UNIT	UNIT TYPE	S.F.	#	MIX
1A	1 BR	791	11	4.1%
1B	1 BR	792	114	42.9%
1C	1BR+DEN	874	1	0.4%
1D	1 BR	935	1	0.4%
1E	1BR	693	5	1.9%
1F	1 BR+DEN	829	9	3.4%
1G	1 BR (DELUXE)	1037	4	1.5%
1H	1 BR	1008	4	1.5%
2A	2 BR	1120	71	26.5%
2B	2 BR	1210	19	6.4%
2C	2 BR	1034	1	0.4%
2D	2 BR	1022	10	3.7%
2E	2 BR	1180	9	3.4%
2F	2 BR	1264	1	0.4%
3A	3 BR	1396	8	3.0%

1BR	149	56%
2BR	111	41%
3BR	8	3%
TOTAL UNITS	268	

UNIT AREA: 256,720 SF
CIRCULATION/AMENITY AREA: 93,265 SF
TOTAL APARTMENT AREA: 349,985 SF
GARAGE AREA: 195,815 SF
TOTAL BUILDING AREA: 545,800 SF

TOWNHOUSE UNIT SUMMARY

UNIT	UNIT TYPE	S.F.	#
TH A	2 BR	1507	6
TH B	3 BR	1890	8
TH C	3 BR+	2226	7
TH CI	3BR+	2115	1
TOTAL			22

TOWNHOUSE RESIDENTIAL AREA: 41,859 SF
TOWNHOUSE GARAGE AREA: 12,811 SF
TOTAL TOWNHOUSE BUILDINGS AREA: 54,670 SF

TYPE OF CONSTRUCTION

APARTMENTS: GARAGE: TYPE I
RESIDENTIAL TYPE V-A
TOWNHOMES: TYPE V-B

OCCUPANCY CLASSIFICATIONS

R-2 RESIDENTIAL
A-3 POOL/COURTYARD, LOUNGE, FITNESS
S-2 PARKING GARAGE

APARTMENT PARKING REQUIRED: 466
1.5 PER 1 BR
2 PER 2BR
2.5 PER 3BR

APARTMENT PARKING PROVIDED:
AT GRADE: 4
IN GARAGE: 462
TOTAL: 466

TOWNHOUSE PARKING REQUIRED: 58
2 PER 2 BR
2.5 PER 3BR +
3 GUEST
3 HC OFFSET

TOWNHOUSE PARKING PROVIDED:
AT GRADE: 6
AT GARAGE: 52
TOTAL: 58

TOTAL PARKING PROVIDED: 524

EV CHARGING STATIONS / OUTLETS:

APARTMENTS: AT BUILDOUT: 4
FUTURE: 10
TOTAL: 14 (5%)

TOWNHOUSES: FUTURE: 22 (100%)

SEE SHEET A1.1 FOR MORE INFORMATION.

BIKE PARKING PROVIDED:
SECURED ROOM: 134
GUEST SPACES: 10

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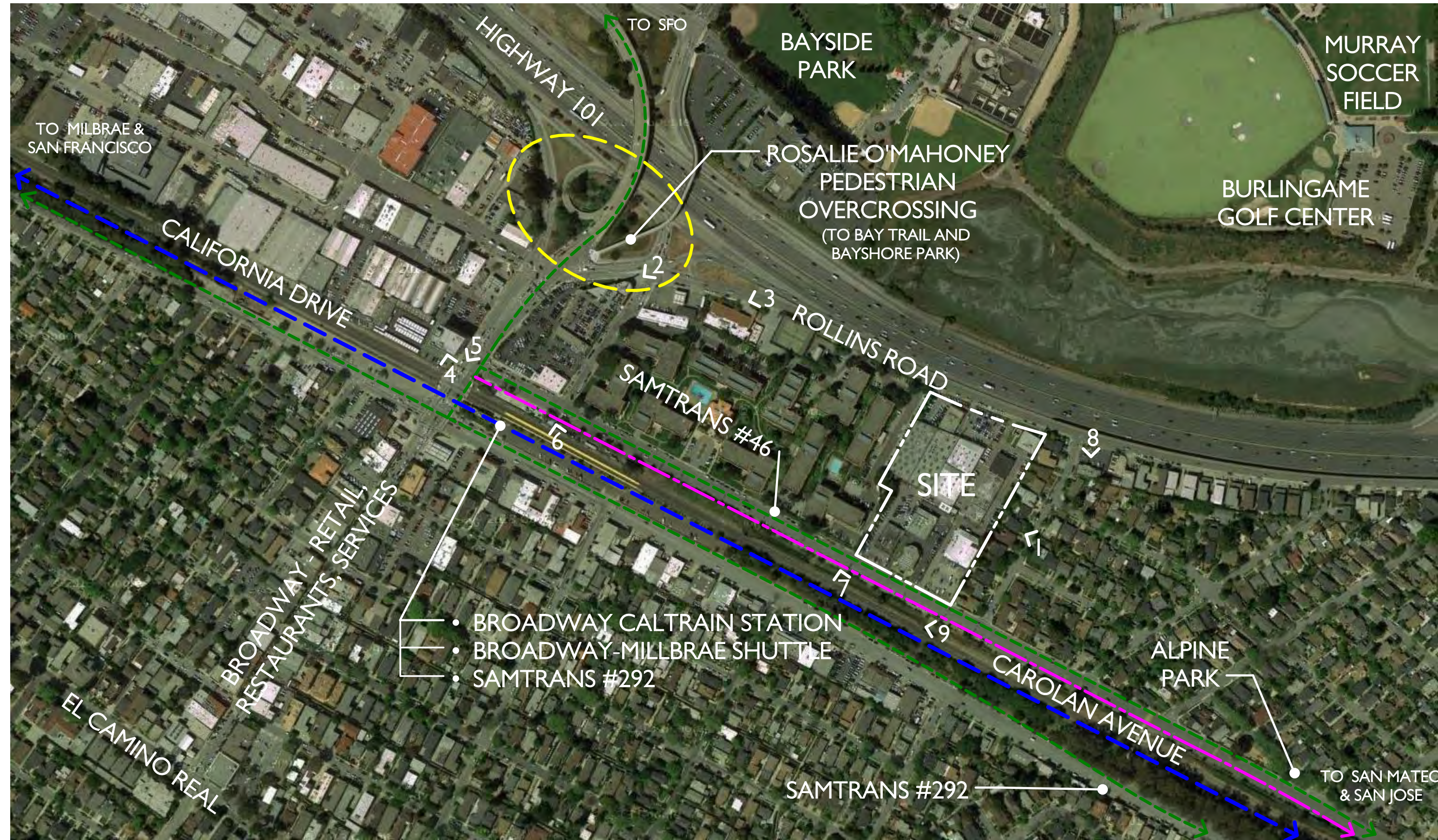
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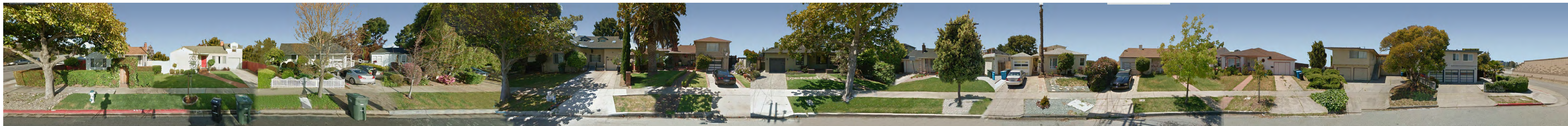
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-  FUTURE DEDICATED BIKE LANE
 -  SAMTRANS ROUTES
 -  CALTRAIN ROUTE
 -  US 101 / BROADWAY INTERCHANGE RECONSTRUCTION PROJECT



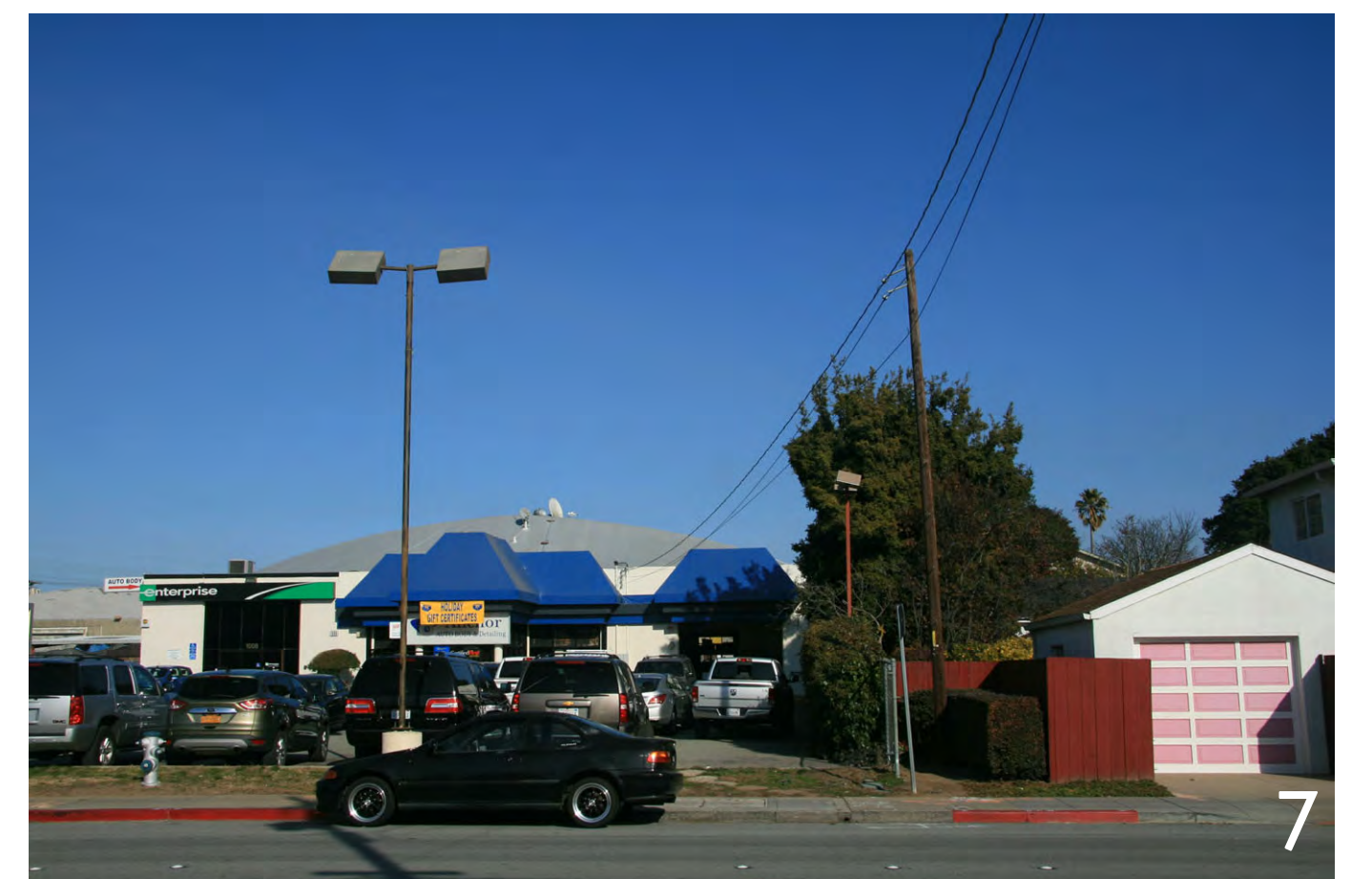
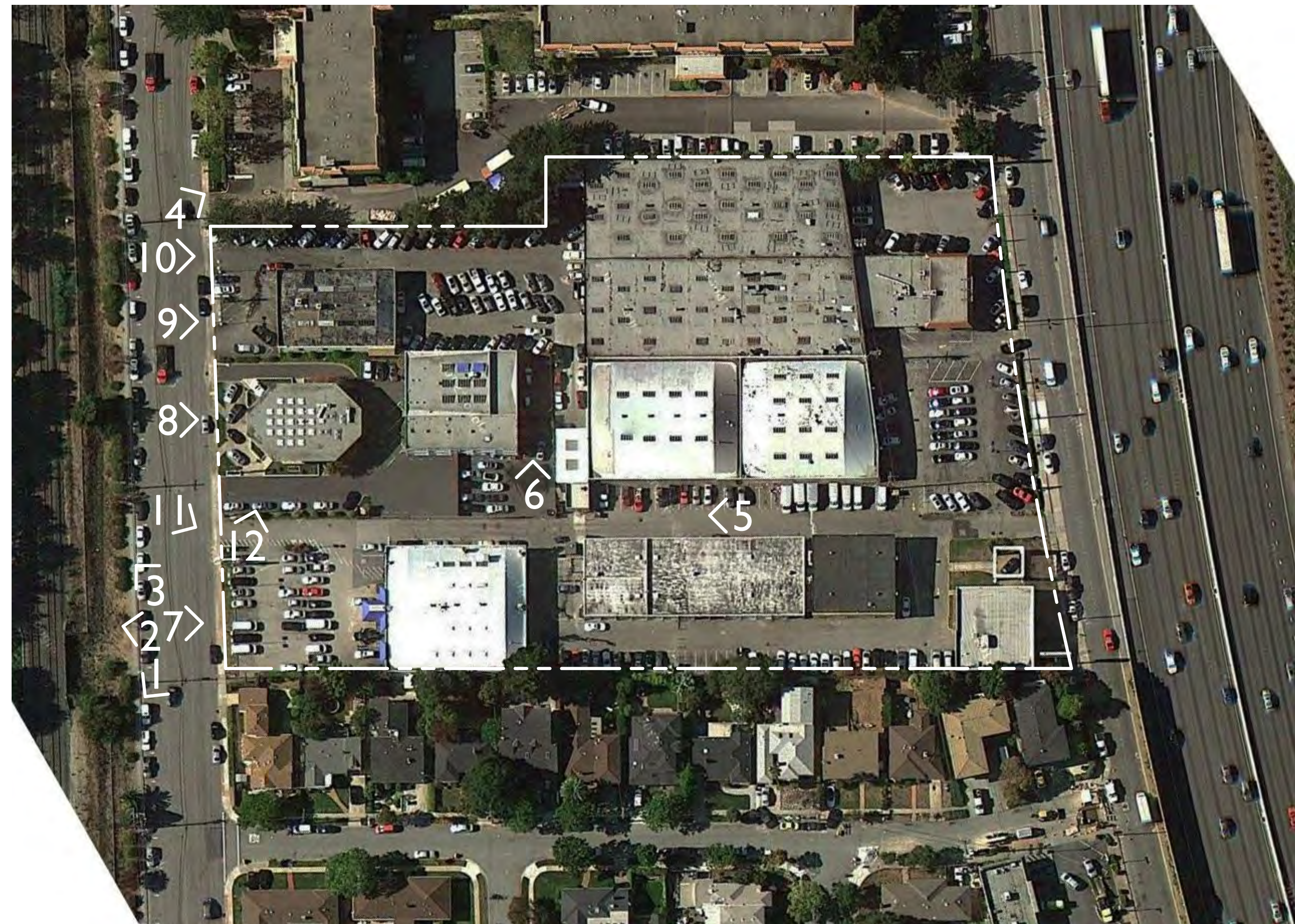
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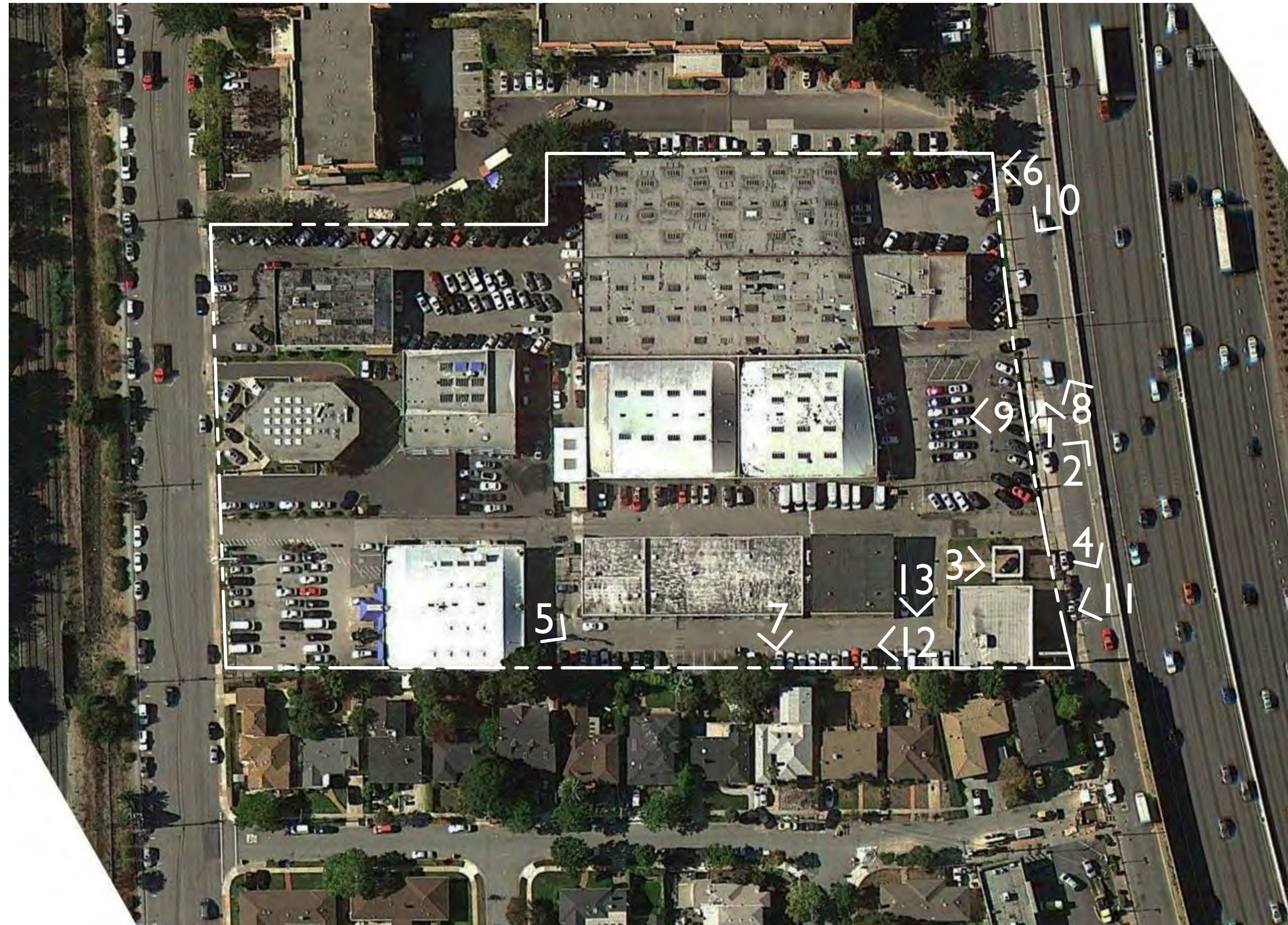
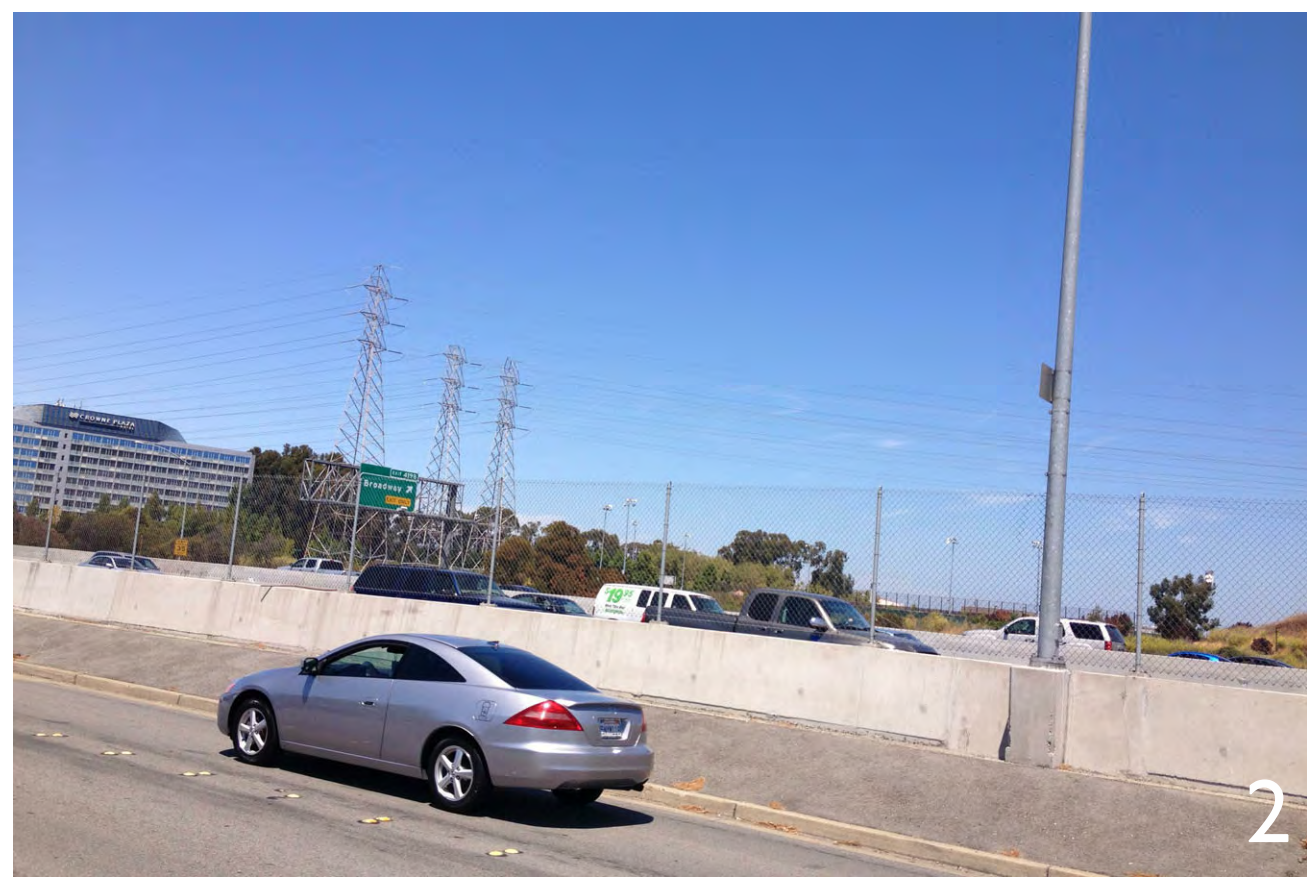
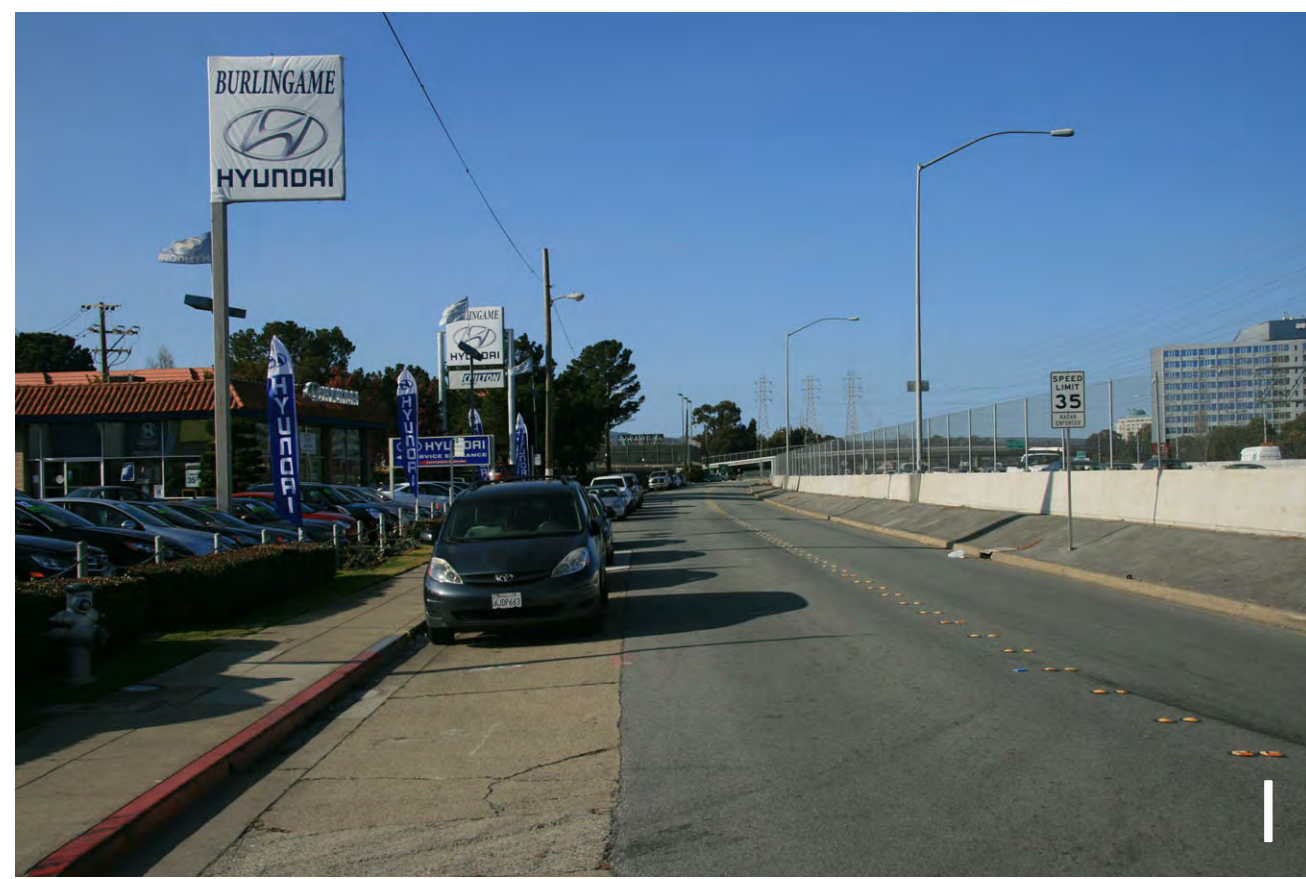


