



[illegible]



CHU DESIGN ASSOCIATES INC.
210 INDUSTRIAL RD. SUITE 205
SAN CARLOS, CALIFORNIA 94070
TEL: (650) 345-9286 EXT. 1001

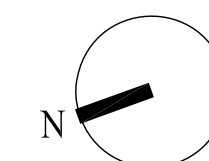
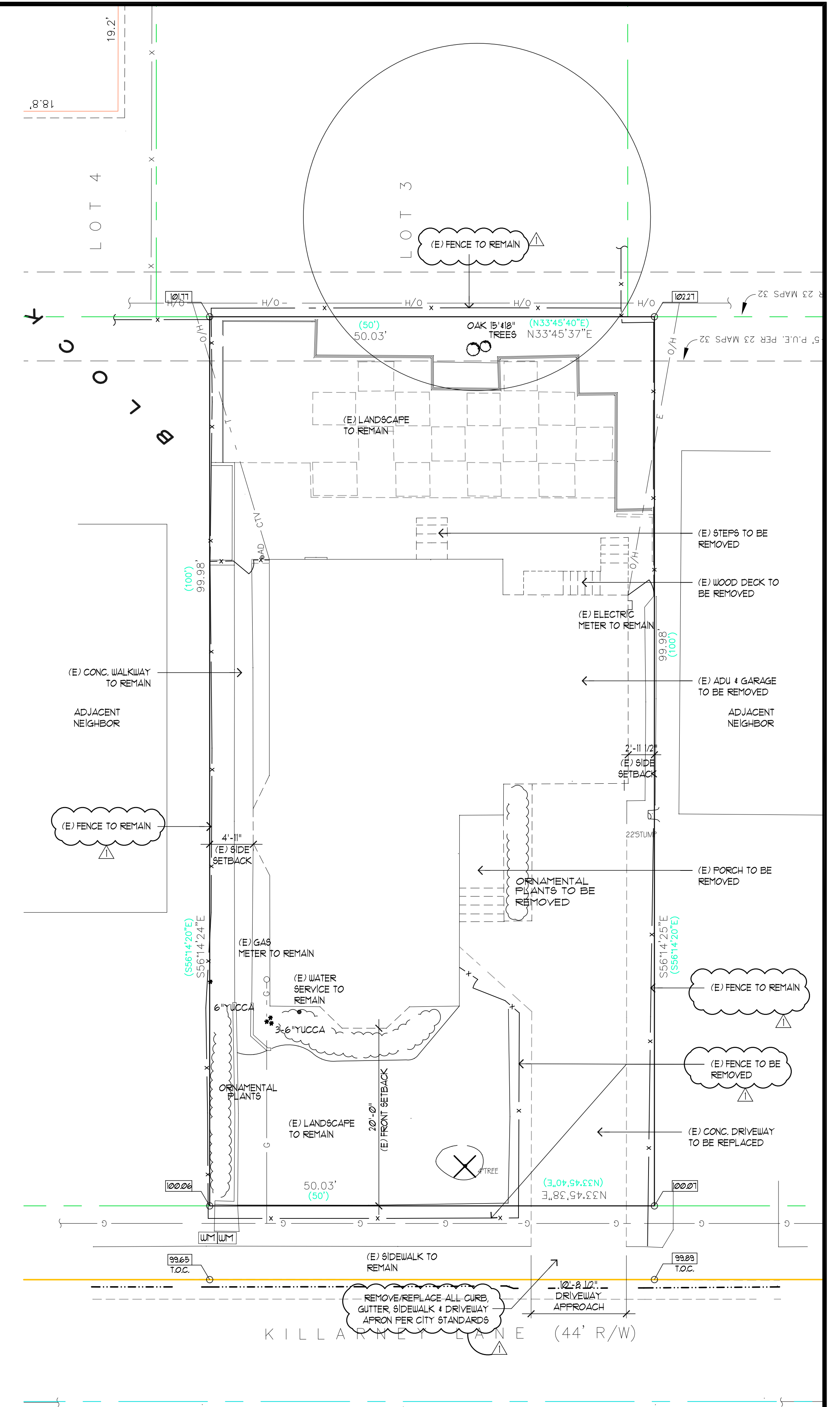
RES. REMODEL / ADDITION
1129 KILLARNEY LANE
BURLINGAME, C.A.
A.P.N.: 025-232-056



 TREE TO BE REMOVED

----- (E) TO BE REMOVED

1. ACKNOWLEDGE THAT DUE TO THE EXTENSIVE NATURE OF THIS CONSTRUCTION PROJECT THE CERTIFICATE OF OCCUPANCY WILL BE RESCINDED ONCE CONSTRUCTION BEGINS. A NEW CERTIFICATE OF OCCUPANCY WILL BE ISSUED AFTER THE PROJECT HAS BEEN FINAL. NO OCCUPANCY OF THE BUILDING IS TO OCCUR UNTIL A NEW CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED.
2. THE DEMOLITION PERMIT WILL NOT BE ISSUED UNTIL A BUILDING PERMIT IS ISSUED FOR THE PROJECT.
3. AT THE TIME OF THE INSPECTION FOR THE FORM WORK FOR THE FOUNDATION OF THE NEW DETACHED GARAGE, THE LICENSED SURVEYORS HUBS / STAKES WITH THE NUMBER MUST BE IN PLACE WITH THE STRING LINE SET UP FROM BATTER BOARD TO BATTER BOARD.
4. NO EXISTING TREES OVER 48 INCHES IN CIRCUMFERENCE AT 54 INCHES FROM BASE OF TREE MAY BE REMOVED WITHOUT A PROTECTED TREE REMOVAL PERMIT FROM THE PARKS DIVISION (558-1330).
5. IF CONSTRUCTION IS WITHIN DRIP LINE OF EXISTING TREES, A TREE PROTECTION PLAN MUST BE IN PLACE TO PROTECT TREES DURING CONSTRUCTION. TREE PROTECTION REQUIRED FOR OAK TREES ON NEIGHBORS PROPERTY AND INCLUDED ON DEMO SHEET A2.



SCALE: 1/8"=1'-0"

[illegible]

thereby are and shall remain the property of CHU DESIGN ASSOCIATES, INC., and no part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specified project for which they have been prepared and developed without the written consent of CHU DESIGN ASSOCIATES, INC. Visual contact with these plans or specifications shall constitute conclusive evidence of acceptance of these restrictions.

RES. REMODEL // ADDITION
11129 KILLARNEY LANE
BURLINGAME, C.A.
A.P.N.: 025-232-056

DATE:	7/30/21
RE:	AS NOTED
OWN:	PU
ET NO.	

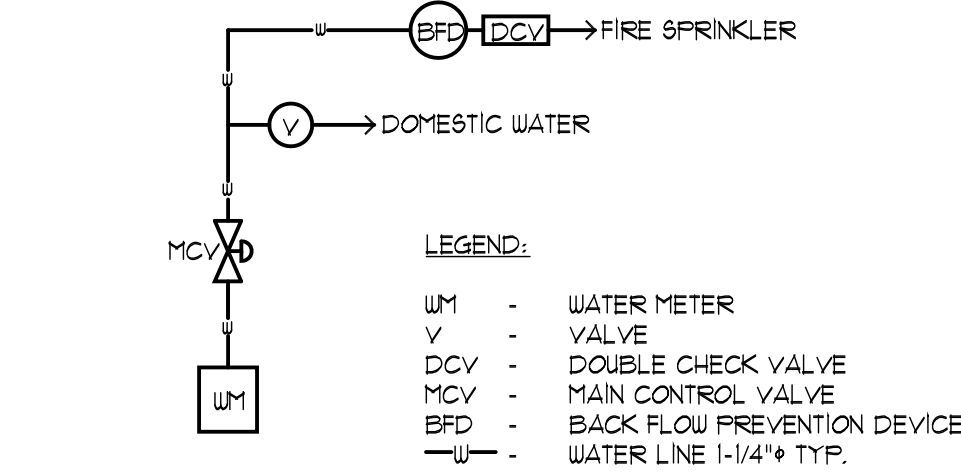
A.2

GENERAL NOTES:

