988 HOWARD AVENUE

BURLINGAME, CA

ABBREVIATIONS

A/C	AIR CONDITIONING
ADJ.	ADJUSTABLE
A.F.F.	ABOVE FINISH FLOOR
ALUM.	ALUMINUM
ALT.	ALTERNATE
APPROX.	APPROXIMATELY
ARCH.	ARCHITECT(URAL)
A.C.T.	ACOUSTIC CEILING TILE
BLDG.	BUILDING
BLKG.	BLOCKING
BOT.	BOTTOM
℄ /CL	CENTER LINE
CAB.	CABINET
C.G.	CORNER GUARD
CHG.	CHANGE
CLG.	CEILING
CLOS.	CLOSET
CLR.	CLEAR
C.M.U.	CONCRETE MASONRY UNIT
COL.	COLUMN
CONC.	CONCRETE
CONN.	CONNECTION
CONST.	CONSTRUCTION
CORR.	CORRIDOR
C.T.	CERAMIC TILE
CTR.	CENTER
DET.	DETAIL
DIA/ø	DIAMETER
DIM.	DIMENSION
DN.	DOWN
DWG.	DRAWING
DS.	DOWN SPOUT
(E)	EXISTING
EA.	EACH
EL.	ELEVATION
ELEC.	ELECTRICAL
ELEV.	ELEVATOR
EQ.	EQUAL
EQUIP.	EQUIPMENT
EXP.	EXPANSION
EXPOS.	EXPOSED
EXT.	EXTERIOR
F.D.	FLOOR DRAIN
FIN.	FINISH
FL.	FLOOR
FLASH.	FLASHING
FLUOR.	FLUORESCENT
F.O.F.	FACE OF FINISH
F.O.S.	FACE OF STUD
FPRF.	FIREPROOF
FURR.	FURRING
GA.	GAGE
GALV.	GALVANIZED
G.C.	GENERAL CONTRACTOR
GL.	GLASS
GR.	GRADE
GYP. BD.	GYPSUM BOARD
H.B.	HOSE BIB
HC	HANDICAPPED
H.C.	HOLLOW CORE
HDWR.	HARDWARE
HGT.	HEIGHT
H.M.	HOLLOW METAL
HP	HIGH POINT
HR.	HOUR
H.W.	HOT WATER
INSUL.	INSULATION/INSULATED
INT.	INTERIOR
JAN.	JANITOR
JT.	JOINT
L.P.	LOW POINT
MAX	MAXIMUM
M.C.	MEDICINE CABINET
M.D.	MOTION DETECTOR
MECH.	MECHANICAL
MIN	MINIMUM
MTD.	MOUNTED
MTL.	METAL
(N)	NEW
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OFF.	OFFICE
OPNG.	OPENING
OPP.	OPPOSITE
O.T.B.	OPEN TO BELOW
PR.	PAIR
P-LAM.	PLASTIC LAMINATE
PTD.	PAINTED
PLYWD.	PLYWOOD
P.O.	PRIVATE OFFICE
R.D.	ROOF DRAIN
REQ.	REQUIRED
RM.	ROOM
R.O.	ROUGH OPENING
S.C.	SOLID CORE
STOR.	STORAGE
SHT.	SHEET
SIM.	SIMILAR
STRL.	STRUCTURAL
T	TREAD
T&G	TONGUE AND GROOVE
TEL.	TELEPHONE
T.O.	TOP OF
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
V.I.F.	VERIFY IN FIELD
WD.	WOOD
W.P.	WATERPROOF

LEGEND

- # / X.XX — DETAIL REFERENCE NUMBER; SHEET WHERE DETAIL IS LOCATED
- #/X.XX — DIRECTION OF SECTION VIEW, INTERIOR SECTION IDENTIFICATION/ SHEET WHERE SECTION IS LOCATED
- #/X.XX — SHEET WHERE ELEVATION IS LOCATED; ELEVATION REFERENCE NUMBER
- 101 — DOOR SYMBOL
- W-01 — WINDOW SYMBOL
- X.XX — WALL / FLOOR TYPE SYMBOL
- ELEVATION DATUM
- X'-X" — CEILING HEIGHT
- REVISION SYMBOL
- WALL-MOUNTED INCANDESCENT SCONCE LIGHT FIXTURE
- WALL-MOUNTED COMPACT FLUORESCENT SCONCE LIGHT FIXTURE
- RECESSED INCANDESCENT LIGHT FIXTURE AT CEILING
- RECESSED COMPACT FLUORESCENT LIGHT FIXTURE AT CEILING
- SURFACE-MOUNTED COMPACT FLUORESCENT LIGHT FIXTURE AT CEILING
- COMBINATION EXHAUST FAN AND COMPACT FLUORESCENT LIGHT FIXTURE, RECESSED AT CEILING
- X' — SURFACE-MOUNTED FLUORESCENT STRIP LIGHT FIXTURE, CEILING-MOUNTED (WITH LENGTH AS INDICATED)
- X' — SURFACE-MOUNTED TRACK LIGHT FIXTURE, CEILING-MOUNTED (WITH LENGTH AS INDICATED)
- EMERGENCY LIGHT FIXTURE WITH BATTERY PACK, CEILING OR WALL-MOUNTED
- EXIT LIGHT FIXTURE WITH BATTERY BACK-UP, CEILING OR WALL-MOUNTED (WITH DIRECTIONAL ARROWS AS REQUIRED)
- $ — ONE-WAY SWITCH, MOUNTED AT +48" A.F.F., U.O.N.
- $2 — TWO-WAY SWITCH, MOUNTED AT +48" A.F.F., U.O.N.
- $3 — THREE-WAY SWITCH, MOUNTED AT +48" A.F.F., U.O.N.
- DUPLEX OUTLET, MOUNTED AT +15" A.F.F, U.O.N.
- WP — DUPLEX OUTLET (WATERPROOF) MOUNTED AT +15" A.F.F, U.O.N.
- DC — DUPLEX OUTLET, (DEDICATED) MOUNTED AT +15" A.F.F, U.O.N.
- GFI — DUPLEX OUTLET, WITH GROUND FAULT INTERRUPTER, MOUNTED AT +44" A.F.F, U.O.N.
- DW — DUPLEX OUTLET (FOR DISHWASHER), MOUNTED UNDER KITCHEN CABINET
- TELEPHONE JACK, MOUNTED AT +15" A.F.F., U.O.N.
- DATA JACK, MOUNTED AT +15" A.F.F., U.O.N.

GENERAL NOTES

GENERAL CONDITIONS: AIA DOCUMENT A201, GENERAL CONDITIONS FOR THE PERFORMANCE OF THE CONTRACT IS HEREBY INCORPORATED INTO THESE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF THE WORK.

EXISTING CONDITIONS: CONDITIONS SHOWN OF THE DRAWINGS ARE AS SHOWN ON THE ORIGINAL DRAWINGS AND AS OBSERVED ON THE SITE, BUT THEIR ACCURACY IS NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECT PRIOR TO PROCEEDING WITH THE WORK. NOTE: DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE OF THE DRAWINGS.

PERMITS: THE CONTRACTOR SHALL OBTAIN AND PAY ALL CITY AND/OR COUNTY FEES RELATING TO PROJECT, EXCEPTING THE GENERAL PERMIT, WHICH IS THE RESPONSIBILITY OF THE OWNERS' AND IS REIMBURSABLE TO THE G.C.

CODES: ALL WORK SHALL BE DONE IN COMPLIANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO: UNIFORM BUILDING CODES, NATIONAL ELECTRICAL, MECHANICAL, AND PLUMBING CODES, HEALTH DEPARTMENT REGULATIONS, FIRE AND SAFETY CODES, CITY AND/OR COUNTY ORDINANCES AND REGULATIONS AND OTHER CODES GOVERNING CONSTRUCTION.

SITE RESPONSIBILITY: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING HEALTH AND SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. CONTRACTOR TO LIMIT TRAFFIC AND ACCESS TO THOSE AREAS WHERE WORK IS PERFORMED.

CLEAN UP AND REPAIRS: THE CONSTRUCTION SITE SHALL BE MAINTAINED IN AN ORDERLY MANNER AT ALL TIMES WITH ALL DEBRIS REMOVED AT THE END OF THE EACH DAY. AT THE COMPLETION OF THE CONSTRUCTION REMOVE ALL EXCESS MATERIALS AND REFUSE FROM SITE. LEAVE ALL SURFACES WITHIN CONSTRUCTION SITE FREE FROM DUST, DIRT AND STAINS. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SURFACES OR ITEMS DAMAGED BY CONSTRUCTION TO THE SATISFACTION OF THE ARCHITECT AND OWNER.

PATCHING: PROPERLY PREPARE SURFACES FOR RECEIVING THE SPECIFIED FINISHES INCLUDING PATCHING OF SURFACES ALTERED BY CONSTRUCTION. ON PATCHED AREAS OR AREAS WHERE A FINISH IS NOT SPECIFIED, THE FINISH SHALL MATCH ADJACENT MATERIAL IN CONSTRUCTION, COLOR AND TEXTURE.

ALL WORK NOTED "N.I.C." OR NOT IN CONTRACT IS TO BE PROVIDED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR.

"ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES ON THE SAME PLANE.

"TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.

DETAILS ARE USUALLY KEYED AND NOTED "TYPICAL" ONLY ONCE, WHEN THEY FIRST OCCUR, AND ARE REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.

SCHEDULE: UPON SUBMITTAL OF THE FINAL CONSTRUCTION COSTS, THE CONTRACTOR SHALL ALSO SUBMIT A CONSTRUCTION SCHEDULE INDICATING THE REQUIRED CONSTRUCTION TIME FOR ALL SUBCONTRACTOR'S AND CONTRACTOR'S WORK AND A COST-BY-TRADE BREAKDOWN FOR USE IN SCHEDULING AND EVALUATING PAY REQUESTS.

SUBSTITUTIONS: SUBSTITUTIONS, REVISIONS, OR CHANGES MUST HAVE APPROVAL BY THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.

DAMAGE: THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SURFACES OR ITEMS DAMAGED BY CONSTRUCTION TO THE SATISFACTION OF THE ARCHITECT OR OWNER.

GUARANTEES: THE CONTRACTOR SHALL GUARANTEE THAT THE PROJECT WILL BE FREE OF DEFECTS OF WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY DEFICIENT IN ANY REQUIREMENT OF THE DRAWINGS OR NOTES WILL BE ACCEPTABLE IN CONSEQUENCE OF THE OWNER'S OR ARCHITECT'S FAILURE TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTS OF WORKMANSHIP OR MATERIALS REVEALED WITHIN A PERIOD OF ONE YEAR FROM THE ACCEPTANCE SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONTRACT AT NO COST TO THE OWNER. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK.

COLUMN CENTERLINES (ALSO REFERRED TO AS GRIDLINES) ARE SHOWN FOR DIMENSIONAL PURPOSES. (REFER TO BASE BUILDING DRAWINGS FOR EXACT LOCATIONS.