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R-4 (510 APARTMENT UNITS)

CAROLAN / ROLLINS COMMERCIAL
AREA - R-4 RESIDENTIAL OVERLAY
ZONE 75' MAX. HEIGHT OR
6 STORIES WITH CUP

100' ZONE - 36' MAX. HEIGHT OR 2-1/2 STORIES W/ SP

20' SETBACK

R-1 SINGLE FAMILY RESIDENTIAL

R-3 MULTI
FAMILY

RETAIL

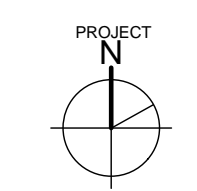
TOYON DRIVE

CAROLAN AVENUE

ROLLINS ROAD



* REFER TO LANDSCAPE SHEETS L 1.1 AND L 1.2 FOR LEGEND INFORMATION





VIEW FROM CAROLAN AVE



VIEW FROM PEDESTRIAN PASEO



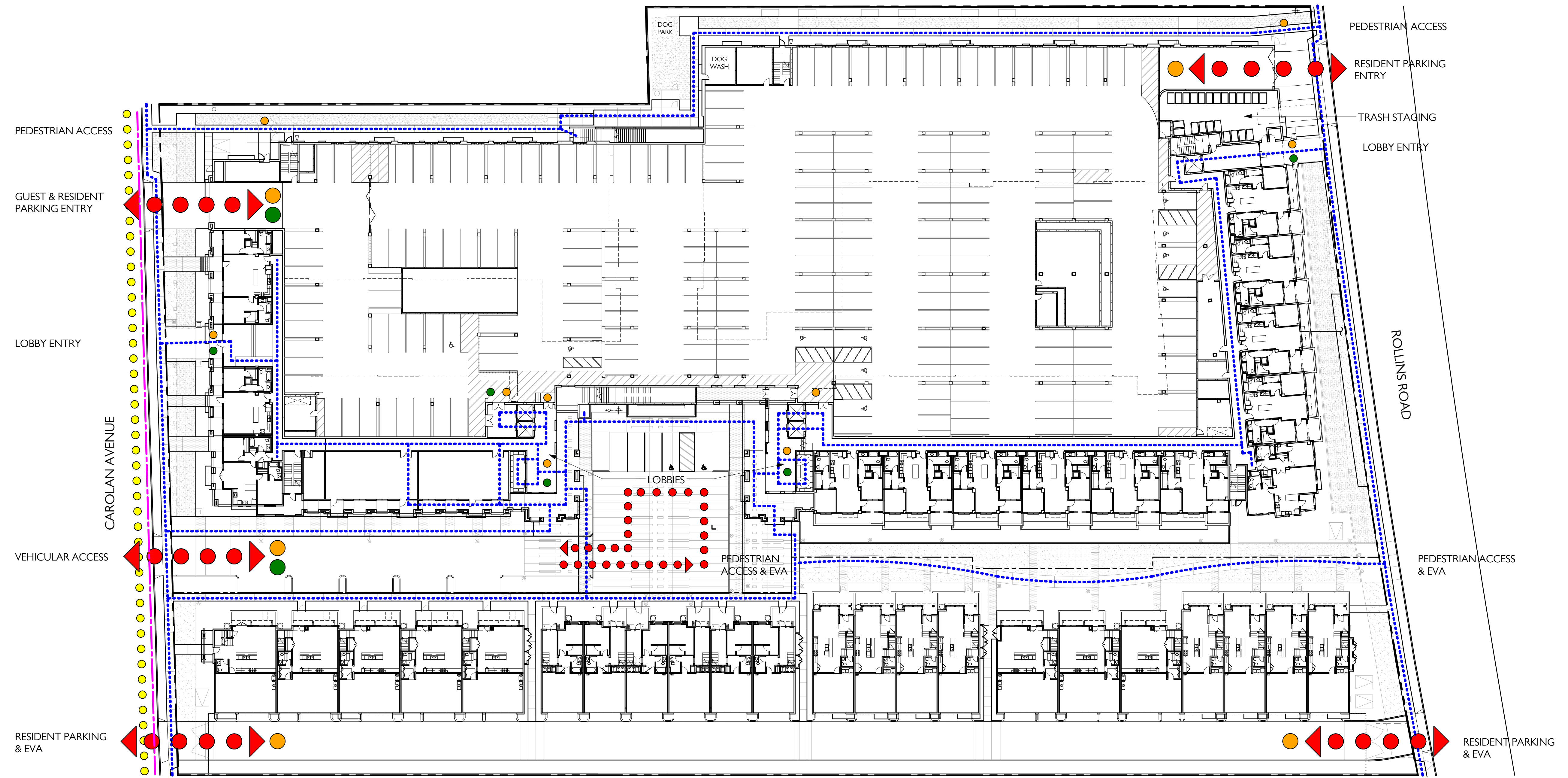
VIEW FROM ROLLINS ROAD



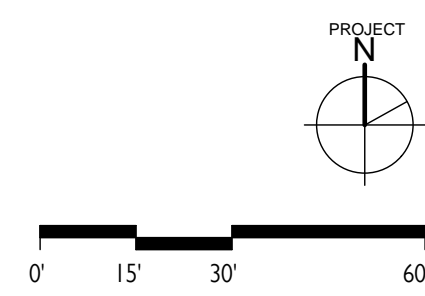
VIEW FROM ARRIVAL COURT



VIEW OF CAROLAN AVE. ENTRANCE

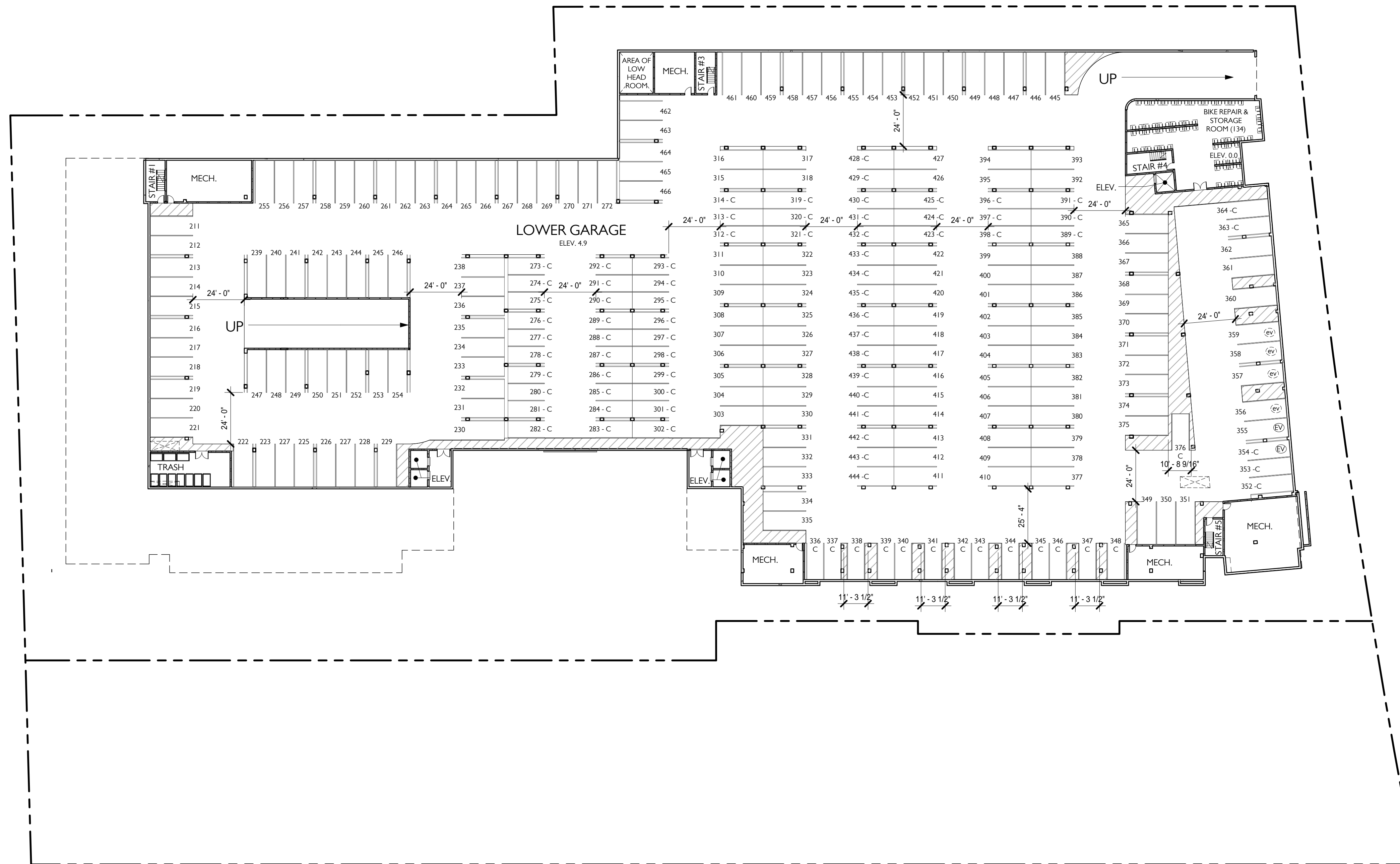


- - - - - PEDESTRIAN ROUTE
- ● ● ● ● BUS ROUTE
- ◀ ● ● ● ● ● ▶ VEHICULAR ACCESS ROUTE
- RESIDENT ENTRANCE/EXIT - AUTO
- RESIDENT ENTRANCE/EXIT - PEDESTRIAN
- GUEST ENTRANCE/EXIT - AUTO
- GUEST ENTRANCE/EXIT - PEDESTRIAN
- - - - - FUTURE DEDICATED BIKE LANE

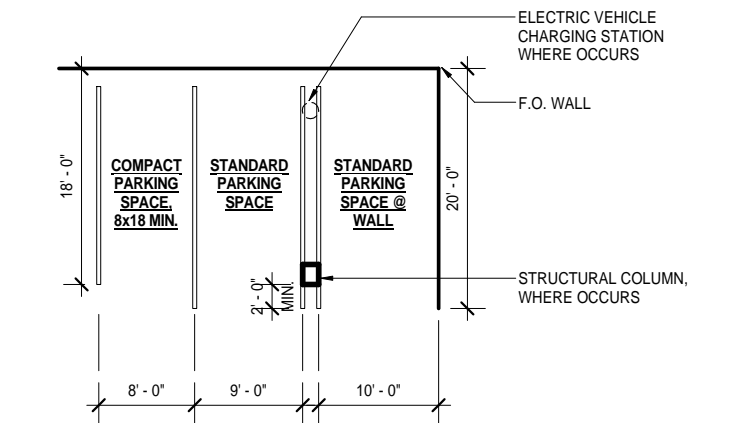


Parking Provided				
	Number	Accessible Spaces Req	EV Charging Stations	Callout
Townhouse			1 (Future) per Townhouse	T-1 thru T-58
Assigned	52			T-1 thru T-52
Unassigned	6			T-53 thru T-58
ACC. req. @ 5%		1		T-58
Townhouse Total	58		22 (Future)* (100%)	
Apartments			4 + 10 Future**	1 thru 31
Unassigned	31		(5% Total)	1 & 22
ACC. req. @ 5%	435	2		32 thru 466
Assigned		9		60, 94, 117 thru 119, & 183 thru 186
ACC. Req. @ 2%				
Apartment Total	466			

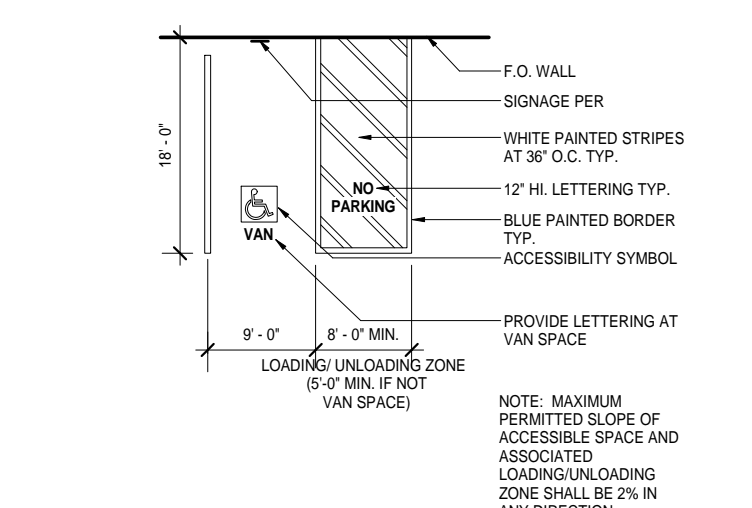
* Each Townhouse will be prepared for an optional 240V charging outlet and the electrical supply will be sized for the required load.
 ** Conduit will be supplied to future Apartment charging station locations and the electrical supply will be sized for the required load.