- SEE LANDSCAPE PLAN FOR DETAIL INFORMATION
- MAXIMUM DRIVEWAY SLOPES SHALL NOT EXCEED FIFTEEN (15) PERCENT AT ANY POINT WITHOUT SPECIAL APPROVAL OF THE DEPARTMENT OF PUBLIC WORKS. SLOPES IN EXCESS OF TWENTY (20) PERCENT SHALL REQUIRE APPROVAL OF THE PLANNING COMMISSION. TRANSITIONAL SLOPES ARE REQUIRED FOR DRIVEWAYS WHICH EXCEED TEN (10) PERCENT MAXIMUM SLOPE. NO TRANSITIONAL SLOPE SHALL EXTEND INTO A REQUIRED PARKING SPACE.
- TOPOGRAPHY IS PREPARED BY: QUIET RIVER LAND SERVICES, INC. 6141 SIERRA COURT, SUITE K DUBLIN, CA 94568 TEL.: (925) 734-6188
- A DEMOLITION PERMIT IS REQUIRED FOR SIDEWALK, SEWER AND WATER REPLACEMENT
- REQUIRED PROTECTIVE FENCING MUST BE INSTALLED AND INSPECTED PRIOR TO DEMO PERMIT ISSUE.
- THE SURVEYOR RECOMMENDS THE CITY VERIFY THAT THE PERTINENT RESIDENCES WERE USED IN THE CALCULATION.
- GARAGE FOOTING SHALL NOT EXTEND INTO ONE FOOT SETBACK WITHOUT A LICENCED SURVEY AND FIELD STAKING REVIEWED BY INSPECTOR.
- NEW WATER METER SHALL NOT ON PRIVATE PROPERTY. IT MUST BE LOCATED ON PUBLIC PROPERTY FOR ACCESS BY METER READER
- NEW SEWER LINE WITH CLEANOUT FOR NEW HOUSE. CLEANOUT AT SEWER MAIN LINE TO BE IN PUBLIC EASEMENT FOR CITY ACCESS.
- CONTRACTOR SHALL ENSURE THE DOUBLE VALE ASSEMBLY FOR FIRE PROTECTION SHALL BE TESTED AND APPROVED BY A SAN MATEO COUNTY ENVIRONMENTAL HEALTH APPROVED CONTRACTOR PRIOR TO SCHEDULING WATER DEPARTMENT FINAL.
- PROVIDE ADEQUATE FIRE FLOW BASED UPON CONSTRUCTION AND SIZE OF BUILDING. SEE UFC APPENDIX IIIA. MINIMUM 500 GPM REQUIRED. SEE TABLE NO. A-III-A-1.
- MINIMUM 1" WATER METER REQUIRED
- IF BACKWATER PROTECTION IS REQUIRED, CONTRACTOR SHALL PROVIDE AN ISOMETRIC DIAGRAM OF THE BUILDING SEWER INCLUDING ALL BACKWATER VALVES, RELIEF VALVES, AND ANY SEWER INJECTION SYSTEM DETAILS. CITY OF BURLINGAME MUNICIPAL CODE ORDINANCE 1102.
- PROVIDE SURVEY STAKES PRIOR TO FOUNDATION INSPECTION TO VERIFY LOT LINES.
- PROVIDE A PRESSURE ABSORBING DEVICES OR APPROVED MECHANICAL DEVICES ARE REQUIRED ON WATER LINES, LOCATED AS CLOSE AS POSSIBLE TO QUICK ACTING VALVES, THAT WILL ABSORB HIGH PRESSURES RESULTING FROM QUICK CLOSING OF QUICK-ACTING VALVES. CPC SECTION 60910
- TYPICAL RESIDENTIAL WATER SERVICE WITH FIRE SYSTEM SHALL FOLLOU CITY'S STANDARD DETAIL W-11802.

PUBLIC WORK NOTES & CONDITIONS:

- A REMOVE/REPLACE UTILITIES ENCROACHMENT PERMIT IS REQUIRED:
 - REPLACE ALL CURB, GUTTER, DRIVEWAY AND SIDEWALK FRONTING SITE.
 - PLUG ALL EXISTING SANITARY SEWER LATERAL CONNECTIONS AND INSTALL A NEW 6" LATERAL.
 - ALL WATER LINE CONNECTIONS TO CITY WATER MAINS FOR SERVICES OR FIRE LINE ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND SPECIFICATION.
 - ANY OTHER UNDERGROUND UTILITY WORKS WITHIN CITY'S RIGHT OF WAY.
- THE SANITARY SEWER LATERAL (BUILDING SEWER) SHALL BE TESTED PER ORDINANCE CODE CHAPTER 5.12. TESTING INFORMATION IS AVAILABLE AT THE BUILDING DEPARTMENT COUNTER. AN ENCROACHMENT PERMIT IS REQUIRED FROM THE PUBLIC WORKS DEPARTMENT WHENEVER THE CITY'S PORTION OF THE SEWER LATERAL OR CITY CLEANOUT IS TO BE LAID AND/OR CONNECTED TO THE SEWER MAINS.
- SEWER BACKWATER PROTECTION CERTIFICATION IS REQUIRED FOR THE INSTALLATION OF ANY NEW SEWER FIXTURE PER ORDINANCE NO. 1110. THE SEWER BACKWATER PROTECTION CERTIFICATE IS REQUIRED PRIOR TO THE ISSUANCE OF BUILDING PERMIT.
- ALL WATER LINE CONNECTIONS TO CITY WATER MAINS FOR SERVICES OR FIRE LINE PROTECTION ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND MATERIAL SPECIFICATIONS. CONTACT THE CITY WATER DEPARTMENT FOR CONNECTION FEES. ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK IN THE CITY'S RIGHT-OF-WAY. IF REQUIRED, ALL FIRE SERVICES AND SERVICES 2" AND OVER WILL BE INSTALLED BY BUILDER. ALL UNDERGROUND FIRE SERVICE CONNECTIONS SHALL BE SUBMITTED AS SEPARATE UNDERGROUND FIRE SERVICE PERMIT FOR REVIEW AND APPROVAL.
- A SURVEY BY A LICENSED SURVEYOR OR ENGINEER IS REQUIRED. THE SURVEY SHALL SHOW HOW THE PROPERTY LINES WERE DETERMINED AND THAT THE PROPERTY CORNERS WERE SET WITH SURVEYOR'S LICENSE NUMBER/DURABLE MONUMENTS. THIS SURVEY SHALL BE ATTACHED TO THE CONSTRUCTION PLANS. ALL CORNERS NEED TO BE MAINTAINED OR REINSTALLED BEFORE THE BUILDING FINAL. ALL PROPERTY CORNERS SHALL BE MAINTAINED DURING CONSTRUCTION OR RE-ESTABLISHED AT THE END OF THE PROJECT.
- ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK IN THE CITY'S RIGHT-OF-WAY.
- CONSTRUCTION AND BUILDING USE SHALL CONFORM TO CONDITIONS AS DESCRIBED BY PLANNING COMMISSION AND/OR CITY COUNCIL ACTIONS.
- THE PROJECT SHALL COMPLY WITH THE CITY'S NPDES PERMIT REQUIREMENTS TO PREVENT STORM WATER POLLUTION.
- NEW DRIVEWAY OR DRIVEWAY WIDENING MUST BE APPROVED BY THE CITY ENGINEER. SHOW DISTANCE BETWEEN THE PROPOSED DRIVEWAY OPENING TO THE CLOSEST ADJACENT DRIVEWAY ON SITE PLAN.
- NO STORM WATERS, UNDERGROUND WATERS DRAINING FROM ANY LOT, BUILDING, OR PAVED AREAS SHALL BE ALLOWED TO DRAIN TO ADJACENT PROPERTIES NOR SHALL THESE WATERS BE CONNECTED TO THE CITY'S SANITARY SEWER SYSTEM. THESE WATERS SHALL ALL DRAIN TO EITHER ARTIFICIAL OR NATURAL STORM DRAINAGE FACILITIES BY GRAVITY OR PUMPING REGARDLESS OF THE SLOPE OF THE PROPERTY. MUNICIPAL CODE SECTION 18.08.010 (1).
 - STORM WATER SHALL BE DRAINED THROUGH A CURB DRAIN OR TO THE STORM DRAINAGE SYSTEM. SEE CITY STANDARDS FOR CURB DRAIN DESIGN.
 - FLOOD ZONE 'C' REQUIRES FLOOD ZONE CONFIRMATION AND/OR PROTECTION OF HABITABLE SPACE.
 - PROVIDE ELEVATIONS TO CONFIRM DRAINAGE AND SITE DESIGN.
- NEW DRIVEWAY OR DRIVEWAY WIDENING MUST BE APPROVED BY THE CITY ENGINEER. SHOW DISTANCE BETWEEN THE PROPOSED DRIVEWAY OPENING TO THE CLOSEST ADJACENT DRIVEWAY ON SITE PLAN.
- IF POST-CONSTRUCTION IMPERVIOUS AREA IS GREATER THAN 40% OF TOTAL SIZE, MITIGATION OF THE ADDITIONAL STORM RUNOFF IN EXCESS OF 40% TOTAL LOT SIZE MUST BE ADDRESSED. PLEASE SHOW HOW THE POST-CONSTRUCTION DESIGN WILL ADDRESS THE ADDITIONAL STORMOFF.



- PROVIDE A BACKFLOW PREVENTION DEVICE - USC APPROVED DOUBLE CHECK VALVE ASSEMBLY.
- CONTRACTOR SHALL ENSURE THE DOUBLE CHECK VALVE ASSEMBLY FOR THE FIRE PROTECTION SHALL BE TESTED AND APPROVED BY A SAN MATEO COUNTY ENVIRONMENTAL HEALTH APPROVED CONTRACTOR PRIOR TO SCHEDULING WATER DEPARTMENT FINAL.
- PROVIDE ADEQUATE FIRE FLOW BASED UPON CONSTRUCTION AND SIZE OF BUILDING. SEE UFC APPENDIX IIIA.