CONSTRUCTION HOURS:
WEEKDAYS: 7:00AM – 7:00PM
SATURDAYS: 9:00AM – 6:00PM
SUNDAY AND HOLIDAYS: 10:00AM – 6:00PM
(SEE CITY OF BURLINGAME MUNICIPAL CODE, SECTION 13.01.100 FOR DETAILS)

ANY HIDDEN CONDITIONS THAT REQUIRE WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT ISSUED FOR THESE PLANS MAY REQUIRE FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION. THE BUILDING OWNER, PROJECT DESIGNER, AND/OR CONTRACTOR MUST SUBMIT A REVISION TO THE CITY FOR ANY WORK NOT GRAPHICALLY ILLUSTRATED ON THE JOB COPY OF THE PLANS PRIOR TO PERFORMING THE WORK.

AN OSHA PERMIT TO BE OBTAINED FOR THE SHORING* AT THE EXCAVATION IN THE BASEMENT PER CAL/OSHA REQUIREMENTS. SEE CAL/OSHA HANDBOOK.
*CONSTRUCTION SAFETY ORDERS: CHAPTER 4, SUBCHAPTER 4, ARTICLE 6, SECTION 1541.1.

GRADING PERMIT, IF REQUIRED, TO BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS.

ALL PATHS OF TRAVEL AND COMMON USE SPACES WILL BE ACCESSIBLE AND ALL LIVING UNITS WILL BE ADAPTABLE.

STREET ELEVATION

DRAWING INDEX

GENERAL

A0.0 COVER SHEET
A0.1 GREEN CHECKLISTS
A0.2 CODE & EGRESS PLANS
A0.3 ACCESS PLANS
A0.4 DETAILS: TYPICAL ACCESSIBILITY
A0.5 DETAILS: TYPICAL ACCESSIBILITY
A0.6 DETAILS: TYPICAL ACCESSIBILITY
A0.7 AREA CALCULATIONS

CIVIL

SHEET 1 BOUNDARY AND TOPOGRAPHIC SURVEY
C-1 PRELIMINARY GRADING AND DRAINAGE PLAN

LANDSCAPE

L1.1 SCHEMATIC DESIGN PHASE SITE SURVEY ARBOR CARE PLAN
L2.1 SCHEMATIC DESIGN PHASE LANDSCAPE PLAN : GROUND LVL
L2.2 SCHEMATIC DESIGN PHASE LANDSCAPE PLAN : ROOF LVL

ARCHITECTURAL

A1.0 SITE PLAN: DEMO
A1.1 SITE PLAN: PROPOSED
A2.0 FLOOR PLAN: BASEMENT
A2.1 FLOOR PLAN: GROUND FLOOR
A2.2 FLOOR PLAN: 2ND FLOOR
A2.3 FLOOR PLAN: 3RD FLOOR
A2.4 FLOOR PLAN: ROOF PLAN

A3.1 ELEVATIONS: EXTERIOR
A3.2 ELEVATIONS: EXTERIOR
A3.3 EXTERIOR RENDERINGS

A4.1 SECTIONS: BUILDING

CONTACT LIST

OWNER

DIMITRIOS SOGAS
1290 HOWARD STREET
BURLINGAME, CA 94010
650/703-1042
CONTACT: DIMITRIOS SOGAS

ARCHITECT

LEVY DESIGN PARTNERS
90 SOUTH PARK
SAN FRANCISCO, CA 94107
415/777-0561
415/777-5117 FAX

CONTACT: TOBY LEVY

LANDSCAPE ARCHITECT

CFLA
74 DUDLEY AVE
PIEDMONT, CA 94611
510/601-8022
510/601-0922 FAX

CONTACT: CHRIS FORD

CIVIL ENGINEER

MACLEOD & ASSOCIATES
965 CENTER STREET
SAN CARLOS, CA 94070
650/593-8580 X12
510/593-8675 FAX

CONTACT: VERGEL GALURA

BUILDING DATA

ADDRESS: 988 HOWARD AVENUE, BURLINGAME, CA 94010
A.P.N: 029 214 220
BLOCK/LOT#:
LOT SIZE: 15,352 SQ. FT.
ZONING DISTRICT: MMU
CODES: 2013 CALIFORNIA BUILDING CODE (CBC)
2014 BURLINGAME DOWNTOWN PLAN AND HOUSING ELEMENT
SCOPE OF WORK: NEW CONSTRUCTION OF A 3-STORY BUILDING OVER BASEMENT: 2 STORIES OF COMMERCIAL ABOVE GROUND LEVEL OF PARKING, LOBBY, AND RETAIL; BASEMENT CONTAINS PARKING

FIRE RATINGS:

TYPE IA CONSTRUCTION:		TYPE VB CONSTRUCTION:	
PRIMARY STRUCTURAL FRAME:	3 HOUR (CBC TABLE 601)	PRIMARY STRUCTURAL FRAME:	NO RATING (CBC TABLE 601)
BEARING EXTERIOR WALLS:	3 HOUR (CBC TABLE 601)	BEARING EXTERIOR WALLS:	NO RATING (CBC TABLE 601)
BEARING INTERIOR WALLS:	3 HOUR (CBC TABLE 601)	BEARING INTERIOR WALLS:	NO RATING (CBC TABLE 601)
NON-BEARING EXTERIOR WALLS:	1 HOUR (CBC TABLE 602)	NON-BEARING EXTERIOR WALLS:	1 HOUR & NO RATING (CBC TABLE 602)
NON-BEARING INTERIOR WALLS:	NO RATING (CBC TABLE 601)	NON-BEARING INTERIOR WALLS:	NO RATING (CBC TABLE 601)
FLOOR CONSTRUCTION:	2 HOUR (CBC TABLE 601)	FLOOR CONSTRUCTION:	NO RATING (CBC TABLE 601)
ROOF CONSTRUCTION:	1.5 HOUR (CBC TABLE 601)	ROOF CONSTRUCTION:	NO RATING (CBC TABLE 601)
EXIT ENCLOSURES:	2 HOURS (CBC 1022.1)	EXIT ENCLOSURES:	2 HOURS (CBC 1022.1)

LOCATION	BASEMENT & GROUND FLOOR		2ND & 3RD FLOORS
PROPOSED OCCUPANCY	BASEMENT :S-2 (PARKING & STORAGE) – GROUND FLOOR : S-2 & B		B (BUSINESS)*
CONSTRUCTION*	TYPE 1A	TYPE 1A	TYPE V-B
SRINKLERED	YES	YES	YES
AREA			
ALLOWABLE AREA (CBC TABLE 503)	UNLIMITED	UNLIMITED	9,000 SF PER FLOOR (TABULAR)
ALLOWABLE AREA MODIFICATION PER STORY (CBC 506.1)	N/A	N/A	Aa=[At+[Atxlf]+[Atxls]] Aa=[9000+[9000x0]+[9000x2]] Aa=27,000 SF
TOTAL ALLOWABLE AREA	UNLIMITED	UNLIMITED	54,000 SF (2xAa)
PROPOSED AREA			2ND FL: 11,180 SF 3RD FL: 11,115 SF
TOTAL PROPOSED AREA	14,575 SF	10,150 SF	22,295 SF
HEIGHT & STORIES			
ALLOWABLE HEIGHT (CBC TABLE 503)	UNLIMITED	UNLIMITED	50'-0" PER CBC
PROPOSED HEIGHT	N/A (BASEMENT)	N/A (BASEMENT)	45'-0" TO T.O. PARAPET (55'-0" T.O. ELEV.)
ALLOWABLE STORIES (CBC TABLE 503)	UNLIMITED	UNLIMITED	3+1=4 (ADDITIONAL STORY PER CBC 504.2)
PROPOSED STORIES	1	1 (ABOVE GRADE)	2
OCCUPANT LOAD	14,575/200 = 73	S-2 : 7,890/200 = 40 LOBBY/RETAIL : 2,260/100 = 23	COMMERCIAL: 2ND FL: 11,180/100 = 112 3RD FL: 11,115/100 = 111 TOTAL: 223
	TOTAL OCCUPANTS: 136		TOTAL OCCUPANTS: 223

*3 HR HORIZONTAL SEPARATION BETWEEN B (TYPE VB) & S-2 (TYPE IA) OCCUPANCIES

** FULLY SPRINKLERED FOR 1-STORY ALLOWABLE INCREASE (BUT NOT USED)

PLANNING DATA

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SCOPE OF WORK: NEW CONSTRUCTION OF A 3-STORY BUILDING OVER BASEMENT: 2 STORIES OF COMMERCIAL ABOVE GROUND LEVEL OF PARKING, LOBBY, AND RETAIL; BASEMENT CONTAINS PARKING

HEIGHT LIMIT:
ALLOWED: 45'-0" WITHOUT A CONDITIONAL USE PERMIT
PROPOSED: 45'-0" (TO T.O. PARAPET)

LOT COVERAGE:
ALLOWED: 75% OF LOT SIZE = 11,514 SF
PROPOSED: BUILDING FOOTPRINT & ALL OVERHANGS = 11,160 SF (72.7%)

SETBACKS:
REQUIRED: (FRONT) EAST LANE SETBACK: 10'-0"
(SIDE) HOWARD AVE. SETBACK: NONE REQUIRED
(REAR) MYRTLE ROAD SETBACK: 20'-0"
PROPOSED: VARIES, SEE ARCHITECTURAL PLANS & ELEVATIONS (ALL MEET MIN. REQUIREMENTS)

LANDSCAPING:
REQUIRED: 10% OF FRONT SETBACK AREA TO BE LANDSCAPED
PROPOSED: 70% OF FRONT SETBACK AREA TO BE LANDSCAPED

PARKING:
REQUIRED:
- 1 SPACE PER 300SF OF INTERIOR CROSS OFFICE/COMMERCIAL SPACE (@ 20,880SF = 69.6 SPACES)
- 1 SPACE PER 400SF OF RETAIL SPACE (@ 1,325SF = 3.3125 SPACES)

TOTAL REQUIRED: 72.9 SPACES = 73 SPACES

PROPOSED:
- 1 CAR SHARE PARKING SPACE (PER CAR SHARE PARKING BONUS):
  - ** ALLOWS A MAXIMUM OF 10% PARKING REDUCTION = REQUIRING THE PROJECT TO PROVIDE:
  - ** (73/.10 = 65.7) = 66 PARKING SPACES + 1 CAR SHARE SPACE

67 SPACES : PROVIDED
- 64 STANDARD COMMERCIAL SPACES (8'-6" X 18'-0")
  - ** (INCL. 25 STANDARD COMMERCIAL SPACES BY USE OF CAR STACKERS)
- 3 ACCESSIBLE PARKING SPACES (9'-0" X 20'-0")