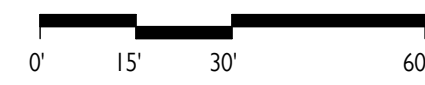
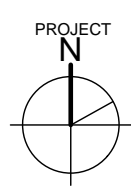
NOTE: PARKING SPACE NUMBERING IS AS FOLLOWS:
 1, 2, 3... = APARTMENT BUILDING
 T-1, T-2, T-3... = TOWNHOUSES
 CS = CARSHARE SPACE
 EV = ELECTRIC VEHICLE CHARGING STATION
 (EV) = FUTURE CHARGING STATION LOCATION

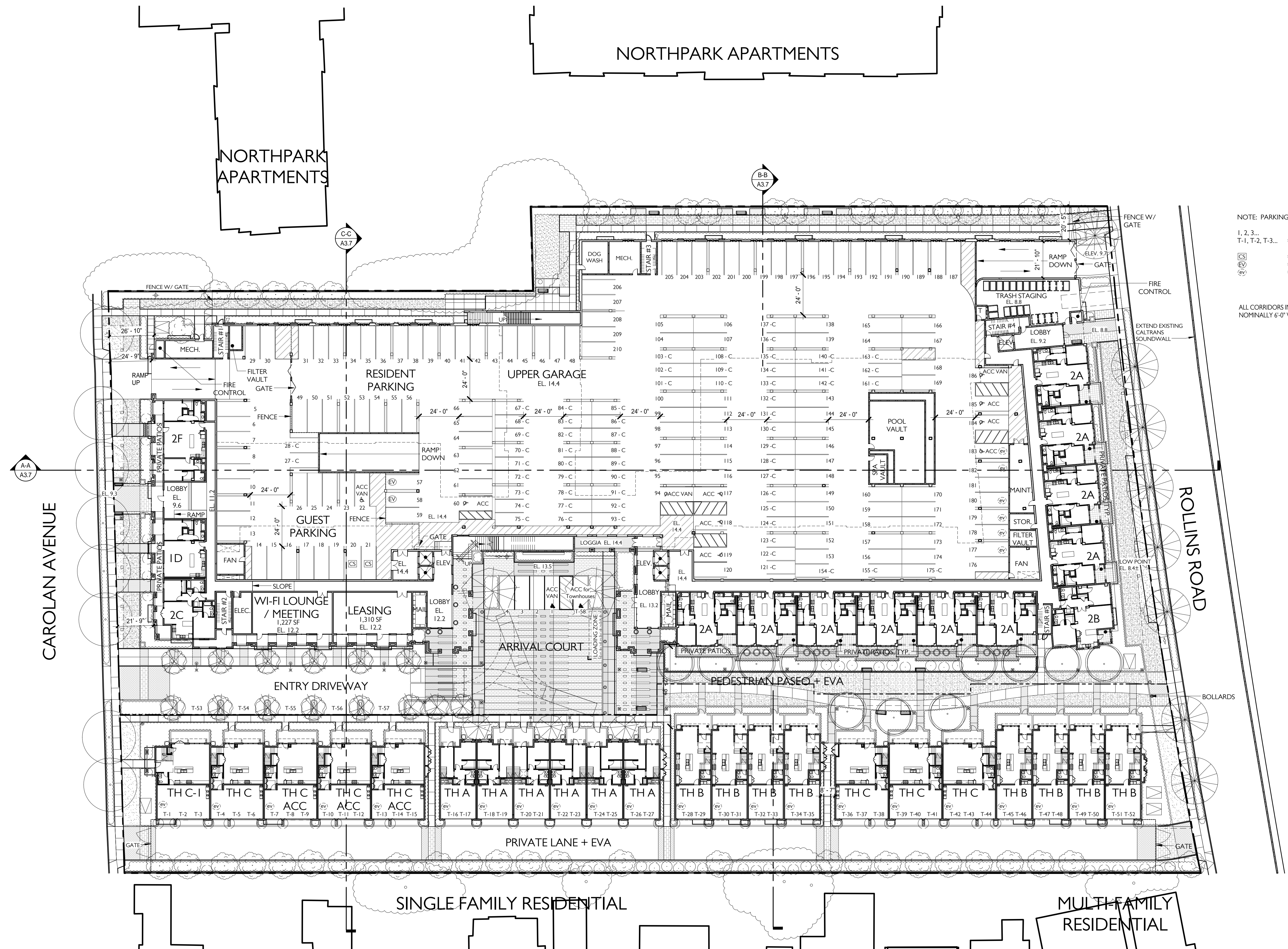


TYPICAL PARKING DIMENSIONS



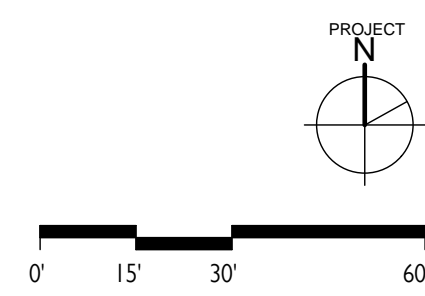
ACCESSIBLE PARKING SPACES

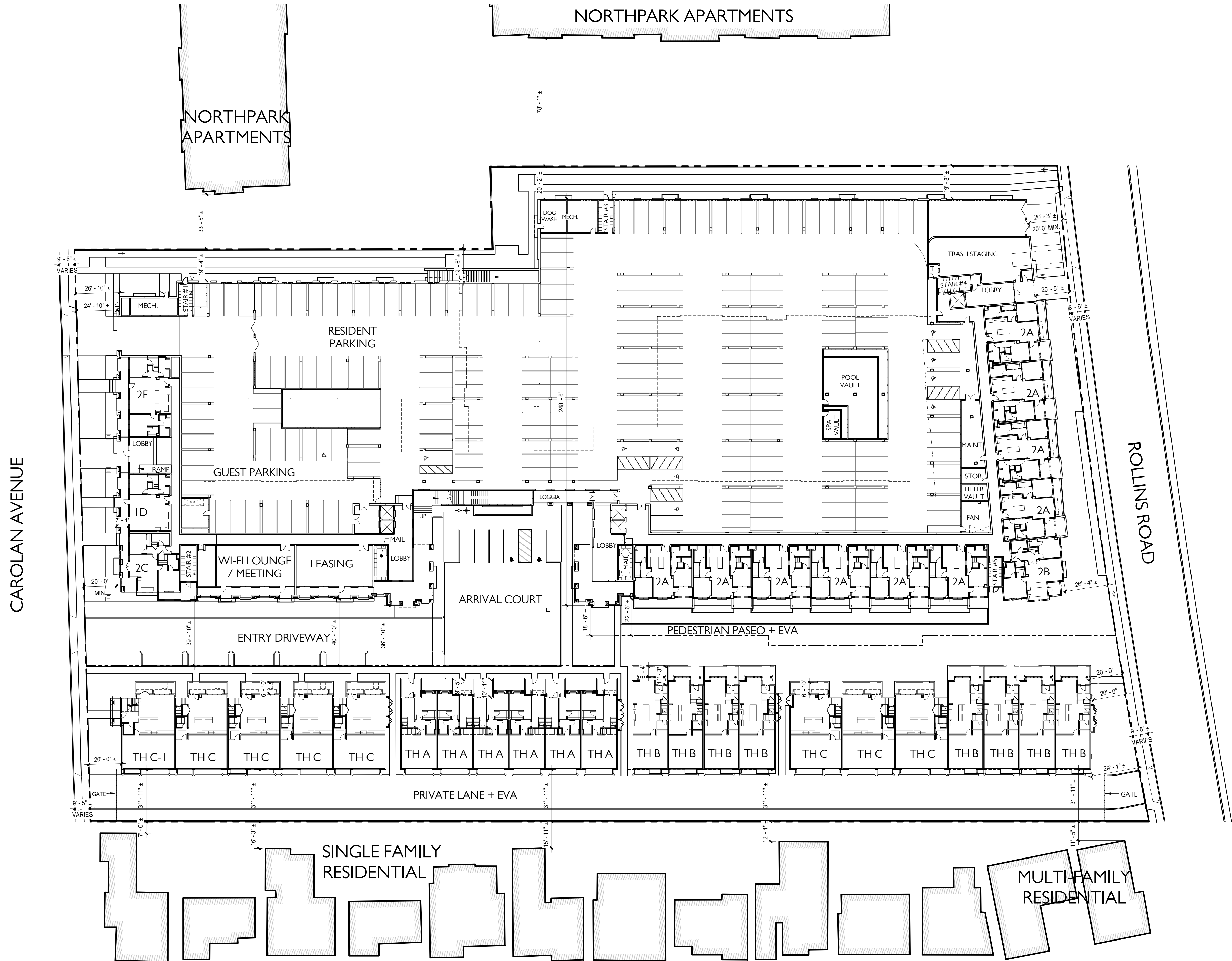




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 EV = ELECTRIC VEHICLE CHARGING STATION
 EV = FUTURE CHARGING STATION LOCATION

ALL CORRIDORS IN APARTMENT BUILDINGS ARE NOMINALLY 6'-0" WIDE.