1 SCHEMATIC WATER LATERAL LINE NOT TO SCALE

DRAINAGE NOTES:

RAINWATER COLLECTION
ALL NEW ROOF RAINWATER SHALL BE COLLECTED BY MEANS OF GALVANIZED METAL GUTTERS, UNLESS NOTED OTHERWISE, LOCATED AT THE EAVES. PAINT TO MATCH COLOR SCHEME OF RESIDENCE. GUTTER SHALL LEAD TO 2\"/>

SUMP PUMP MAY BE REQUIRED (SEE SITE PLAN)
IF THE GRAVITY METHOD OF DRAINAGE CANNOT BE USED, PROVIDE A SUMP PUMP OF ADEQUATE SIZE TO CARRY ALL WATER THROUGH A 2\"/>

PROVIDE A BACKFLOW PREVENTER/DEVICE AT A LOCATION NEAR THE TERMINATION OF THE SOLID PIPE THROUGH THE FACE OF CURB AS REQUIRED TO PREVENT RAINWATER FROM THE GUTTER SYSTEM ENTERING THE SUMP PUMP SYSTEM.

SUMP PUMP AT A MINIMUM SHALL BE A 1/4 HP AUTOMATIC SUBMERSIBLE SUMP PUMP WITH PERFORMANCES AS LISTED BELOW (MINIMUM). INSTALL AS PER MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS.

DISCHARGE FEET OF HEAD	5	10	15
PERFORMANCE (GALLONS PER HOUR)	280	1620	6600

SUMP PIT: INSTALL PUMP IN SUMP PIT (CATCH BASIN) WITH THE MINIMUM CLEARANCES AND DEPTHS AS PER MANUFACTURER SPECIFICATIONS AND RECOMMENDATIONS.

FIRE NOTES:

- PROVIDE A FIRE SPRINKLER SYSTEM THROUGHOUT BUILDING. FIRE SPRINKLER PLANS SHALL BE SUBMITTED UNDER SEPARATE PERMIT THROUGH THE FIRE DEPARTMENT FOR APPROVAL PRIOR TO INSTALLATION.
- A SCHEMATIC OF THE DOMESTIC/FIRE PROTECTION WATER LINE SHALL BE DRAWN ON THE SITE PLAN/NO. 100. DRAINAGE PLANS. THIS SCHEMATIC SHALL DETAIL THE LINE FROM THE WATER METER TO STRUCTURE AND INDICATE THE LOCATION OF THE DOUBLE BACKFLOW PREVENTION DEVICE ON THE FIRE PROTECTION LINE AFTER THE SPLIT BETWEEN DOMESTIC AND FIRE PROTECTION LINES.
- PROVIDE A BACKFLOW PREVENTION DEVICE USC APPROVED DOUBLE CHECK VALVE ASSEMBLY. GENERAL CONTRACTOR SHALL ENSURE THE DOUBLE CHECK VALVE FOR FIRE PROTECTION SHALL BE TESTED AND APPROVED BY A SAN MATEO COUNTY ENVIRONMENTAL HEALTH APPROVED CONTRACTOR PRIOR TO SCHEDULING WATER DEPT. FINAL INSPECTION.
- MINIMUM WATER METER SIZE SHALL ACCOMMODATE BOTH DOMESTIC AND FIRE SPRINKLER SYSTEM DEMAND TOTALS.
- FIRE FLOW SHALL MEET REQUIREMENTS OF CALIFORNIA FIRE CODE APPENDIX B. FIRE FLOW FOR RESIDENTIAL BUILDINGS LESS THAN 3600 SQ. FT. SHALL BE PROVIDED AT 1000 GPM UNLESS PROTECTED BY AN AUTOMATIC RESIDENTIAL FIRE SERVICE SYSTEM, THEN IT MAY BE REDUCED BY 50% CONTACT BURLINGAME ENGINEERING DEPARTMENT.

CONTRACTOR SHALL OBTAIN SEPARATE FIRE SPRINKLER PERMIT FOR THE INSTALLATION OF THE FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 1104.030 OF THE BURLINGAME MUNICIPAL CODE. THE MINIMUM SIZE SERVICE FOR FIRE SPRINKLER SYSTEM SHALL CONFORM TO NFPA 1 IS OR 1.5\"/>

FIRE SPRINKLER SHOP DRAWINGS ARE TO BE SUBMITTED DIRECTLY TO THE BURLINGAME FIRE DEPARTMENT AT 1399 ROLLING ROAD, BURLINGAME ONLY AFTER FIRE SPRINKLER UNDERGROUNDS HAVE BEEN SUBMITTED TO THE BURLINGAME BUILDING DEPARTMENT.

GREEN BUILDING NOTES:

- PROJECTS THAT DISTURB LESS THAN ONE ACRE SHALL DEVELOP AND IMPLEMENT A PLAN TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. A BMP PAGE IS SUFFICIENT.
- PLANS SHALL INDICATE HOW GRADING AND PAVING WILL PREVENT SURFACE WATER FLOW FROM ENTERING BUILDINGS. EXCEPTION: PROJECTS THAT DO NOT ALTER DRAINAGE PATH.
- ELECTRIC VEHICLE (EV) CHARGING PARKING SPACES: COMPLY WITH ALL RELEVANT SECTIONS.

BUILDING NOTES:

- PUBLIC WORKS REQUIRES A SEWER BACKWATER PROTECTION CERTIFICATE PRIOR TO PERMIT BEING ISSUED. PLEASE CONTACT PUBLIC WORKS AT 650-558-1230
- RECYCLING AND WASTE REDUCTION FORM WILL NEED TO BE SUBMITTED AND APPROVED PRIOR TO ISSUANCE OF BUILDING PERMIT. CONTACT JOE MCCLUSKEY OUR RECYCLING SPECIALIST AT 650-558-1213
- DEMOLITION OF A STRUCTURE REQUIRES YOU TO OBTAIN A PERMIT FROM BAAGM AND REQUIRED SIGN-OFFS FROM THE SEWER AND PLANNING AND RECYCLING DEPARTMENTS. THE DEMOLITION PERMIT APPLICATION AVAILABLE ON THE CITY OF BURLINGAME BUILDING DEPARTMENT WEBSITE WILL NEED TO BE COMPLETED PRIOR TO BUILDING DEPARTMENT APPROVAL AND THE START OF WORK. PLEASE CALL BAAGM FOR QUESTIONS CONCERNING OBTAINING A PERMIT FROM THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT. THEIR PHONE NUMBER IS 415-743-4919. E-MAIL AT www.baagm.gov.
- A STORM WATER CONSTRUCTION POLLUTION PREVENTION PERMIT IS REQUIRED TO BE OBTAINED BY THE PUBLIC WORKS DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. THIS PROJECT FALLS UNDER THE CATEGORY OF A (TYPE-1) SINGLE-FAMILY HOUSING PROJECT. A (TYPE-1) IS ANY ADDITION OF A F T OR STORY ADDITION ON A LOT UP TO 10,000 SF. NOTE: AN INITIAL FIELD INSPECTION IS REQUIRED PRIOR TO THE START OF ANY CONSTRUCTION (ON PRIVATE PROPERTY OR IN THE PUBLIC RIGHT-OF-WAY).

STORM WATER NOTES:

PROJECTS THAT CREATE AND/OR REPLACE 2500 SQUARE FEET TO 10,000 SQUARE FEET OF IMPERVIOUS SURFACE (E.G. NEW DRIVEWAY, OR OTHER NON-IMPERVIOUS SURFACE) MUST COMPLY WITH THE SAN FRANCISCO BAY MUNICIPAL REGIONAL STORMWATER NPDES PERMIT. PLEASE SHOW ON PLANS WHICH SITE DESIGN MEASURE(S) LISTED ON THE STORMWATER CHECKLIST FOR SMALL PROJECTS WILL BE INSTALLED TO MEET THIS REQUIREMENT. A COPY OF THE SMALL PROJECTS CHECKLIST IS ACCESSIBLE HERE: <https://www.burlingame.org/stormwaterdevelopment>.

DESIGN MEASURE: DIRECT ROOF RUNOFF ONTO VEGETATED AREAS USING A DISCONNECTED DOWNSPOUT.