APPLICABLE CODES AND REGULATIONS

2013 CALIFORNIA BUILDING CODE

2013 CALIFORNIA RESIDENTIAL CODE (WHERE APPLICABLE)

2013 CALIFORNIA MECHANICAL CODE

2013 CALIFORNIA PLUMBING CODE

2013 CALIFORNIA ELECTRIC CODE

2013 CALIFORNIA ENERGY CODE

2013 CALIFORNIA ENERGY EFFICIENCY STANDARDS

2013 CALIFORNIA FIRE CODE

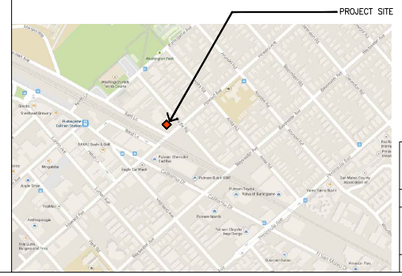
1998 CALIFORNIA ELEVATOR SAFETY CODE

ANSI/ASME A17.1-2013 SAFETY CODE FOR ELEVATORS AND ESCALATORS 2013 EDITION

UNIFORM FEDERAL ACCESSIBILITY STANDARDS

INCLUDING ANY AMENDMENTS AS ADOPTED IN ORDINANCE 1856-2010 AS WELL AS ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS

AREA MAP



TRUE NORTH

PROJECT NORTH

LEVY DESIGN PARTNERS
90 South Park
San Francisco
CA 94107

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988 HOWARD AVENUE
BURLINGAME, CA

LICENSED ARCHITECT
TOBY STELLA LEVY
C-10527
RENEWAL DATE 6-30-15
STATE OF CALIFORNIA

988 HOWARD AVENUE
APN: 029 214 220
BURLINGAME, CA
PROJECT NO. 2014-21

DATE	SET ISSUE
05-01-2015	PLANNING COMMISION
08-24-2015	PLANNING COMMISION
12-23-2015	PLANNING COMMISION
03-14-2016	PLANNING COMMISION

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

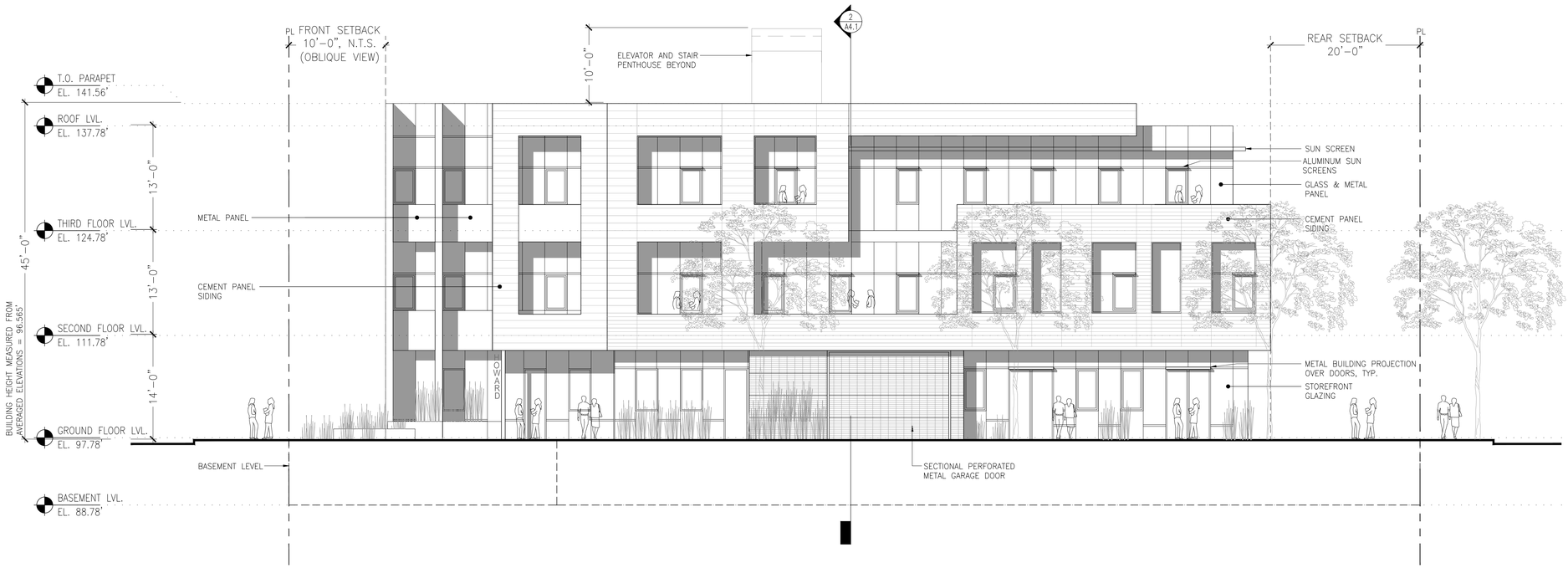
SCALE: AS NOTED

COVER SHEET

A0.0

1 *ELEVATION: EAST LANE (PROJECT WEST)*
1/8"=1'-0"

NOTE: SEE SHEET A3.2 FOR TYPICAL WINDOW DETAILS



2 *ELEVATION: HOWARD AVENUE (PROJECT SOUTH)*
1/8"=1'-0"

LEVY DESIGN PARTNERS ARCHITECTURE
901 South Park
San Francisco
CA 94107

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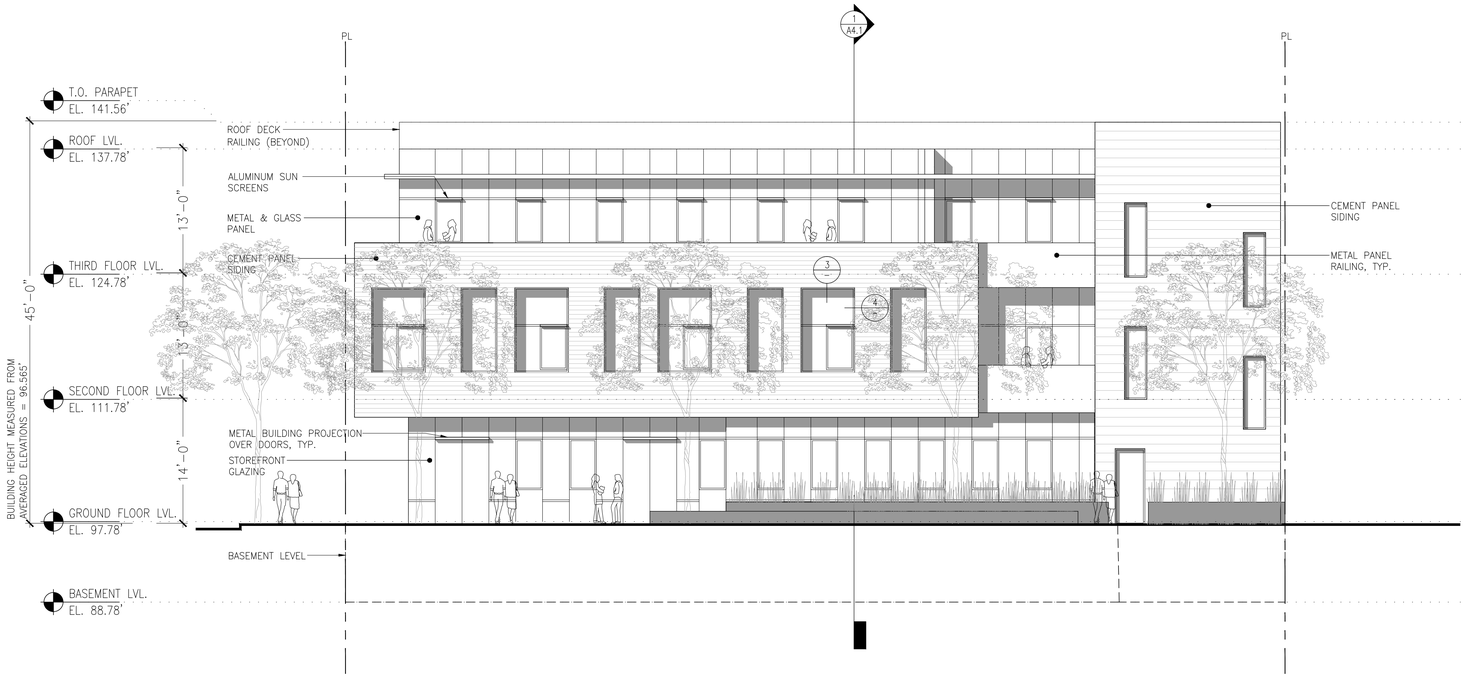
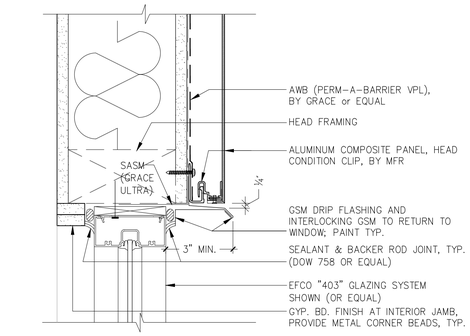
SCALE: AS NOTED

ELEVATIONS: EXTERIOR

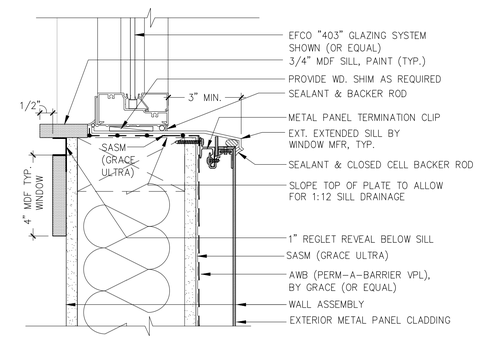
A3.1



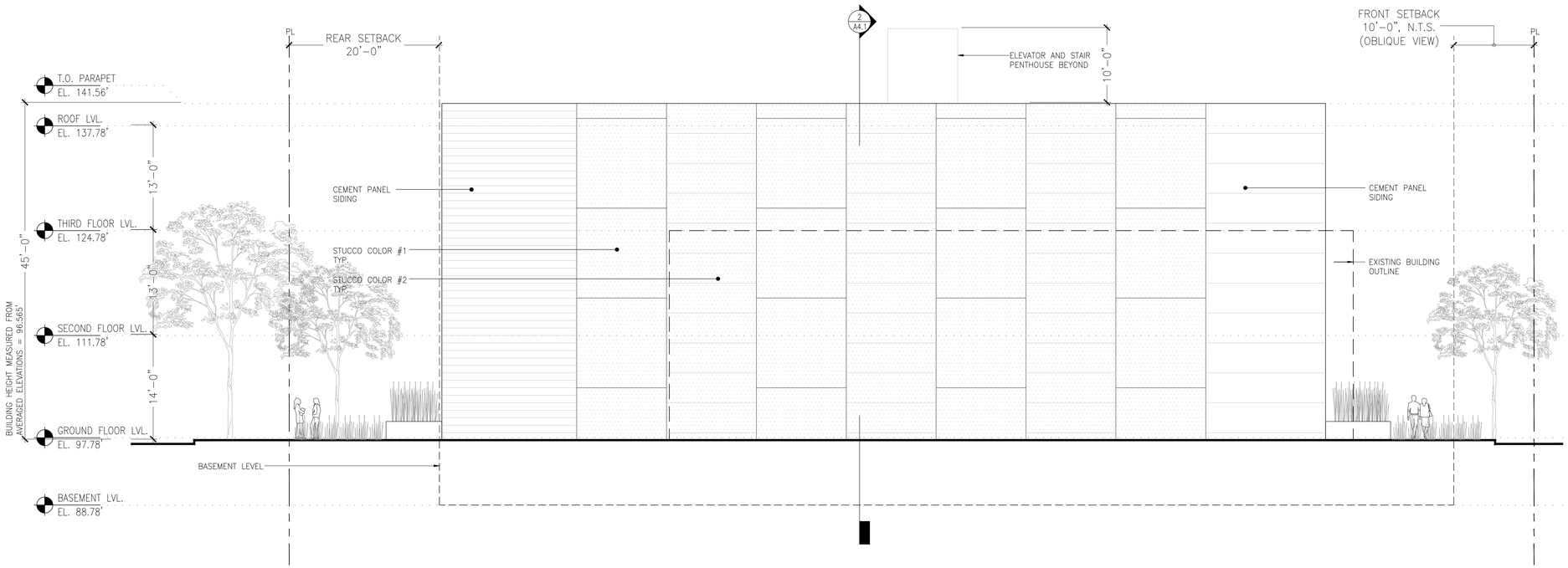
1 ELEVATION: MYRTLE ROAD (PROJECT EAST)
1/8"=1'-0"