CAROLAN AVENUE

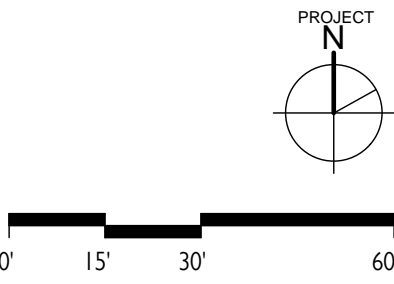
ROLLINS ROAD

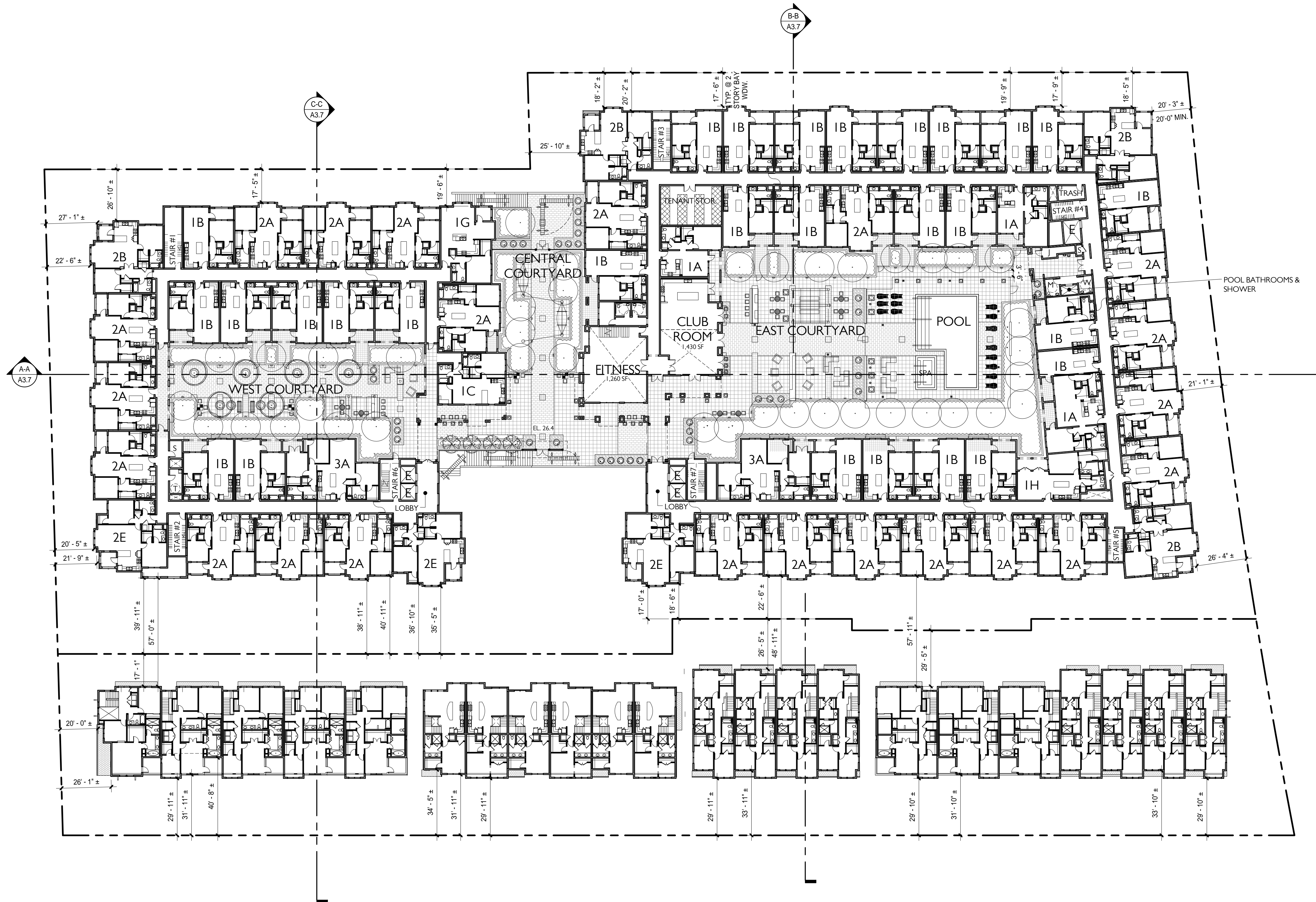
NORTHPARK APARTMENTS

NORTHPARK APARTMENTS

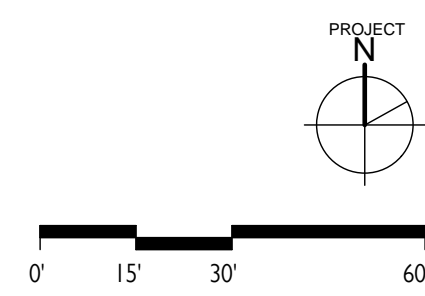
SINGLE FAMILY RESIDENTIAL

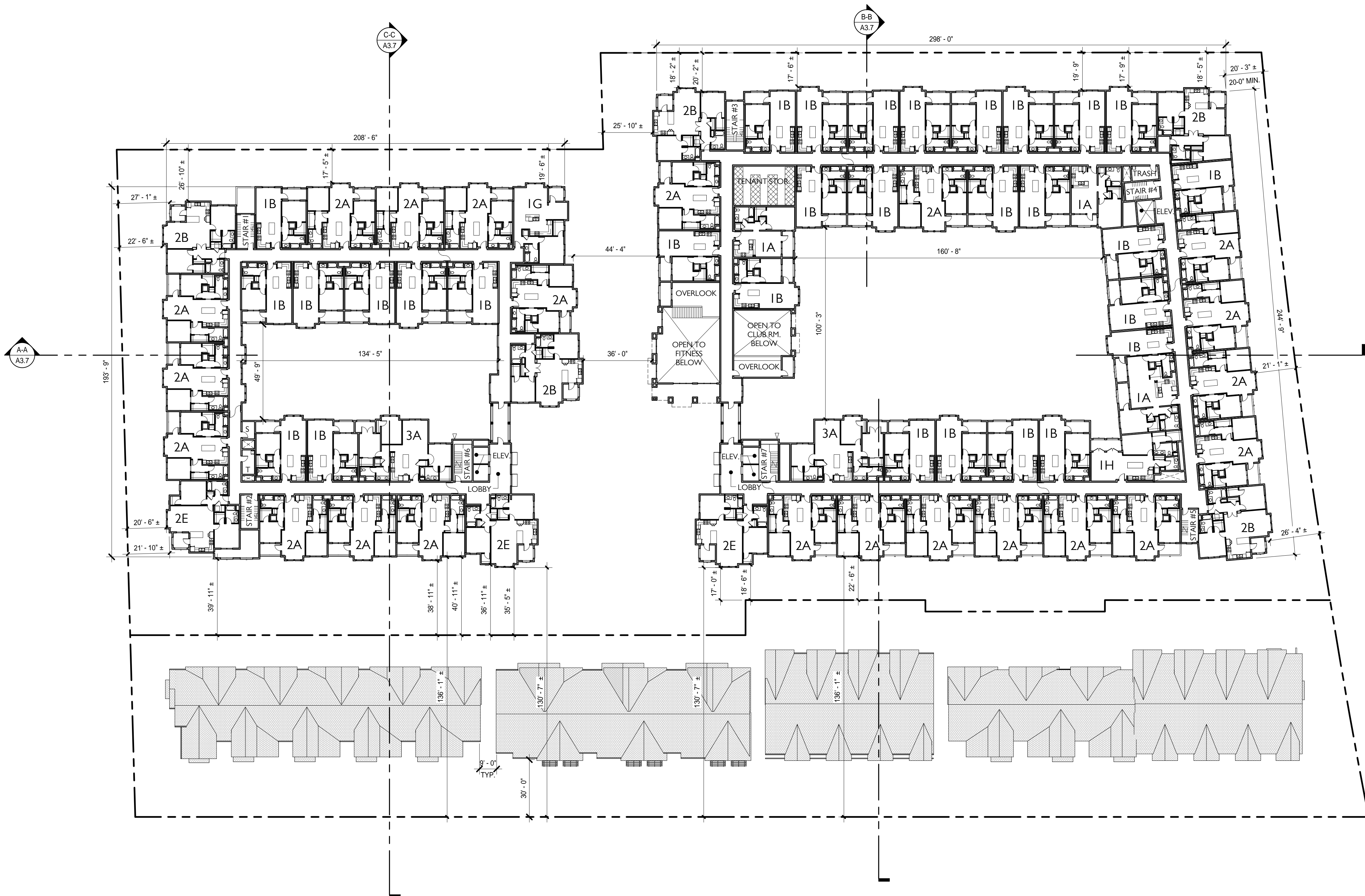
MULTI-FAMILY RESIDENTIAL



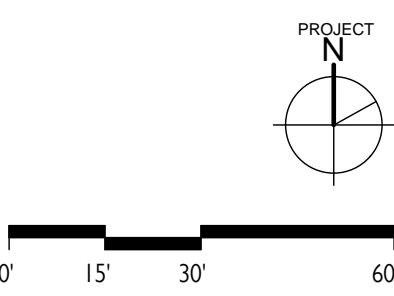


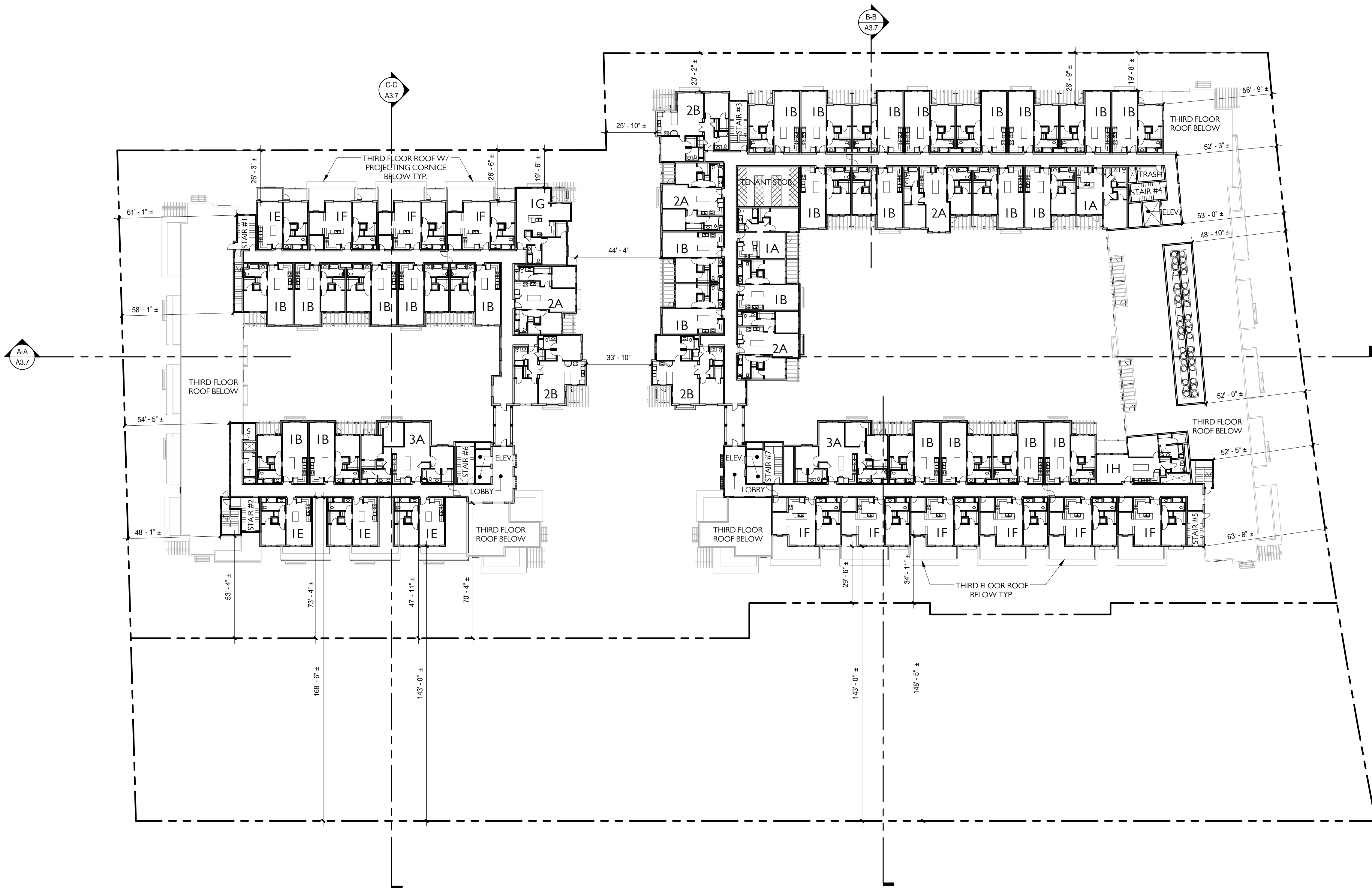
NOTE: ALL CORRIDORS IN APARTMENT BUILDINGS ARE NOMINALLY 6'-0" WIDE.



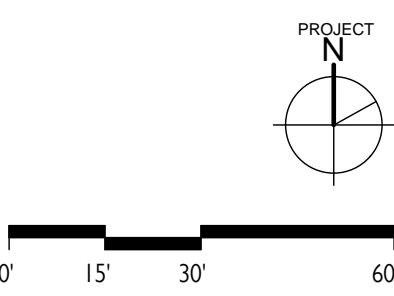


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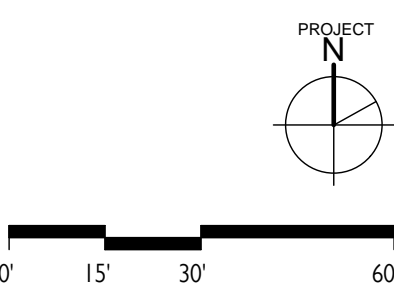
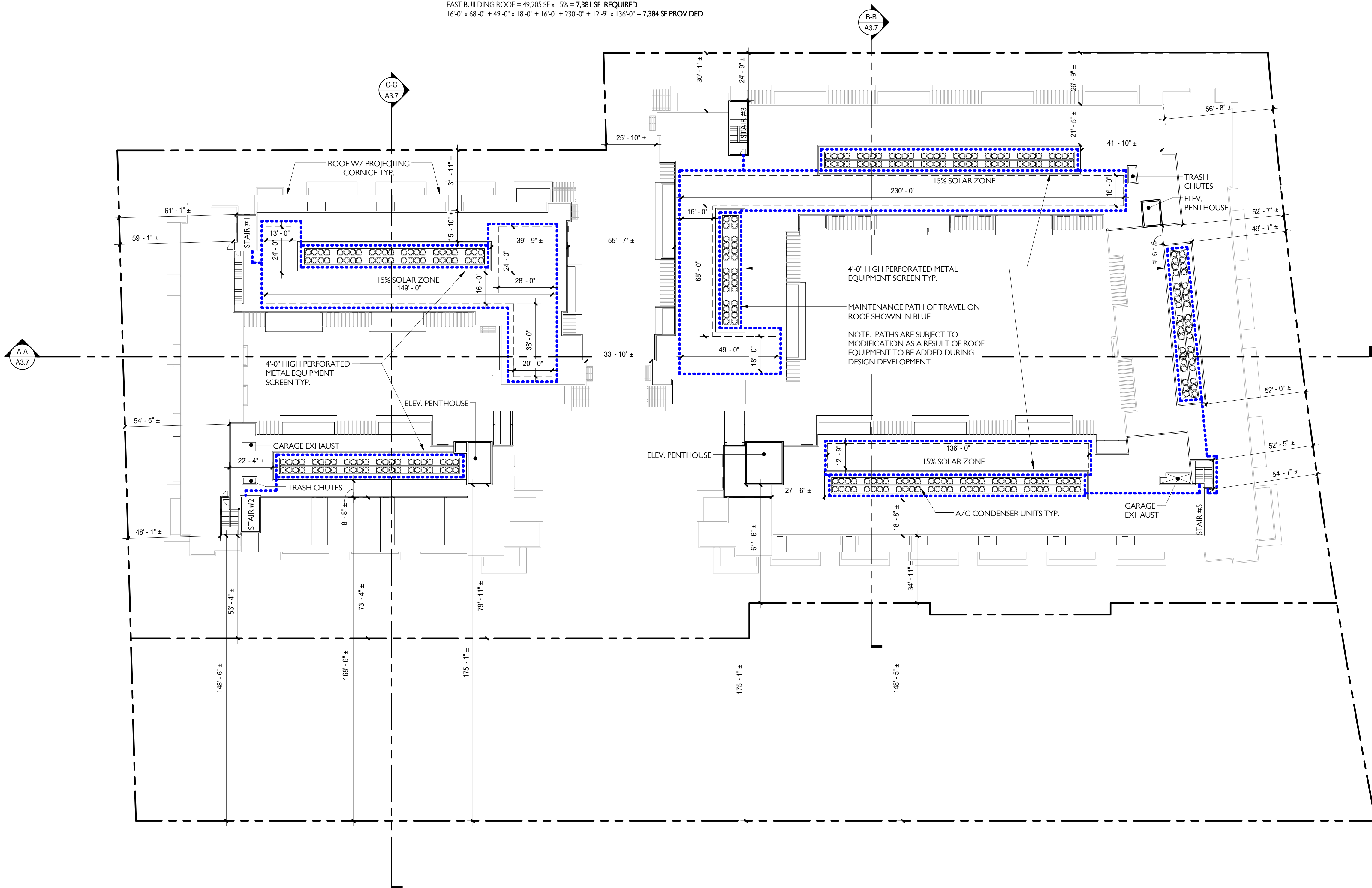
NOTE: ALL CORRIDORS IN APARTMENT BUILDINGS ARE NOMINALLY 6'-0" WIDE.

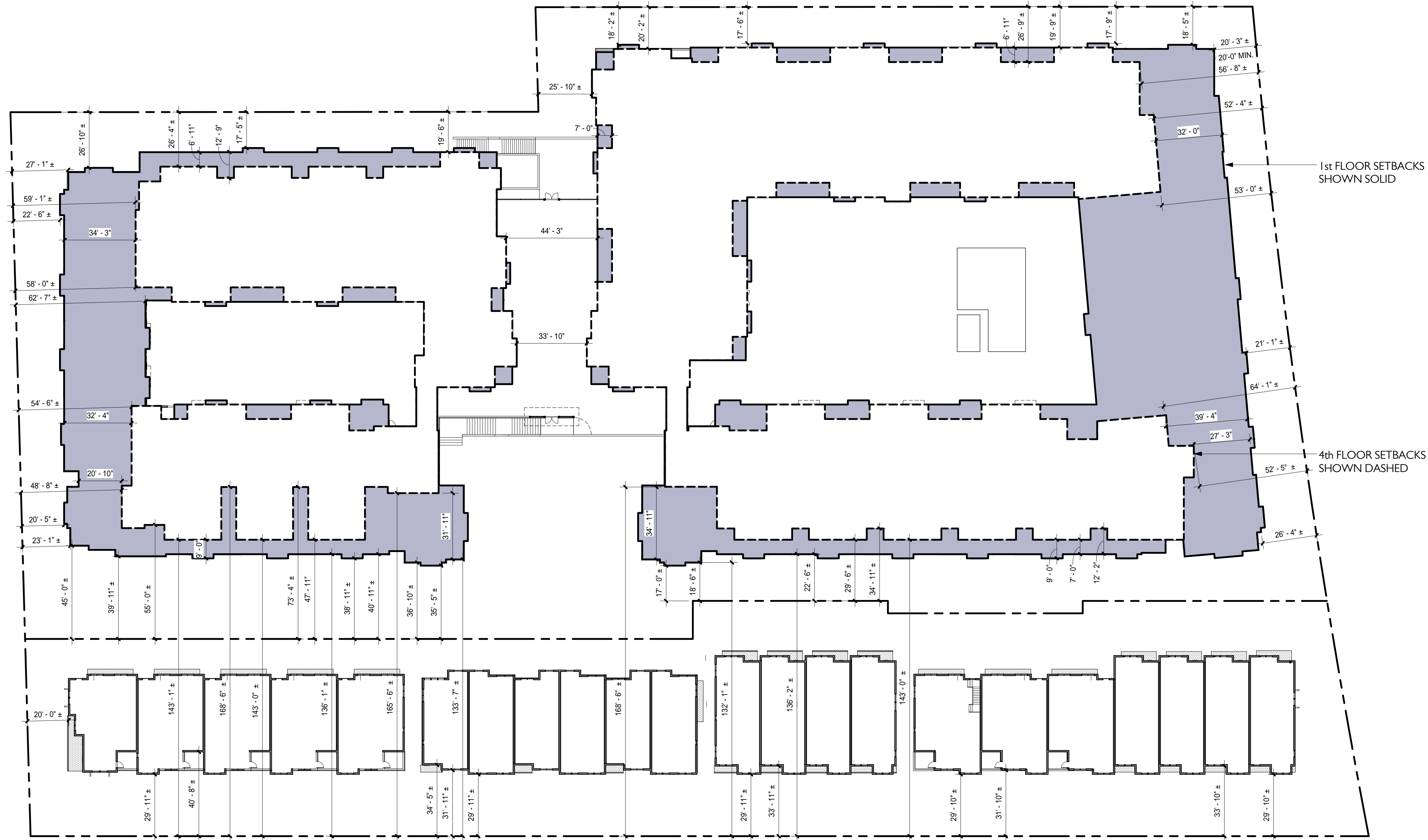


PHOTOVOLTAIC AREA CALCULATIONS

WEST BUILDING ROOF = 27,140 SF x 15% = 4,071 SF REQUIRED
 13'-0" x 24'-0" + 28'-0" x 24'-0" + 20'-0" x 38'-0" + 16'-0" x 149'-0" = 4,128 SF PROVIDED

EAST BUILDING ROOF = 49,205 SF x 15% = 7,381 SF REQUIRED
 16'-0" x 68'-0" + 49'-0" x 18'-0" + 16'-0" x 230'-0" + 12'-9" x 136'-0" = 7,384 SF PROVIDED





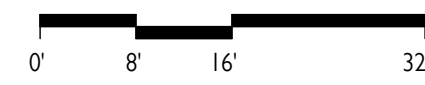
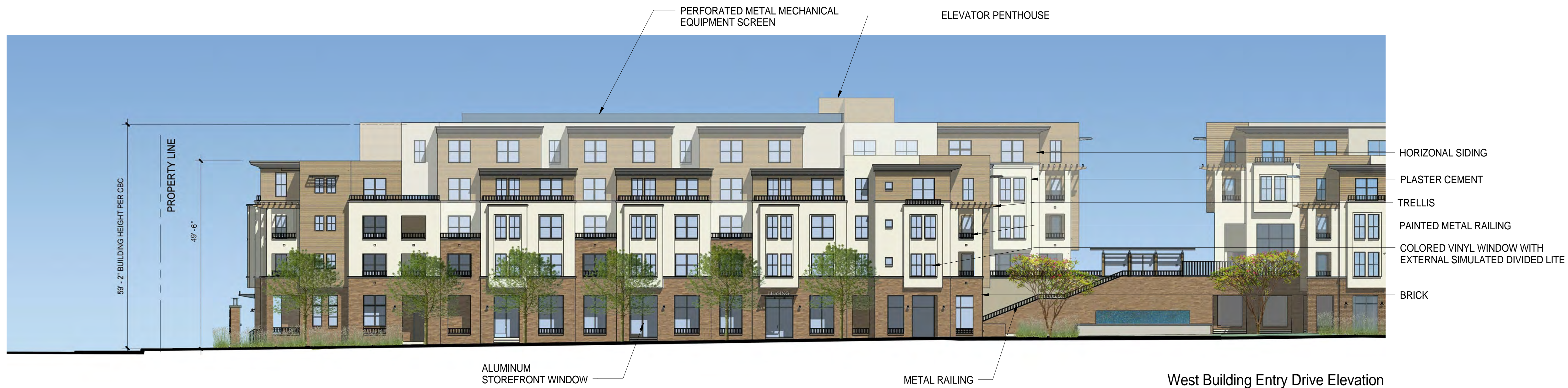


Carolan Ave Elevation



Rollins Rd Elevation







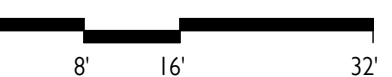
- HORIZONTAL SIDING
- TRELLIS
- COLORED VINYL WINDOW WITH EXTERNAL SIMULATED DIVIDED LITE
- EXTERIOR PLASTER
- PAINTED METAL RAILING

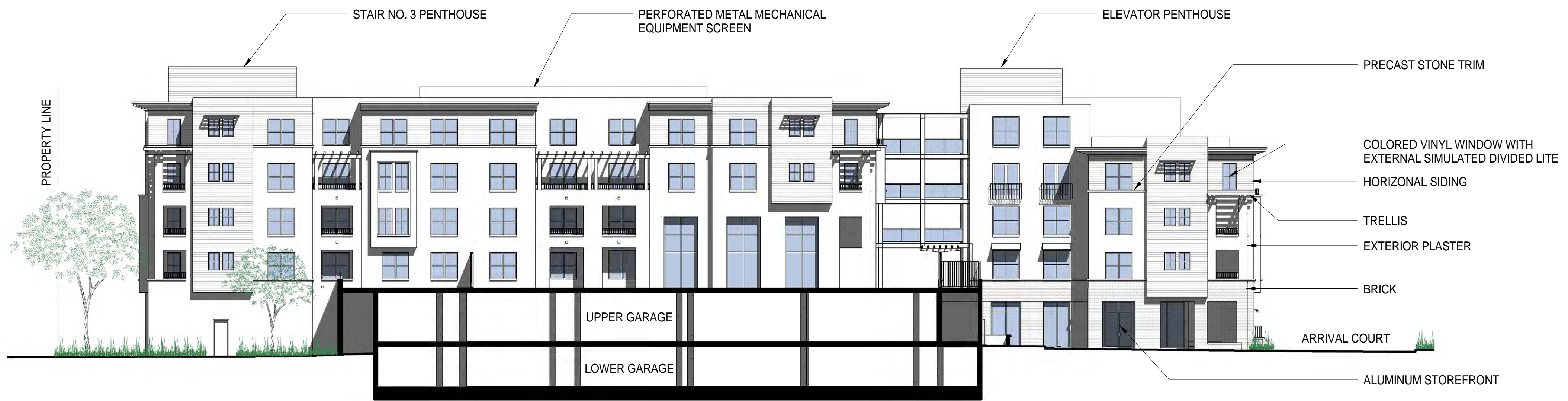
East Building North Elevation



- HORIZONTAL SIDING
- TRELLIS
- COLORED VINYL WINDOW WITH EXTERNAL SIMULATED DIVIDED LITE
- EXTERIOR PLASTER
- PAINTED METAL RAILING

West Building North Elevation





Central Courtyard - West Elevation



Central Courtyard - East Elevation





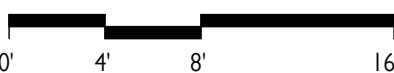
TOWNHOUSE A - ELEVATION



TOWNHOUSE B - ELEVATION



TOWNHOUSE C - ELEVATION





TOWNHOUSE A - REAR ELEVATION



TOWNHOUSE C - CAROLAN STREET

CAROLAN AVENUE
AVERAGE TOC = 9.6'



TOWNHOUSE B - REAR ELEVATION



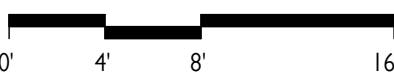
TOWNHOUSE B - ROLLINS ELEVATION

CAROLAN AVENUE
AVERAGE TOC = 9.6'



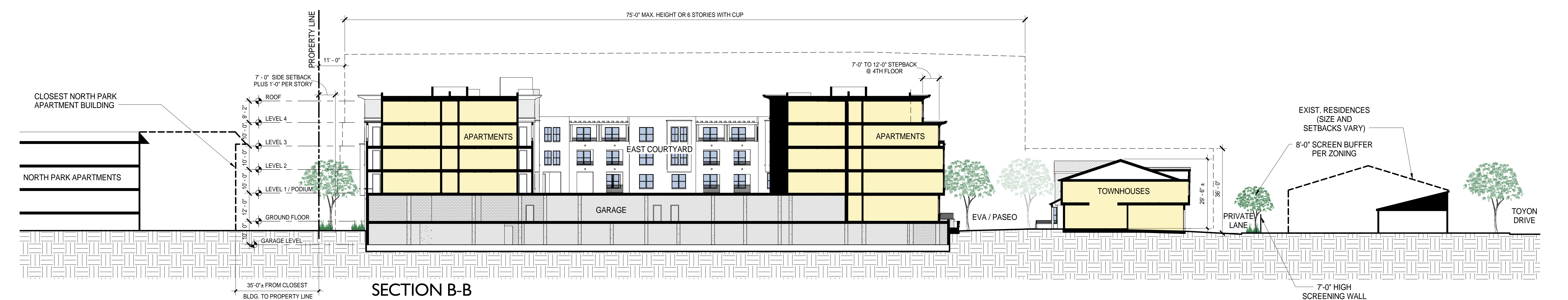
TOWNHOUSE C - REAR ELEVATION

CAROLAN AVENUE
AVERAGE TOC = 9.6'

