

# NEW RESIDENCE + DETACHED ADU -GARAGE

FOR  
MR. + MRS. CHUNG

713 HOWARD AVENUE BURLINGAME CALIFORNIA 94010

RECEIVED  
07/27/2022  
City of Burlingame  
CDD-Planning DIV  
REVISED

## CHUNG RESIDENCE

713 HOWARD AVE  
BURLINGAME, CA

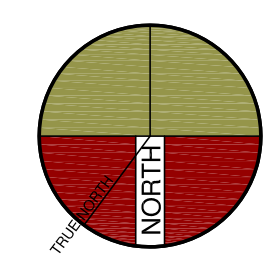
[ inSite ]

architecture • design • interiors

1534 PLAZA LN. #318  
BURLINGAME, CA 94010  
(650) 235-9566 tel.  
(650) 235-9569 fax

### DESIGN REVIEW

△ SCHEME-2  
PLANNING REVIEW COMMENTS-PC-1  
7-20-2022



### SHEET TITLE TITLE SHEET + PROJECT DATA

PROJECT #: 2022-?  
DRAWN BY:  
DATE: 2-2-2022  
SCALE PER SHEET

DRAWING NUMBER

T.0

### BUILDING MAINTENANCE AND OPERATION (2019 CGC §4.410)

1. AN OPERATION AND MAINTENANCE MANUAL WILL BE PROVIDED AT FINAL INSPECTION. 2019 CGC §4.410.1
2. FOR BUILDINGS WITH MORE THAN 4 MULTI-FAMILY UNITS PROVIDE FOR RECYCLING. 2019 CGC §4.410.2

### BUILDING DEPT. GENERAL NOTES

1. ANY HIDDEN CONDITIONS REQUIRE WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT ISSUED FOR THESE PLANS MAY REQUIRE FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION, THE BUILDING OWNER, PROJECT DESIGNER, AND /OR CONTRACTOR MUST SUBMIT A REVISION TO THE CITY FOR ANY WORK NOT GRAPHICALLY ILLUSTRATED IN THESE PLANS PRIOR TO PERFORMING THIS WORK.

### VERIFICATION (2019 CGC §703)

UPON REQUEST, VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE BUILDING DIVISION THAT WILL SHOW SUBSTANTIAL CONFORMANCE WITH THE 2019 CODE REQUIREMENTS. 2019 CGC §703.1

### TITLE 24 SPECIAL FEATURES-HERS FEATURE SUMMARY

**REQUIRED SPECIAL FEATURES**  
THE FOLLOWING ARE FEATURES THAT MUST BE INSTALLED AS CONDITION FOR MEETING THE MODELED ENERGY PERFORMANCE FOR THIS COMPUTER ANALYSIS.

- DUCTS WITH HIGH LEVEL OF INSULATION
- CEILING HAS HIGH LEVEL OF INSULATION
- INSULATION BELOW ROOF DECK

**HERS FEATURE SUMMARY**  
THE FOLLOWING IS A SUMMARY OF THE FEATURES THAT MUST BE FIELD-VERIFIED BY A CERTIFIED HERS RATER AS A CONDITION FOR MEETING THE MODELED ENERGY PERFORMANCE FOR THIS COMPUTER ANALYSIS. ADDITIONAL DETAIL IS PROVIDED IN THE BUILDING TABLES BELOW. REGISTERED CPFRS AND CPFRS ARE REQUIRED TO BE COMPLETED IN THE HERS REGISTRY

#### BUILDING-LEVEL VERIFICATIONS:

- QUALITY INSULATION INSTALLATION (QII)
- INDOOR AIR QUALITY VENTILATION
- KITCHEN RANGE HOOD
- COOLING SYSTEM VERIFICATIONS:
- MINIMUM AIRFLOW
- VERIFIED SEER
- VERIFIED SEER
- FAN EFFICACY WATTS/CFM
- HEATING SYSTEM VERIFICATIONS:
- -- NONE --
- HVAC DISTRIBUTION SYSTEM VERIFICATIONS:
- DUCT LEAKAGE TESTING
- DOMESTIC HOT WATER

### SOLAR POWER AND PHOTOVOLTAIC SYSTEM

SOLAR POWER AND PHOTOVOLTAIC SYSTEM SHALL BE DEFERRED SUBMITTAL AND SHALL BE REVIEWED AND APPROVED BY BUILDING DEPARTMENT PRIOR TO INSTALLATION.

### POLLUTANT CONTROL (2019 CGC §4.504)

AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE, AND UNTIL FINAL STARTUP OF THE HVAC EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENTS OPENINGS WILL BE COVERED WITH TAPE, PLASTIC, SHEET METALS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST, OR DEBRIS THAT MAY ENTER THE SYSTEM. 2019 CGC §4.504.1

ADHESIVES, SEALANTS, AND CAULKS USED ON THE PROJECT SHALL FOLLOW LOCAL AND REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT DISTRICT STANDARDS. 2019 CGC §4.504.2.1  
PAINTS AND COATINGS WILL COMPLY WITH VOC LIMITS. 2019 CGC §4.504.2.2  
AEROSOL PAINTS AND COATINGS WILL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC, AND COMPLY WITH PERCENT VOC BY WEIGHT OF PRODUCT LIMITS, REGULATION 8, RULE 49. 2019 CGC §4.504.2.3  
DOCUMENTATION SHALL VERIFY COMPLIANCE FOR VOC FINISH MATERIALS. 2019 CGC §4.504.2.4

CARPET SYSTEMS WILL MEET CALGREEN TESTING AND PRODUCT REQUIREMENTS. 2019 CGC §4.504.3  
WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80% OF THE FLOOR AREA RECEIVING RESILIENT FLOORING WILL COMPLY WITH THE CALIFORNIA GREEN BUILDING CODE REQUIREMENTS. 2019 CGC §4.504.4  
HARDWOOD PLYWOOD, PARTICLEBOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS SHALL COMPLY WITH THE LOW FORMALDEHYDE EMISSION STANDARDS. 2019 CGC §4.504.5

### BURLINGAME CONSTRUCTION HOURS

NO PERSON SHALL ERECT (INCLUDING EXCAVATION AND GRADING), DEMOLISH, ALTER OR REPAIR ANY BUILDING OR STRUCTURE OTHER THAN BETWEEN THE HOURS OF 8:00 A.M. AND 7:00 P.M. ON WEEKDAYS, AND 9:00 A.M. AND 6:00 P.M. ON SATURDAYS, EXCEPT IN THE CASE OF URGENT NECESSITY IN THE INTEREST OF PUBLIC HEALTH AND SAFETY, AND THEN ONLY WITH WRITTEN APPROVAL FROM THE BUILDING OFFICIAL, WHICH APPROVAL SHALL BE GRANTED FOR A PERIOD NOT TO EXCEED THREE (3) DAYS FOR PROJECTS INCLUDING STRUCTURES WITH A GROSS FLOOR AREA OF LESS THAN 40,000 SQUARE FEET; AND WHEN REASONABLE TO ACCOMPLISH THE ERECTION, DEMOLITION, ALTERATION OR REPAIR, NOT TO EXCEED TWENTY (20) DAYS FOR PROJECTS INCLUDING STRUCTURES WITH A GROSS FLOOR AREA OF 40,000 SQUARE FEET OR GREATER. NO PERSON SHALL ERECT (INCLUDING EXCAVATION AND GRADING), DEMOLISH, ALTER OR REPAIR ANY BUILDING OR STRUCTURE ON SUNDAYS OR ON HOLIDAYS. FOR THE PURPOSE OF THIS SECTION, HOLIDAYS ARE THE DAYS SET FORTH IN SECTION 13.04.100 OF THE BURLINGAME MUNICIPAL CODE AND ARE DEFINED AS:

JANUARY 1  
THE THIRD MONDAY IN JANUARY  
THE THIRD MONDAY IN FEBRUARY  
THE LAST MONDAY IN MAY  
JULY 4  
THE FIRST MONDAY IN SEPTEMBER  
THE SECOND MONDAY IN OCTOBER  
NOVEMBER 11  
THE FOURTH THURSDAY IN NOVEMBER  
DECEMBER 25

WHENEVER A HOLIDAY FALLS ON A SUNDAY, THE MONDAY FOLLOWING IS A HOLIDAY. WHENEVER A HOLIDAY FALLS ON A SATURDAY, THE FRIDAY PRECEDING IS A HOLIDAY. THE RESTRICTIONS STATED IN THIS SECTION SHALL NOT APPLY TO WORK THAT DOES NOT REQUIRE A PERMIT UNDER ANY APPLICABLE LAW OR REGULATION. SANDBLASTING OR SIMILAR EXTERNAL BUILDING CLEANING SHALL BE LIMITED TO 8:00 A.M. TO 5:00 P.M. MONDAY THROUGH FRIDAY, AND PROHIBITED ON HOLIDAYS ON SUCH DAYS.

### BURLINGAME FIRE PROTECTION

1. AN AUTOMATIC SPRINKLER SYSTEM IS REQUIRED THROUGHOUT THE ENTIRE STRUCTURE UNDER SEPERATE PERMIT. CONTRACTOR TO PROVIDE A FIRE PROTECTION COMPANY LICENSED BY STATE OF CALIFORNIA. PLANS TO BE DESIGN AND BUILD AND APPROVED BY FIRE DEPARTMENT PRIOR TO CONSTRUCTION. FIRE PROTECTION COMPANY TO VERIFY THROUGH CALCULATIONS SIZE OF WATER METER AND NEW MAIN WATER LINE TO RESIDENCE PRIOR TO ANY INSTALLATION OF METER.

2. AN AUTOMATIC SPRINKLER SYSTEM IS REQUIRED THROUGHOUT THE ENTIRE STRUCTURE UNDER SEPERATE PERMIT. CONTRACTOR TO PROVIDE A FIRE PROTECTION COMPANY LICENSED BY STATE OF CALIFORNIA. PLANS TO BE DESIGN AND BUILD AND APPROVED BY FIRE DEPARTMENT PRIOR TO CONSTRUCTION. FIRE PROTECTION COMPANY TO VERIFY THROUGH CALCULATIONS SIZE OF WATER METER PRIOR TO ANY INSTALLATION OF METER.

3. FIRE SPRINKLER PLANS SHALL BE SUBMITTED UNDER SEPERATE PERMIT TO CENTRAL COUNTY FIRE DEPARTMENT FOR APPROVAL PRIOR TO INSTALLATION.

4. PROVIDE A BACKFLOW PREVENTION DEVICE / ASSEMBLY - SCHEMATIC OF WATER LATERAL LINE AFTER METER SHALL BE SHOWN ON BUILDING PLANS, SEE DETAIL 3, SHEET AD.1 SEE SITE PLAN FOR LOCATION.

5. CONTRACTOR SHALL INSURE THE DOUBLE CHECK VALVE ASSEMBLY FOR FIRE PROTECTION IS TESTED AND APPROVED BY THE SAN MATEO COUNTY ENVIORMENTAL HEALTH APPROVED CONTRACTOR.

6. ALL SPRINKLER DRAINAGE SHALL BE PLACED INTO LANDSCAPE AREAS.

7. FIRE FLOW SHALL MEET REQUIREMENTS OF CALIFORNIA FIRE CODE APPENDIX IIIA. FIRE FLOW FOR RESIDENTIAL BUILDING LESS THAN 3,600 SQ. FT. SHALL BE PROVIDED AT 1,000 GPM UNLESS PROTECTED BY AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM, THEN IT MAY BE REDUCED BY 50%.

8. MINIMUM OF 1" METER REQUIRED. SIZE OF METER TO BE SIZED BASED ON FIRE SPRINKLER DESIGNED CALCULATIONS.

### DISCLAIMER

NIETHER inSite Designs, OR THE PROJECT ENGINEERS SHALL BE RESPONSIBLE FOR ANY ACTIONS TAKEN, BY ANYONE ON THE PROJECT IF THAT PERSON HAS KNOWLEDGE OF ANY CALCULATIONS OR SPECIFICATIONS UNTIL inSite Designs. PRINCIPALS OR PROJECT ENGINEERS HAVE BEEN NOTIFIED. UPON NOTIFICATION THE PARTIES INVOLVED WILL CORRECT THE DISCREPANCY, MAKE THE NECESSARY INCLUSIONS OR MORE CLEARLY EXPLAIN THE INTENT OF THE DRAWINGS, CALCULATIONS OR SPECIFICATIONS.

THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE, UNLESS OTHERWISE SHOWN. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT ALL WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONST. MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES NECESSARY TO COMPLETE THE PROJECT.

THE CONTRACTOR SHALL ALSO PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. OBSERVATION VISITS TO THE PROJECT SITE BY FIELD REPRESENTATIVES OF inSite Designs AND PROJECT ENGINEERS SHALL NOT INCLUDE INSPECTION OF PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES REQUIRE FOR THE SAME, WHICH IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY SUPPORT SERVICES PERFORMED BY inSite Designs PRINCIPALS AND THE PROJECT ENGINEERS DURING CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION WHICH ARE FURNISHED BY OTHERS. THE SUPPORT SERVICES PERFORMED BY inSite Designs AND THE ENGINEERS, WHETHER OF MATERIAL OR WORK, AND WHETHER PERFORMED PRIOR TO, DURING, OR AFTER COMPLETION OF CONSTRUCTION ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS. HOWEVER, THEY DO NOT GUARANTEE CONTRACTORS PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.

ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR COMPLIANCE OF ALL APPLICABLE CODES AND REGULATIONS REGARDLESS OF WHAT IS SHOWN ON DRAWINGS. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD BUILDING CODES BY GOVERNING JURISDICTIONS OF APPLICABLE CODES. THE BUILDER OF THIS STRUCTURE SHALL BE TOTALLY RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND DETAILS OF THESE PLANS PRIOR TO AND DURING CONSTRUCTION. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS. THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL CHECK ALL DRAWINGS FURNISHED TO THEM IMMEDIATELY UPON RECEIPT AND SHALL PROMPTLY NOTIFY THE CONCERNING PARTIES OF ANY PROBLEMS, DETAILS, OR DISCREPANCIES. THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL COMPARE ALL DRAWINGS AND VERIFY THE FIGURES IN ALL CONDITIONS, DIMENSIONS, AND DETAILS. ANY DISCREPANCIES SHALL BE CORRECTED PRIOR TO THE COMMENCEMENT OF ANY WORK IN THE AREA OF QUESTION. THE CONTRACTOR AND ANY EFFECTED SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ANY ERRORS WHICH MAY HAVE BEEN OMITTED THEREBY.

### INTER.MOIST.CONTROL (2019 CGC §4.505)

A CAPILLARY BREAK WILL BE INSTALLED IF A SLAB ON GRADE FOUNDATION SYSTEM IS USED. 2019 CGC §4.505.2  
BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE WILL NOT BE INSTALLED. WALL AND FLOOR FRAMING WILL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT WILL BE VERIFIED PRIOR TO FINISH MATERIAL BEING APPLIED. REPLACE WET INSULATION PRODUCTS, OR ALLOW TO DRY BEFORE ENCLOSURE. 2019 CGC §4.505.3

### PROJECT DIRECTORY

**OWNER:**  
MR. + MRS. CHUNG  
713 HOWARD AVENUE  
BURLINGAME CALIFORNIA 94010

**SURVEYOR:**  
B & H SURVEYING, INC.  
PROFESSIONAL LAND SURVEYING  
901 WALTERMIRE ST.  
BELMONT, CA 94002  
OFFICE (650) 637-1590

**LANDSCAPE:**  
AGNES TUNG  
(239) 410-9251  
AGNESYTUNG@GMAIL.COM

#### ARCHITECT:

INSITE DESIGN, INC.  
1534 PLAZA LN. #318  
BURLINGAME, CA 94010  
(650) 235-9566 tel.  
(650) 235-9569 fax  
CONTACT: AUDREY TSE

#### CIVIL:

W.H. CIVIL ENGINEERING  
8 WHATNEY, SUITE 100  
IRVINE, CA 92618  
INFO@WHENGINEERINGGROUP.COM  
PHONE: 949-229-3357

#### STRUCTURAL:

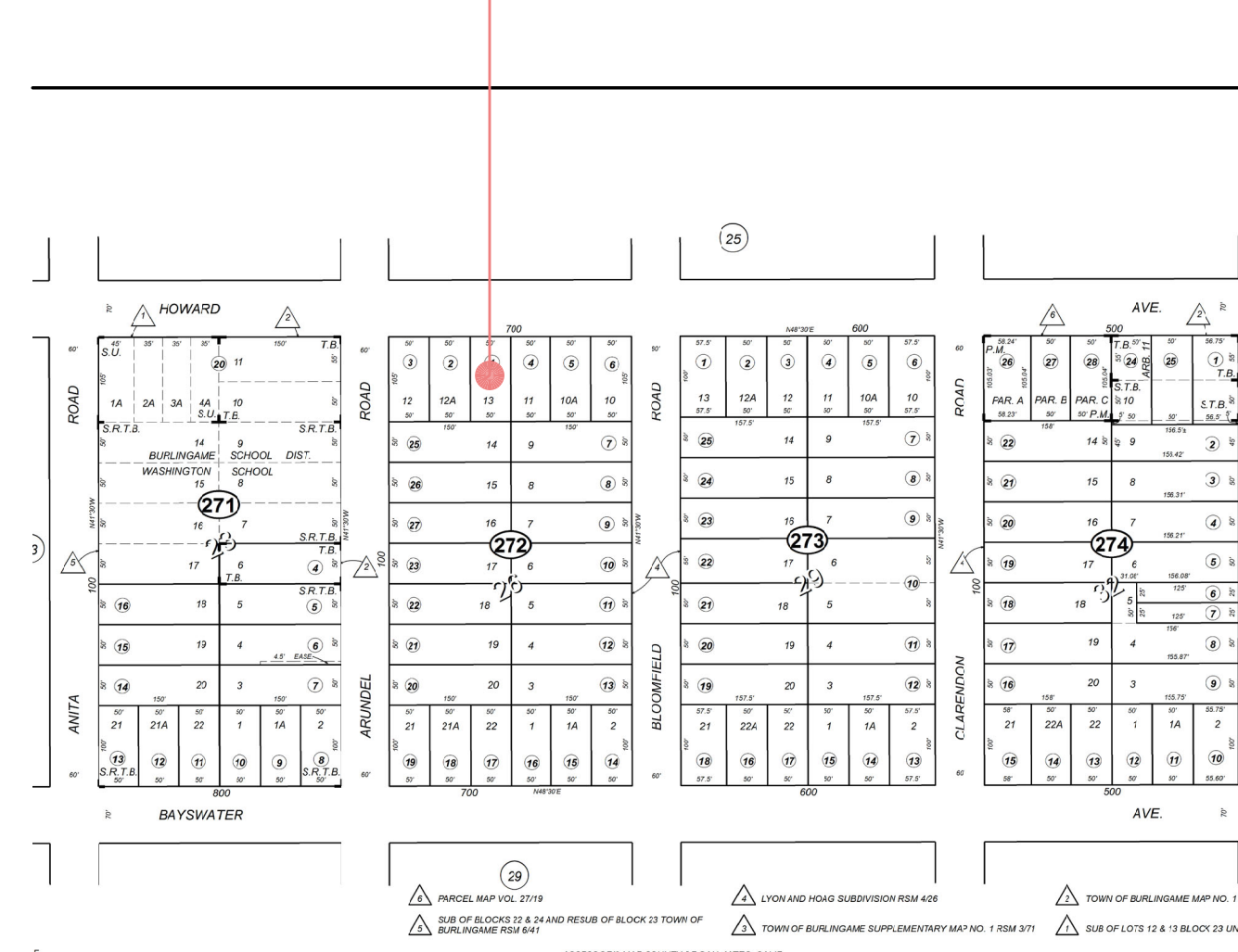
SUNG ENGINEERING  
29300 Kothoutek Way  
Suite 150  
Union City, CA 94587  
PHONE/FAX  
t: 510/475.7900  
f: 510/475.7913  
info@sungengr.com

#### ARBORIST:

KLEIN ARBORISTS SERVICES  
OFFICE: (650) 759.1081  
CERTIFIED ARBORIST WE 7720

### VICINITY MAP

#### SUBJECT PROPERTY



### PROJECT DATA

OCCUPANCY GROUP: R3/U  
DESCRIPTION OF USE: SINGLE FAMILY RESIDENCE  
TYPE OF CONSTRUCTION: V B  
SPRINKLERS: REQUIRED  
# OF STORIES: 2 STORIES +BASEMENT  
ASPN: 029284060

### RESIDENCE LOT COVERAGE

SEE A.0.SF. A.1.SF. + A.2.SF

### ALLOWABLE FLR. AREA RATIO

SEE A.0.SF. A.1.SF. + A.2.SF

### FLOOR AREA CALCULATION

SEE A.0.SF. A.1.SF. + A.2.SF

### CODE COMPLIANT

THESE PLANS ARE TO COMPLY TO THE FOLLOWING CODES, ORDINANCES, RULES AND REGULATIONS:

- A) 2019 CALIFORNIA BUILDING CODE
- B) 2019 CALIFORNIA RESIDENTIAL CODE
- C) 2019 CALIFORNIA ELECTRICAL CODE
- D) 2019 CALIFORNIA MECHANICAL
- E) 2019 CALIFORNIA FIRE CODE
- F) 2019 CALIFORNIA PLUMBING CODE
- G) 2019 CALIFORNIA GREEN BUILDING CODE
- H) 2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS
- I) BURLINGAME MUNICIPAL CODE, ETC.
- J) ALL OTHER STATE, MUNICIPAL, AND LOCAL ORDINANCES, CODES, RULES AND REGULATIONS.
- K) AS AMENDED BY THE STATE OF CALIFORNIA BUILDING CODE

### CITY OFFICIAL CONTACTS

PLANNING DIVISION: CATHERINE KEYLON - (650) 558-7252 OR  
CKEYLON@BURLINGAME.ORG

FIRE: CHRISTINE REED - (650) 558-7617 OR  
CREED@CENTRALCOUNTYFD.ORG

BUILDING DIVISION: RICK CARO - (650) 558-7270 OR  
RCARO@BURLINGAME.ORG

PUBLIC WORKS: MARTIN QUAN - (650) 558-7245 OR  
MQUAN@BURLINGAME.ORG

PARKS DIVISION: BOB DISCO - (650) 558-7334 OR  
BDISCO@BURLINGAME.ORG

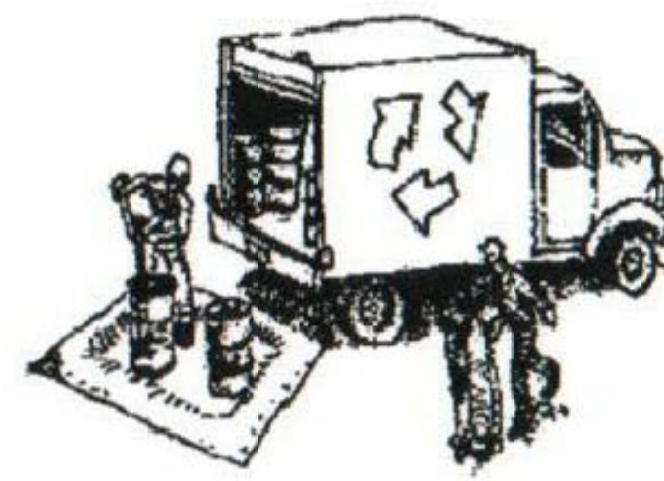
STORMWATER DIVISION: JENNIFER LEE - (650) 558-7381



# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



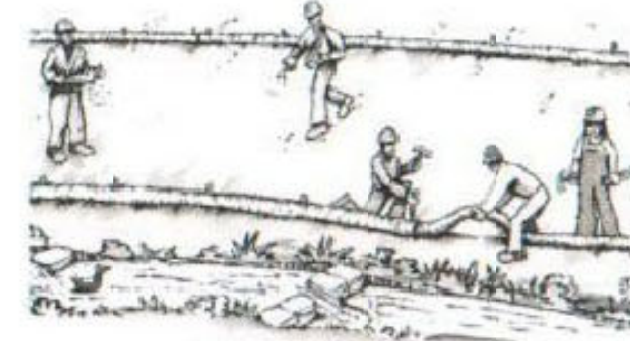
### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells.
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



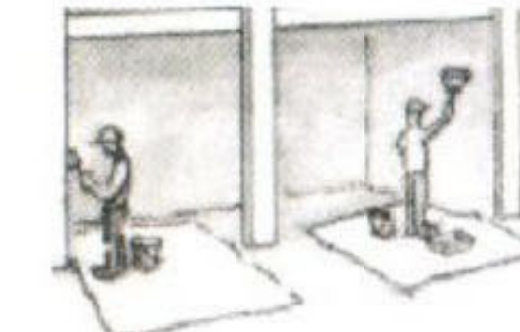
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

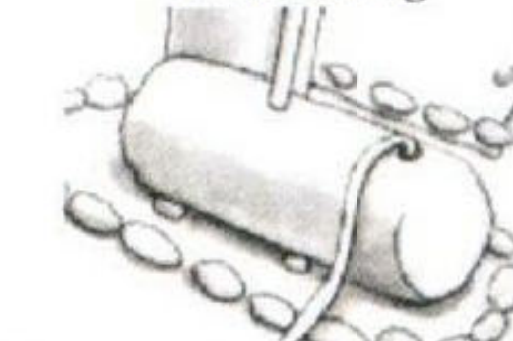
## Painting & Paint Removal



### Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

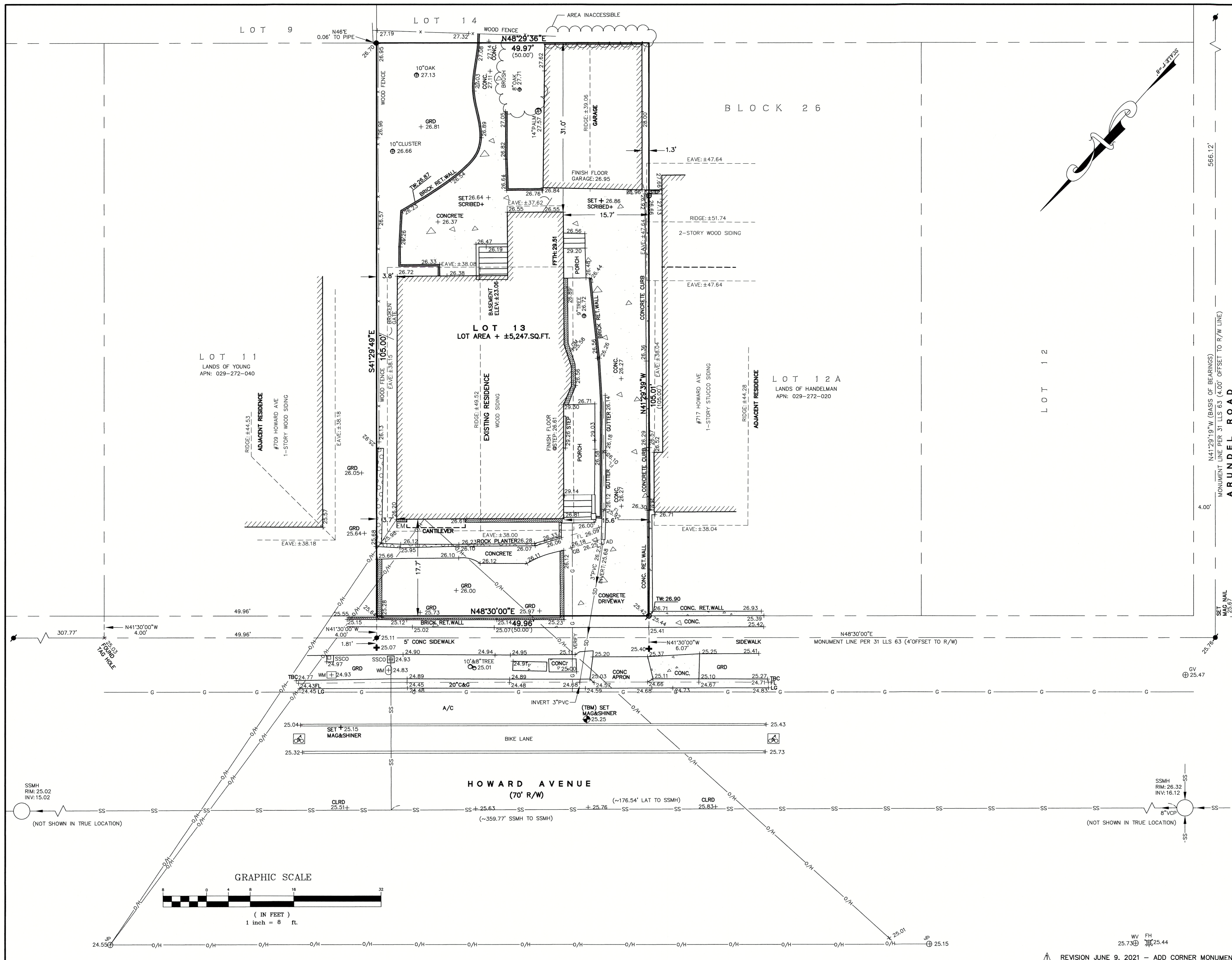
**Storm drain polluters may be liable for fines of up to \$10,000 per day!**

SHEET TITLE  
BMP

PROJECT #: 2022-?  
DRAWN BY:  
DATE: 2-2-2022  
SCALE PER SHEET

DRAWING NUMBER

**BMP.1**



**BOUNDARY NOTE:**  
 MONUMENTS HAVE BEEN SET AT THE PROPERTY CORNERS, AS SHOWN HEREON, AND A CORNER RECORD WILL BE FILED WITH THE COUNTY OF SAN MATEO.

**BASIS OF ELEVATIONS:**  
 ELEVATIONS ARE BASED UPON CITY OF BURLINGAME BENCHMARK NO.31  
 TBM: SET MAGNETIC NAIL AND SHINER ALONG HOWARD AVENUE  
 ELEVATION = 25.25

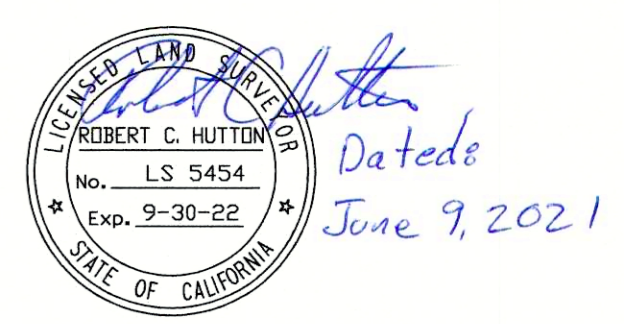
**BASIS OF BEARINGS:**  
 THE BEARING N41°29'19"W BETWEEN TWO FOUND MONUMENT TAGS SET PER 31 LLS 63, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

- LEGEND:**
- ⊙ SET 3/4" BRASS TAG & TACK "LS 5454 HUTTON"
  - SET 3/4" IRON PIPE W/ PLASTIC PLUG & TACK "LS 5454 W/C"
  - FOUND 3/4" IRON PIPE W/ PLASTIC PLUG & TACK "LS 5577" (SET PER 31 LLS 63)
  - ⊙ FOUND 3/4" BRASS TAG AND TACK "LS 5577" (SET PER 31 LLS 63)
  - ⊕ FOUND GHISEL CROSS ON LOT LINE PRODUCED (NO RECORD FOUND)
  - A/C ASPHALTIC CONCRETE
  - BW BACK OF WALK
  - CB CATCH BASIN
  - CIP CAST IRON PIPE
  - CMF CORRUGATED METAL PIPE
  - CONC CONCRETE
  - CO CLEAN-OUT
  - C&G CURB AND GUTTER (STANDARD CONCRETE)
  - DI DROP INLET
  - EM ELECTRIC METER
  - FD FOUND
  - FF FINISHED FLOOR
  - FL FLOW LINE
  - FH FIRE HYDRANT
  - GA GUY ANCHOR
  - GM GAS METER
  - GRD GROUND
  - HCR HANDICAP RAMP
  - INV INVERT
  - IP IRON PIPE
  - JP JOINT POLE
  - LAT LATERAL
  - LC LIP OF GUTTER
  - O/H OVERHEAD
  - P.U.E. PUBLIC UTILITIES EASEMENT
  - RCF REINFORCED CONCRETE PIPE
  - RET.W WALL RETAINING WALL
  - R/W RIGHT OF WAY
  - SSCO SANITARY SEWER CLEAN-OUT
  - SSMH SANITARY SEWER MANHOLE
  - SDM STORM DRAIN MANHOLE
  - TBC TOP BACK OF CURB
  - T/W TOP OF WALL
  - U/C UNDERGROUND
  - VCP VITRIFIED CLAY PIPE
  - WV WATER VALVE
  - WM WATER METER BOX
  - CTV CABLE TELEVISION LINE
  - E ELECTRICAL LINE
  - G GAS LINE
  - SS SANITARY SEWER LINE
  - SD STORM DRAIN LINE
  - T TELEPHONE LINE
  - W WATER LINE

**UTILITY NOTE:**  
 THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

**AVERAGE SETBACK:**

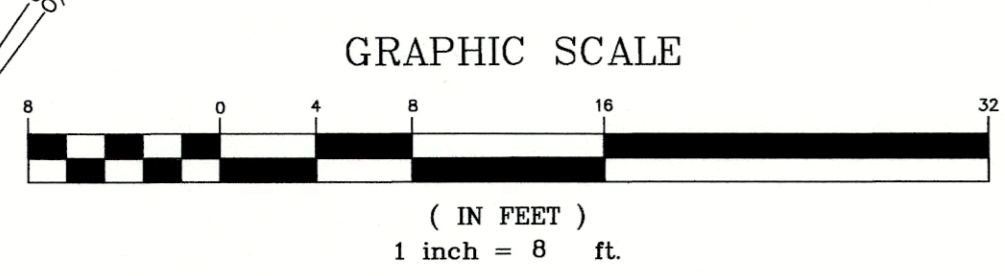
ADDRESS	DISTANCE
705	15.0'
709	16.3'
713	17.5'
717	15.0'
AVERAGE: ~16.0'	



**BOUNDARY AND TOPOGRAPHIC SURVEY**  
 LANDS OF CHIN AND CHUNG  
 DOCUMENT # 2021-021637 O.R.  
 LOT 13, BLOCK 26  
 "LYON AND HOAG SUB. OF THE TOWN OF BURLINGAME"  
 VOLUME 4 OF MAPS AT PAGE 26  
 ASSESSOR'S PARCEL NUMBER: 029-272-010  
 (713 HOWARD BURLINGAME)

BURLINGAME SAN MATEO COUNTY CALIFORNIA  
 SCALE: 1" = 8' JUNE, 2021

**B & H SURVEYING, INC.**  
 PROFESSIONAL LAND SURVEYING  
 901 WALTERMIRE ST.  
 BELMONT, CA 94002  
 OFFICE (650) 637-1590



REVISION JUNE 9, 2021 - ADD CORNER MONUMENTS

# CHUNG RESIDENCE

713 HOWARD AVE  
BURLINGAME, CA

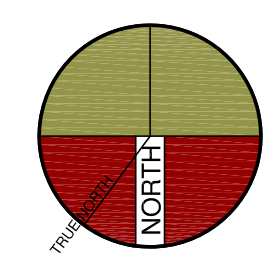
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(650) 235-9569 fax