3 HEAD @ ALUMINUM WINDOW - METAL PANEL
3"=1'-0"
(JAMB SIMILAR)



4 SILL @ ALUMINUM WINDOW - METAL PANEL
3"=1'-0"



2 ELEVATION: PROJECT NORTH
1/8"=1'-0"

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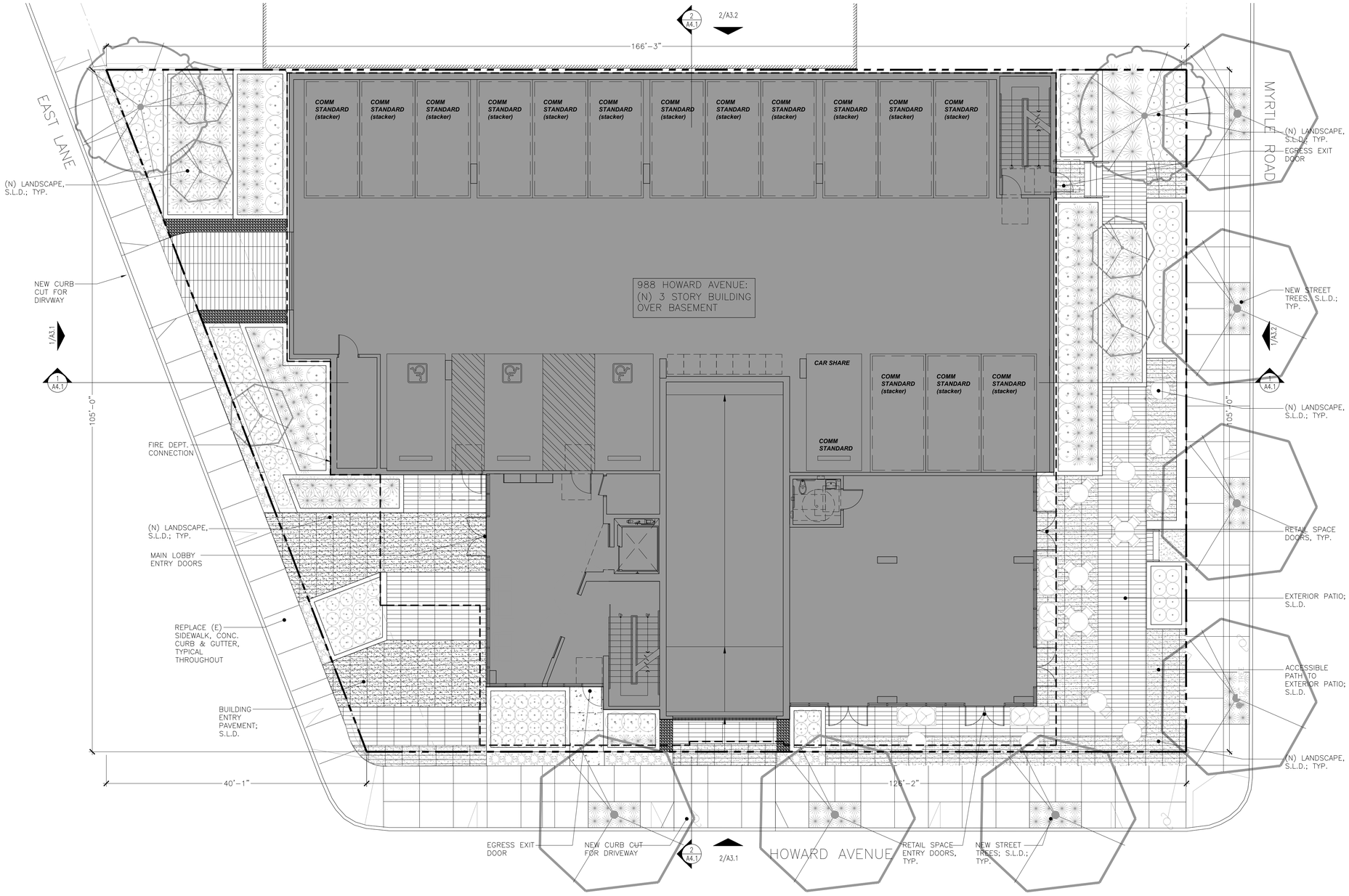
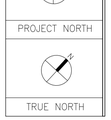
SCALE: AS NOTED

ELEVATIONS: EXTERIOR

A3.2



1 *SITE PLAN: PROPOSED SITE PLAN*
1/8"=1'-0"



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San Francisco
CA 94107

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988 HOWARD AVENUE
BURLINGAME, CA

988 HOWARD AVENUE
APN: 029 214 220
BURLINGAME, CA
PROJECT NO. 2014-21

DATE	SET ISSUE
05-01-2015	PLANNING COMMISION
08-24-2015	PLANNING COMMISION
12-23-2015	PLANNING COMMISION
03-14-2016	PLANNING COMMISION

CONTACT: TOBY LEVY

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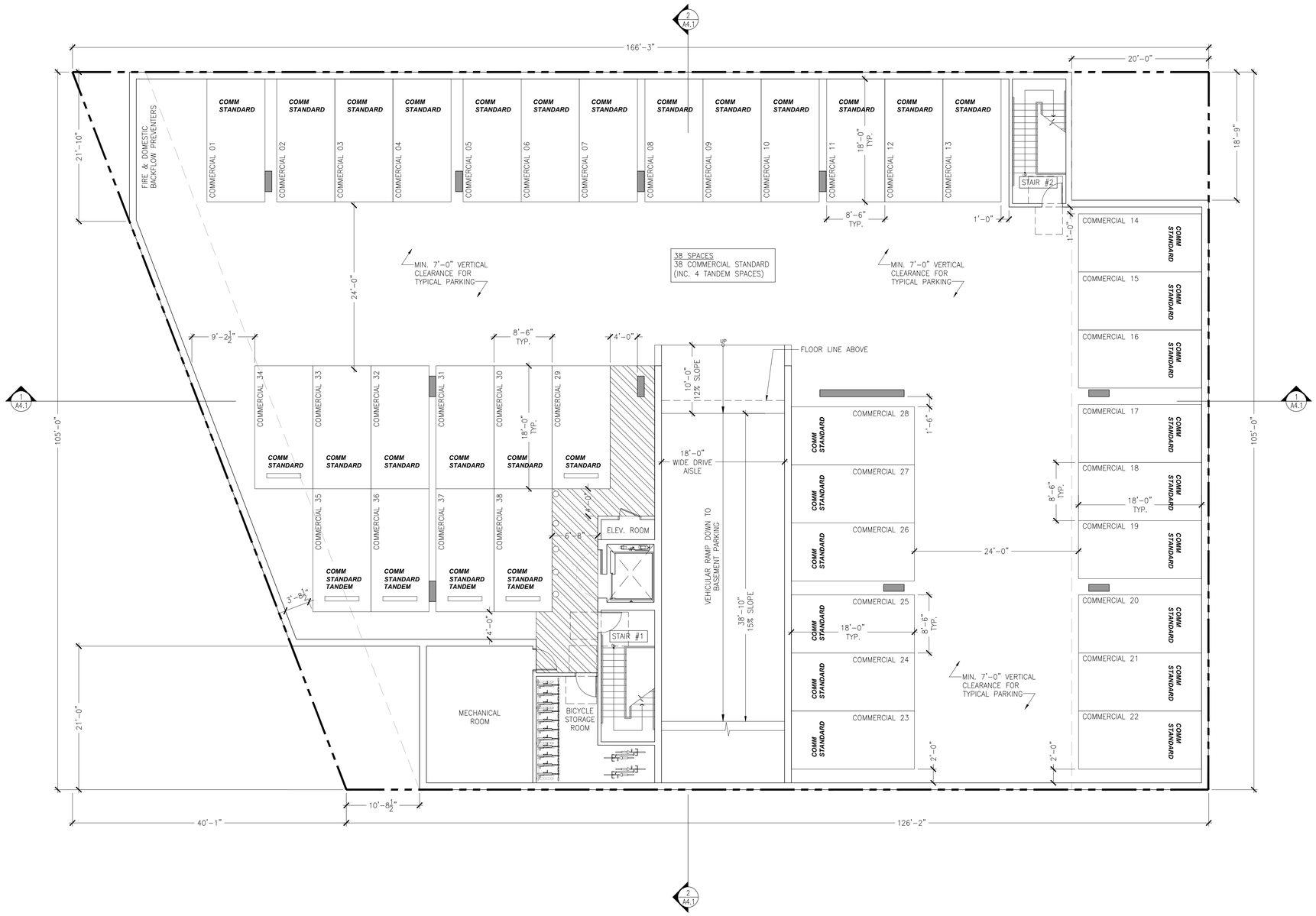
(415) 777-5117 F

SCALE: AS NOTED

SITE PLAN: PROPOSED

A1.1



1 PLAN: BASEMENT
1/8"=1'-0"

GENERAL NOTES

1. AT THE TIME OF BUILDING PERMIT APPLICATION, PLANS AND ENGINEERING WILL BE SUBMITTED FOR SHORING AS REQUIRED BY 2013 CBC, CHAPTER 33 REGARDING THE PROTECTION OF ADJACENT PROPERTY AND AS REQUIRED BY OSHA. THE FOLLOWING WILL BE ADDRESSED:

1.1. THE WALLS OF THE PROPOSED BASEMENT SHALL BE PROPERLY SHORED, PRIOR TO CONSTRUCTION ACTIVITY. THIS EXCAVATION MAY NEED TEMPORARY SHORING. A COMPETENT CONTRACTOR SHALL BE CONSULTED FOR RECOMMENDATIONS AND DESIGN OF SHORING SCHEME FOR THE EXCAVATION. THE RECOMMENDED DESIGN TYPE OF SHORING SHALL BE APPROVED BY THE ENGINEER OF RECORD OR SOILS ENGINEER PRIOR TO USAGE.