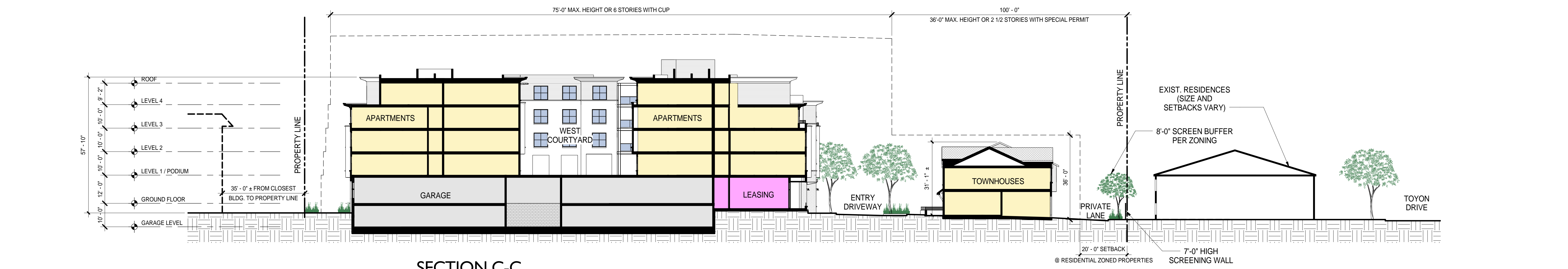




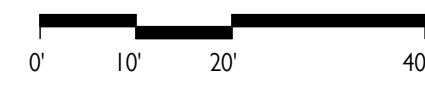
SECTION A-A



SECTION B-B



SECTION C-C

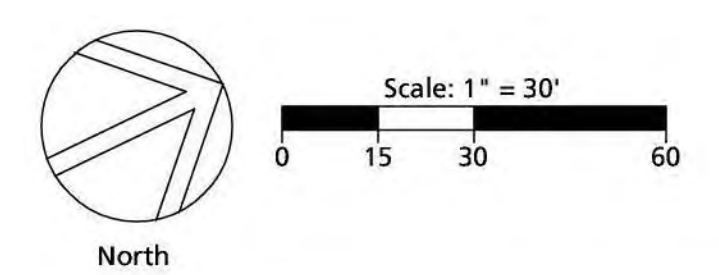




- LEGEND:**
- Pedestrian Paseo:**
- ① 20' emergency access road w/ 6' wide pedestrian walk w/ grasses over permeable paving (eg. Grass Pave 2) on both sides, shrub planting, Ginkgo trees; 4' wide access paths to townhomes entries w/ bollard lighting.
 - ② Park area w/ accent paving, seating, pedestrian scale lighting, mix of accent grasses over permeable paving and stormwater treatment planting zone.
 - ③ Frontage plaza w/ colored pavers, seating, pedestrian scale lighting.
- Arrival Court:**
- ④ Turnaround plaza w/ vehicular colored pavers.
 - ⑤ Lobby entrances w/ colored pavers, knock down bollards, planting with specimen Maple trees, accent planter pots and seating.
 - ⑥ Wall feature (green wall / accent wall art) w/ planters and seat walls.
 - ⑦ Enhanced concrete sidewalk w/ Flowering Cherry trees in tree wells and street scale lighting.
- Carolan Ave Frontage:**
- ⑧ 4'-6" wide planting strip w/ 36" box Red Maple street trees, 5' wide city sidewalk, private patio-access paths and shrub planting.
 - ⑨ Building entry plaza w/ colored pavers and seating.
- Northern Apartments Paseo:**
- ⑩ 4' wide access sidewalk w/ grasses over permeable paving w/ stormwater treatment planting zone, good neighbor fence and screen planting w/ Catalina Ironwood trees and evergreen hedge at property line. Wooden raised garden plots for communal gardening. Pedestrian and vehicular gate access at both ends.
 - ⑪ Exit plaza w/ seating. Acoustic glass fence @ podium stair entrance.
 - ⑫ Dog Run (artificial turf) w/ fencing.
- Rollins Rd Frontage:**
- ⑬ Bldg Entry plaza w/ colored pavers and seating.
 - ⑭ 4'-6" wide planting strip w/ 36" box Magnolia street trees, 5' wide city sidewalk, turf and shrub planting.
 - ⑮ Rollins Rd entry plaza w/ colored pavers and knock down bollards.
- Townhome Lane:**
- ⑯ Driveway accent vehicular paving w/ colored pavers and automatic vehicular gate w/ Knox box lock.
 - ⑰ 4' wide access paths w/ shade planting.
 - ⑱ Landscape screening (Planting w/ Brisbane Box tree) and stormwater treatment zones, 8' tall existing and 7' tall new precast concrete wall at property line.

- Planting types:**
- turf / grasses (to mow)
 - low planting
 - medium planting w/ shrubs

Carolan Avenue / Rollins Road
Burlingame, CA

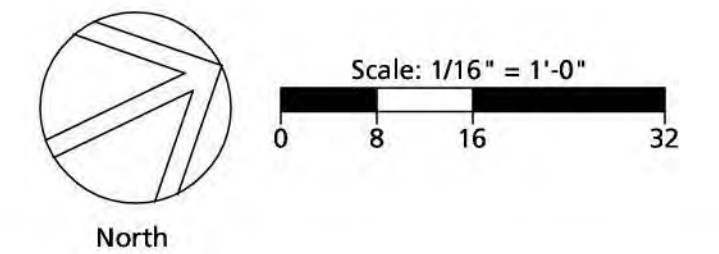


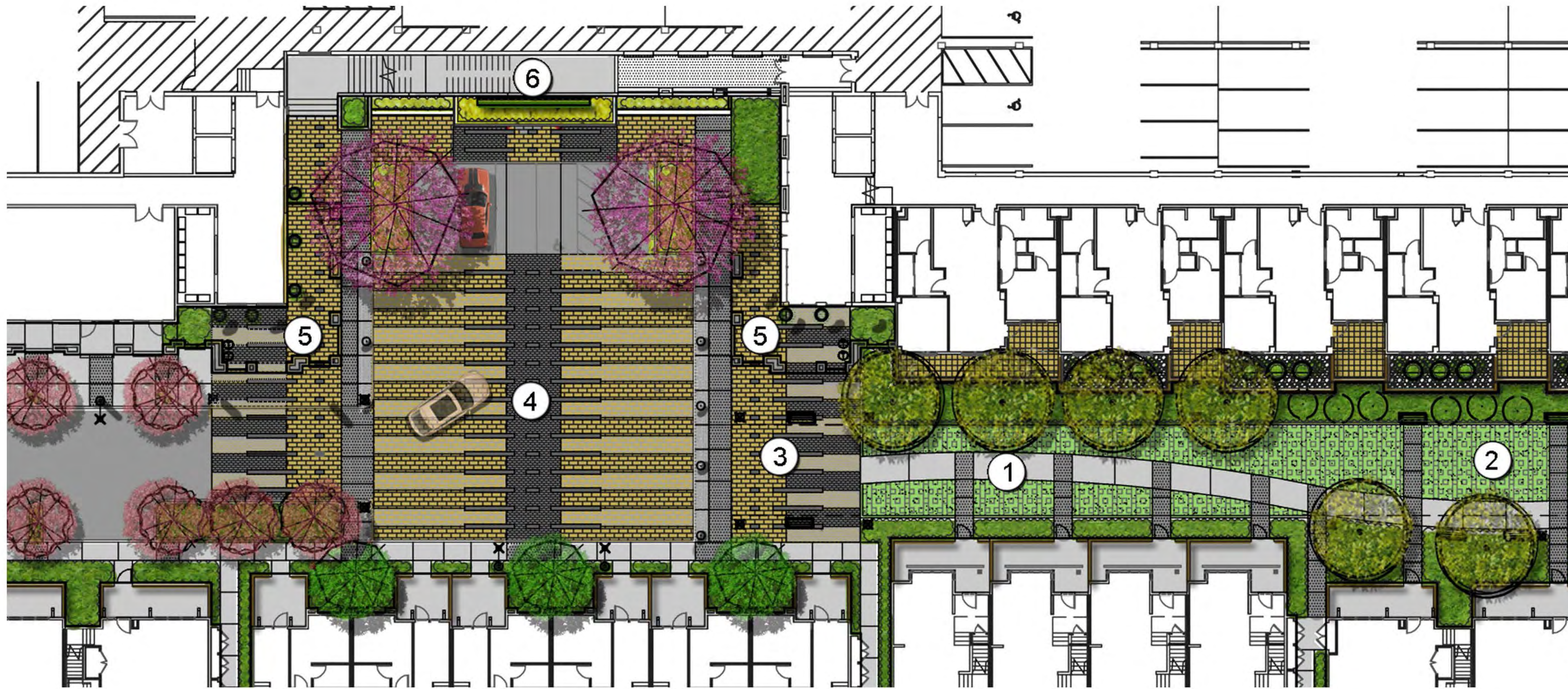


LEGEND:

- | | | |
|---|---|--|
| <p>Central Courtyard</p> <ul style="list-style-type: none"> ① Arrival Plaza w/ gate w/ Knox box lock and accent planter walls ② Seat walls in planter walls ③ Outdoor office space seating ④ Lounge area w/ hammocks and overhead twinkle lights | <p>East / Pool Courtyard</p> <ul style="list-style-type: none"> ⑤ Double-sided fireplace wall w/ seating ⑥ Lounge area w/ couch seating ⑦ Pool fence enclosure w/ glass gate and accent walls ⑧ Pool gate access from Lobby and Bathrooms ⑨ Planter pots with accent planting in gravel bed
Wall wash lights highlighting accent fence wall ⑩ Trellis structure w/ twinkle lights over communal table ⑪ Outdoor kitchen with double BBQ and bar seating | <p>West Courtyard</p> <ul style="list-style-type: none"> ⑫ Lounge area w/ fire pit and couch seating ⑬ Outdoor kitchen w/ BBQ and bar seating ⑭ Outdoor garden area w/ citrus fruit trees & herbs in oversized planter pots, benches and game tables |
|---|---|--|

Carolan Avenue / Rollins Road
Burlingame, CA





Arrival Court Enlargement Plan

LEGEND:

Pedestrian Paseo:

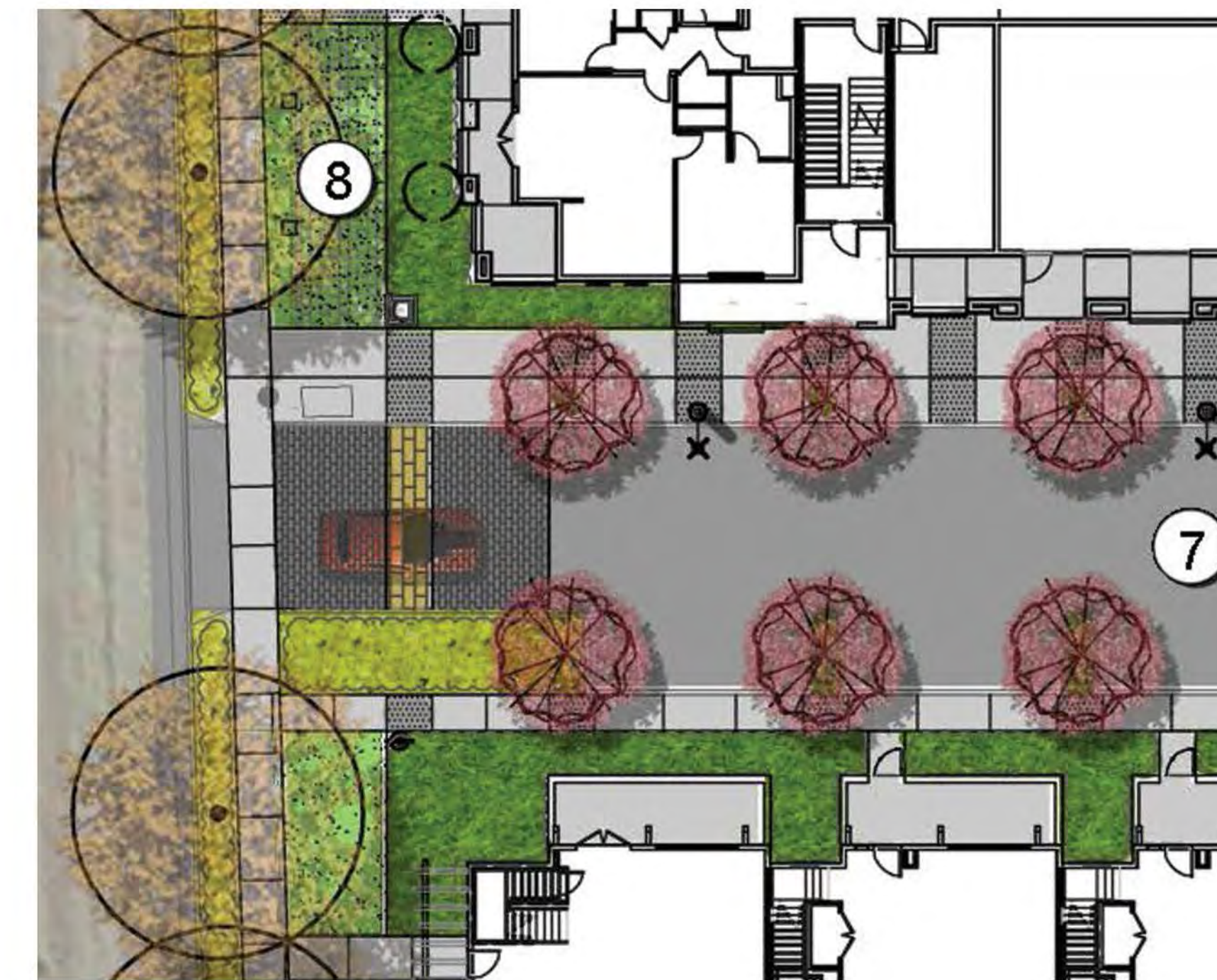
- ① 20' emergency access road w/ 6' wide pedestrian walk w/ grasses over permeable paving (eg. Grass Pave 2) on both sides, shrub planting, Ginkgo trees; 4' wide access paths to townhomes entries w/ bollard lighting.
- ② Park area w/ accent paving, seating, pedestrian scale lighting, mix of accent grasses over permeable paving and stormwater treatment planting zone.
- ③ Frontage plaza w/ colored pavers, seating, pedestrian scale lighting and mix of accent grasses over permeable paving.

Arrival Court:

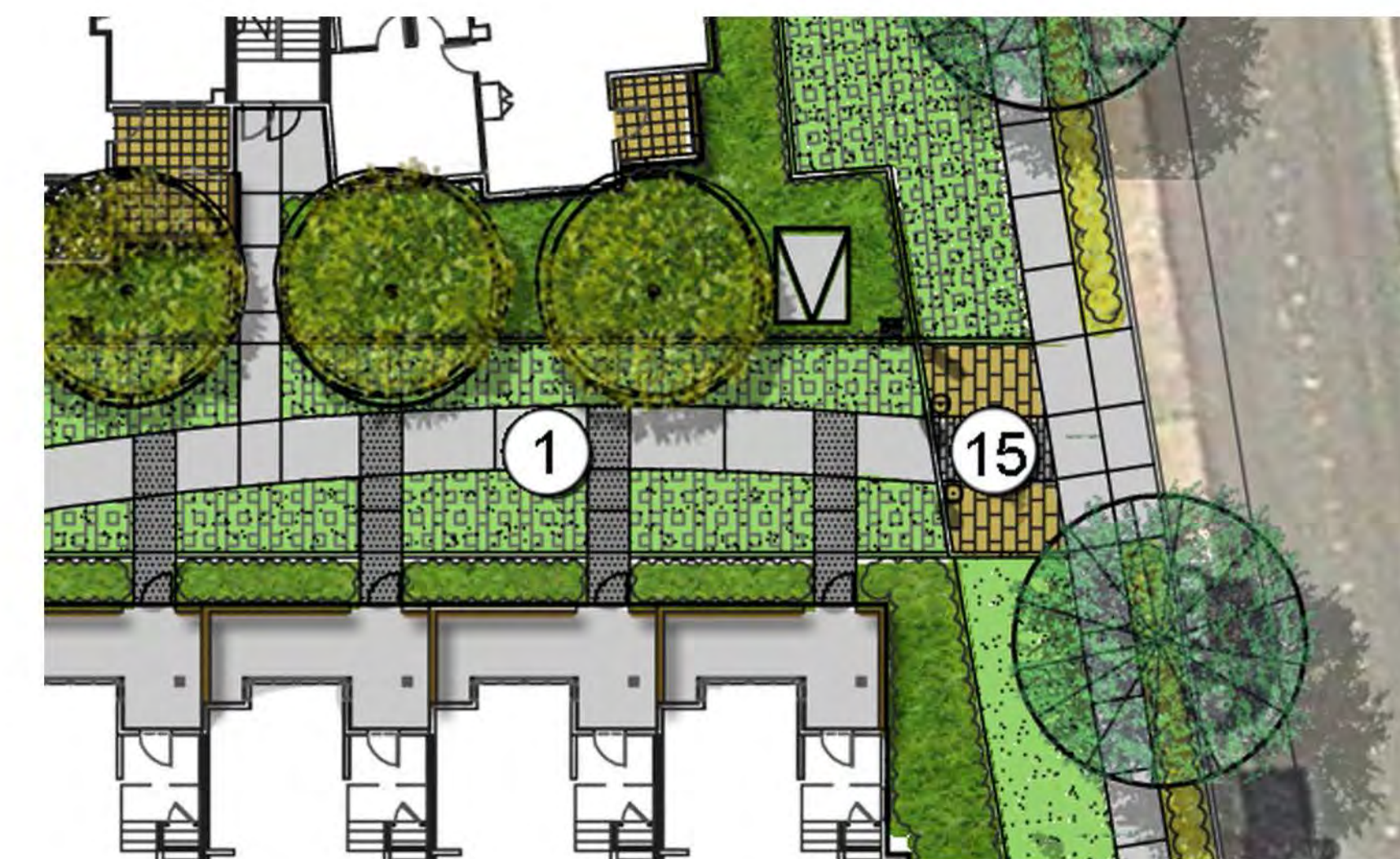
- ④ Turnaround plaza w/ vehicular colored pavers.
- ⑤ Lobby entrances w/ colored pavers, knock down bollards, planting with specimen Maple trees, accent planter pots and seating.
- ⑥ Wall feature (green wall / accent wall art) w/ planters and seat walls.
- ⑦ Enhanced concrete sidewalk w/ Flowering Cherry trees in tree wells and street scale lighting.
- ⑮ Rollins Rd entry plaza w/ colored pavers and knock down bollards.