TABLE NO. A-III-A-1

MINIMUM REQUIRED FIRE FLOW & FLOW DURATION BUILDINGS

FIRE AREA (square feet)					FIRE FLOW (gallons per minute)	FLOW DURATION (hours)
X 0.0929 for m ²						
Type I-F-R	Type II One-HR	Type IV-H-T	Type II-N	Type V-N1	x 3.785 for L/min	
0-22,700	0-12,700	0-8,200	0-5,900	0-3,600	1,500	
22,701-30,200	12,701-17,000	8,201-10,900	5,901-7,900	3,601-4,800	1,750	
30,201-38,700	17,001-21,800	10,901-12,900	7,901-9,800	4,801-6,200	2,000	
38,701-48,300	21,801-24,200	12,901-17,400	9,801-12,600	6,201-7,700	2,250	
48,301-59,000	24,201-33,200	17,401-21,300	12,601-15,400	7,701-9,400	2,500	
59,001-70,900	33,201-39,700	21,301-25,500	15,401-18,400	9,401-11,300	2,750	
70,901-83,700	39,701-47,100	25,501-30,100	18,401-21,800	11,301-13,400	3,000	
83,701-97,700	47,101-54,900	30,101-35,200	21,801-25,900	13,401-15,600	3,250	
97,701-112,700	54,901-63,400	35,201-40,600	25,901-29,300	15,601-18,000	3,500	
112,701-128,700	63,401-72,400	40,601-46,400	29,301-33,500	18,001-20,600	3,750	
128,701-145,900	72,401-82,100	46,401-52,500	33,501-37,900	20,601-23,300	4,000	
145,901-163,400	82,101-102,400	52,501-59,100	37,901-42,700	23,301-26,300	4,250	
163,401-183,400	102,401-114,800	59,101-66,000	42,701-47,700	26,301-29,300	4,500	
183,401-203,700	114,801-126,700	66,001-73,300	47,701-53,000	29,301-32,600	4,750	
203,701-225,200	126,701-139,400	73,301-81,100	53,001-58,600	32,601-36,000	5,000	
225,201-247,700	139,401-152,600	81,101-89,200	58,601-65,400	36,001-39,600	5,250	
247,701-271,200	152,601-166,500	89,201-97,700	65,401-72,600	39,601-43,400	5,500	
271,201-295,900	166,501-181,500	97,701-106,500	72,601-77,000	43,401-47,400	5,750	
295,901-Greater	181,501-Greater	106,501-115,800	77,001-83,700	47,401-51,500	6,000	
		115,801-125,500	83,701-90,600	51,501-55,700	6,250	
		125,501-135,500	90,601-97,900	55,701-60,200	6,500	
		135,501-145,800	97,901-106,800	60,201-64,800	6,750	
		145,801-156,700	106,801-113,200	64,801-69,600	7,000	
		156,701-167,300	113,201-121,300	69,601-74,600	7,250	
		167,301-179,400	121,301-129,600	74,601-79,800	7,500	
		179,401-191,400	129,601-138,300	79,801-85,100	7,750	
		191,401-Greater	128,301-Greater	85,101-Greater	8,000	

PUBLIC WORK NOTES:

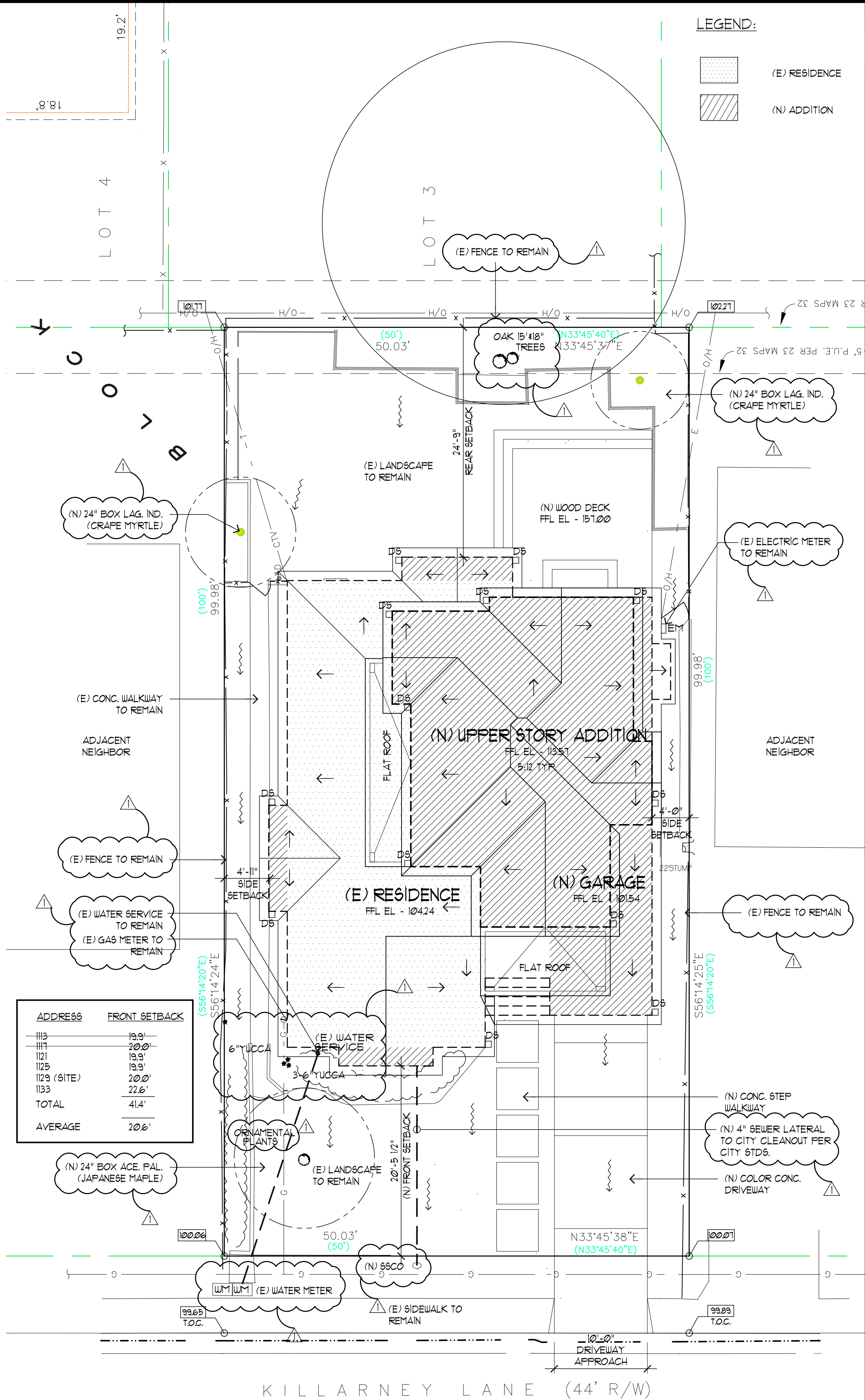
- BASED ON THE SCOPE OF WORK, THIS IS A TYPE I PROJECT THAT REQUIRES A STORM WATER CONSTRUCTION POLLUTION PREVENTION PERMIT. THIS PERMIT IS REQUIRED AT TIME OF ISSUANCE OF A BUILDING PERMIT. AN INITIAL FIELD INSPECTION IS REQUIRED PRIOR TO THE START OF ANY CONSTRUCTION (ON PRIVATE PROPERTY OR IN THE PUBLIC RIGHT-OF-WAY).
- ANY WORK IN THE CITY RIGHT-OF-WAY, SUCH AS STREET, SIDEWALK, AREA, PUBLIC EASEMENTS, UTILITY EASEMENTS, OR USE OF THE RIGHT-OF-WAY SUCH AS PLACEMENT OF DEBRIS BOX OR CONSTRUCTION PARKING IS REQUIRED TO OBTAIN AN ENCROACHMENT PERMIT PRIOR TO STARTING WORK. FOR REQUIREMENTS RELATED TO ISSUANCE OF AN ENCROACHMENT PERMIT, VISIT: https://www.burlingame.org/departments/public_works/encroachment_permit.php. WORK WITHOUT THE BENEFIT OF AN ENCROACHMENT PERMIT WILL BE CHARGED DOUBLE THE PERMIT FEE.
- ALL WORK WITHIN CITY RIGHT-OF-WAY SHALL COMPLY WITH CITY STANDARDS AND DETAILS. STANDARD DETAILS ARE AVAILABLE AT: https://www.burlingame.org/departments/public_works/city_standard_details.php.
- NEW SINGLE FAMILY HOMES:
THIS PROJECT SHALL (1) REPLACE ALL CURB, GUTTER, DRIVEWAY AND SIDEWALK FRONTING SITE, (2) PLUG ALL EXISTING SANITARY SEWER LATERAL CONNECTIONS AND INSTALL A NEW LATERAL, (3) ALL WATER LINE CONNECTIONS TO CITY WATER MAINS FOR SERVICES OR FIRE LINE ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND SPECIFICATION, (4) A REMOVE/REPLACE UTILITIES ENCROACHMENT PERMIT IS REQUIRED FOR ANY OTHER UNDERGROUND UTILITY WORKS WITHIN CITY'S RIGHT-OF-WAY.
- THE PROJECT SHALL COMPLY WITH THE CITY'S NPDES PERMIT REQUIREMENTS TO PREVENT STORM WATER POLLUTION. ALL CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT APWA-AGC STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, THE CALIFORNIA STORM WATER QUALITY ASSOCIATIONS STORM WATER BEST MANAGEMENT PRACTICE HANDBOOK, AND THE CITY OF BURLINGAME STORM WATER MANAGEMENT AND DISCHARGE CONTROL ORDINANCE (MUNICIPAL CODE CHAPTER 5.14). A COPY OF THE STORMWATER CONSTRUCTION BEST MANAGEMENT PRACTICES CAN BE FOUND AT <http://www.floustebay.org/brochures>. UPON COMPLETION OF THE WORK, ALL STORM WATER PROTECTION MEASURES SHALL BE ENTIRELY REMOVED AND THE RIGHT-OF-WAY SHALL BE LEFT IN AS PRESENTABLE A CONDITION AS EXISTED BEFORE WORK STARTED.
- ALL DAMAGED AND DISPLACED CURB, GUTTER AND/OR SIDEWALK FRONTING SITE MUST BE REPLACED PRIOR TO FINAL OF BUILDING PERMIT.
- CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT-OF-WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00AM AND 5:00PM. THIS INCLUDES CONSTRUCTION HAULING.
- PER MUNICIPAL CODE SECTION 18.08.030, NO STORM WATER OR UNDERGROUND WATER DRAINING FROM ANY LOT, BUILDING, OR PAVED AREA SHALL BE ALLOWED TO DRAIN TO ADJACENT PROPERTIES NOR SHALL THIS WATER BE CONNECTED TO THE CITY'S SANITARY SEWER SYSTEM. REGARDLESS OF THE SLOPE OF THE SOURCE PROPERTY, SUCH WATER SHALL DRAIN TO EITHER ARTIFICIAL OR NATURAL STORM DRAINAGE FACILITIES BY GRAVITY OR PUMPING.
- ALL WATER LINE CONNECTIONS TO CITY WATER MAINS FOR SERVICES OR FIRE LINE PROTECTION ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND MATERIAL SPECIFICATIONS. CONTACT THE CITY'S WATER DEPARTMENT FOR CONNECTION FEES. IF REQUIRED, ALL FIRE SERVICES AND SERVICES 2" AND OVER SHALL BE INSTALLED BY BUILDER. ALL UNDERGROUND FIRE SERVICE CONNECTIONS SHALL BE SUBMITTED AS SEPARATE UNDERGROUND FIRE SERVICE PERMIT FOR REVIEW AND APPROVAL.
- NO STRUCTURE SHALL BE BUILT INTO CITY'S RIGHT-OF-WAY. THIS INCLUDES ALL EXISTING. SHOW ON SITE PLAN, DIMENSION FROM PROPERTY LINE TO FACE OF CURB, WHERE APPLICABLE. SHOW REMOVAL OF STRUCTURE OUT OF PUBLIC RIGHT-OF-WAY. ON BENTO AVE, THIS MEASUREMENT IS TWELVE FEET (12') MEASURED FROM FACE OF CURB. THIS INCLUDES PROPERTY WINDOWS THAT OPEN UP ACCORDION STYLE.
- ALL DEBRIS/GARBAGE CONTAINERS LOCATION SHALL BE ON PROPERTY. NO WET GARBAGE FLUID SHALL ENTER PUBLIC RIGHT-OF-WAY OR THE STORM DRAIN SYSTEM.
- IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO NOTIFY UNDERGROUND SERVICE ALERT (USA) AT LEAST 48 HOURS BEFORE THE START OF ANY EXCAVATION WORK.