## DESIGN REVIEW

△ SCHEME-2  
PLANNING REVIEW COMMENTS-PC-1  
7-20-2022



SHEET TITLE  
**EXISTING SITE  
DEMOLITION PLAN**

PROJECT #: 2022-?  
DRAWN BY:  
DATE: 2-2-2022  
SCALE PER SHEET

DRAWING NUMBER

**DM.1**

## DEMO. PLAN~KEYNOTES

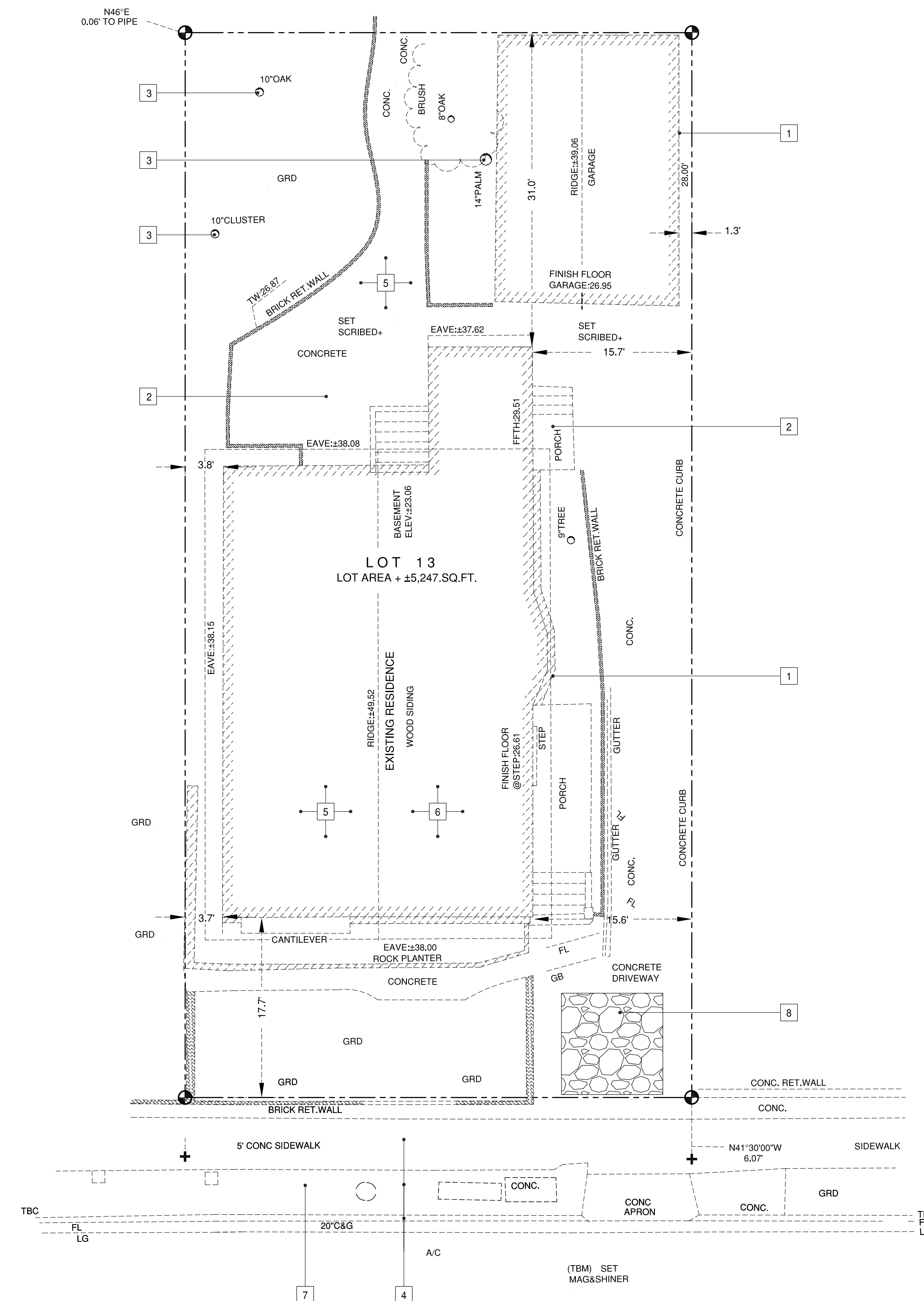
1. DEMOLISH EXISTING RESIDENCE AND GARAGE TO NATURAL GRADE.
2. DEMOLISH EXISTING HARD/SOFT SCAPE AS SHOWN.
3. DEMOLISH EXISTING TREE NON PROTECTED TREES ON LOT. NOTE: PROTECTED TREE PERMIT FROM THE PARKS DIVISION. (558-7330) IS REQUIRED PRIOR TO REMOVAL.
4. DEMOLISH EXISTING CURB, GUTTER, DRIVEWAY AND SIDEWALK. AND REPLACE IN ACCORDANCE TO SP.1
5. UTILITY NOTE: SEWER LATERAL, WATER SERVICE, GAS AND ELECTRICAL LINES SHALL BE DISCONNECTED AT THE MAIN AND PER CITY REQUIREMENTS. AN ENCROACHMENT PERMIT WILL BE REQUIRED FOR THESE ITEMS. CONTRACTOR SHALL CALL "USA" TO DETERMINE ALL UTILITY LOCATIONS PRIOR TO DISCONNECTING.
6. STARTING JUNE 5, 2019 ALL PROJECTS THAT INVOLVE DEMOLITION OF A BUILDING WILL NEED TO ENSURE THAT POLYCHLORINATED BIPHENYLS DO NOT ENTER THE STORM DRAINS PER MUNICIPAL CODE 15.15 MANAGING PCBs DURING BUILDING DEMOLITION ORDINANCE.
7. EXISTING CITY STREET TREE TO REMAIN. PROTECT PER CITY REQUIREMENTS.
8. PROVIDE 10'-0" X 10'-0" ROCK ENTRY PAD AT ENTRY TO SITE FOR ON-SITE SOIL CONTROL.

## DEMO.~GENERAL NOTES

- GENERAL CONTRACTOR GENERAL DEMOLITION NOTES:
- A. PROTECT ALL CONSTRUCTION TO REMAIN FROM DEMOLITION CREW.
  - B. ELECTRICIAN TO CAP AND PROVIDE COVER PLATE FOR ALL ELECTRICAL ITEMS TO BE REMOVED. CONSULT OWNER ON COLOR OF PLATE.  
1) CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND NOTIFY DESIGNER OF ALL DISCREPANCIES BEFORE PROCEEDING WITH WORK.
  - C. PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURES. PROVIDE AND PLACE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE. ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, DAMAGE OR INJURY.
  - D. CEASE OPERATIONS AND NOTIFY THE OWNER IMMEDIATELY IF SAFETY OF THE STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
  - E. ARRANGE AND PAY FOR DISCONNECTING, REMOVING AND CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION. DISCONNECT AND STUB OFF. NOTIFY THE EFFECTED UTILITY COMPANY IN ADVANCE AND OBTAIN APPROVAL BEFORE STARTING WORK.
  - F. PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. IDENTIFY SERVICES LINES AND CAPPING LOCATIONS AN PROJECT RECORD DOCUMENTS.
  - G. EXCEPT WHERE NOTED OTHERWISE, MAINTAIN POSSESSION OF MATERIALS BEING DEMOLISHED. IMMEDIATELY REMOVE FROM SITE.
  - H. DEMOLISH IN A ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK, INCLUDING THAT REQUIRED FOR CONNECTION TO THE EXISTING BUILDING. PROTECT THE EXISTING FOUNDATIONS AND SUPPORTING STRUCTURAL MEMBERS, PHASE DEMOLITION IN ACCORDANCE WITH CONSTRUCTION SCHEDULE.
  - I. PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.
  - J. PROTECT ALL EXISTING FINISHES AND ITEMS TO REMAIN, WHERE CONDITIONS TO REMAIN ARE AFFECTED BY DEMOLITION, RELOCATION, NEW CONSTRUCTION, ETC. THE CONTRACTOR SHALL REPAIR, PATCH, REFINISH, OR REPLACE SAID ITEMS AS REQUIRED TO MATCH EXISTING AT NO CHARGE TO THE OWNER.
  - K. CONTRACTOR TO CAP ALL UNUSED PLUMBING AS REQUIRED TO PREVENT LEAKAGE. RETROFIT EXISTING AS REQUIRED FOR CONNECTION OF NEW PLUMBING FIXTURES.
  - L. A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE GENERATED AT THE SITE SHALL BE DIVERTED TO AN OFFSITE RECYCLE, DIVERSION, OR SALVAGE FACILITY PER CGC 4.408 AND SHALL COMPLY TO CITY OF BURLINGAME ORDINANCE #1704

## DEMO. PLAN~LEGEND

----- EXISTING TO BE DEMOLISHED.  
CONTRACTOR TO HAVE ENTIRE  
SITE UTILITIES LOCATED BY  
USA.



## EXISTING SITE DEMOLITION PLAN

SCALE: 1/8"=1'-0"

**IRRIGATION NOTE**

AN AUTOMATIC IRRIGATION SYSTEM CONTROLLER FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH CGC 4.304

**PUBLIC WORKS NOTES**

- THIS PROJECT SHALL COMPLY WITH THE CITY NPDES PERMIT REQUIREMENTS TO PREVENT STORM WATER POLLUTION. SEE SHEET BMP.1 CONTRACTOR SHALL CONSTRUCT FRONTAGE PUBLIC IMPROVEMENTS INCLUDING CURB, GUTTER, SIDEWALK, DRIVEWAY AND OTHER APPURTENANT WORK IF AREAS ARE REQUIRED TO BE ALTERED.
- SEWER BACKWATER PROTECTION CERTIFICATION IS REQUIRED FOR THE INSTALLATION OF ANY NEW SEWER FIXTURE PER ORDINANCE NO. 1710, THE SEWER BACKWATER
- THE SANITARY SEWER LATERAL (BUILDING SEWER) SHALL BE TESTED PER ORDINANCE CODE CHAPTER 15.12. TESTING INFORMATION IS AVAILABLE AT THE BUILDING DEPARTMENT COUNTER. A SEWER LATERAL TEST ENCROACHMENT PERMIT IS REQUIRED.
- SEE SHEET PW.1 FOR ADDITIONAL PUBLIC WORKS REQUIREMENTS
- GRADING PERMIT, IF REQUIRED, WILL BE OBTAINED FROM DEPART. OF PUBLIC WORKS.
- THE SANITARY SEWER LATERAL (BUILDING SEWER) SHALL BE TESTED PER ORDINANCE CODE CHAPTER 15.12. A ENCROACHMENT PERMIT FOR THE SEWER LATERAL TEST IS REQUIRED. A PASSED SEWER LATERAL TEST CERTIFICATE MUST BE IN PLACE PRIOR TO FINAL OF THE BUILDING PERMIT.