Carolan Entry Enlargement Plan



Carolan Drive Entry Enlargement Plan

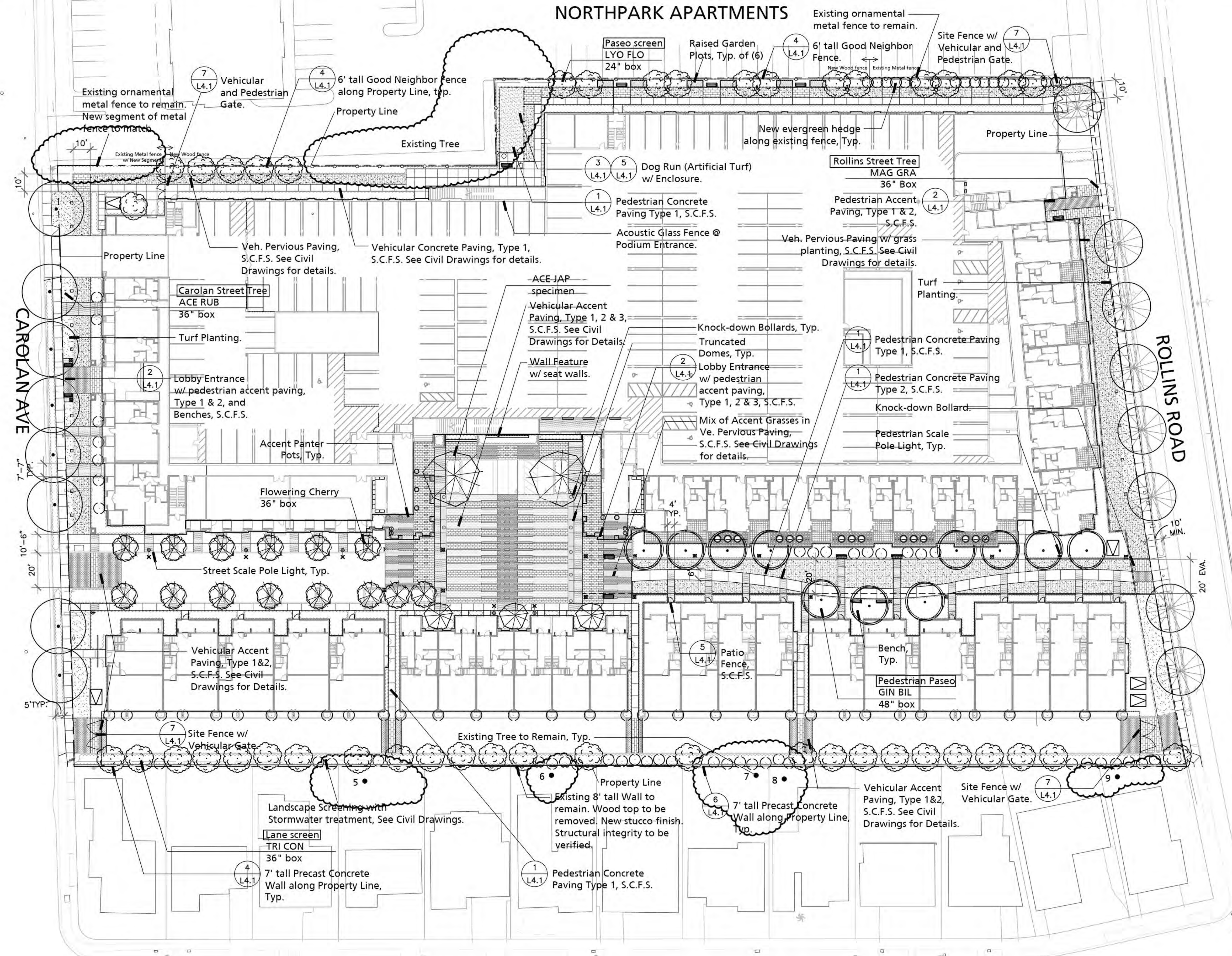


Rollins Paseo Entry Enlargement Plan

Carolan Avenue / Rollins Road

Burlingame, CA

NORTHPARK APARTMENTS



COLOR AND FINISH SCHEDULE

PEDESTRIAN AND VEHICULAR CONCRETE PAVING

Type 1 Natural grey concrete with light broom finish. Sweep perpendicular to path of travel.

Type 2 Integral color concrete with fine salt finish. Color: Charcoal

*All colors to be: DAVIS.

CONCRETE BANDS / CURBS AT PAVING AND PLANTING
Color and finish to match Pedestrian Concrete Paving Type 1.

PEDESTRIAN ACCENT PAVING
All by Calstone, contact: Mike Marhenke, tel. 408-598-0518
Paving units are to be dual mix design using Duraface/Face-Mix technology. Integral through colors are not acceptable.

Type 1 4x8 Mission Paver; Color: Tan; Finish: Standard; Pattern: Running Bond.

Type 2 4x8 Mission Paver; Color: Brown; Finish: Standard; Pattern: Running Bond.

Type 3 4x8 Mission Paver; Color: Charcoal; Finish: Standard; Pattern: running bond to be used as accent module as shown on layout plan.

VEHICULAR ACCENT PAVING - PRECAST CONCRETE PAVERS
All by Calstone, contact: Mike Marhenke, tel. 408-598-0518
Paving units are to be dual mix design using Duraface/Face-Mix technology. Integral through colors are not acceptable.

Type 1 80mm 4x8 Mission Series Pavers; Color: Tan; Finish: Standard; Pattern: Running Bond.

Type 2 80mm 4x8 Mission Series Pavers; Color: Brown; Finish: Standard; Pattern: Running Bond.

Type 3 80mm 4x8 Mission Series Pavers; Color: Charcoal; Finish: Standard; Pattern: running bond to be used as accent module as shown on layout plan.

PERMEABLE PAVING
Turf/Grasses over Pervious Paving (eg.: GrassPave2, by Invisible Structures, Inc., tel. 800-233-1510)

GOOD NEIGHBOR FENCE
Wood: Red Cedar, stain color tbd. See L3.1 for more Details.

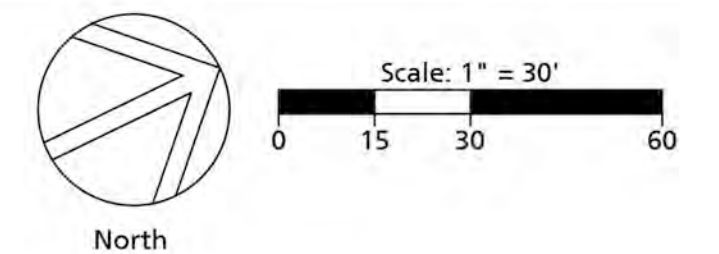
SITE FENCE (WITH PEDESTRIAN AND VEHICULAR GATES)
Metal: Tube Steel, 2 Coats of Paint; Color: tbd; See L3.1 for more Details.

PATIO FENCE / DOG AREA ENCLOSURE
Metal: Tube Steel, 2 Coats of Paint; Color: tbd;
Wood: Red Cedar, stain color: tbd. See L3.1 for more Details.

PRECAST WALL
7' tall concrete wall w/ columns system by OldCastle, Color: tbd; See L3.1 for more Details.

Carolan Avenue / Rollins Road

Burlingame, CA



PLANTING NOTES

- All work shall be performed by persons familiar with planting work and under supervisions of a qualified planting foreman.
- Plant material locations shown are diagrammatic and may be subject to change in the field by the Landscape Architect before the maintenance period begins.
- All trees are to be staked as shown in the staking diagrams.
- All tree stakes shall be cut 6" above tree ties after stakes have been installed to the depth indicated in the staking diagrams. Single stake all conifers per tree staking diagram.
- Plant locations are to be adjusted in the field as necessary to screen utilities but not to block windows nor impede access. The Landscape Architect reserves the right to make minor adjustments in tree locations after planting at no cost to the Owner. All planting located adjacent to signs shall be field adjusted so as not to interfere with visibility of the signs.
- The Landscape Architect reserves the right to make substitutions, additions, and deletions in the planting scheme as felt necessary while work is in progress. Such changes are to be accompanied by equitable adjustments in the contract price if/when necessary and subject to the Owner's approval.
- The contractor is to secure all vines to walls and columns with approved fasteners, allowing for two (2) years growth. Submit sample of fastener to Landscape Architect for review prior to ordering.
- All planting areas, except lawns and storm water treatment zones (as defined by the civil engineer), shall be top-dressed with a 3" layer of recycled wood mulch, "Prochip" by BFI (408.888.7632; www.bfi.com) or equal. This shall include all pre-cast planter pots. Mulch shall be black in color. Submit sample to Landscape Architect for review prior to ordering. Hold all mulch six (6) inches from all plants where mulch is applied over the rootball.
- All street trees to be installed in accordance with the standards and specifications of the City of Burlingame. Contractor to contact the city arborist to confirm plant type, plant size (at installation), installation detailing and locations prior to proceeding with installation of street trees. Contractor is to obtain street tree planting permit from the city, if a permit is required, prior to installation of street trees. Contractor is to consult with the Landscape Architect during this process.
- Seasonal color is to be current and locally available. Plant material is to be selected by the Landscape Architect from a list of currently available stock provided by the Landscape Contractor prior to installation. Seasonal color to be 4" pots at 12" o.c. unless otherwise noted.
- The lawn shall be sod or seeded (as noted) and consist of a drought tolerant hard fescue blend such as Pacific Sod "Medallion Dwarf with Bonsai", installed per manufacturer's recommendations and specifications. The mix shall consist of the following proportions of grass species: 100% Bonsai Double Dwarf fescue. Available through: Pacific Sod 800.542.7633
- Trees planted in lawn areas shall not have lawn planted over the top of the rootball but shall have 12" diameter circle of lawn cut out for trimming purposes.
- Plants shall be installed to anticipate settlement. See Tree and Shrub Planting Details.
- All trees noted with 'deep root' and those planted within 5'-0" of concrete paving, curbs, and walls shall have deep root barriers installed per manufacturer's specifications. See specifications and details for materials, depth of material, and location of installation.
- The Landscape Contractor shall arrange with a nursery to secure plant material noted on the drawings and have those plants available for review by the Owner and Landscape Architect within thirty (30) days of award of contract. The Contractor shall purchase the material and have it segregated and grown for the job upon approval of the plant material. The deposit necessary for such contract growing is to be born by the Contractor.
- The project has been designed to make efficient use of water through the use of drought tolerant plant materials. Deep rooting shall be encouraged by deep watering plant material as a part of normal landscape maintenance. The irrigation for all planting shall be limited to the amount required to maintain adequate plant health and growth. Water usage should be decreased as plants mature and become established. The irrigation controllers shall be adjusted as necessary to reflect changes in weather and plant requirements.
- The Landscape Contractor shall verify the location of underground utilities and bring any conflicts with plant material locations to the attention of the Landscape Architect for a decision before proceeding with the work. Any utilities shown on the Landscape drawings are for reference and coordination purposes only. See Civil Drawings.
- The design intent of the planting plan is to establish an immediate and attractive mature landscape appearance. Future plant growth will necessitate trimming, shaping and, in some cases, removal of trees and shrubs as an on-going maintenance procedure.
- Install all plants per plan locations and per patterns shown on the plans. Install all shrubs to ensure that anticipated, maintained plant size is at least 2'-0" from the face of building(s) unless shown otherwise on the plans. Refer to Plant Spacing Diagram for plant masses indicated in a diagrammatic manner on the plans. Refer to Plant Spacing Diagram for spacing of formal hedge rows.
- Contractor to provide one (1) Reference Planting Area for review by Landscape Architect prior to installation of the project planting. The Reference Planting Area shall consist of a representative portion of the site of not less than 900 (nine hundred) square feet. Contractor to set out plants, in containers, in the locations and patterns shown on the plans, for field review by the Landscape Architect. The Reference Planting Area will be used as a guide for the remaining plant installation.

- The Maintenance Period(s) shall be for 60 (sixty) days. Portions of the installed landscape of a project may be placed on a maintenance period prior to the completion of the project at the Owner's request and with the Owner's concurrence.
- Contractor to verify drainage of all tree planting pits. See Planting Specifications. Install drainage well per specifications and Tree Planting Detail(s) if the tree planting pit does not drain at a rate to meet the specifications.
- Contractor shall remove all plant and bar code labels from all installed plants and landscape materials prior to arranging a site visit by the Landscape Architect.
- Geotech drainage board or approved equal is to be installed in all on-structure planters and all pre-cast planters/pots as shown in the drawings. Material available through: TWE Products, Orinda, CA 925.708.0549. All Geotech board shall be completed covered with filter fabric as shown in the drawings and per manufacturer's specifications.
- All tree rootballs shall be irrigated by water jet during the sixty (60) day maintenance period established by specifications. This irrigation shall occur each time normal irrigation is scheduled.

IRRIGATION PERFORMANCE SPECIFICATIONS

The contractor shall include in his bid, a proposal to install individual landscape irrigation systems for the street frontage. All proposals shall meet the requirements of the outline specifications below:

1. Planting Areas and Method of Irrigation

- Lawn Areas** – Lawn areas shall be irrigated with small turf spray sprinklers having a radius capacity of 12' to 15' and a 4" pop-up height. (Rainbird 1800 series.)
- Shrub Areas** – Shrub areas shall be irrigated with drip emitters (one per shrub, two per tree).

2. Irrigation Equipment

- Point of Connection:** A gate valve shall be provided under work of another section. Irrigation demand is not to exceed sixty (60) gallons per minute. Required pressure is 60 P.S.I. or more.
- Remote Control Valves:** An electrically activated solenoid control valve shall control each circuit of sprinklers. Size will vary according to gpm demand of circuit. Sizes to be 3/4" through 2". Valves shall be Rainbird ECV series, anti-siphon valves. Valve shall be housed in a plastic valve box set flush with grade. Pea gravel shall be installed below valve, 6" deep. Four bricks shall support the plastic valve box at the base of the box, below grade. Solenoid control wire shall be spliced using epoxy-filled waterproof splice packs.
- Controller and Wire:** A solid-state controller shall control the operation of the irrigation system. The housing shall be weatherproof. Each controller station will require an underground AWG-UF 14-1 control wire to the valve location. A common wire AWG-UF 12-1 shall be connected to all valves related to a single controller.
- Pipe and Fittings**
 - Main line (constant pressure): 2" and smaller pipe shall be plastic PVC 1120 Schedule 40 with plastic PVC Schedule 40 solvent weld fittings, buried 18" deep.
 - Lateral lines (non-constant pressure) to sprinklers: Pipe shall be plastic PVC 1120-200 PSI with plastic Schedule 40 solvent weld fittings, buried 12" deep.
- Sleeving:** All pipe under paving shall be housed in a PVC plastic pipe sleeve. Sleeving material shall be 1120-200 P.S.I. PVC plastic pipe of size adequate to accommodate necessary pipes and wiring. Sleeves shall extend beyond walk, curb, or edge of paving. Sleeves shall be installed by concrete subcontractor.
- Wye Strainer:** Wye strainer shall be of plastic construction with 150 mesh PVC screen. Strainer shall be placed in a valve box below grade and connected into the lateral line downstream of the drip irrigation remote control valves.
- Trim** all spray heads to eliminate overspray onto walks and building.

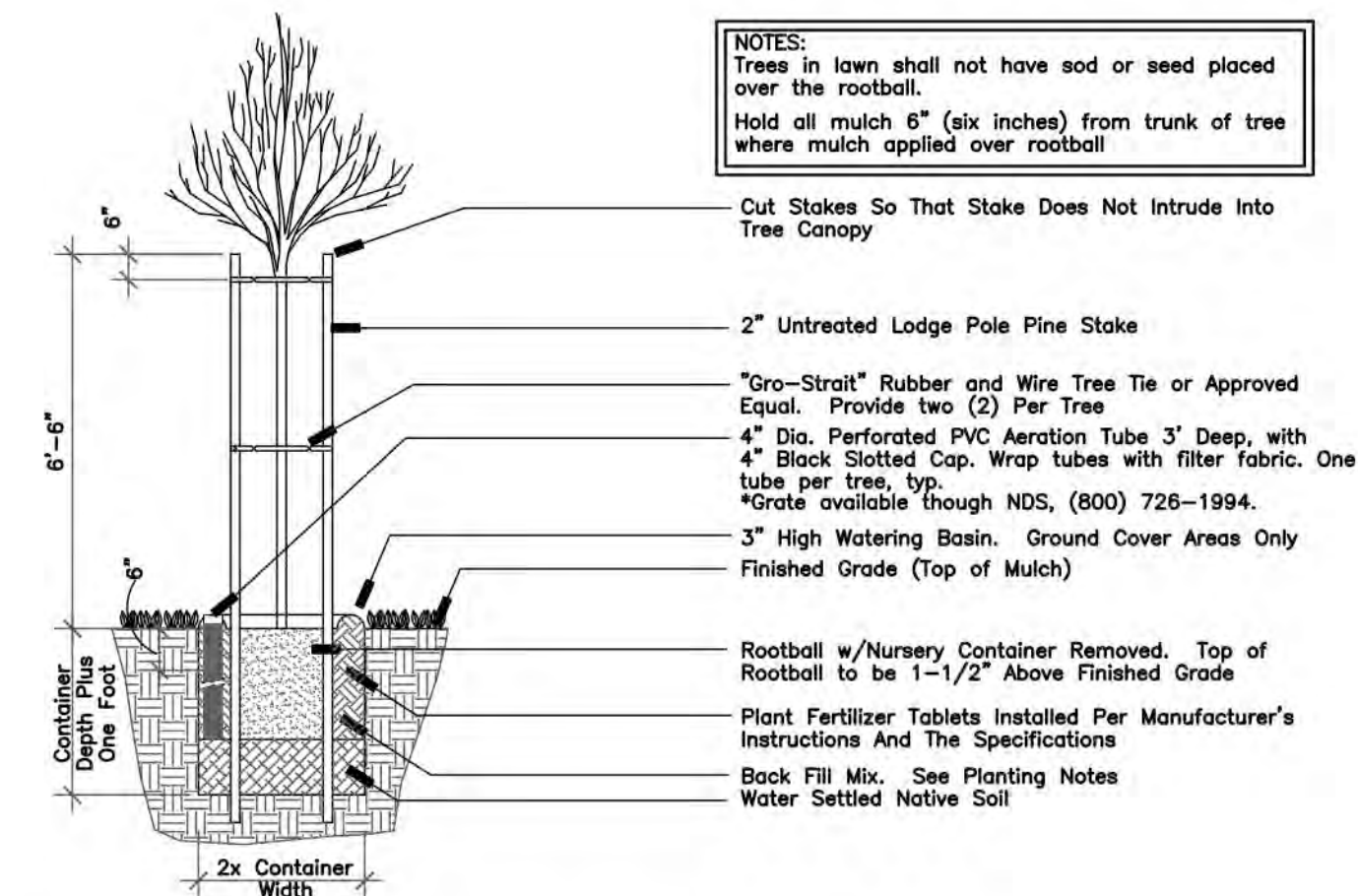
This performance specification is intended as a brief description of the methods of irrigation to be applied to this project. This specification is not intended as a construction document.