1.2. ALL APPROPRIATE GUIDELINES OF OSHA SHALL BE INCORPORATED INTO THE SHORING DESIGN BY THE CONTRACTOR. WHERE SPACE PERMITS, TEMPORARY CONSTRUCTION SLOPES MAY BE UTILIZED IN LIEU OF SHORING. MAXIMUM ALLOWABLE VERTICAL CUT FOR THE SUBJECT PROJECT WILL BE FIVE (5) FEET. BEYOND THAT HORIZONTAL BENCHES OF 5 FEET WIDE WILL BE REQUIRED. TEMPORARY SHORES SHALL NOT EXCEED 1 TO 1 (HORIZONTAL TO VERTICAL). IN SOME AREAS DUE TO HIGH MOISTURE CONTECT/WATER TABLE, FLATTER SLOPES WILL BE REQUIRED WHICH WILL BE RECOMMENDED BY THE SOILS ENGINEER IN THE FIELD.

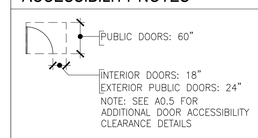
1.3. IF SHORING IS REQUIRED, SPECIFY ON THE PLANS WHO'S SOLE RESPONSIBILITY IT IS TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, FORMWORK, ETC. AS REQUIRED FRO THE PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION OF THE BUILDING.

1.4. SHORING AND BRACING SHALL REMAIN IN PLACE UNTIL FLOORS, ROOF AND WALL SHEATHING HAVE BEEN ENTIRELY CONSTRUCTED.

1.5. SHORING PLANS SHALL BE WET-STAMPED AND SINGED BY THE ENGINEER-OF-RECORD AND SUBMITTED TO THE CITY FOR REVIEW PRIOR TO CONSTRUCTION. IF APPLICABLE, INCLUDE SURCHARGE LOADS FROM ADJACENT STRUCTURES THAT ARE WITHIN THE ZONE OF INFLUENCE (45 DEGREE WEDGE UP THE SLOPE FROM THE BASE OF THE RETAINING WALL) AND/OR DRIVEWAY SURCHARGE LOADS.

2. WHEN PLANS ARE SUBMITTED FOR BUILDING CODE PLAN CHECK, THEY WILL INCLUDE A COMPLETE UNDERGROUND PLUMBING PLAN INCLUDING COMPLETE DETAILS FOR THE LOCATION OF ALL REQUIRED GREASE TRAPS AND CITY-REQUIRED BACKWATER PREVENTION DEVICES.

ACCESSIBILITY NOTES



PROJECT NORTH	TRUE NORTH
N	

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TOBY STELLA LEVY
C-10527
RENEWAL DATE 6-30-15
STATE OF CALIFORNIA

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BURLINGAME, CA
PROJECT NO. 2014-21

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03-14-2016	PLANNING COMMISION

CONTACT: TOBY LEVY

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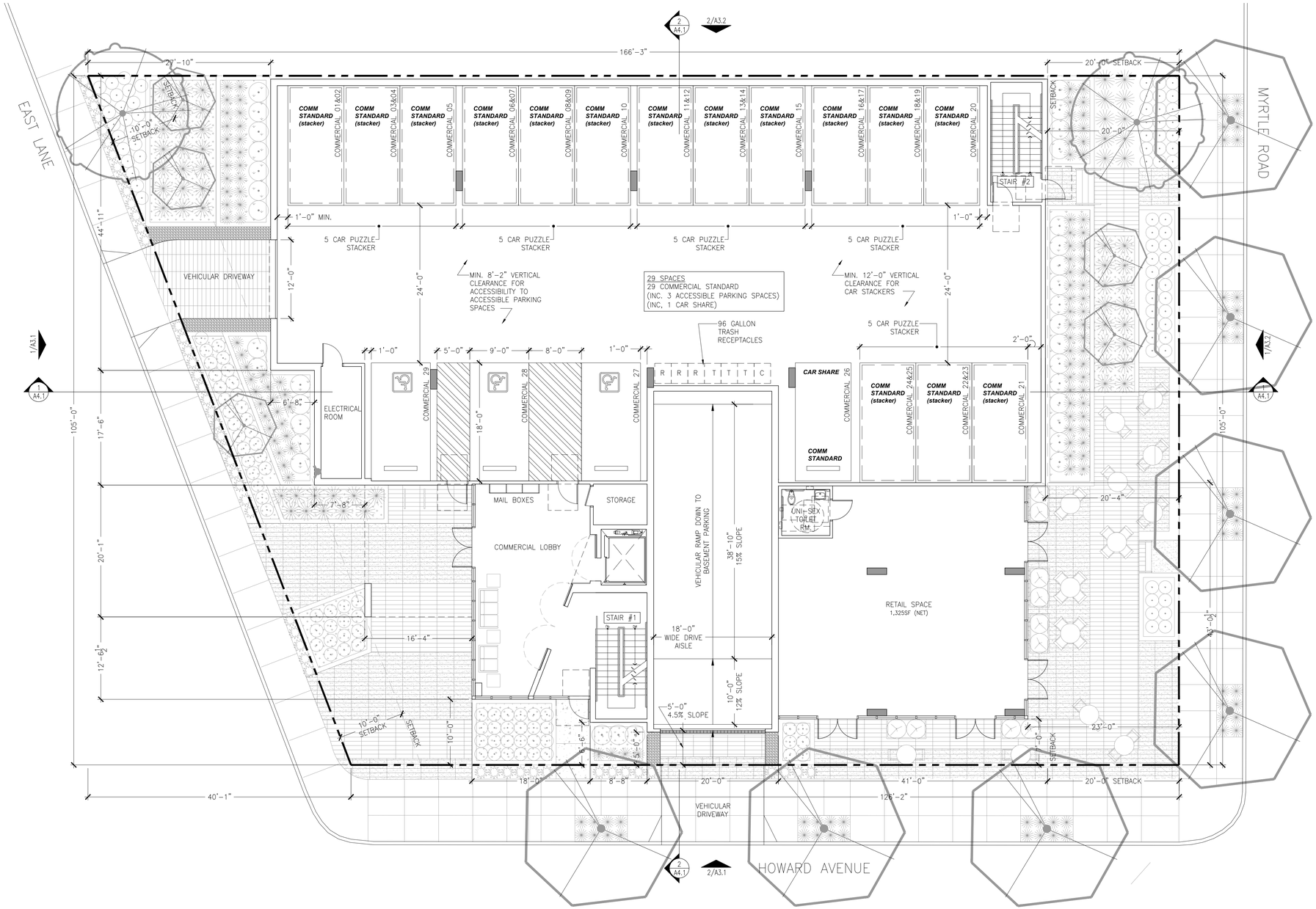
SCALE: AS NOTED

FLOOR PLAN: BASEMENT

A2.0



1 PLAN: GROUND FLOOR
1/8"=1'-0"

GENERAL NOTES

1. CONTRACTOR TO PROVIDE SOLID CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME DIMENSION AS ASSOCIATED FRAMING, SEE A0.5
2. AT ALL TOILET ROOMS PROVIDE THE FOLLOWING:
   - 2.1. MIN. 30"X48" CLR. SPACE IN FRONT OF SINK
   - 2.2. MIN. 30"X48" CLR. SPACE AT SIDE OF TUB
   - 2.3. MIN. 36"X48" CLR. SPACE IN FRONT OF TOILET
3. SEE A0.5 FOR TYPICAL MOUNTING HEIGHTS IN BATHROOMS
4. ALL BATHROOMS MUST COMPLY WITH CBC SECTION 11B

ACCESSIBILITY NOTES

PUBLIC DOORS: 60"

INTERIOR DOORS: 18"
EXTERIOR PUBLIC DOORS: 24"
NOTE: SEE A0.5 FOR ADDITIONAL DOOR ACCESSIBILITY CLEARANCE DETAILS

PROJECT NORTH	TRUE NORTH
N	N

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03-14-2016	PLANNING COMMISION

CONTACT: TOBY LEVY

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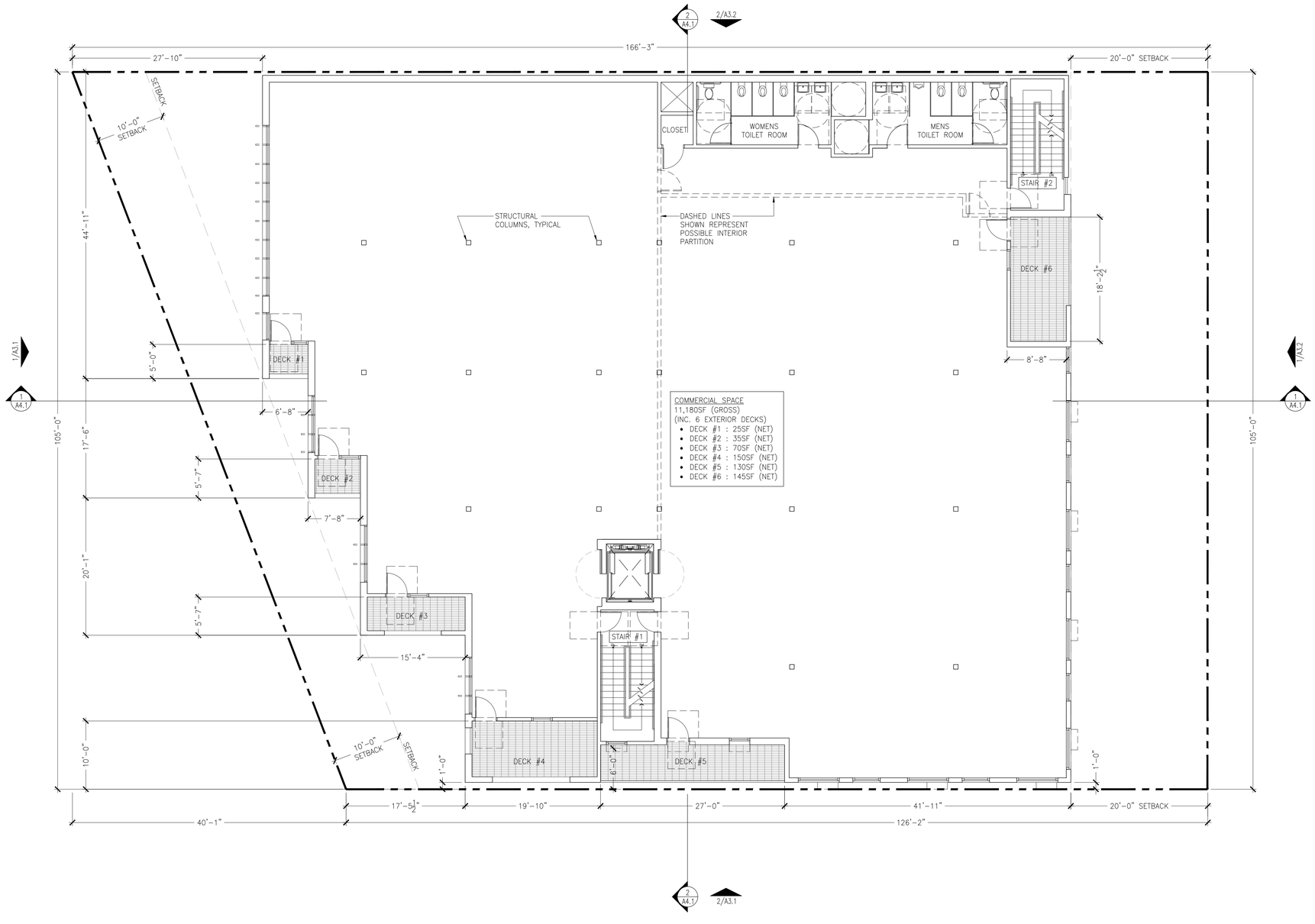
SCALE: AS NOTED