**SITE DRAINAGE NOTE**

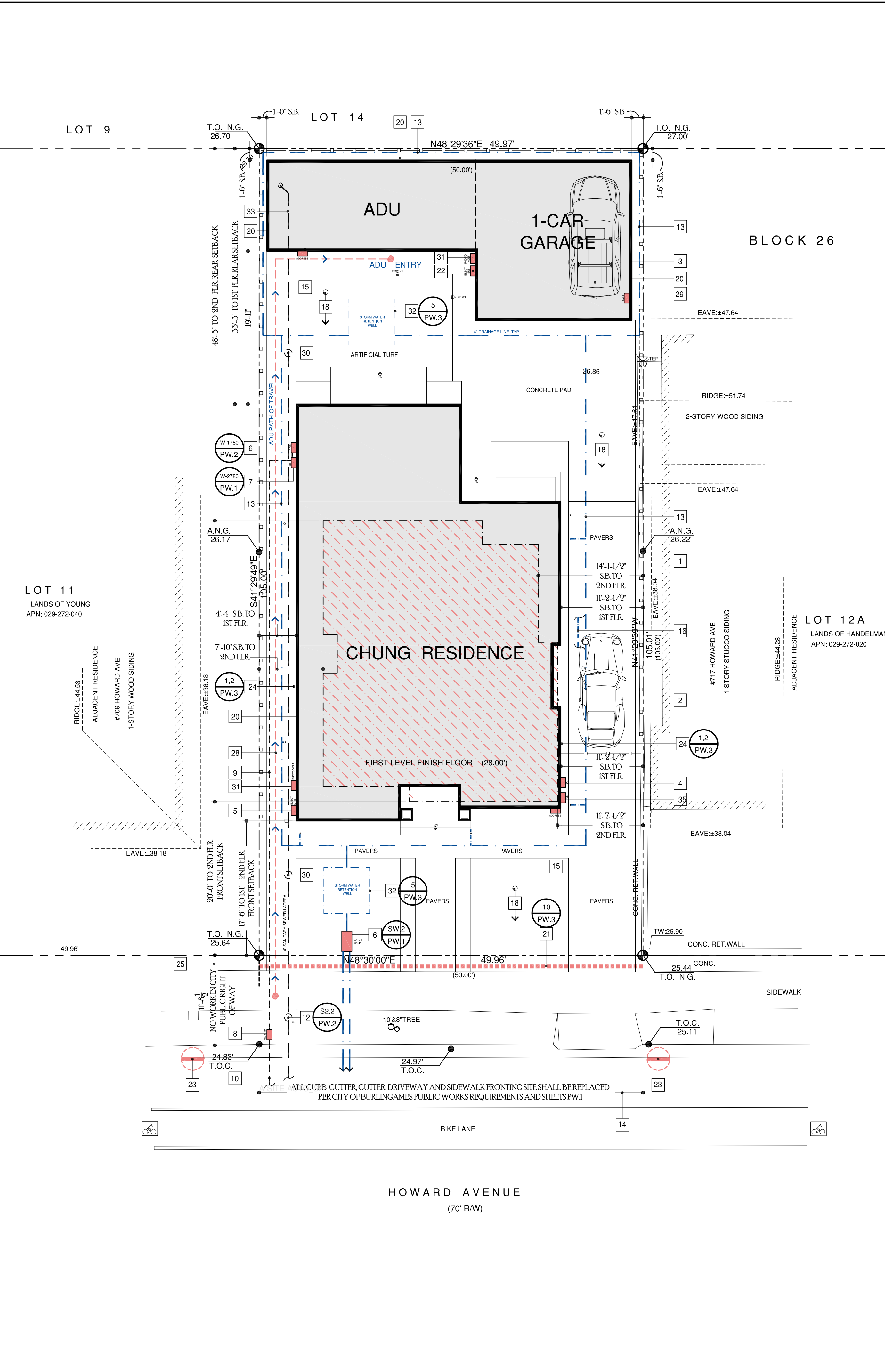
- CONTRACTOR TO PROVIDE 4" DIA. PVC. SITE DRAINAGE LINE FROM AROUND RESIDENCE TO TO STREET PER CITY OF BURLINGAME PUBLIC WORKS REQUIREMENTS. TIE ALL ROOF DOWNSPOUTS INTO 4" DRAINAGE LINE TO HAVE POSITIVE DRAINAGE TO STREET. ALL WORK AT CITY SIDEWALK AND CURB IS REQUIRED TO HAVE CITY PERMIT. REPLACED AND REPAIR AS REQUIRED PER DETAILS ON SHEET PW.1 AND PW.2
- SEE ROOF PLAN FOR ALL DOWNSPOUT LEADERS TO BOOT LOCATIONS.

**PARKS DEPARTMENT**

- CONTRACTOR TO PROTECT STREET TREES DURING CONSTRUCTION.
- EXISTING CITY STREET TREE MAY NOT BE CUT, TRIMMED OR REMOVED WITHOUT PERMIT FROM PARKS DIVISION (558-7330)
- NO EXISTING TREE OVER 48 INCHES IN CIRCUMFERENCE AT 54 INCHES FORM BASE OF TREE MAY BE REMOVED WITHOUT A PROTECTED TREE REMOVAL PERMIT FROM THE PARKS DIVISION. (558-7330) PERMIT REQUIRED FOR OAK.
- ALL NEW TREES SHALL BE DOUBLE STAKED WITH 2" POLES AND SECURED WITH AT LEAST TWO RUBBER TIES OR STRAPS.
- REFER TO SHEET L.1 FOR ALL LANDSCAPE NOTES

**SITE PLAN KEYNOTES**

- LINE OF FIRST STORY SHOWN SOLID.
- LINE OF SECOND STORY SHOWN DASHED DOT AND HATCHED.
- NEW DETACHED ONE CAR GARAGE/ADU SHOWN SHADED.
- LOCATION OF GAS METER. INSTALL PER PG&E REGULATIONS
- LOCATION OF NEW 200 AMP ELECTRICAL PANEL AND METER. INSTALL PER PG&E REQUIREMENTS.
- LOCATION FOR FIRE RISER FOR FIRE PROTECTION. COORDINATE WITH DESIGN BUILD/ FIRE PROTECTION COMPANY FOR ALL NECESSARY MAIN WATER LINE FROM CITY METER. REFER TO APPROVED FIRE PROTECTION PLANS
- NEW CATCH BASIN DIFFUSER BOX PER PUBLIC WORKS STANDARD DETAIL S-2 SHEET PW.1
- NEW 4" SANITARY SEWER TO CITY MAIN AND CLEANOUT PER PUBLIC WORKS REQUIREMENTS. SEE DETAIL SS-1 AND SS-2, SHEET PW.2. OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION WITHIN ANY CITY EASEMENT.
- 4" DIA. DRAINAGE LINE TO STORM BASIN RETENTION WELL. DIRECT WATER TO ALL PLANTING AREA AND DIFFUSER BASIN.
- A REMOVE/REPLACE UTILITIES ENCROACHMENT PERMIT IS REQUIRED TO (1) REPLACE ALL CURB, GUTTER, DRIVEWAY AND SIDEWALK FRONTING SITE, (2) PLUG ALL EXISTING SANITARY SEWER LATERAL CONNECTIONS AND INSTALL A NEW 4" LATERAL, (3) ALL WATER LINE CONNECTIONS TO CITY WATER MAINS FOR SERVICES OR FIRE LINE ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND SPECIFICATION, (4) ANY OTHER UNDERGROUND UTILITY WORKS WITHIN CITY'S RIGHT-OF-WAY.
- LOCATION OF NEW BUILDING ADDRESS. NUMBERS ARE TO BE A MINIMUM OF ONE-HALF INCH STROKE BY TWO AND ONE-HALF INCHES HIGH, AND ARE EXTERNALLY ILLUMINATED BY LANDSCAPE FLOOD OR INTERNALLY ILLUMINATED CONTROLLED BY SENSOR. INSTALL PER BURLINGAME CODE 18.08.050.
- THE ADU ADDRESS WILL BE AN ALPHA NUMERIC NUMBER WITH THE LETTER 'A' AFTER THE MAIN DWELLING NUMBER.
- IF THE ADU IS ATTACHED TO THE MAIN DWELLING UNIT, THE ADDRESS NUMBER AND ADU NUMBER SHALL BE VISIBLE FROM THE FRONT OF THE HOUSE. ACCESS TO THE ADU FRONT DOOR SHALL ALSO BE LABELED WITH THE ADDRESS NUMBER.
- IF THE ADU IS DETACHED TO THE MAIN DWELLING UNIT, THE ADU NUMBER SHALL BE DISPLAYED SEPARATE FROM THE MAIN DWELLING UNIT ON EITHER A SECONDARY MAILBOX, GATE, OR NON-MOVABLE STRUCTURE VISIBLE FROM THE STREET FRONTAGE AT THE PROPERTY LINE, AS WELL AS ON THE FRONT ENTRANCE OF THE ADU
- A DETACHED ADU MUST HAVE A DEFINED AND VISIBLE PATHWAY LEADING TO THE ADU WITH PROPER ILLUMINATION.
- THE MAIL BOX MUST BE CONSTRUCTED BEHIND THE PROPERTY.
- THE SITE AND LABELING OF THE ADDRESS NUMBERS SHALL BE PER THE BUILDING AND FIRE DEPARTMENT MUNICIPAL CODES
- NEW FRENCH DRAIN SYSTEM PER SOILS REPORT FROM BASEMENT TO SURFACE DRAINAGE.
- NEW 6'-0" WOOD FENCE . SEE SHEET LS.1
- DIRECTION OF SITE DRAINAGE . SEE SURVEY.
- SEE SHEET LS.1 FOR SITE MATERIAL AND LANDSCAPING
- EXTERIOR BEARING WALLS LESS THAN FIVE FEET FROM THE PROPERTY LINE WILL BE BUILT OUT OF ONE-HOUR FIRE RATED CONSTRUCTION(2019 CBC, TABLE 602.
- PROVIDE FIBER ROLL WATTLE AT FRONT OF PROPERTY FOR MANAGEMENT OF STORM WATER DRAINAGE DURING CONSTRUCTION. REFER TO BMP.1 FOR ADDITIONAL PROTECTIONS REQUIREMENTS DURING CONSTRUCTION.
- LOCATION OF NEW 80 AMP ELECTRICAL SUB PANEL. TIE BACK INTO NEW MAIN ELECTRICAL PANEL.
- PROVIDE RIP RAP AT ALL GUTTER . STORM DRAIN INLET, CATCH BASINS AND ALL AREAS ADJACENT TO NEIGHBORING PROPERTIES. ALL MEASURES TO BE IN ACCORDANCE TO BMP.1
- DIRECT RUNOFF FROM SIDEWALKS, WALKWAYS, AND/OR PATIOS ONTO VEGETATED AREAS. DIRECT RUNOFF FROM DRIVEWAYS AND/OR UNCOVERED PARKING LOTS ONTO VEGETATED AREAS.
- NO STRUCTURE SHALL BE BUILT INTO CITY'S RIGHT-OF-WAY. THIS INCLUDES ALL EXISTING AND NEW, SUCH AS BUT NOT LIMITED TO, WALL, FENCE, RAILING, AND MAILBOX. SHOW ON SITE PLAN, DIMENSION FROM PROPERTY LINE TO FACE OF CURB. ON BALBOA AVENUE, THIS MEASUREMENT IS 11.1- FEET MEASURED FROM FACE OF CURB.
- NOT USED
- THE ADU MUST HAVE A DEFINE AND VISIBLE PATHWAY LEADING TO THE ADU WITH PROPER ILLUMINATION. THE MAILBOX MUST BE CONSTRUCTED BEHIND THE PROPERTY. THE SIZE AND LABELING OF THE ADDRESS NUMBERS SHALL BE PER THE BUILDING AND FIRE DEPARTMENT MUNICIPAL CODES.
- LOCATION OF ELECTRICAL VEHICLE CHARGING STATION. INSTALL EV LEVEL 2 READY CIRCUIT: A PARKING SPACE EQUIPPED WITH A RACEWAY, WIRING, RECEPTACLE, AND ELECTRICAL CAPACITY TO THE EV CHARGING STATION. A MINIMUM 200V/240V, 40 AMP CIRCUIT WITH RECEPTACLE LABELED "VEHICLE OUTLET" OR, ELECTRICAL VEHICLE SUPPLY EQUIPMENT WITH A MINIMUM OUTPUT OF 30 AMPS.
- NEW SANITARY CLEANOUT PER CITY STANDARDS. SEE SHEET PW.1
- LOCATION OF NEW PV SYSTEM (SOLAR PANEL)
- 6'-0" X6'-0" X 5'-0" DEEP STORMWATER RETENTION WELL WITH SUMP PUMP TO EJECT WATER TO STREET CURB PER SOILS REPORT.
- NEW SANITARY SEWER LATERAL FROM THE ACCESSORY DWELLING UNIT SHALL BE CONNECTED TO THE NEW RESIDENCE LATERAL ON PRIVATE PROPERTY SIDE PER MUNICIPAL CODE 15.08.050. NO SUBLATERAL TO THE MAIN SEWER IS PERMITTED
- PROVIDE 4" DIA. PERFORATED DRAINAGE LINE WITH W/ 12" WIDE CONT. GRAVEL POCKET WITH DEPTH OF 24" DEEP PER SOILS REPORT WITH FILTER FABRIC AROUND ENTIRE GRAVEL POCKET. DRAINAGE LINE TO RUN PERIMETER OF RESIDENCE, GARAGE + ADU WITH SLOPE TO POSITIVE OUTFALL TO ONSITE DRY WELL, RETENTION WELL. SEE DETAIL 3, SHEET PW.2 AND SHEET SP.1
- LOCATION OF EV LEVEL 1 READY SPACE: A PARKING SPACE EQUIPPED WITH A RACEWAY, WIRING, RECEPTACLE, AND ELECTRICAL CAPACITY TO THE EV CHARGING STATION. A MINIMUM 110V, 20 AMP CIRCUIT WITH RECEPTACLE LABELED "EV VEHICLE OUTLET" OR, ELECTRICAL VEHICLE SUPPLY EQUIPMENT.