PLANT PALETTE

TREES					
KEY	SIZE	BOTANICAL NAME	COMMON NAME	WUCOLS	NOTES
ACE RUB	36"box	Acer rubrum	Red Maple	M	Carolan Street Tree
ACE JAP	spec.	Acer japonicum	Japanese Maple	M	Auto Court
GIN BIL	48"box	Ginkgo biloba 'Autumn Gold'	'Autumn Gold' Ginkgo	M	Pedestrian Paseo
TRI CON	36"box	Tristania conferta	Brisbane Box	L	Lane Screen
ULM PAR	36"box	Magnolia grandiflora	'Samuel Sommer' Magnolia	M	Rollins Street Tree
LYO FLO	24"box	Lyonothamnus floribundus	Catalina Ironwood	L	Paseo Screen
CIT LEM	36"box	Citrus tree	Lemon 'Meyer'	M	standard
CIT ORA	36"box	Citrus tree	Orange 'Washington Navel'	M	standard
POD MAK	24"box	Podocarpus macrophylla	Yew Pine	L	
PRU CAR	24"box	Prunus caroliniana	Carolina Laurel Cherry	L	
STR NIC	24"box	Strelitzia nicolai	Giant Bird of Paradise	M	
TRI LAU	24"box	Tristania Laurina	Brisbane Box	L	
SHRUBS					
KEY	SIZE	BOTANICAL NAME	COMMON NAME	WUCOLS	NOTES
CCA	15 gal	Carpenteria californica	Bush Anemone	L	
COC	15 gal	Cercis occidentalis	Western Redbud	L	
DVP	15 gal	Dodonaea viscosa 'Purpurea'	Hop Bush	L	
FCA	15 gal	Fremontodendron californicum	Flannel Bush	L	
RCA	15 gal	Rhamnus californica	Coffeeferry	L	
PAT	15 gal	Phormium 'Atropurpureum'	Phormium 'Atropurpureum'	L	
PJS	15 gal	Phormium 'Jack Spratt'	Phormium 'Jack Spratt'	L	
PMJ	15 gal	Phormium 'Margaret Jones'	Margaret Jones Flax	L	
PGU	5 gal	Phormium 'Guardsman'	Guardsman Flax	L	
DBI	5 gal	Diets bicolor	Fortnight Lily		
LCG	5 gal	Loropetalum chinensis (green)	Fringe Flower (green)		
LCS	5 gal	Loropetalum chinensis 'Suzanne'	Suzanne Fringe Flower		
SUB-SHRUBS, GRASSES					
AS	5 gal	Asparagus densiflorus 'Sprengeri'	Sprenger's Asparagus Fern		
CK	5 gal	Calamagrostis 'Karl Forester'	Feather Reed Grass		
CT	5 gal	Chondropetalum tectorum	Cape Rush		
CM	5 gal	Clivia miniata	Kaffir Lily		
LL	5 gal	Limonium perezii	Sea Lavender		
LI	5 gal	Liriope 'Majestic'	Majestic Lily Turf		
MT	5 gal	Miscanthus transmorrisonensis	Evergreen Miscanthus		
NC	5 gal	Nephrolepis cordifolia	Southern Sword Fern		
GROUND COVERS					
ARC	5 gal	Arctostaphylos 'Pacific Mist'	Manzanita		
DIC	Flats	Dichondra repens	Dichondra		
FES	1 gal	Festuca idahoensis	Idaho Fescue		
JUN	5 gal	Juncus Repens	California Gray Rush		
MYO	5 gal	Myoprum parvifolium	Creeping Myoprum		
SL	5 gal	Salvia leucantha	Mexican Sage		
SM	1 gal	Senecio mandraliscae	Kleinia		
TURF BLOCK GRASSES					
NBG	SOD	Native Bentgrass	by Delta Blue Grass	L	CA native
SBL	SOD	Shade Blend	by Delta Blue Grass	L	CA native
DGM	SOD	Delta Grassland Mix	by Delta Blue Grass	L	CA native

**NOTE: The above plants have been selected as being representative of the overall planting design intent. This plant palette is suggested for use, but does not preclude use of other appropriate plant material. Water-conserving plants and other climate appropriate varieties of trees, shrubs and ground covers have been selected to complement the character of the project.

All planted areas are to be watered with an approved automatic underground irrigation system. The system shall be designed to make efficient use of water through conservation techniques, and be in compliance with the State and Water District's water conservation ordinance.



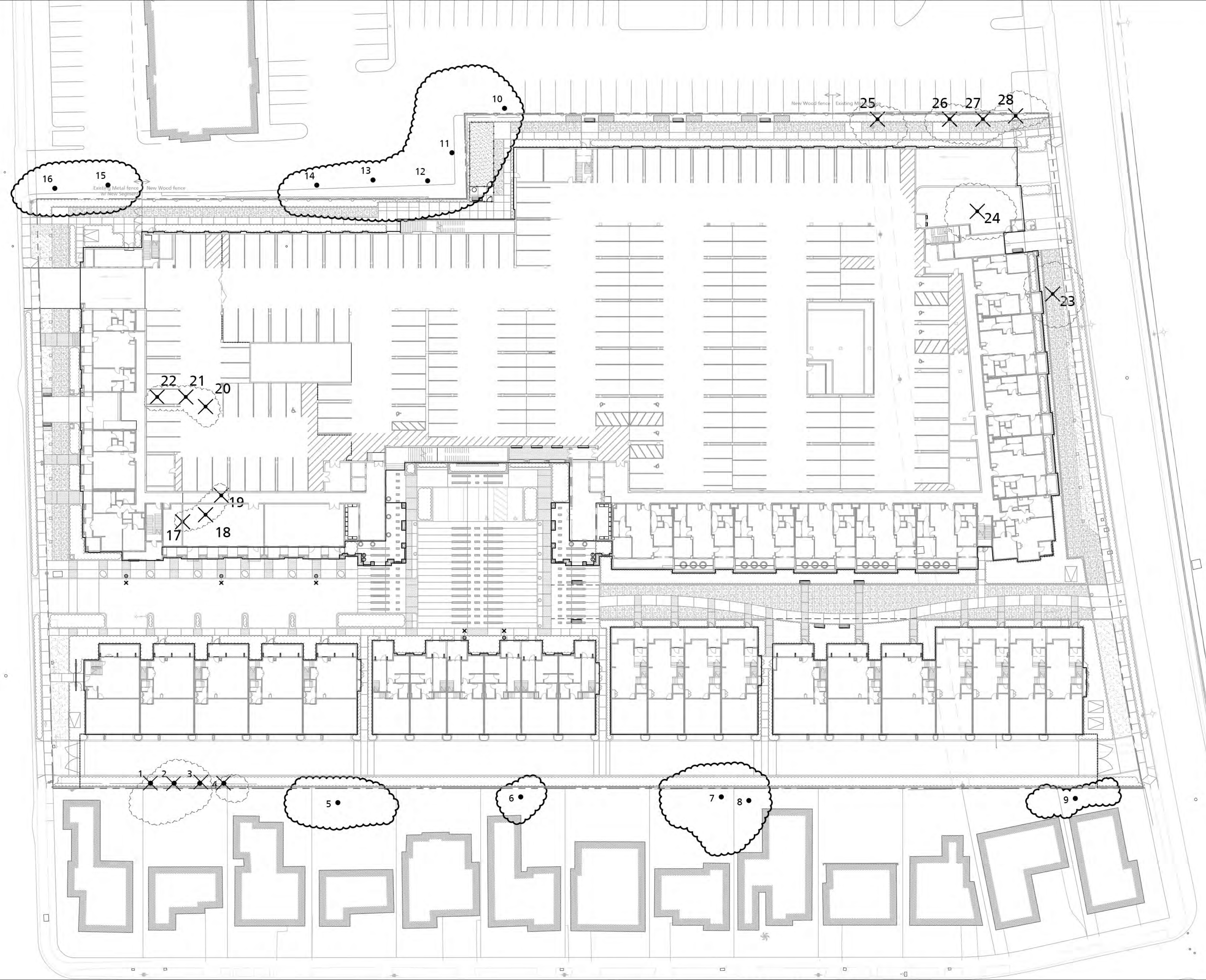
Carolan Avenue / Rollins Road

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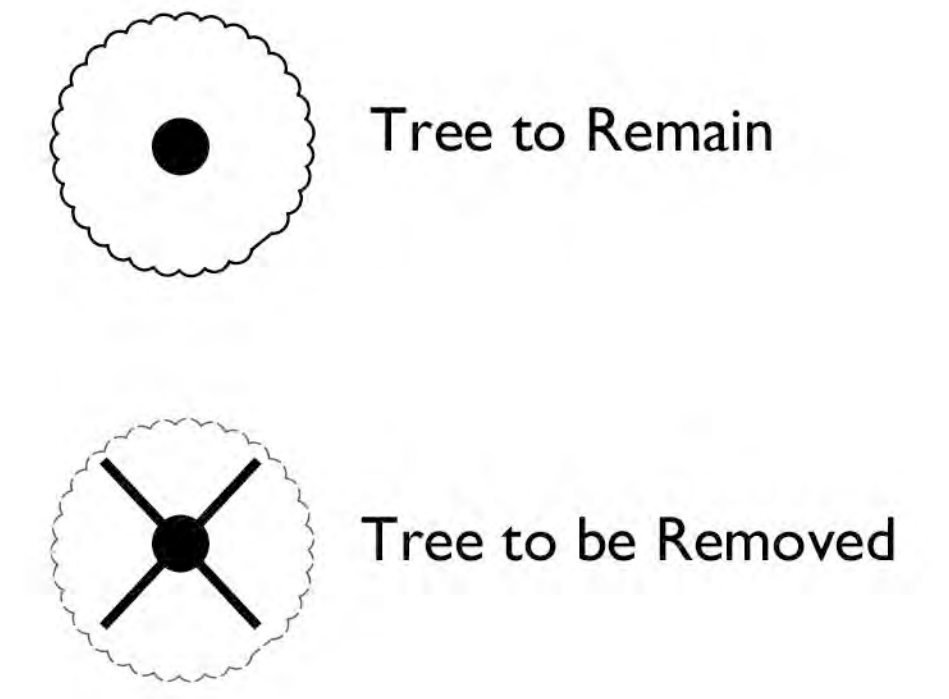


Tree Staking Diagram with Aeration Tube

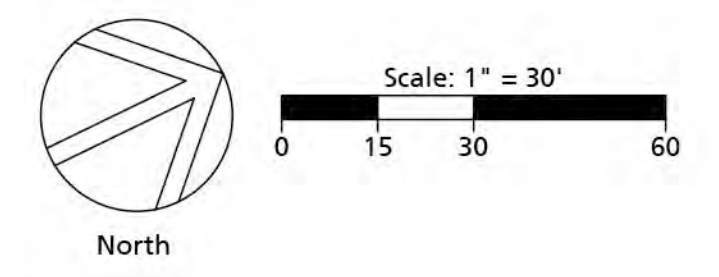
Not to Scale



TREE LEGEND



TREE NUMBER	CATEGORY	DBH	SUITABILITY	HERITAGE
1	English walnut	6	Low	NO
2	Australian brush cherry	12	Moderate	NO
3	Australian brush cherry	8	Moderate	NO
4	Australian brush cherry	14	Moderate	NO
5	Coast live oak	14	Moderate	NO
6	Pittosporum	8	High	NO
7	Coast live oak	24	Moderate	YES
8	Southern magnolia	13	Low	NO
9	Blackwood acacia	8	Moderate	NO
10	Monterey cypress	36	High	YES
11	Monterey pine	20	Low	YES
12	Monterey pine	24	Moderate	YES
13	Monterey pine	22	Low	YES
14	Monterey pine	24	Low	YES
15	Monterey cypress	20,18,7	Low	YES
16	Monterey cypress	18,17	Low	YES
17	Hackberry	6	Low	NO
18	Hackberry	6	Low	NO
19	Hackberry	11	Low	NO
20	Hackberry	6	Low	NO
21	Hackberry	8	Low	NO
22	Hackberry	6	Low	NO
23	African fern pine	6	Low	NO
24	African fern pine	7	Low	NO
25	Callery pear	15	Moderate	YES
26	Sweetgum	7	Moderate	NO
27	Sweetgum	7	Moderate	NO
28	Sweetgum	7	Moderate	NO



Carolan Avenue / Rollins Road
Burlingame, CA

Tree Assessment

Carolan Ave.
Burlingame, California
January 2014

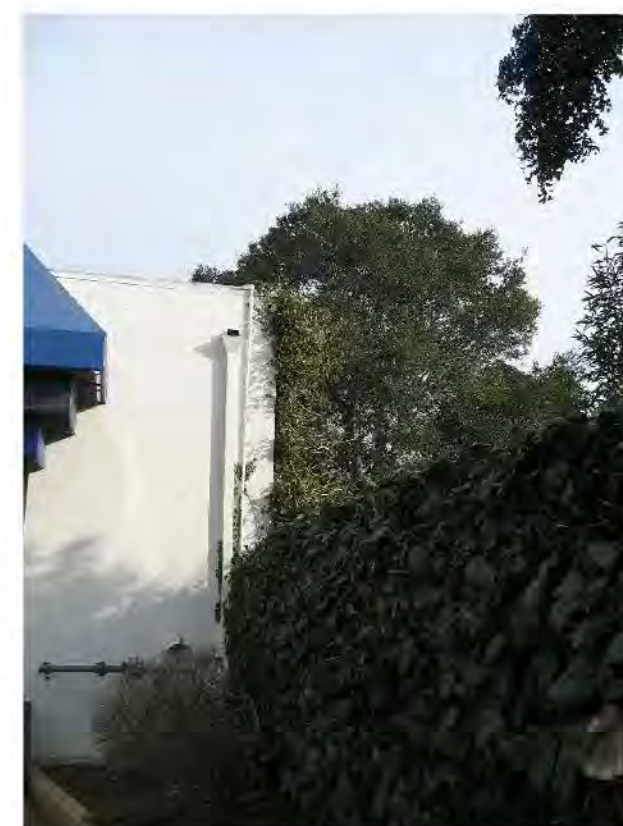


TREE No.	SPECIES	TRUNK DIAMETER (in.)	HERITAGE?	CONDITION 1=poor 5=excellent	SUITABILITY for PRESERVATION	COMMENTS	Driplines (ft.)			
							North	South	East	West
1	English walnut	6	No	3	Low	Inaccessible, no tag; small crown; growing at PL.	7	5	-	7
2	Australian brush cherry	12	No	3	Moderate	Inaccessible, no tag; upright form; growing at PL.	5	10	-	5
3	Australian brush cherry	8	No	3	Moderate	Inaccessible, no tag; crowded; narrow form; growing at PL.	5	5	-	5
4	Australian brush cherry	14	No	3	Moderate	Inaccessible, no tag; one sided N.; growing at PL.	15	5	-	5
5	Coast live oak	14	No	4	Moderate	Off-site, no tag; good form; growing 15' E. of PL.	15	15	-	15
6	Japanese mock orange	8	No	4	High	Off-site, no tag; good form; growing @ PL.	7	7	-	7
7	Coast live oak	24	Yes	3	Moderate	Off-site, no tag; one sided S.; bleeding along trunk; thinning crown; growing @ PL.	20	35	-	15
8	Southern magnolia	13	No	2	Low	Off-site, no tag; one sided N.; thin crown growing @ PL.	17	5	-	10
9	Blackwood acacia	8	No	3	Moderate	Off-site, no tag; upright form; growing 5' E. of PL.	5	5	-	5
10	Monterey cypress	36	Yes	4	High	Off-site, no tag; good form and structure; minor deadwood; growing @ PL.	25	20	25	-
11	Monterey pine	20	Yes	2	Low	Off-site, no tag; pine pitch canker; extensive dieback; growing 5' S. & 10' W. of PL.	20	17	15	-
12	Monterey pine	24	Yes	4	Moderate	Off-site, no tag; pine pitch canker; sap flow along trunk; dieback; growing 5' W. of PL.	20	25	20	-

Page 1



TREES # 1 - 4



TREE # 5



TREE # 6



TREE # 7



TREE # 8



TREE # 9

Tree Assessment

Carolan Ave.
Burlingame, California
January 2014



TREE No.	SPECIES	TRUNK DIAMETER (in.)	HERITAGE?	CONDITION 1=poor 5=excellent	SUITABILITY for PRESERVATION	COMMENTS	Driplines (ft.)			
							North	South	East	West
13	Monterey pine	22	Yes	2	Low	Off-site, no tag; pine pitch canker; extensive dieback; growing 5' W. of PL.	10	10	15	-
14	Monterey pine	24	Yes	3	Low	Off-site, no tag; one sided S.; pine pitch canker; dieback; growing 5' W. of PL.	10	25	15	-
15	Monterey cypress	20,18,7	Yes	2	Low	Off-site, no tag; one sided W.; very thin crown; growing @ PL.	20	20	-	20
16	Monterey cypress	18,17	Yes	3	Low	Off-site, no tag; one sided W.; thin crown; displacing infrastructure; growing @ PL.	20	15	-	20
17	Hackberry	6	No	3	Low	One sided E.; topped at 15'.	5	10	10	5
18	Hackberry	6	No	3	Low	One sided E.; topped at 15'.	5	5	10	5
19	Hackberry	11	No	3	Low	One sided E.; topped at 15'.	8	5	8	8
20	Hackberry	6	No	3	Low	One sided NW.; topped at 15'.	10	5	5	10
21	Hackberry	8	No	3	Low	One sided NW.; topped at 15'.	5	5	5	10
22	Hackberry	6	No	3	Low	One sided NW.; topped at 10'.	5	5	5	10
23	African fern pine	6	No	3	Low	Hedged/cloud pruned.	5	5	5	5
24	African fern pine	7	No	3	Low	Hedged/cloud pruned.	5	5	5	5
25	Callery pear	15	Yes	3	Moderate	Topped for overhead utilities; fair structure.	15	17	17	18
26	Sweetgum	7	No	4	Moderate	Upright form; pruned W.; engulfed in ivy.	10	10	10	5
27	Sweetgum	7	No	3	Moderate	One sided E.; pruned hard W.; engulfed in ivy.	8	7	7	5
28	Sweetgum	7	No	3	Moderate	One sided E.; pruned hard W.; engulfed in ivy.	10	7	7	5

Page 2



TREE # 10



TREE # 11



TREE # 12



TREE # 13 - 14



TREE # 15 - 16



TREE # 17 - 19



TREE # 20 - 22



TREE # 23



TREE # 25 - 28



TREE # 26 - 28

Carolan Avenue / Rollins Road
Burlingame, CA



PROTECTED TREE REMOVAL PERMIT APPLICATION

Burlingame Parks & Recreation Department
850 Burlingame Avenue - Burlingame, CA 94010
(650) 558-7330

DATE: _____
The undersigned owner of the property at:
ADDRESS: _____

hereby applies for a permit to remove or prune more than 1/3 of the canopy or roots of the following protected tree(s):
SPECIES _____ CIRCUMFERENCE _____
LOCATION ON PROPERTY _____
WORK TO BE PERFORMED: _____ REMOVE _____ TRIM MORE THAN 1/3 OF CANOPY
REASON WORK IS NECESSARY _____

NOTE: A PHOTOGRAPH OF THE TREE(S) MUST BE SUBMITTED ALONG WITH A \$75.00 CHECK TO: CITY OF BURLINGAME. Attach any supporting documentation you may have. (Example: Report from an Independent Arborist, pictures of damaged structures, letters of concern from neighbors, etc.).

OWNER (Print) _____ PHONE (____) _____
ADDRESS _____ EMAIL _____

PERMIT

This permit allows the applicant to remove or prune the above listed tree(s) in accordance with the provisions of the Urban Reforestation and Tree Protection Ordinance (Municipal Code Chapter 11.06). By signing this permit, the applicant acknowledges receipt of a copy of Chapter 11.06, and agrees to comply with its provisions and all conditions listed below; and that all appeals have expired or been resolved.