FLOOR PLAN:
GROUND FLOOR

A2.1



1 PLAN: SECOND FLOOR
1/8"=1'-0"

GENERAL NOTES

1. CONTRACTOR TO PROVIDE SOLID CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME DIMENSION AS ASSOCIATED FRAMING, SEE A0.5
2. AT ALL TOILET ROOMS PROVIDE THE FOLLOWING:
   2.1. MIN. 30"X48" CLR. SPACE IN FRONT OF SINK
   2.2. MIN. 30"X48" CLR. SPACE AT SIDE OF TUB
   2.3. MIN. 36"X48" CLR. SPACE IN FRONT OF TOILET
3. SEE A0.5 FOR TYPICAL MOUNTING HEIGHTS IN BATHROOMS
4. ALL BATHROOMS MUST COMPLY WITH CBC SECTION 11B

ACCESSIBILITY NOTES

PUBLIC DOORS: 60"

INTERIOR DOORS: 18"
EXTERIOR PUBLIC DOORS: 24"
NOTE: SEE A0.5 FOR ADDITIONAL DOOR ACCESSIBILITY CLEARANCE DETAILS

PROJECT NORTH	TRUE NORTH
N	

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12-23-2015	PLANNING COMMISION
03-14-2016	PLANNING COMMISION

CONTACT: TOBY LEVY

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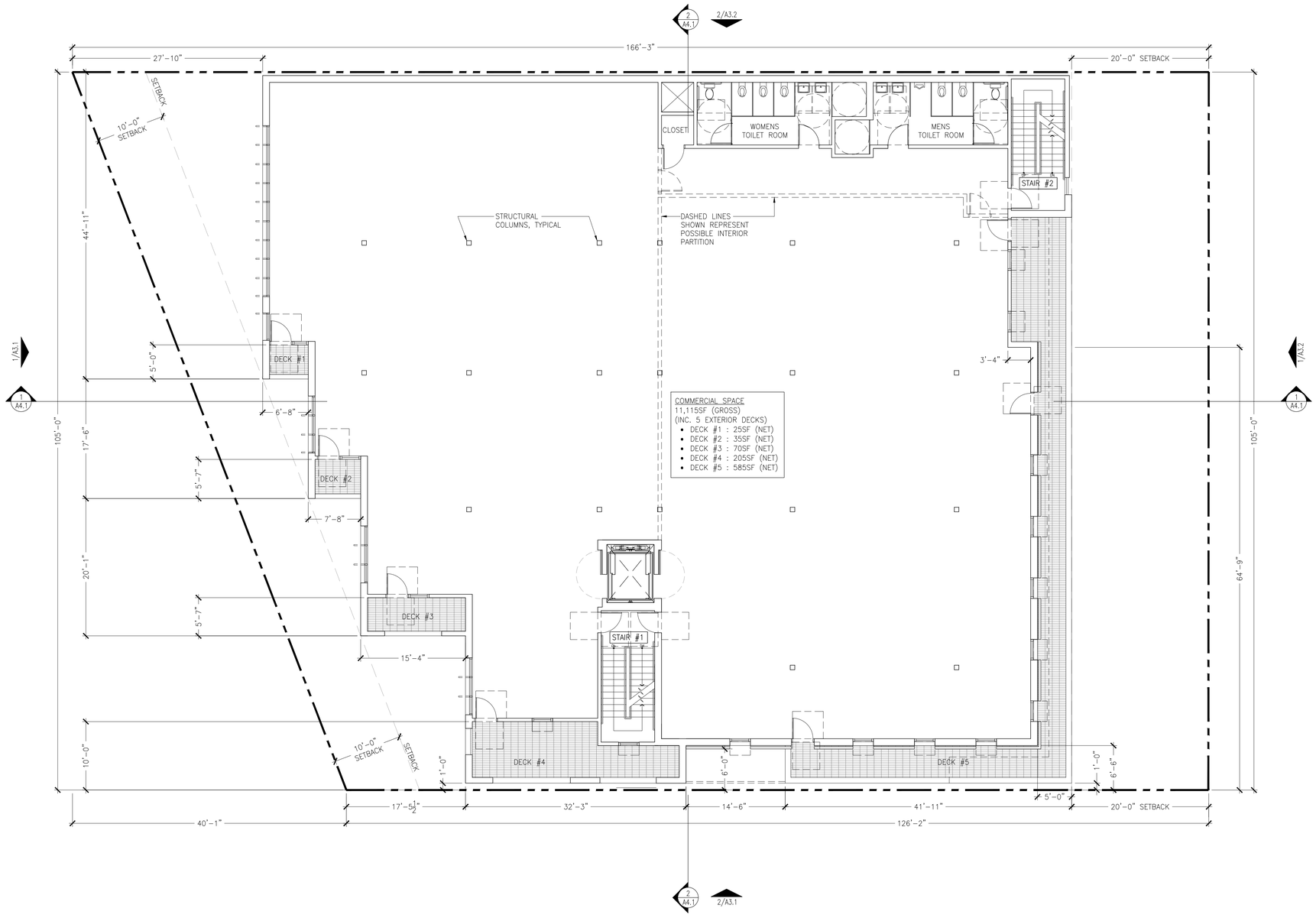
SCALE: AS NOTED

FLOOR PLAN:
SECOND FLOOR

A2.2



1 PLAN: THIRD FLOOR
1/8"=1'-0"

GENERAL NOTES

1. CONTRACTOR TO PROVIDE SOLID CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME DIMENSION AS ASSOCIATED FRAMING, SEE A0.5
2. AT ALL TOILET ROOMS PROVIDE THE FOLLOWING:
   2.1. MIN. 30"X48" CLR. SPACE IN FRONT OF SINK
   2.2. MIN. 30"X48" CLR. SPACE AT SIDE OF TUB
   2.3. MIN. 36"X48" CLR. SPACE IN FRONT OF TOILET
3. SEE A0.5 FOR TYPICAL MOUNTING HEIGHTS IN BATHROOMS
4. ALL BATHROOMS MUST COMPLY WITH CBC SECTION 11B

ACCESSIBILITY NOTES

PUBLIC DOORS: 60"

INTERIOR DOORS: 18"
EXTERIOR PUBLIC DOORS: 24"
NOTE: SEE A0.5 FOR ADDITIONAL DOOR ACCESSIBILITY CLEARANCE DETAILS

PROJECT NORTH	TRUE NORTH
N	

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RENEWAL DATE 6-30-15
STATE OF CALIFORNIA

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03-14-2016	PLANNING COMMISION

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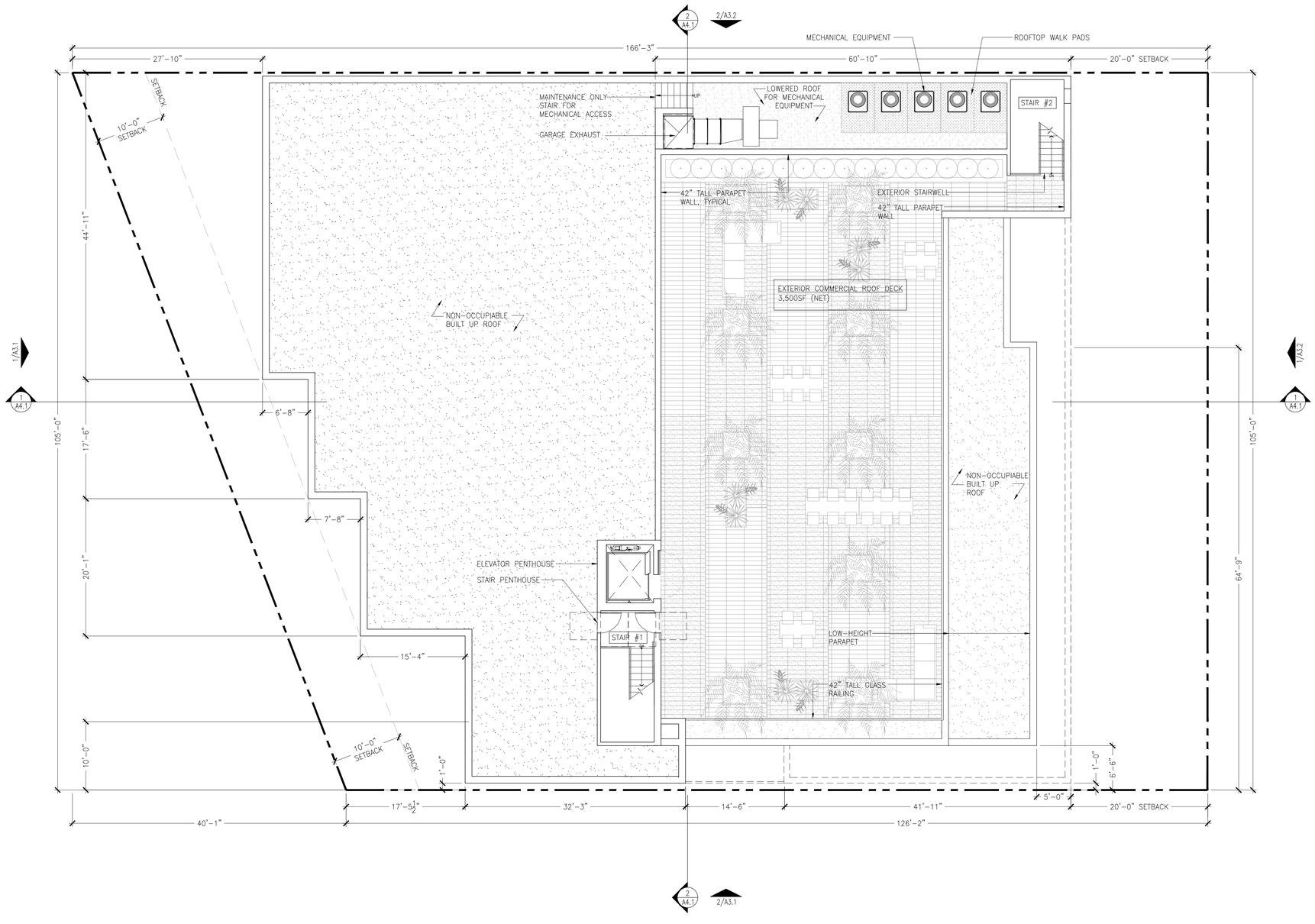
SCALE: AS NOTED

FLOOR PLAN:
THIRD FLOOR

A2.3



1 *PLAN: ROOF PLAN*
1/8"=1'-0"

GENERAL NOTES

1. ROOF TO COMPLY WITH "COOL ROOF" REQUIREMENTS OF THE 2010 CALIFORNIA ENERGY CODE SECTION 151.F.12.
2. ALL ROOF AREAS TO BE CLASS "A" 4-PLY PER CBC TABLE 1505. ROOF TO SLOPE TO DRAIN AT 1/4" PER FOOT MIN.
3. ROOF AND OVERFLOW DRAINS @ ROOF AND DECK AREAS SHALL CONNECT/FLOW TO PLANTERS TO CITY SEWER, S.C.D.
4. BUILT-UP WITH RIGID ROOF INSULATION OVER STRUCTURAL SHEATHING, TYP.