**CHUNG RESIDENCE**

713 HOWARD AVE  
BURLINGAME, CA

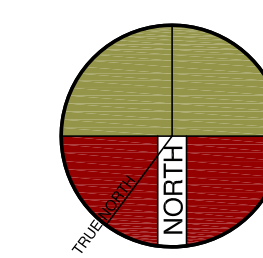
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**DESIGN REVIEW**

△ SCHEME-2  
PLANNING REVIEW COMMENTS-PC-1  
7-20-2022



SHEET TITLE  
**SITE PLAN**

PROJECT #: 2022-?  
DRAWN BY:  
DATE: 2-2-2022  
SCALE PER SHEET

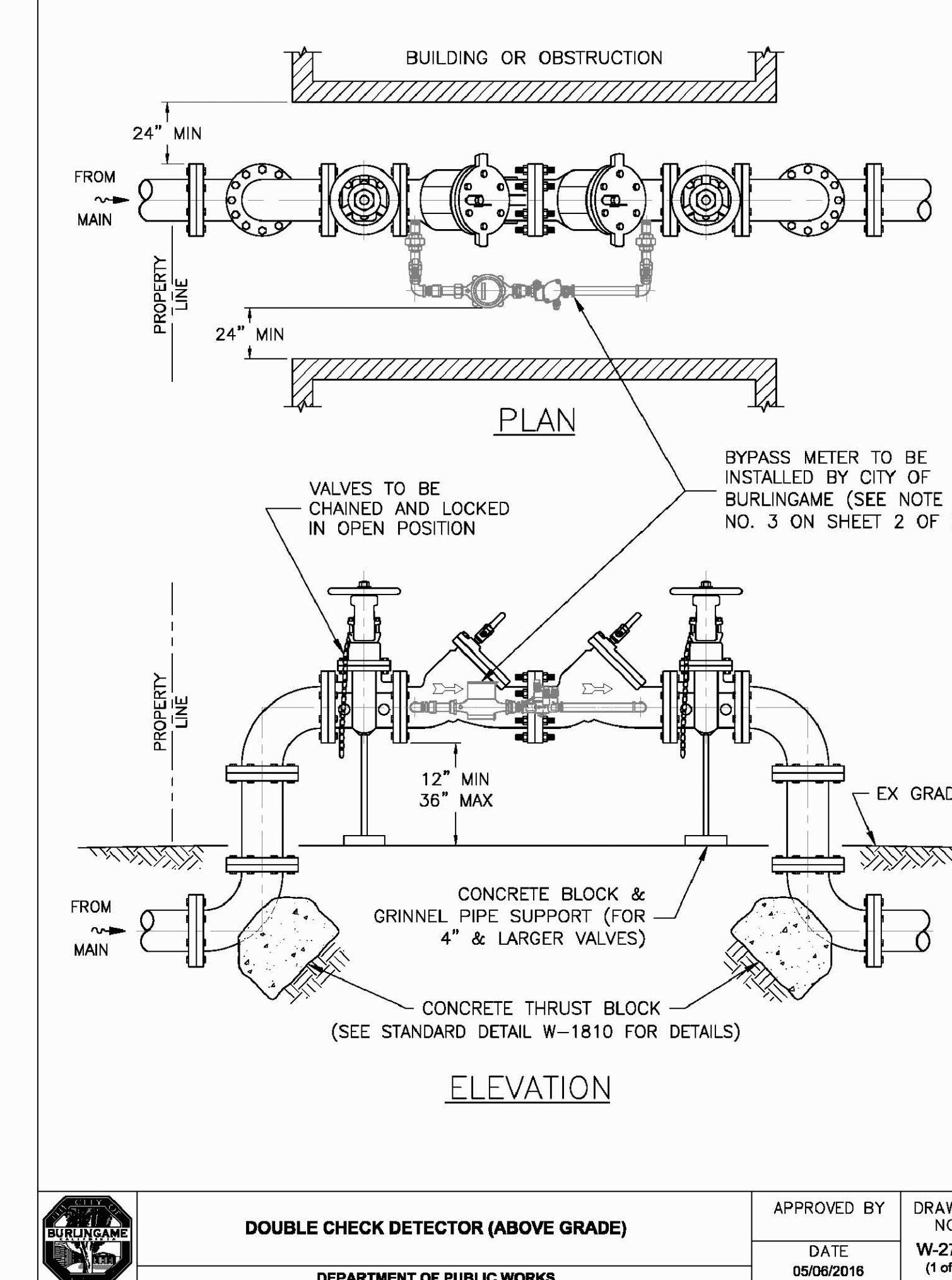
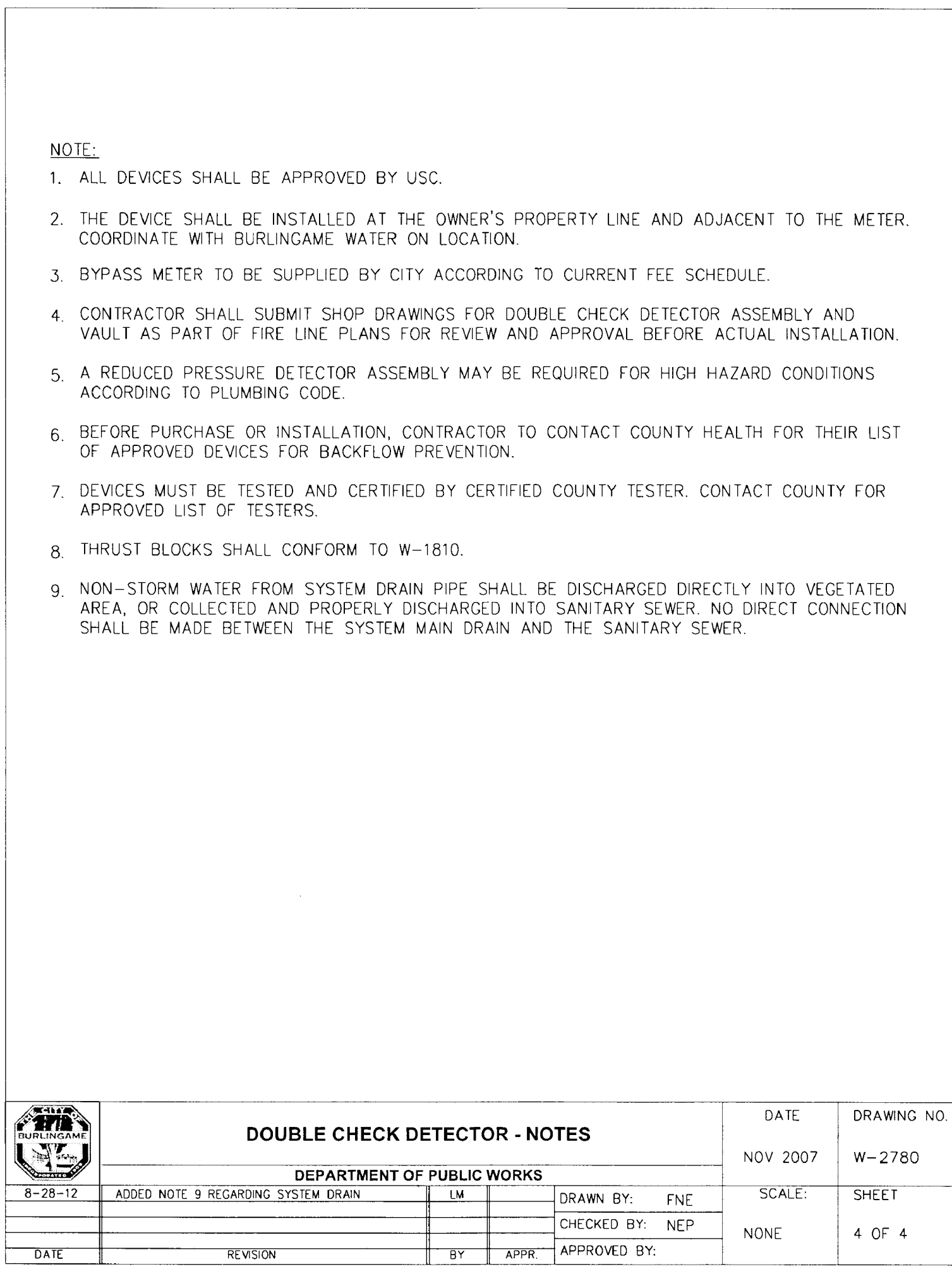
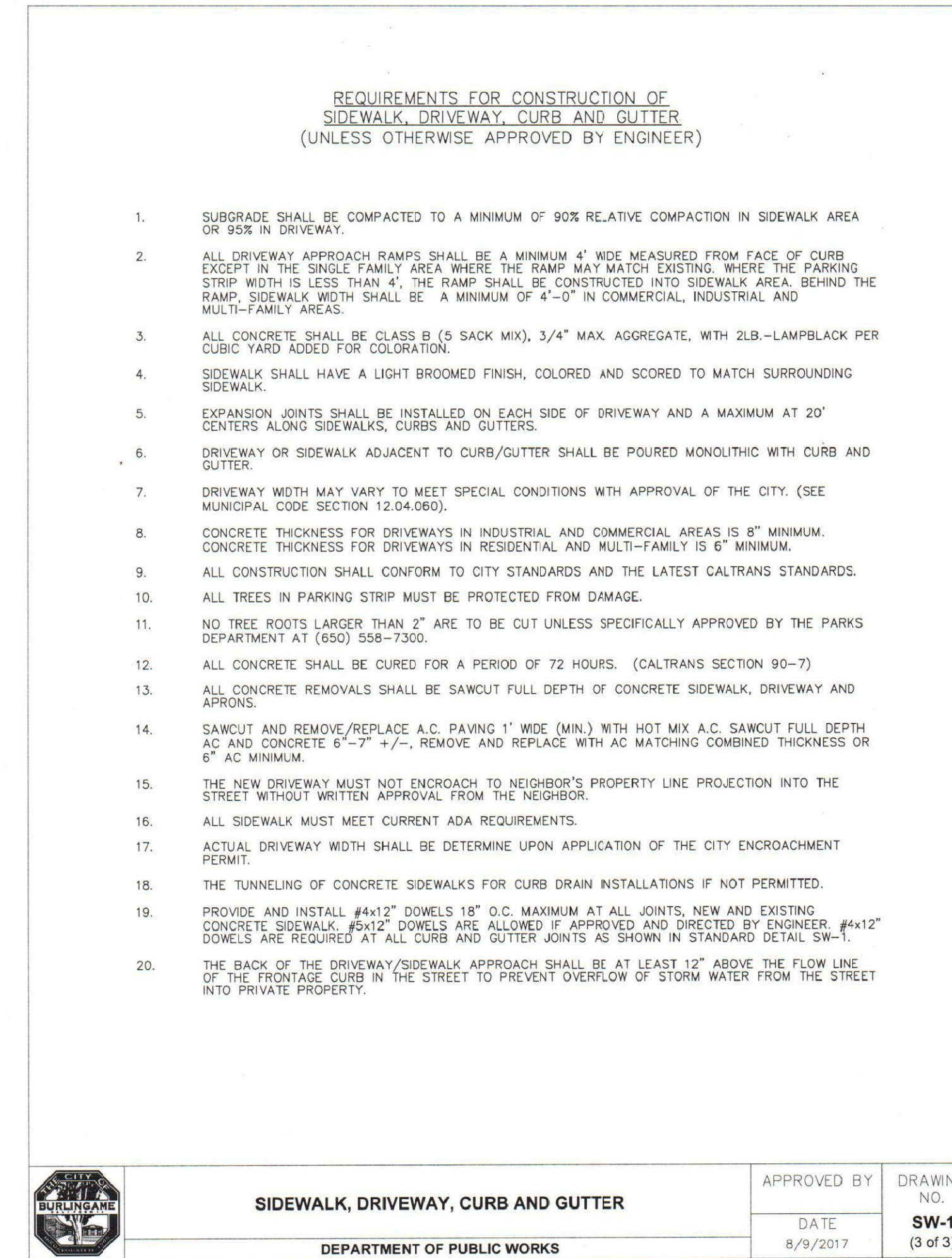
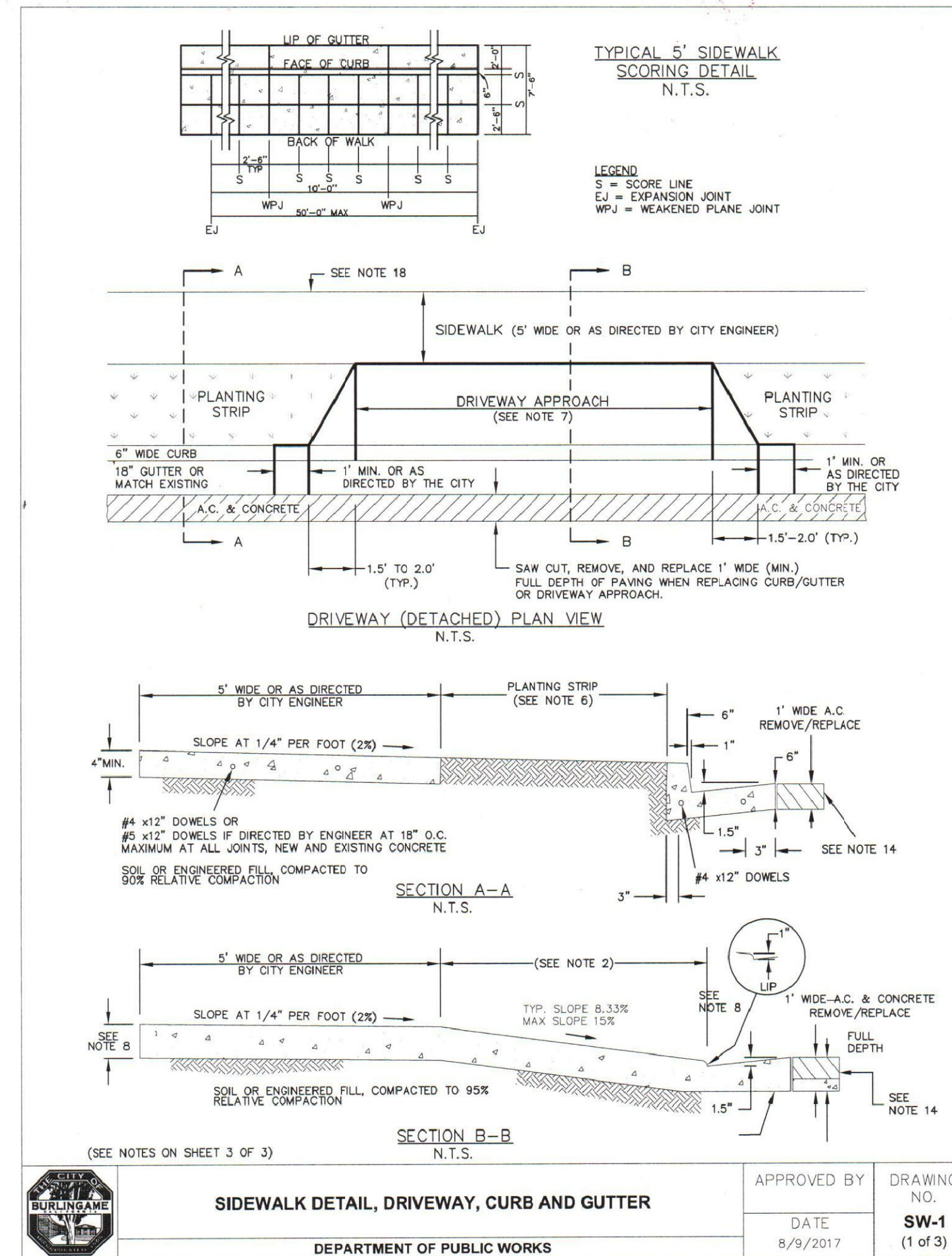
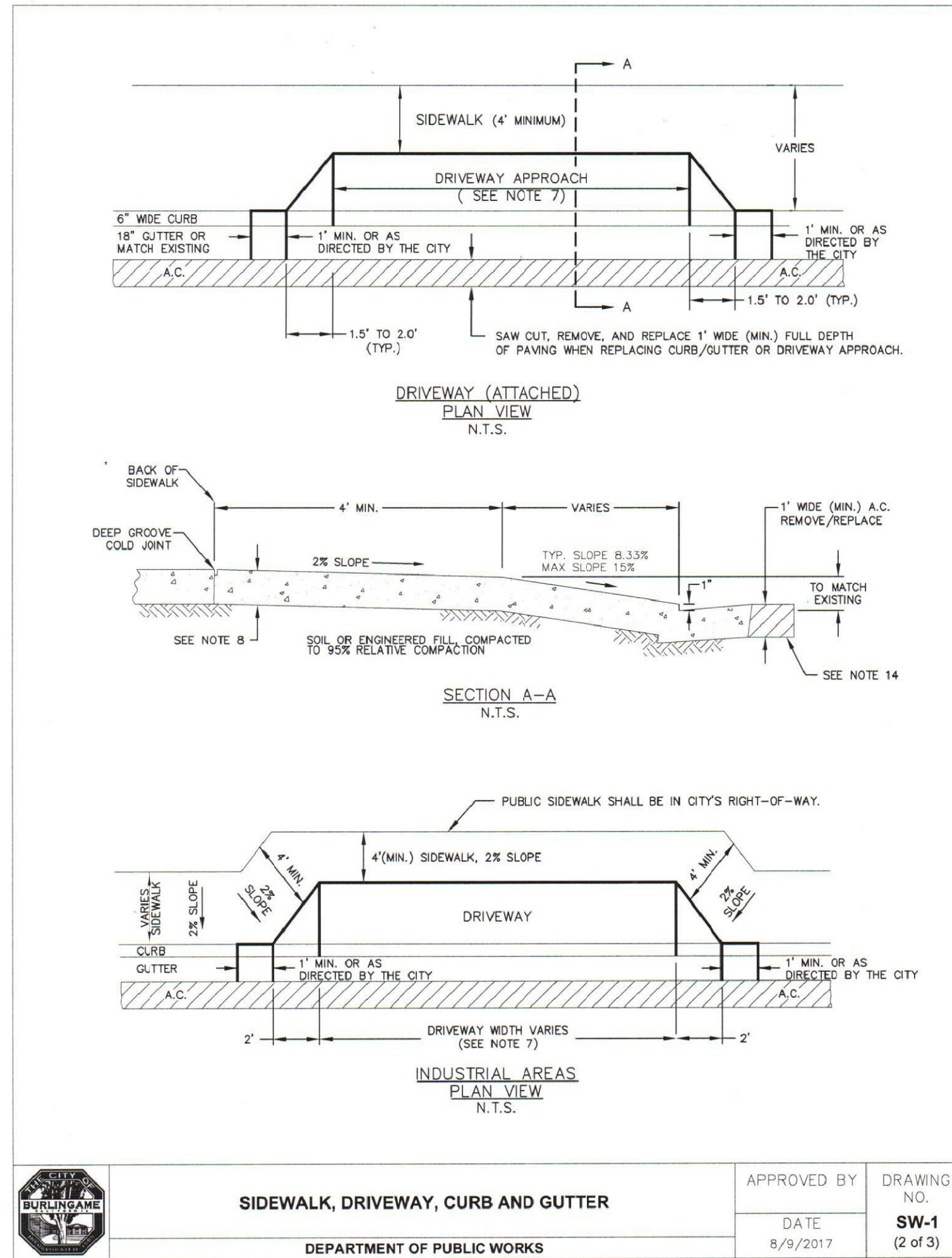
DRAWING NUMBER