OWNER _____
CITY ARBORIST _____

- CONDITIONS: _____ **24 - inch box size landscape tree(s) (no fruit or nut trees) will be required and may be planted anywhere on the property. If conditions are not met within the allotted time as specified in Section 11.06.080, payment of \$400 for each tree into the tree replacement fund will be required.**
- _____ **NO replacement(s) required. Contact the Parks Division at (650) 558-7330 when removal(s) completed.**
- _____ **BUILDING PROJECT: Permit ineffective until after Planning Commission review.**

DATE PERMIT EFFECTIVE _____ PERMIT EXPIRES _____
DATE _____ COMPLETED _____

This work should be done by qualified tree professionals and a copy of this permit must be available at the job site at all times when work is being performed. 2/2014 revised

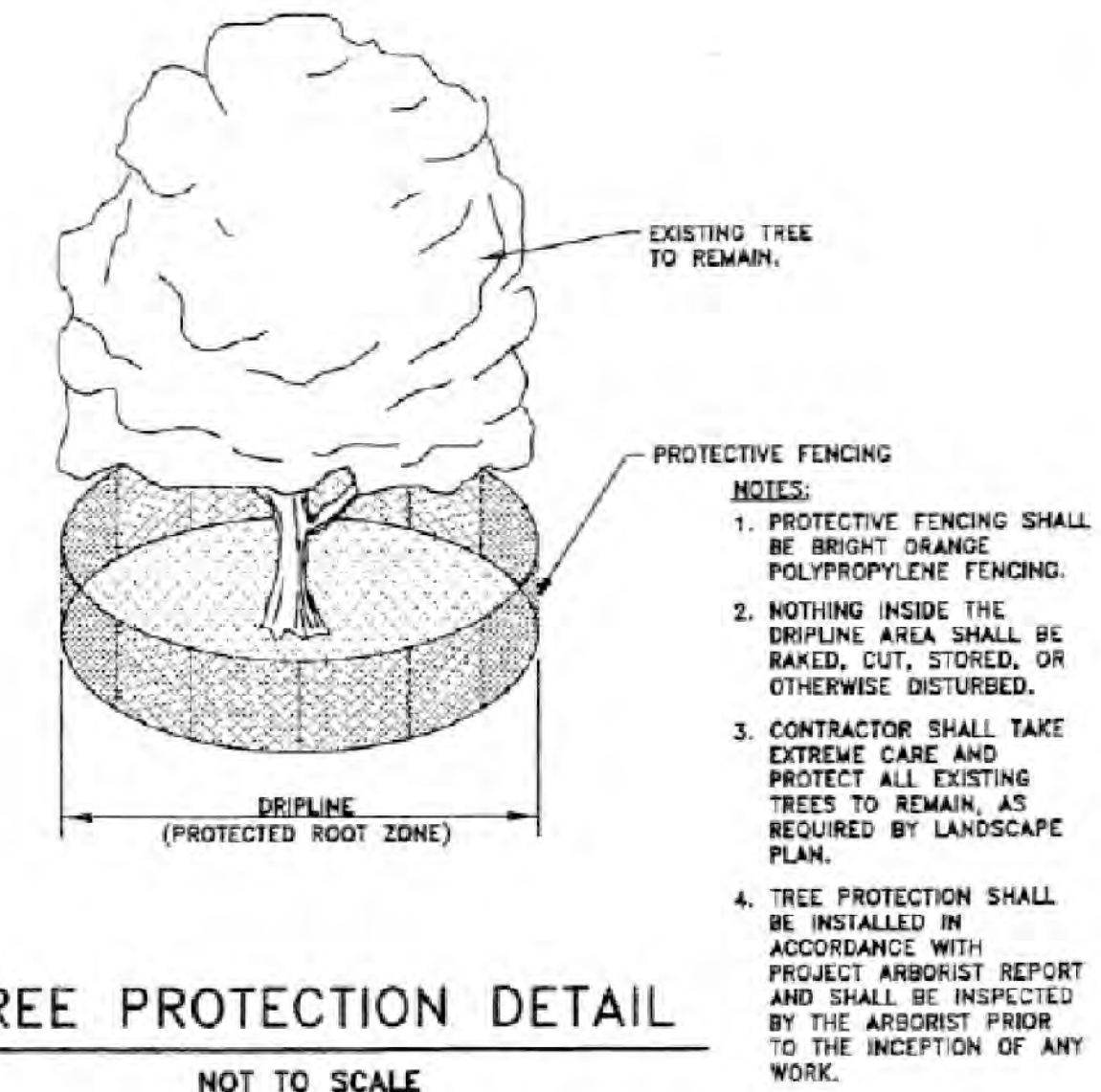
Tree Protection During Construction

Construction damage is one of the most common causes of tree death and decline in urban areas. Unless the damage is extreme, trees may not die immediately, but could decline over several years. Because construction equipment is operated next to trees, damage to trees is likely to occur. Branches will be broken, trunks are wounded, pruning cuts are made by untrained construction workers, but the most serious damage to tree caused by construction is underground. Root systems of trees may spread a distance beyond the root zone. The small, absorbing roots are generally located in the upper few inches of soil. The soil can become compacted by construction equipment and the small roots can be damaged or killed and the result could be yellowing leaves, dead twigs, and, large limbs may eventually die.

Prior to construction, an on-site inspection should be performed by a qualified arborist. The arborist must be able to communicate his needs of tree preservation with the developer, contractor or homeowner. The arborist should evaluate each trees condition and suitability for saving. Specifications should be written with the intent to protect selected trees and should detail exactly what can and cannot be done to and around the trees.

To avoid tree damage during construction, the following will be considered in order to protect trees from injury:

- **Erect Barriers** – Erect barriers as early as possible, a physical barrier should be established around the trees that are to be preserved. This fence can be made out of wood, plastic, wire or a combination and placed as far out from the trunks of the tree as possible. As a guideline, allow 1 foot from the trunk for each inch of trunk diameter. The intent is to protect not only the overhead branches but also the root system. The area inside the barrier must be kept clear and not used for storage of materials, parking, waste accumulation, or travel of trucks and heavy equipment.
- **Limit Access** – If possible allow only one access route on and off property.
- **Reduce Compaction** – Soil compaction caused by heavy equipment will close the air spaces in the soil. Without air and moisture, roots will die and cause dieback in the canopy. To reduce compaction, spread a thick layer (about 6 -12 inches) of mulch around the base of trees, and to obtain additional weight dispersal place large sheets of plywood over the mulch.
- **Avoid Grade Changes** – Changes in grade can be devastating to trees. If the grade is to be raised, the addition of only a few inches of soil around a tree could suffocate the roots and kill some species. Tree wells and aeration systems could be installed to preserve the tree. If the grade must be lowered, terracing or tree islands can be constructed to increase tree survival.



TREE PROTECTION DETAIL

NOT TO SCALE

NOTE:
No existing tree over 48 inches in circumference at 54 inches from base of tree may be removed without Protected Tree Permit from Parks Division (558-7330)

Carolan Avenue / Rollins Road

Burlingame, CA

OUTDOOR WATER USE EFFICIENCY CHECKLIST

Page 1 of 2

To Be Completed by Applicant

I certify that the subject project meets the specified requirements of the Water Conservation in Landscaping Ordinance.

Signature _____ Date _____

Project Information

Single Family Multi-Family Commercial Institutional Irrigation only Industrial Other:

Applicant Name (print): Summer Hill Apartment Communities / Summer Hill Homes Contact Phone #:

Project Site Address: 1008-1028 Carolan Ave & 1007-1025 Rollins Road

Project Area (sq.ft. or acre): 2.35,030.00 sq ft	# of Units: 268 units / 58 townhomes	# of Meters: tbd	Agency Review
			(Pass) (Fail)

For a single-family project, or a single-family development project, enter this information on an average, per unit basis. For all other projects, input an aggregate value for the entire project.

Total Landscape Area (sq.ft.): 29,667.00 sq ft	<input type="checkbox"/> Tier 1 (1,000 - 2,500 sq.ft.)	<input type="checkbox"/>	<input type="checkbox"/>
Turf Irrigated Area (sq.ft.): 10,650.00 sq ft	<input type="checkbox"/> Tier 2 (> 2,500 sq.ft.)	<input type="checkbox"/>	<input type="checkbox"/>
Non-Turf Irrigated Area (sq.ft.): 19,017.00 sq ft		<input type="checkbox"/>	<input type="checkbox"/>
Special Landscape Area (SLA) (sq.ft.): none		<input type="checkbox"/>	<input type="checkbox"/>
Water Feature Surface Area (sq.ft.): none		<input type="checkbox"/>	<input type="checkbox"/>

Landscape Parameter	Requirements	Project Compliance		
Turf	Less than 25% of the landscape area is turf	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No, See Water Budget	<input type="checkbox"/>	<input type="checkbox"/>
	All turf areas are > 8 feet wide	<input type="checkbox"/> Yes	<input type="checkbox"/>	<input type="checkbox"/>
	All turf is planted on slopes < 25%	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/>	<input type="checkbox"/>
Non-Turf	At least 80% of non-turf area is native or low water use plants	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No, See Water Budget	<input type="checkbox"/>	<input type="checkbox"/>
	Hydrozones	Plants are grouped by Hydrozones	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/>
Mulch	At least 2-inches of mulch on exposed soil surfaces	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/>	<input type="checkbox"/>
	Irrigation System Efficiency	70% ETo (100% ETo for SLAs)	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/>
No overspray or runoff		<input checked="" type="checkbox"/> Yes	<input type="checkbox"/>	<input type="checkbox"/>
Irrigation System Design	System efficiency > 70%	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/>	<input type="checkbox"/>
	Automatic, self-adjusting irrigation controllers	<input type="checkbox"/> No, not required for Tier 1 <input checked="" type="checkbox"/> Yes	<input type="checkbox"/>	<input type="checkbox"/>
	Moisture sensor/rain sensor shutoffs	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/>	<input type="checkbox"/>
Irrigation Time	No sprayheads in < 8-ft wide area	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/>	<input type="checkbox"/>
	System only operates between 8 PM and 10 AM	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/>	<input type="checkbox"/>
Metering	Separate irrigation meter	<input type="checkbox"/> No, not required because < 5,000 sq.ft. <input checked="" type="checkbox"/> Yes	<input type="checkbox"/>	<input type="checkbox"/>
	Swimming Pools / Spas	Cover highly recommended	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No, not required	<input type="checkbox"/>
Water Features		Recirculating	<input type="checkbox"/> Yes	<input type="checkbox"/>
	Less than 10% of landscape area	<input type="checkbox"/> Yes	<input type="checkbox"/>	<input type="checkbox"/>
Documentation	Checklist	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/>	<input type="checkbox"/>
	Landscape and Irrigation Design Plan	<input type="checkbox"/> Prepared by applicant <input checked="" type="checkbox"/> Prepared by certified professional	<input type="checkbox"/>	<input type="checkbox"/>
	Water Budget (optional)	<input type="checkbox"/> Prepared by applicant <input checked="" type="checkbox"/> Prepared by certified professional	<input type="checkbox"/>	<input type="checkbox"/>
Audit	Post-installation audit completed	<input type="checkbox"/> Completed by applicant <input checked="" type="checkbox"/> Completed by certified professional	<input type="checkbox"/>	<input type="checkbox"/>

OUTDOOR WATER USE EFFICIENCY CHECKLIST

Page 2 of 2

To Be Completed by Agency

Auditor:

Materials Received and Reviewed:

Outdoor Water Use Efficiency Checklist

Water Budget

Landscape Plan

Post-Installation Audit

Date Reviewed:

Follow up required (explain):

Date Resubmitted:

Date Approved:

Dedicated Irrigation Meter Required:

Meter sizing:

Comments:

Selected Definitions:

Tier 1: New construction and rehabilitated landscapes with irrigated landscape areas between 1,000 and 2,500 square feet requiring a building or landscape permit, plan check or design review, or new or expanded water service.

Tier 2: New construction and rehabilitated landscapes with irrigated landscape areas greater than 2,500 square feet requiring a building or landscape permit, plan check or design review. Reference evapotranspiration means the quantity of water evaporated from a large field of four- to seven-inch tall, cool-season grass that is well watered. Reference evapotranspiration is used as the basis of estimating water budgets so that regional differences in climate can be accommodated.

ETo: Reference evapotranspiration (inches per year)

SLA: Special Landscaped Area. Includes edible plants, areas irrigated with recycled water, surface water features using recycled water and areas dedicated to active play such as parks, sports fields, golf courses, and where turf provides a playing surface.

Water Feature: A design element where open water performs an aesthetic or recreational function. Water features include ponds, lakes, waterfalls, fountains, artificial streams, spas, and swimming pools (where water is artificially supplied).

Material Distributed to Applicant:

Water Conservation in Landscaping Ordinance

Outdoor Water Use Efficiency Checklist

Water Budget Calculation Worksheets

Plant List

Other:

Measures Recommended to Applicant:

Drip irrigation

Self-adjusting Irrigation Controller

Plant palate

Three (3) inches of mulch

Soil amendment (e.g., compost)

Grading

Pool and/or spa cover

Dedicated irrigation meter

Other:

WATER BUDGET CALCULATION WORKSHEETS

SECTION B. WATER BUDGET CALCULATIONS

Section B1. Maximum Applied Water Allowance (MAWA)

The project's Maximum Applied Water Allowance shall be calculated using this equation:

$$MAWA = (ETo) (0.62) [(0.7 \times LA) + (0.3 \times SLA)]$$

where:

MAWA = Maximum Applied Water Allowance (gallons per year)
 ETo = Reference Evapotranspiration (inches per year)
 0.62 = Conversion factor (to gallons per square foot)
 0.7 = ET Adjustment Factor (ETAF)
 LA = Landscaped Area includes Special Landscape Area (square feet)
 0.3 = the additional ET Adjustment Factor for Special Landscape Area (1.0 - 0.7 = 0.3)
 SLA = Portion of the landscape area identified as Special Landscape Area (square feet)

Maximum Applied Water Allowance = 535,619 gallons per year

Show calculations:

$$MAWA = (41.6) (0.62) [(0.7 \times 29,667) + (0.3 \times SLA)]$$

$$= 535,619$$

WATER BUDGET CALCULATION WORKSHEETS

SECTION A. HYDROZONE INFORMATION TABLE

Please complete the hydrozone table(s) for each hydrozone. Use as many tables as necessary to provide the square footage of landscape area per hydrozone.

Hydrozone (a)	Zone or Valve Number	Irrigation Method (b)	Area (Sq. Ft.)	Percent (%) of Landscape Area
1 LW	---	D	16680	56%
2 MW	---	D	11120	38%
3 HW	---	---	1867	6%
Total				100%

(a) Hydrozone: HW = High Water Use Plants, MW = Moderate Water Use Plants, LW = Low Water Use Plants
 (b) Irrigation Method: MS = Micro-spray, S = Spray, R = Rotar, B = Bubbler, D = Drip, O = Other

WATER BUDGET CALCULATION WORKSHEETS

SECTION B. WATER BUDGET CALCULATIONS

Section B2. Estimated Total Water Use (ETWU)

The project's Estimated Total Water Use is calculated using the following formula:

$$ETWU = (ETo)(0.62) \left(\frac{PF \times HA}{IE} + SLA \right)$$

where:

ETWU = Estimated total water use per year (gallons per year)
 ETo = Reference Evapotranspiration (inches per year)
 PF = Plant Factor from WUCOLS
 HA = Hydrozone Area [high, medium, and low water use areas] (square feet)
 SLA = Special Landscape Area (square feet)
 0.62 = Conversion Factor (to gallons per square foot)
 IE = Irrigation Efficiency (minimum 0.70)

Hydrozone Table for Calculating ETWU

Please complete the hydrozone table(s). Use as many tables as necessary.

Hydrozone	Plant Water Use Type(s)	Plant Factor (PF)	Area (HA) (square feet)	PF x HA (square feet)
1	LW	.3	16680	5004
2	MW	.5	11120	5560
3	HW (water feature)	1	1867	1867

Estimated Total Water Use = 371,530 gallons

Show calculations:

1	2	3
$41.6 \times .62 \times \left(\frac{5004}{.7} \right)$	$41.6 \times .62 \times \left(\frac{5560}{.7} \right)$	$41.6 \times .62 \times \left(\frac{1867}{.7} \right)$
143,403	159,337	68,790

Carolan Avenue / Rollins Road
Burlingame, CA



Ginkgo Tree



Magnolia Tree



Hedge along fence



Good Neighbor Fence



Vehicular Gate



Bench Options



Accent Wall options



Red Maple Tree



Specimen Tree, Japanese Maple



Stucco Concrete Wall



Salt finish Concrete



Bollard Light



Pole Light



Flowering Cherry Tree



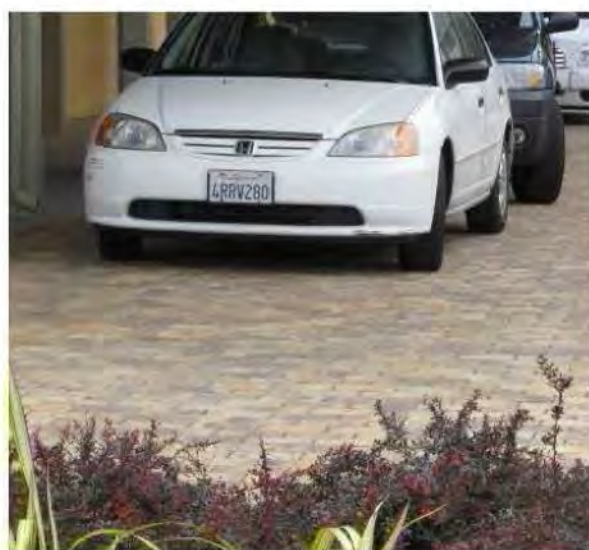
Brisbane Box Tree



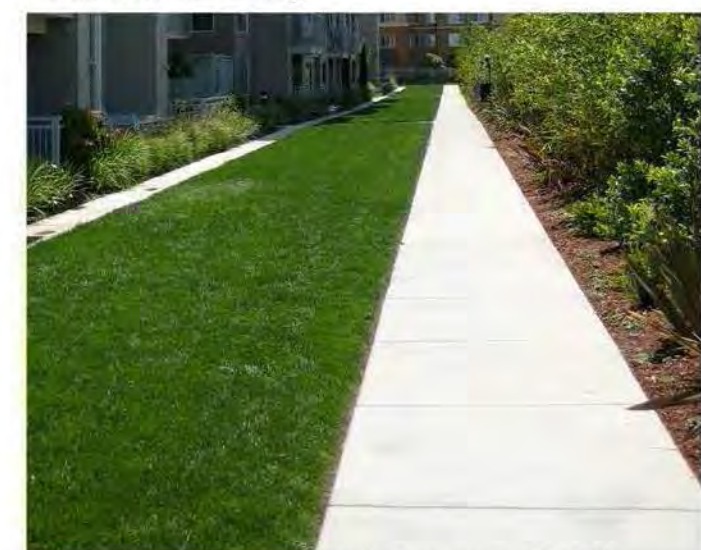
Pedestrian Pavers



Concrete Paving



Vehicular Pavers



Turf Block Paving w/ Concrete Walk



Bike Racks & Trash Receptacles

CONCEPT

TREES

HARDSCAPE

Carolan Avenue / Rollins Road

Burlingame, CA