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RENEWAL DATE 6-30-15
STATE OF CALIFORNIA

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03-14-2016	PLANNING COMMISION

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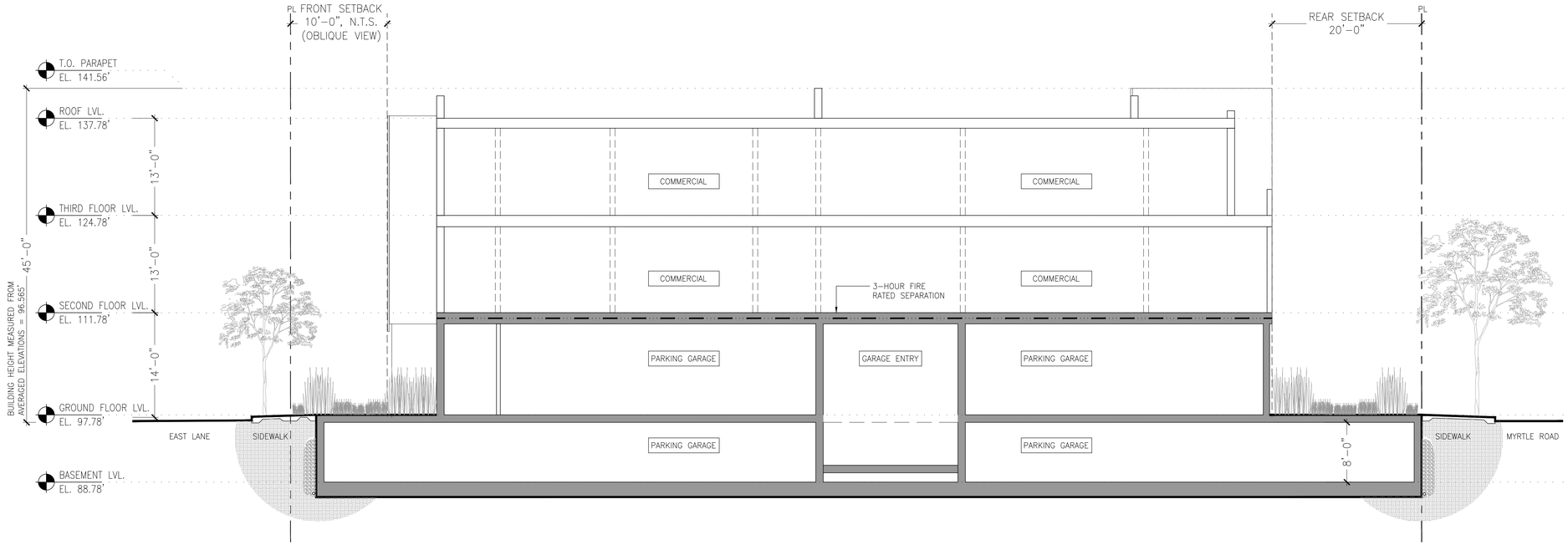
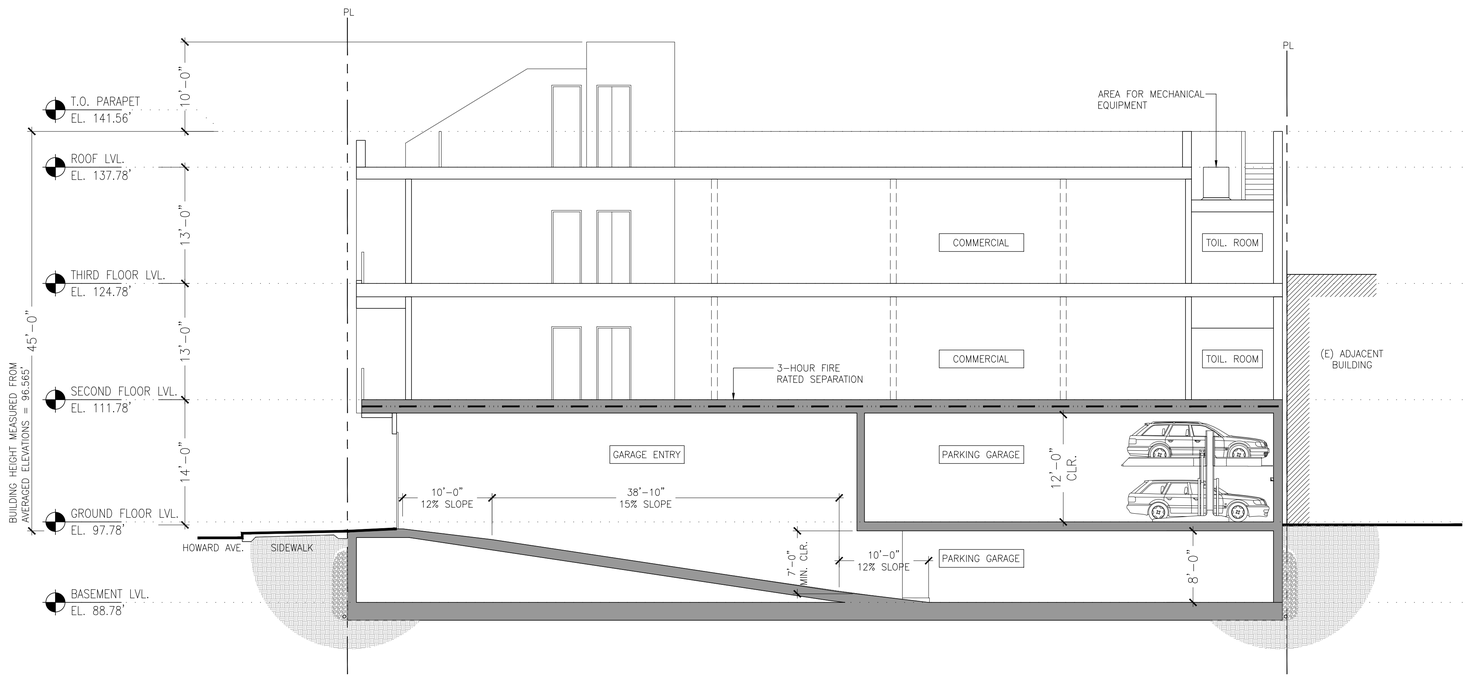
SCALE: AS NOTED

FLOOR PLAN:
ROOF PLAN

A2.4



1 *BUILDING SECTION*
1/8"=1'-0"



2 *BUILDING SECTION*
1/8"=1'-0"

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C-10527
RENEWAL DATE
6-30-15
STATE OF CALIFORNIA

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03-14-2016	PLANNING COMMISION

CONTACT: TOBY LEVY

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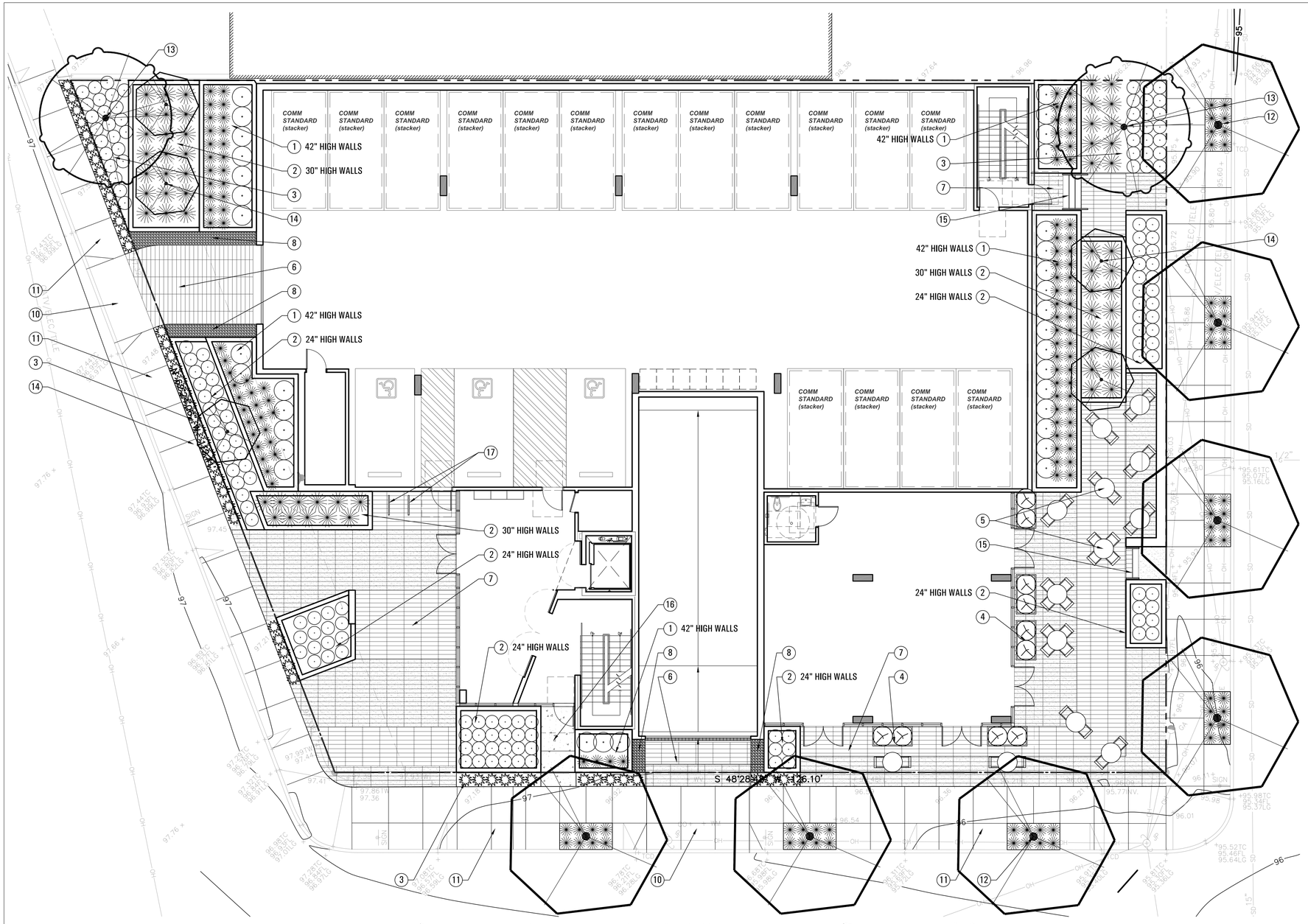
SCALE: AS NOTED