**SP.1**

**SITE PLAN**

SCALE: 1/8"=1'-0"

PUBLIC WORKS DEPARTMENT REQUIREMENTS AND TYPICAL DETAILS



CHUNG RESIDENCE

713 HOWARD AVE  
BURLINGAME, CA

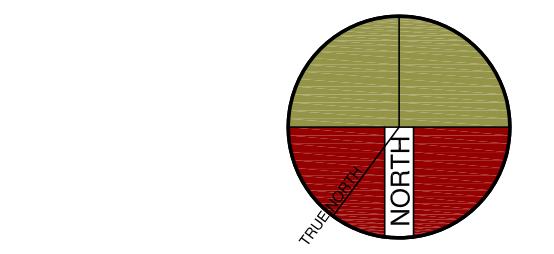
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DESIGN REVIEW

△ SCHEME-2  
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7-20-2022



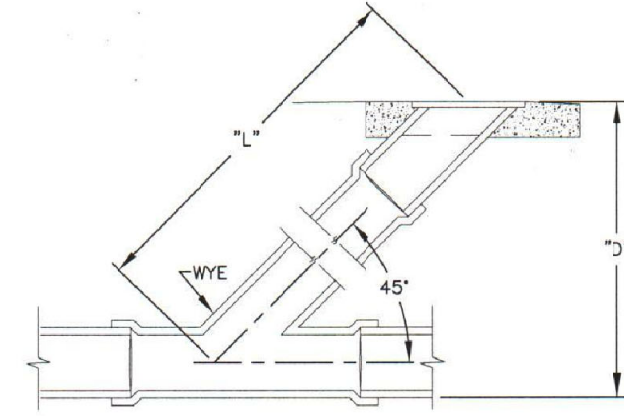
SHEET TITLE  
PUBLIC WORKS  
REQ. AND DETAILS

PROJECT #: 2022-?  
DRAWN BY:  
DATE: 2-2-2022  
SCALE PER SHEET

DRAWING NUMBER

PW.1

PUBLIC WORKS DEPARTMENT REQUIREMENTS AND TYPICAL DETAILS



LENGTH OF THE RISER AT 45 DEGREES (IN FEET)	VERTICAL DEPTH TO LATERAL AT CLEAN-OUT (IN FEET)	TEST PRESSURES MINIMUM OF 4 PSI (N PSI) SEE NOTE # 1
1	0.7	0.7
2	1.4	1.4
3	2.1	2.1
4	2.8	2.8
5	3.5	3.5
6	4.2	4.2
7	4.9	4.9
8	5.7	5.7
9	6.4	6.4
10	7.1	7.1
11	7.8	7.8
12	8.5	8.5
13	9.2	9.2
14	9.9	9.9
15	10.6	10.6
16	11.3	11.3

NOTE:  
1. GROUND WATER IS ASSUMED AT 3'-0" BELOW GRADE.

SEWER LATERAL TEST (AIR)  
CITY ORDINANCE #1329  
DEPARTMENT OF PUBLIC WORKS

APPROVED BY: [Signature]  
DATE: 8/17/2008  
DRAWING NO. SS-2 (4 of 4)

B. AIR TEST. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, EQUIPMENT AND LABOR FOR MAKING THE TEST, EXCEPT THE PRESSURE TEST GAUGE. AIR TEST EQUIPMENT SHALL BE APPROVED BY THE CITY. THE CONTRACTOR SHALL CLEAN PIPE AND PLUG THE LATERAL AT THE BUILDING LINE AND THE CITY CLEANOUT. (IF A CLEANOUT IS WITHIN TWO FEET (2'-0") OF THE BUILDING, THE LATERAL MAY BE PLUGGED AT THE CLEANOUT.)