NOTES:

- WHERE THE PROPERTY LINE IS LESS THAN TEN (10) FEET FROM THE EXIT TERMINAL OF ANY NEWLY INSTALLED OR REPLACEMENT HIGH EFFICIENCY MECHANICAL EQUIPMENT THE PIPE SIZE OF THE FINAL TEN (10) FEET OF ANY TERMINAL MUST BE INCREASED TO THREE INCHES (3") OR AS AN ALTERNATIVE, MANUFACTURER-APPROVED BATTLES MUST BE INSTALLED.
- CONTRACTOR SHALL PROVIDE ADEQUATE MEASURES TO AVOID EROSION OR SEDIMENT FROM LEAVING THE SITE AND FLOWING INTO THE STREET, CURB OR GUTTER (USE STRAW WADDLES)
- REPLACE DAMAGED OR DISPLACED CURB, GUTTER AND/OR SIDEWALK ALONG THE PROPERTY FRONTAGE. A CITY ENCROACHMENT PERMIT IS REQUIRED.
- THE SANITARY SEWER LATERAL (BUILDING SEWER) SHALL BE TESTED PER ORDINANCE CODE CHAPTER 5.12. TESTING INFORMATION IS AVAILABLE AT THE BUILDING DEPARTMENT COUNTER. AN ENCROACHMENT PERMIT IS REQUIRED FROM THE PUBLIC WORKS DEPARTMENT WHENEVER THE CITY'S PORTION OF THE SEWER LATERAL OR CITY CLEANOUT IS TO BE LAID AND/OR CONNECTED TO THE SEWER MAINS.
- NEW DRIVEWAY OR DRIVEWAY WIDENING MUST BE APPROVED BY THE CITY ENGINEER. SHOW DISTANCE BETWEEN THE PROPOSED DRIVEWAY OPENING TO THE CLOSEST ADJACENT DRIVEWAY ON SITE PLAN.
- A PROPERTY SURVEY IS REQUIRED IF ANY PART OF PERMANENT STRUCTURE INCLUDING FOOTING IS WITHIN 12" OF PROPERTY LINE.

PUBLIC WORKS SITE NOTES:

- DUE TO THE SCOPE OF WORK, SHOW THE REPLACEMENT OF ALL CURB, GUTTER, DRIVEWAY AND SIDEWALK FRONTING SITE, PLUG ALL EXISTING SANITARY SEWER LATERAL CONNECTIONS AND INSTALL A NEW 4" LATERAL. ALL WATER LINE CONNECTIONS TO CITY WATER MAINS FOR SERVICES OR FIRE LINE ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND SPECIFICATION, AND ANY OTHER UNDERGROUND UTILITY WORKS WITHIN CITY'S RIGHT-OF-WAY. (PLEASE CALL OUT THESE ITEMS TO BE REMOVED AND REPLACED ON THE SITE PLAN. ALL ABANDONED SEWER LATERAL OR WATER SERVICE SHALL BE DISCONNECTED AT THE MAIN AND PER CITY REQUIREMENTS.) AN ENCROACHMENT PERMIT WILL BE REQUIRED FOR THESE ITEMS. DUE TO THE EXTENSIVE SCOPE OF WORK, AND FROM PAST EXPERIENCE, THE CONCRETE FLATWORK WILL BECOME DAMAGED DURING CONSTRUCTION OF THE STRUCTURES. IF THE SIDEWALK HAS BEEN RECENTLY REPLACED OR IS IN GOOD CONDITION, PLEASE NOTE THAT ALL DAMAGED SIDEWALK, CURB, AND GUTTER DURING CONSTRUCTION WILL BE REPAIRED. AN INSPECTION BY THE CITY PUBLIC WORKS INSPECTOR WILL DETERMINE THE LIMITS OF THE REPAIRS POST-CONSTRUCTION.
- ALL ABANDONED EXISTING WATER SERVICES 2" INCH OR BELOW SHALL BE CUT AND CUP AT THE EXISTING MAIN CONNECTION AND DISCONNECT AT SERVICE SADDLE. ABANDONED VALVE WHERE APPLICABLE.
- ALL ABANDONED EXISTING WATER SERVICES GREATER THAN 2", SHALL HAVE TEES REMOVED AT MAIN AND REPLACE WITH STRAIGHT PIPE PER CITY STANDARDS AND DETAILS.
- NO PERMANENT STRUCTURES (RETAINING WALLS, FENCES, COLUMNS, MAILBOX, ETC.) PROPOSED BEYOND THE PROPERTY LINE AND INTO THE PUBLIC RIGHT-OF-WAY.



AC NOTES:

AC EQUIPMENT WILL NOT EXCEED A MAXIMUM OUTDOOR NOISE LEVEL (dBA) OF SIXTY (60) DBA DAYTIME (7:00 AM - 10:00 PM) OR FIFTY (50) DBA NIGHTTIME (10:00 PM - 7:00 AM) AS MEASURED FROM THE PROPERTY LINE. BNC 2558.050

SITE DEVELOPMENT PLAN SCALE: 1/8"=1'-0"

REVISIONS	BY
PLING PC1 09/30/21	PU

CHU DESIGN ASSOCIATES INC.
210 INDUSTRIAL RD, SUITE 205
SAN CARLOS, CALIFORNIA 94070
TEL. (650) 345-9286 EXT. 1001


The drawing on this sheet, specification ideas, designs and arrangements represented hereby are and shall remain the property of CHU DESIGN ASSOCIATES, INC., and in no part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specified project for which they have been prepared and developed without the written consent of CHU DESIGN ASSOCIATES, INC. Visual contact with these plans or specifications shall constitute conclusive evidence of acceptance to these restrictions.

RES. REMODEL/ ADDITION
1129 KILLARNEY LANE
BURLINGAME, C.A.
A.P.N.: 025-232-056

DATE:	7/30/21
SCALE:	AS NOTED
DRAWN:	PU
FOR:	
SHEET NO.	