BUILDING SECTIONS

A4.1



1 PROPOSED LANDSCAPE PLAN: GROUND LEVEL

A COLUMNAR MAIDENHAIR TREE

B CONCRETE PLANTER WALLS

C BIKE RACK

1. FLOW-THROUGH PLANTER, ON-STRUCTURE, CONCRETE WALLS 42"± TALL.
2. TRADITIONAL PLANTER, ON-STRUCTURE. CONCRETE WALLS 42"±, 36"±, 30"± OR 24"± TALL.
3. PLANTING AREA, ON-GRADE.
4. PLANTER POT, TYP OF (5), 24" TALL, WITH EVERGREEN SHRUBS.
5. OUTDOOR TABLE & CHAIR SETS, VARIOUS SIZES & CONFIGURATIONS, SEATING FOR (32) TOTAL.
6. PERMEABLE PAVERS, AUTO-LOAD.
7. PERMEABLE PAVERS, PEDESTRIAN-LOAD.
8. DECORATIVE PEBBLES.
9. NOT USED.
10. CONCRETE DRIVEWAY APRON, AUTO-LOAD AS PER CITY STANDARD. SEE CIVIL DRAWINGS.
11. CONCRETE SIDEWALK, PEDESTRIAN-LOAD AS PER CITY STANDARD. SEE CIVIL DRAWINGS.
12. STREET TREE IN 4' x 8' PLANTING AREA, TYP OF (7): GINKGO BILOBA.
13. TREE PLANTED ON-GRADE, 24" BOX SIZE, TYP OF (2).
14. TREE PLANTED ON-STRUCTURE IN PLANTER, 24" BOX SIZE, TYP OF (5).
15. STEP(S) & HANDRAIL.
16. CONCRETE PAVING WITH INTEGRAL COLOR, BROOM FINISH.
17. BIKE RACK TYPICAL.

PLANT PALETTE

SYMBOL	BOTANICAL	COMMON	SIZE
TREES			
CER OCC	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BOX
GIN FAI	GINKGO BILOBA 'FAIRMOUNT' (STREET TREE)	COLUMNAR MAIDENHAIR TREE	24" BOX
LAG TON	LAGERSTROEMIA 'TONTO'	RED CRAPE MYRTLE (MULTI-STEM TRUNK)	24" BOX
SHRUBS / PERENNIALS / GRASSES			
ANE LES	ANEMANTHELE LESSONIANA	NEW ZEALAND WIND GRASS	1 GAL
ANI RED	ANIGOZANTHOS 'RED CROSS'	RED CROSS KANGAROO PAW	1 GAL
GRE FIR	GREVILLEA 'FIRESPRITE'	FIRESPRITE GREVILLEA	5 GAL
LOM BRE	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	1 GAL
OLE LIT	OLEA EUROPAEA 'LITTLE OLLIE'	DRARF OLIVE	5 GAL
PHO MAO	PHORMIUM 'MAORI QUEEN'	MAORI QUEEN FLAX	5 GAL
GROUND COVERS			
ARC WOO	ARCTOSTAPHYLOS UVA-URSI 'WOOD'S COMPACT'	BEARBERRY	1 GAL
SEN MAN	SENECIO MANDRALISCAE	BLUE ICE PLANT	1 GAL

IRRIGATION PLANTING NOTES

1. PROVIDE SEPARATE BUBBLER IRRIGATION TO STREET TREES AS PER CITY TREE PLANTING WITH BUBBLER IRRIGATION DETAIL.
2. IRRIGATION SYSTEM SHALL UTILIZE AUTOMATIC, SELF-ADJUSTING WEATHER-BASED IRRIGATION CONTROLLER WITH RAIN SENSOR SHUTOFF.
3. SYSTEM SHALL ONLY OPERATE BETWEEN 8 PM AND 10 AM.
4. IRRIGATION SYSTEM SHALL BE CONNECTED TO A SEPARATE WATER METER.
5. THE DESIGN SHALL CONFORM TO THE WATER CONSERVATION IN LANDSCAPE ORDINANCE.
6. INSTALL 2.5" DEEP LAYER OF MULCH IN PLANTING AREAS. MULCH SHALL BE "FOREST FLOOR", AS AVAILABLE AT AMERICAN SOIL & STONE, RICHMOND, CA (510.292.3000).
7. "OUTDOOR POTABLE WATER USE" AND THE "IRRIGATION DESIGN" CONTROLS REQUIREMENTS SHALL BE MET.
8. ALL PLANTS SHALL BE GROUPED IN LIKE HYDROZONES.

True North | Project North | Scale: 1/8"= 1'-0" (0, 4', 8', 16')

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LICENSED LANDSCAPE ARCHITECT
CHRISTOPHER TODD FAST
Number 12.31.2015 Expiration Date
STATE OF CALIFORNIA

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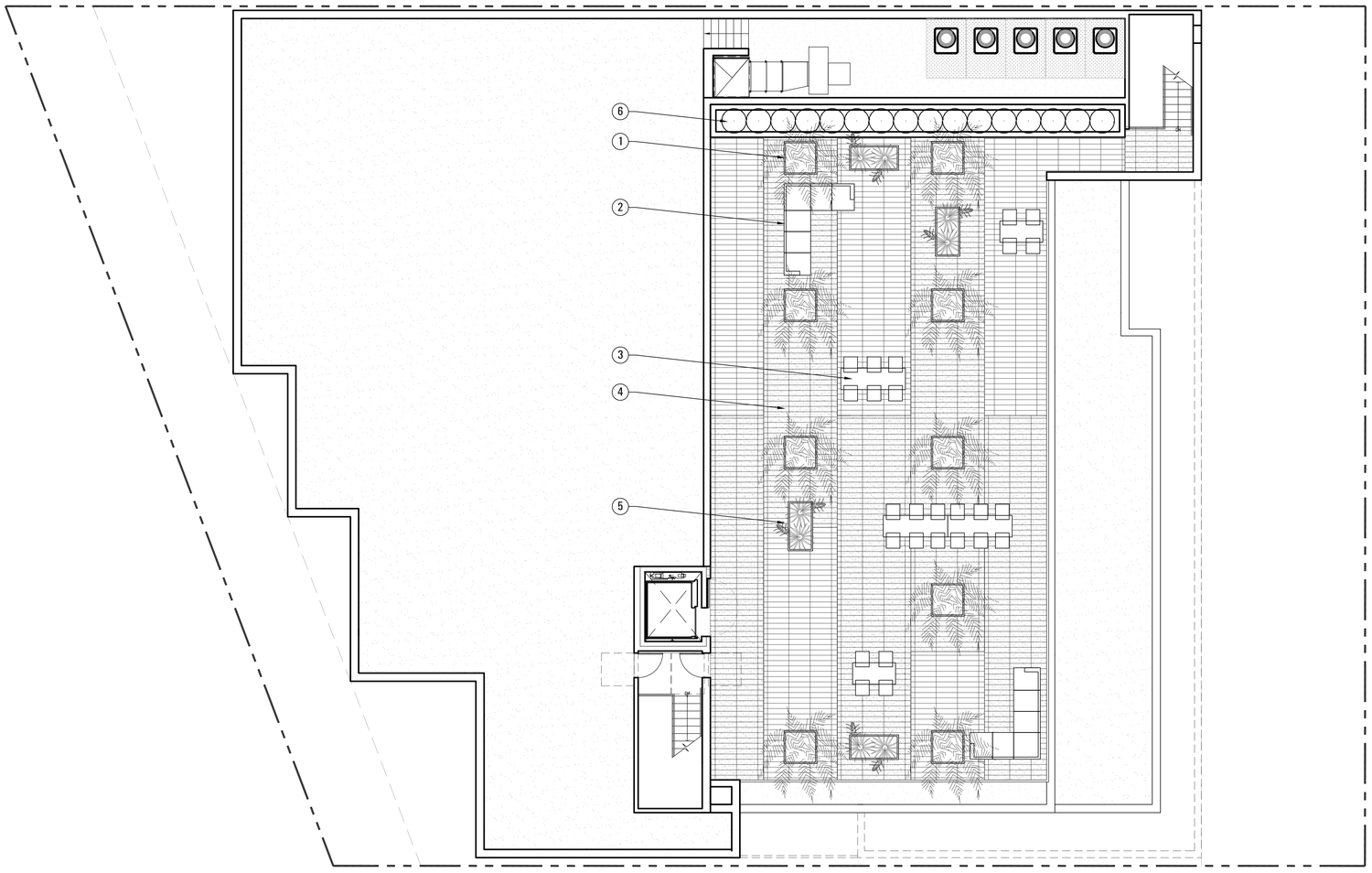
DATE	SET ISSUE
03-04-2015	PLANNING COMMISION
04-23-2015	TEAM REVIEW
08-11-2015	PLANNING COMMISION

CONTACT:
CFLA
74 Dudley Avenue
Piedmont, CA 94611
Telephone 510.601.8022
Email Chris@CFLA.biz
CRLA # 3557

SCALE: AS NOTED

LANDSCAPE PLAN
GROUND LEVEL

L2.1



1 PROPOSED LANDSCAPE PLAN: ROOF LEVEL

A DESIGN IMAGE: ROOF DECK

A DESIGN IMAGE: PAVERS

1. 4' SQUARE PLANTER POT WITH 24" BOX PALM TREE OR DROUGHT TOLERANT EVERGREEN TREE, TYP OF (13).
2. OUTDOOR SECTIONAL SOFA, SEATS (6) PEOPLE, (2) TOTAL, SEATING FOR (12) TOTAL.
3. OUTDOOR TABLE & CHAIR SETS, VARIOUS SIZES & CONFIGURATIONS, SEATING FOR (26) TOTAL.
4. PRECAST CONCRETE PAVERS. COLOR & PATTERN VARIES.
5. 3' x 5' PLANTER WITH DROUGHT TOLERANT EVERGREEN SHRUBS.
6. TRADITIONAL PLANTER, ON-STRUCTURE, CONCRETE WALL 36" ± TALL.

True North | Project North | Scale: 1/8" = 1'-0" (0, 4', 8', 16')

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CA 94107

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LICENSED LANDSCAPE ARCHITECT
CHRISTOPHER FORD 3557
Signature
Renewal Date 12.31.2015
STATE OF CALIFORNIA

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08-11-2015	PLANNING COMMISION

CONTACT:
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Piedmont, CA 94611
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CRLA # 3557

SCALE: AS NOTED

LANDSCAPE PLAN
ROOF LEVEL

L2.2