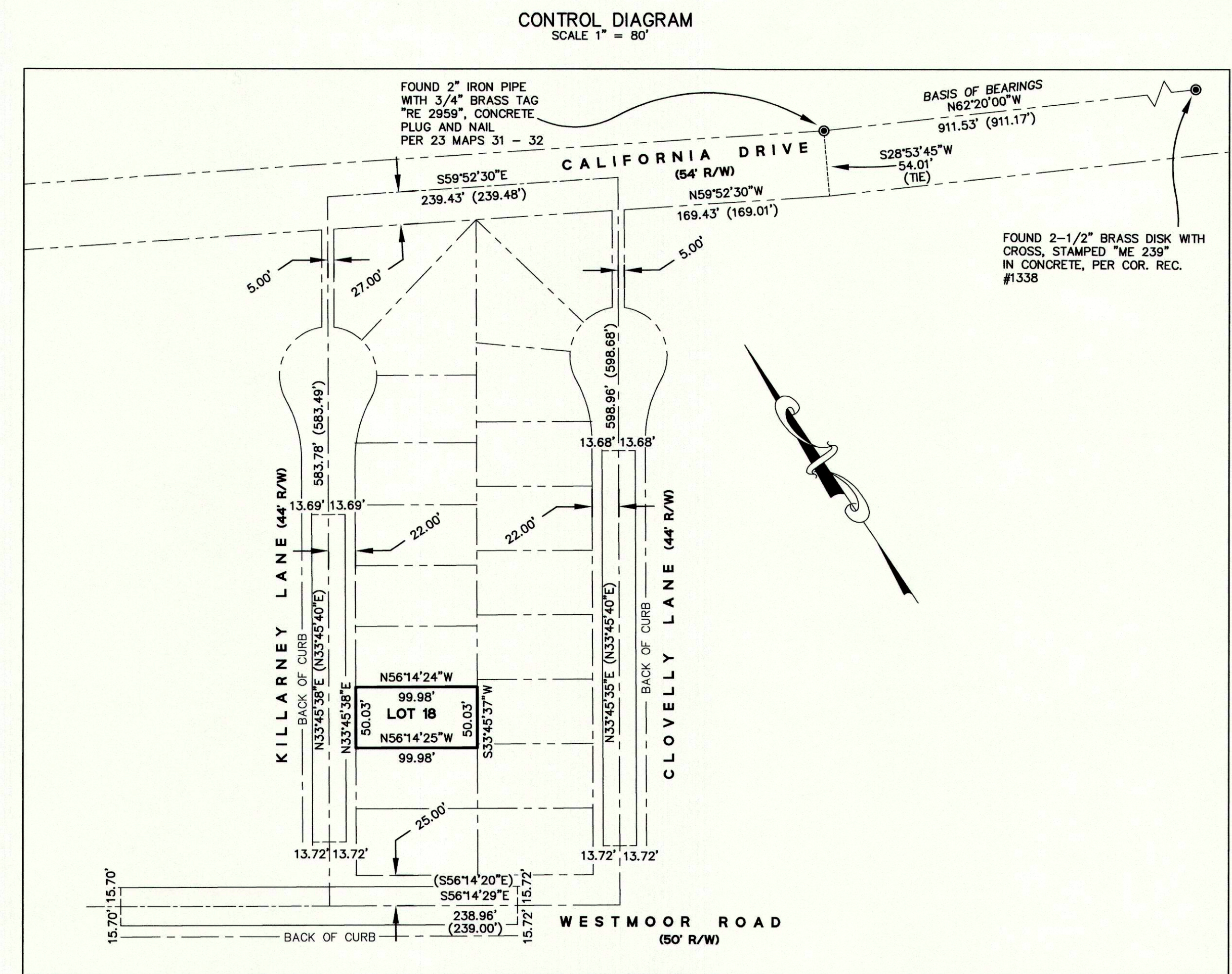
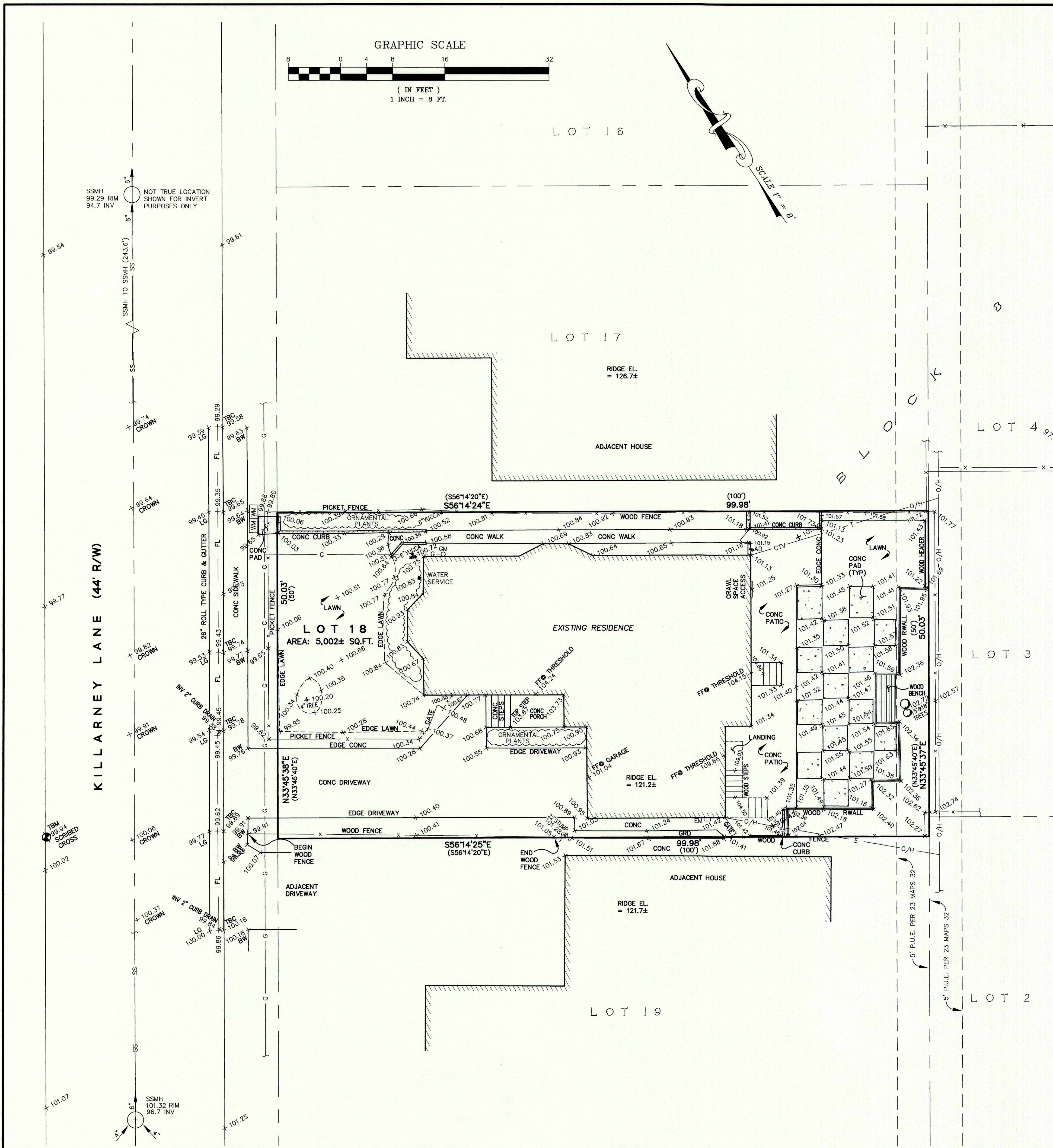
SCALE: 1/4"=1'-0"



CHU DESIGN ASSOCIATES INC.
210 INDUSTRIAL RD. SUITE 205
SAN CARLOS, CALIFORNIA 94070
TEL: (650) 345-9286 EXT. 1001

RES. REMODEL / ADDITION
1129 KILLARNEY LANE
BURLINGAME, C.A.
A.P.N.: 025-232-056

A.9



AVERAGE BUILDING SETBACKS:

ADDRESS	SETBACK
1113	19.9'
1117	20.0'
1121	19.9'
1125	19.9'
1129 (SITE)	20.0'
1133	22.6'
TOTAL = 122.3'	
AVERAGE FRONT SETBACK: 20.4'	

LEGEND:

●	FOUND MONUMENT AS NOTED
()	RECORD DATA PER 23 MAPS 32
A/C	ASPHALTIC CONCRETE
AD	AREA DRAIN
BW	BACK OF WALK
CB	CATCH BASIN
CP	CAST IRON PIPE
CMP	CORRUGATED METAL PIPE
CONC	CONCRETE
CO	CLEAN-OUT
DI	DROP INLET
EM	ELECTRIC METER
EUC	EUCALYPTUS
FD	FOUND
FL	FINISHED FLOOR
FM	FLOW LINE
GA	GUY ANCHOR
GM	GAS METER
GRD	GROUND
HCR	HANDICAP RAMP
INV	INVERT
IP	IRON PIPE
LAT	LATERAL
LG	LIP OF GUTTER
OVH	OVERHEAD
RCP	REINFORCED CONCRETE PIPE
RW	RETAINING WALL
R/W	RIGHT OF WAY
SSCO	SANITARY SEWER CLEAN-OUT
SSMH	SANITARY SEWER MANHOLE
SSMH	STORM DRAIN MANHOLE
TBC	TOP BACK OF CURB
T/W	TOP OF WALL
U/G	UNDERGROUND
VCP	VITRIFIED CLAY PIPE
WV	WATER VALVE
WM	WATER METER BOX
-CTV-	CABLE TELEVISION LINE
-E-	ELECTRICAL LINE
-G-	GAS LINE
-SS-	SANITARY SEWER LINE
-SD-	STORM DRAIN LINE
-T-	TELEPHONE LINE
-W-	WATER LINE

UTILITY NOTE:

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

BASIS OF ELEVATIONS:

ELEVATIONS ARE BASED UPON AN ASSUMED DATUM.
TBM: SET SCRIBED CROSS AS SHOWN
ELEVATION = 99.94

BASIS OF BEARINGS:

THE BEARING, S 62°20'00" E, BETWEEN 2" IRON PIPE AT A POINT OF INTERSECTION IN THE NORTHERLY RIGHT-OF-WAY LINE OF CALIFORNIA DRIVE AS SHOWN ON TRACT MAP 23 MAPS 32 AND BRASS DISK IN CONCRETE STAMPED "ME 239" AS SHOWN ON CORNER RECORD MAP 1338 WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BOUNDARY NOTE:

MONUMENTS WILL BE SET AT THE PROPERTY CORNERS AND A RECORD OF SURVEY OR CORNER RECORD WILL BE FILED WITH THE COUNTY OF SAN MATEO.

BOUNDARY AND TOPOGRAPHIC SURVEY

LOT 18, BLOCK 8
"BURLINGAME VILLAGE"
VOLUME 23 OF MAPS PAGE 32
ASSESSOR'S PARCEL NUMBER: 025-232-056
(1129 KILLARNEY LANE)

BURLINGAME SAN MATEO COUNTY CALIFORNIA
SCALE: 1" = 8'

B & H SURVEYING, INC.
PROFESSIONAL LAND SURVEYING

901 WALTERWIRE ST.
BELMONT, CA 94002
OFFICE (650) 637-1590
FAX (650) 637-1059

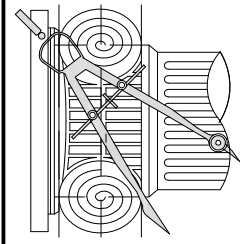
GILSON RESIDENCE

1129 KILLARNEY LANE, BURLINGAME, CA
A.P.N.: 025-232-056

DESIGN DATA	PROJECT DATA	SHEET INDEX	PROJECT DIRECTORY																																						
<p>2019 CALIFORNIA BUILDING CODE 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA ENERGY CODE 2019 CALIFORNIA RESIDENTIAL CODE</p> <p>ALL OTHER STATE AND LOCAL ORDINANCES AND REGULATIONS ALL STRUCTURAL DESIGN DATA AS PER CBC SECTION 1603 ALL CONSTRUCTION AS PER CBC TABLE 601, TYPE V.</p> <p>ADOPTION OF THE 2019 EDITION OF THE CALIFORNIA STATE BUILDING CODES, TITLE 24, CALIFORNIA CODE OF REGULATIONS WAS MANDATED BY AB 4616 AND SB 2811, EFFECTIVE JANUARY 1, 2011. THE FOLLOWING LOCAL AMENDMENTS TO THE CALIFORNIA STATE BUILDING CODES WERE FILED WITH THE OFFICE OF HOUSING AND COMMUNITY DEVELOPMENT.</p> <p>ENTIRE RESIDENCE, CRAWL SPACE AND ATTIC SHALL BE PROTECTED BY AUTOMATIC FIRE-EXTINGUISHING SYSTEM NFPA 13-D STANDARD.</p> <p>GENERAL NOTES: 1. ALL DETAILS, MATERIALS, FINISHES AND ASSEMBLIES ARE NOT NECESSARILY SHOWN. THESE FINAL FINISH DETAILS INCLUDING CASEWORK AND MATERIAL SELECTIONS WILL BE COORDINATED BY THE OWNER.</p> <p>2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE UNIFORM BUILDING CODE, APPLICABLE EDITION, AND ALL OTHER PERTINENT CODES, LAWS AND REQUIREMENTS OF THE LOCAL BUILDING OFFICIALS. WHETHER OR NOT SPECIFICALLY SHOWN ON THESE DOCUMENTS, THESE DOCUMENTS ARE NOT INTENDED TO SHOW EVERY DETAIL OR CONDITION. MANY DETAILS IN RESIDENTIAL CONSTRUCTION ARE BUILT ACCORDING TO PROFESSIONAL CONSTRUCTION PRACTICES, AND ARE THEREFORE NOT DETAILED IN THESE DOCUMENTS. CONTACT CHU DESIGN AND ENGINEERING INC. IF CONDITIONS OR OTHER CIRCUMSTANCES REQUIRE CHANGES IN THE WORK SHOWN, OR REQUIRE CLARIFICATION. ALL WORK SHALL BE DONE IN A HIGH QUALITY MANNER, ACCORDING TO THE PREVAILING STANDARDS OF THE INDUSTRY FOR EACH TRADE.</p> <p>3. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, SUPERVISION AND CLEAN-UP TO ACCOMPLISH ALL OF THE WORK SHOWN, INCLUDING ALL WARRANTIES AND INSTRUCTIONS, TO PROVIDE A COMPLETE WORKING INSTALLATION, AND TO LEAVE THE OWNER WITH AN APPROVED PRODUCT.</p> <p>4. CONTRACTOR SHALL ASSUME COMPLETE AND SOLE RESPONSIBILITY FOR MEANS AND METHODS OF CONSTRUCTION, AND FOR ALL SAFETY MEASURES TO PROTECT ALL PROPERTY, PERSONNEL AND THIRD PARTIES FROM DAMAGE OR INJURY. THIS RESPONSIBILITY SHALL BE CONTINUOUS AND NOT SOLELY DURING WORKING HOURS. CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS CHU DESIGN ASSOCIATES INC. AND RELATED ENGINEERS FROM ANY CLAIMS OF LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF HIS WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF CHU DESIGN ASSOCIATES INC. AND RELATED ENGINEERS.</p> <p>5. THESE DOCUMENTS DO NOT CONTAIN PROVISIONS FOR THE HANDLING OR REMOVAL OF ANY HAZARDOUS MATERIALS. SHOULD ANY SUCH MATERIALS BE SUSPECTED OR ENCOUNTERED, SPECIALISTS SHALL BE CALLED IN TO MAKE RECOMMENDATIONS.</p> <p>6. PROVIDE ALL MANDATORY FEATURES REQUIRED BY THE T-24 ENERGY CODE, INCLUDING WEATHER-STRIPPING, BUILDING INSULATION, PIPE INSULATION, LIGHTING AND APPLIANCE MEASURES, AND OTHER FEATURES REQUIRED BY TITLE 24 OR OTHER STATE, FEDERAL OR LOCAL CODES.</p> <p>7. NO PERSON SHALL ERECT (INCLUDING EXCAVATION AND GRADING), DEMOLISH, ALTER OR REPAIR ANY BUILDING OR STRUCTURE OTHER THAN BETWEEN THE HOURS PERMITTED BY THE LOCAL JURISDICTION.</p> <p>8. ANY HIDDEN CONDITIONS THAT REQUIRE WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT ISSUED FOR THESE PLANS MAY REQUIRE FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION.</p> <p>9. PLUMBING CONTRACTOR WILL PROVIDE A SINGLE LINE DIAGRAM ON TIME OF INSPECTION AND ANY INSTALLATION PRIOR TO PLAN CHECK AND APPROVAL IS AT CONTRACTOR'S RISK.</p> <p>10. FIRE SPRINKLERS SHALL BE INSTALLED AND SHOP DRAWINGS SHALL BE APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION.</p> <p>11. IF GRADING PERMIT IS REQUIRED, IT SHOULD BE OBTAINED FROM DEPARTMENT OF PUBLIC WORKS.</p> <p>12. IF PUBLIC WORKS REQUIRES SIDEWALK REPLACEMENT, POLICY FOR EXPANDING WIDTH OF PLANTER STRIP NEED TO BE IMPLEMENTED AND TREES NEED TO BE ADDED.</p>	<p>1. SITE ADDRESS: 1129 KILLARNEY LANE BURLINGAME, CA 94010 025-232-056</p> <p>2. APN: 025-232-056</p> <p>3. TYPE OF CONSTRUCTION FOR: DWELLING AND GARAGE: TYPE V-N OCCUPANCY GROUP FOR DWELLING: R-3 OCCUPANCY GROUP FOR GARAGE: U</p> <p>4. SITE AREA: 5,002.00 SF</p> <p>5. MAX. COVERED FLOOR AREA ALLOWED: 2,100.64 SF (32% + 1100)</p> <p>6. MAX. LOT COVERAGE ALLOWED (40%): 2,000.80 SF</p> <div><p>7. EXISTING STRUCTURE:</p><table><tr><td>(E) GARAGE TO BE DEMOLISHED</td><td>291.50 SF</td></tr><tr><td>(E) MAIN FLOOR</td><td>1245.63 SF</td></tr><tr><td>(E) ADU 30128 SF</td><td>301.28 SF</td></tr><tr><td>(E) TOTAL FLOOR AREA</td><td>1850.41 SF < 2,100.64 SF</td></tr></table><p>8. PROPOSED FLOOR AREA:</p><table><tr><td>(E) MAIN FLOOR (-35.53 TO BE DEMOLISHED)</td><td>1210.10 SF</td></tr><tr><td>(N) MAIN FLOOR ADDITION</td><td>449.51 SF</td></tr><tr><td>(N) PROPOSED SECOND FLOOR</td><td>799.41 SF</td></tr><tr><td>(N) FRONT PORCH</td><td>0 SF</td></tr><tr><td>(N) GARAGE</td><td>231.00 SF</td></tr><tr><td>(N) TOTAL FLOOR AREA</td><td>2690.14 SF < 2,100.64 SF</td></tr><tr><td>(N) FLOOR AREA RATIO:</td><td>53.78 %</td></tr></table><p>9. LOT COVERED AREA:</p><table><tr><td>(E) MAIN FLOOR</td><td>1210.10 SF</td></tr><tr><td>(N) MAIN FLOOR ADDITION</td><td>449.51 SF</td></tr><tr><td>(N) GARAGE</td><td>231.00 SF</td></tr><tr><td>(N) FRONT PORCH</td><td>38.04 SF</td></tr><tr><td>(N) REAR STAIR LANDING</td><td>40.50 SF</td></tr><tr><td>(N) FIREPLACE</td><td>12.00 SF</td></tr><tr><td>(N) TOTAL FLOOR AREA</td><td>1981.21 SF < 2,000.80 SF</td></tr><tr><td>(N) LOT COVERAGE RATIO:</td><td>39.61 %</td></tr></table></div>	(E) GARAGE TO BE DEMOLISHED	291.50 SF	(E) MAIN FLOOR	1245.63 SF	(E) ADU 30128 SF	301.28 SF	(E) TOTAL FLOOR AREA	1850.41 SF < 2,100.64 SF	(E) MAIN FLOOR (-35.53 TO BE DEMOLISHED)	1210.10 SF	(N) MAIN FLOOR ADDITION	449.51 SF	(N) PROPOSED SECOND FLOOR	799.41 SF	(N) FRONT PORCH	0 SF	(N) GARAGE	231.00 SF	(N) TOTAL FLOOR AREA	2690.14 SF < 2,100.64 SF	(N) FLOOR AREA RATIO:	53.78 %	(E) MAIN FLOOR	1210.10 SF	(N) MAIN FLOOR ADDITION	449.51 SF	(N) GARAGE	231.00 SF	(N) FRONT PORCH	38.04 SF	(N) REAR STAIR LANDING	40.50 SF	(N) FIREPLACE	12.00 SF	(N) TOTAL FLOOR AREA	1981.21 SF < 2,000.80 SF	(N) LOT COVERAGE RATIO:	39.61 %	<p>ARCHITECTURAL</p> <p>A1 COVER SHEET A2 SITE DEMOLITION PLAN A2.1 SITE DEVELOPMENT PLAN A3 EXISTING MAIN & ADU PERIMETER DEMO CALCULATIONS A4 PROPOSED FIRST & UPPER FLOOR PLAN A5 EXISTING & PROPOSED FRONT ELEVATION A6 EXISTING & PROPOSED RIGHT ELEVATION A7 EXISTING & PROPOSED REAR ELEVATION A8 EXISTING & PROPOSED LEFT ELEVATION A9 MAIN HOUSE BUILDING SECTION N1 CONSTRUCTION BMP AC AREA CALCULATIONS (PLANNER SET ONLY)</p> <p>CIVIL</p> <p>601 BOUNDARY & TOPOGRAPHIC SURVEY</p>	<p>PROPERTY OWNER: MR. ROBERT & MRS. AMANDA GILSON 1129 KILLARNEY LANE BURLINGAME, CA 94010 rgilson89@gmail.com</p> <p>ARCHITECTURAL: JAMES CHU CHU DESIGN ASSOCIATES INC. 55 W. 43RD AVE. SAN MATEO, CA 94403 TEL: (650) 345-9286, EXT. 104 FAX: (650) 345-9281 EMAIL: James@chudesign.com</p> <p>CIVIL SURVEY: B44 SURVEYING, INC. 901 WALTERMIRE ST. BELMONT, CA 94002 TEL: (650) 637-1590</p>
(E) GARAGE TO BE DEMOLISHED	291.50 SF																																								
(E) MAIN FLOOR	1245.63 SF																																								
(E) ADU 30128 SF	301.28 SF																																								
(E) TOTAL FLOOR AREA	1850.41 SF < 2,100.64 SF																																								
(E) MAIN FLOOR (-35.53 TO BE DEMOLISHED)	1210.10 SF																																								
(N) MAIN FLOOR ADDITION	449.51 SF																																								
(N) PROPOSED SECOND FLOOR	799.41 SF																																								
(N) FRONT PORCH	0 SF																																								
(N) GARAGE	231.00 SF																																								
(N) TOTAL FLOOR AREA	2690.14 SF < 2,100.64 SF																																								
(N) FLOOR AREA RATIO:	53.78 %																																								
(E) MAIN FLOOR	1210.10 SF																																								
(N) MAIN FLOOR ADDITION	449.51 SF																																								
(N) GARAGE	231.00 SF																																								
(N) FRONT PORCH	38.04 SF																																								
(N) REAR STAIR LANDING	40.50 SF																																								
(N) FIREPLACE	12.00 SF																																								
(N) TOTAL FLOOR AREA	1981.21 SF < 2,000.80 SF																																								
(N) LOT COVERAGE RATIO:	39.61 %																																								
CONSTRUCTION SCHEDULE																																									
<p>1. NO PERSON SHALL ERECT (INCLUDING EXCAVATION AND GRADING), DEMOLISH, ALTER OR REPAIR ANY BUILDING OR STRUCTURE OTHER THAN BETWEEN THE FOLLOWING HOURS EXCEPT IN THE CASE OF URGENT NECESSITY IN THE INTEREST OF PUBLIC HEALTH AND SAFETY, AND THEN ONLY WITH PRIOR WRITTEN APPROVAL FROM THE BUILDING OFFICIAL, WHICH APPROVAL SHALL BE GRANTED FOR A PERIOD NOT TO EXCEED THREE DAYS. HOLIDAYS ARE THE FIRST DAY OF JANUARY, THE THIRD MONDAY OF FEBRUARY, THE LAST MONDAY OF MAY, THE FOURTH DAY OF JULY, THE FIRST MONDAY OF SEPTEMBER, THE ELEVENTH DAY OF NOVEMBER, THE FOURTH THURSDAY IN NOVEMBER AND THE TWENTY FIFTH DAY OF DECEMBER. IF THE FIRST DAY OF JANUARY, THE FOURTH DAY OF JULY, THE ELEVENTH DAY OF NOVEMBER AND THE TWENTY-FIFTH DAY OF DECEMBER FALLS UPON A SUNDAY THE FOLLOWING MONDAY IS A HOLIDAY. PROVIDE THE FOLLOWING CONSTRUCTION HOURS ON THE PLANS PER CITY OF BURLINGAME MUNICIPAL CODE 18.01.110.</p> <p>i. MONDAY THROUGH FRIDAY: 8AM TO 5PM ii. SATURDAYS: 8AM TO 6PM iii. SUNDAY AND HOLIDAYS: NO WORK</p> <p>2. CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT-OF-WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00AM TO 5:00PM.</p>																																									
NOTES																																									
<p>1. ALL FINAL PLANS (I.E. THAT ARE TO BE RELEASED FOR CONSTRUCTION) MUST BEAR THE ENGINEER'S SEAL OR WET STAMP AS WELL AS THE WET SIGNATURE AND EXPIRATION DATE OF THE REGISTRATION AND THE DATE THAT PLANS WERE SIGNED. IF THE STRUCTURAL ELEMENTS ARE SHOWN ON THE ARCHITECTURAL PLANS, THE ENGINEER SHOULD MAKE IT CLEAR ON ALL DOCUMENTS THAT HIS OR HER RESPONSIBILITY IS LIMITED TO STRUCTURAL PORTIONS ONLY. WHEN STRUCTURAL CALCULATIONS AND SPECIFICATIONS OR OTHER REPORTS ARE SUBMITTED, AT A MINIMUM, THE ENGINEER'S "WET" STAMP, SIGNATURE, REGISTRATION NUMBER, EXPIRATION DATE OF THE CERTIFICATE AND THE DATE OF SIGNING AND SEALING OR STAMPING IS REQUIRED ON THE FIRST SHEET (COVER SHEET).</p>																																									

REVISIONS	BY
PLUMBING PC1 09/30/21	PU

CHU DESIGN ASSOCIATES INC.
210 INDUSTRIAL RD, SUITE 205
SAN CARLOS, CALIFORNIA 94070
TEL: (650) 345-9286 EXT. 1001



The drawing on this sheet, specification ideas, designs, and arrangements represented hereby are and shall remain the property of CHU DESIGN ASSOCIATES, INC.; and in no part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specified project for which they have been prepared and developed without the written consent of CHU DESIGN ASSOCIATES, INC. Visual contact with these plans or specifications shall constitute conclusive evidence of acceptance to these restrictions.

RES. REMODEL/ ADDITION
1129 KILLARNEY LANE
BURLINGAME, C.A.
A.P.N.: 025-232-056

DATE:	7/30/21
SCALE:	AS NOTED
DRAWN:	PU
FOR:	
SHEET NO.	

A.1