THE LEAKAGE TEST OF THE LATERAL SHALL BE CONDUCTED IN THE PRESENCE OF THE CITY IN THE FOLLOWING MANNER:

AIR SHALL BE SLOWLY SUPPLIED TO THE PLUGGED LATERAL UNTIL THE INTERNAL AIR PRESSURE REACHES 4.0 POUNDS PER SQUARE INCH GREATER THAN THE AVERAGE BACK PRESSURE OF ANY GROUNDWATER THAT MAY SUBMERGE THE PIPE. THE AIR PRESSURE SHALL BE REGULATED BY A SUITABLE REGULATOR VALVE.

AT LEAST TWO MINUTES SHALL BE ALLOWED FOR TEMPERATURE STABILIZATION BEFORE PROCEEDING FURTHER. THE RATE OF AIR LOSS SHALL THEN BE DETERMINED BY MEASURING THE TIME INTERVAL FOR THE INTERNAL PRESSURE TO DECREASE FROM 3.5 TO 2.5 POUNDS PER SQUARE INCH GREATER THAN THE AVERAGE BACK PRESSURE OF ANY GROUNDWATER THAT MAY SUBMERGE THE PIPE.

THE LATERAL SHALL BE CONSIDERED ACCEPTABLE IF THE TIME INTERVAL MEASURED FOR THE INTERNAL PRESSURE TO DROP FROM 3.5 TO 2.5 POUNDS PER SQUARE INCH IS 10 SECONDS OR GREATER. SEE STANDARD DRAWING SS-2 (4 OF 5).

4. IF THE LATERAL PASSES THE TEST, IT SHALL BE CERTIFIED AS ACCEPTABLE AND THE SALE CAN TAKE PLACE WITHOUT ANY FURTHER ACTION. THE CERTIFICATION SHALL BE PLACED IN THE BUILDING DEPARTMENT FILE. THIS CERTIFICATION SHALL BE EFFECTIVE FOR TEN (10) YEARS.

IF THE LATERAL FAILS THE TEST, THE LATERAL SHALL BE EITHER REPAIRED OR REPLACED AND RETESTED UNTIL THE LATERAL PASSES. THERE WILL BE NO ADDITIONAL FEE FOR RETEST OR REPAIR OR REPLACED PIPING. A PLUMBING PERMIT WILL BE REQUIRED FOR ANY REPAIRS OR REPLACEMENT. AN ENCROACHMENT PERMIT MAY ALSO BE REQUIRED DEPENDING ON THE LOCATION OF THE REPAIR. A COMPLETE REPLACEMENT FROM BUILDING TO CITY CLEANOUT IS EFFECTIVE FOR 25 YEARS. A REPAIRED AND TESTED LATERAL IS EFFECTIVE FOR TEN (10) YEARS.

5. THE CITY NEITHER HAS NOR WILL MAKE ANY DETERMINATION AS TO WHO WILL PAY FOR THE TESTING AND REPAIRING; THAT IS TO BE DECIDED BETWEEN THE PARTIES INVOLVED IN THE SALE.

PRIVATE SEWER LATERAL AND TESTING  
PROCEDURE AND REQUIREMENTS  
DEPARTMENT OF PUBLIC WORKS

APPROVED BY: [Signature]  
DATE: 8/17/2008  
DRAWING NO. SS-2 (2 of 4)

PRIVATE SEWER LATERAL AND TESTING  
PROCEDURE AND REQUIREMENTS

ORDINANCE NO. 1329, WHICH WAS ADOPTED JULY 7, 1986 AND BECAME EFFECTIVE AUGUST 7, 1986 AND WAS MODIFIED BY ORDINANCE 1623 ON MARCH 23, 2000. REQUIRES THE ABATEMENT OF SEWER LATERALS AND CLEANOUTS WHICH ARE FOUND TO CONTAIN LEAKS OR SEPARATIONS. LATERALS COVERED ARE FROM THE BUILDING SERVED TO THE CLEANOUT IN THE CITY RIGHT-OF-WAY. THE ORDINANCE ALSO REQUIRES THE TESTING AND REPAIR OF LATERALS PRIOR TO THE SALE OF THE PROPERTY IF THE BUILDING WAS CONSTRUCTED 25 YEARS OR MORE BEFORE THE DATE OF SALE. DATE OF CONSTRUCTION SHALL BE THE DATE THE BUILDING PERMIT WAS FINALED. IN ADDITION, TESTING IS REQUIRED IF TWO (2) OR MORE PLUMBING FIXTURE UNITS ARE ADDED TO A PROPERTY. THE FOLLOWING PROCEDURES AND REQUIREMENTS ARE ADOPTED TO IMPLEMENT ORDINANCE NO. 1329.

IT SHALL BE THE OWNER'S RESPONSIBILITY TO DETERMINE IF TESTING IS NEEDED. CONTACT THE BUILDING DEPARTMENT TO DETERMINE THE AGE OF THE STRUCTURE AND IF THE LATERAL HAD BEEN TESTED AND/OR REPAIRED WITHIN THE PAST TEN (10) YEARS. IT CAN BE ASSUMED THAT TESTING AND REPAIRS HAVE NOT BEEN DONE UNLESS THE PROPERTY HAS BEEN ALTERED OR SOLD AFTER AUGUST 1986. IF THE LATERAL NEEDS TESTING, THE PROPERTY OWNER SHOULD RETAIN A CONTRACTOR OR PLUMBER TO PERFORM THE TEST. THE TEST SHALL BE PERFORMED AS FOLLOWS:

- THE TEST MUST BE WITNESSED BY A CITY REPRESENTATIVE TO MEET THE ORDINANCE REQUIREMENTS. THE CONTRACTOR OR OWNER SHALL FIRST OBTAIN AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT IN CITY HALL AND PAY AN ENCROACHMENT PERMIT FEE PER THE LATEST ENCROACHMENT PERMIT FEE SCHEDULE. OBTAINING THE PERMIT CAN BE DONE BEFORE OR CONCURRENTLY WITH SCHEDULING AN APPOINTMENT BUT IS REQUIRED AT THE TIME OF THE TEST. ALL ARRANGEMENTS AND SET UP SHOULD BE COMPLETED BY THE TIME THE CITY REPRESENTATIVE ARRIVES TO WITNESS THE TEST. CALL 650-398-7670 TO SCHEDULE AN APPOINTMENT.
- EACH LATERAL IS TO HAVE A CLEANOUT LOCATED IN THE CITY RIGHT-OF-WAY. IF A CLEAN OUT DOES NOT EXIST THEN ONE WILL BE REQUIRED TO BE INSTALLED. THE OWNER'S CONTRACTOR WILL INSTALL THE CLEANOUT WITH AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT. CITY PERSONNEL CAN SPEND A LIMITED AMOUNT OF TIME TO ASSIST IN LOCATING AN EXISTING CLEANOUT OR LATERAL. A CLEANOUT LOCATED ADJACENT TO THE BUILDING WILL BE AN AID IN THE TESTING PROCESS OR LOCATING THE PIPE ROUTE FOR REPAIRS AND IS NOW REQUIRED IN THE UNIFORM PLUMBING CODE. A PLUMBING PERMIT FROM THE BUILDING DEPARTMENT IS REQUIRED FOR THE CLEANOUT ADJACENT TO THE BUILDING OR ANY WORK DONE ON PRIVATE PROPERTY.
- TESTING WILL BE ACCOMPLISHED BY EITHER A WATER EXFILTRATION TEST OR AN AIR TEST. THE AIR TEST SHALL BE USED IN HILLSIDE AREAS WHERE THE HYDRAULIC HEAD PRESSURES COULD DAMAGE THE PIPE.

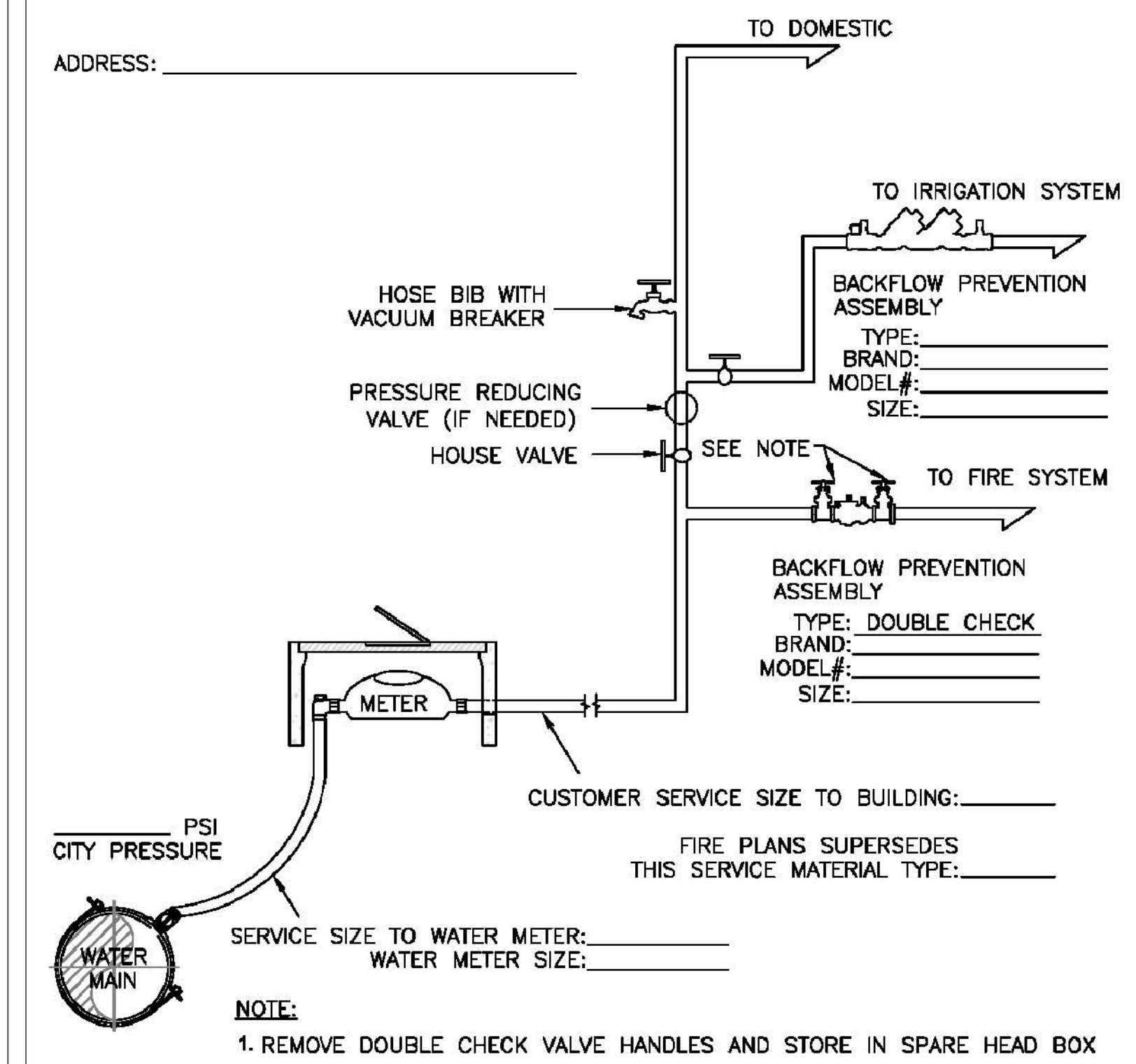
A. WATER EXFILTRATION TEST. THE CONTRACTOR SHALL FURNISH ALL MATERIALS AND EQUIPMENT, EXCEPT THE CALIBRATED BUCKET. THE CONTRACTOR SHALL PLUG THE LATERAL AND RISER AT THE CITY CLEANOUT AND THEN SURCHARGE THE LINE WITH WATER TO A POINT EQUAL TO THE FOUNDATION'S GRADE (FLOOR JOIST LEVEL) OR CONCRETE SLAB. DEPENDING ON CONSTRUCTION, THE MINIMUM HEIGHT OF THE WATER LEVEL SHALL BE TWO FEET (2'-0") ABOVE THE FLOWLINE OF THE LATERAL AT THE CITY CLEANOUT. IF THERE IS ANY FIXTURE INSIDE THE STRUCTURE LOWER THAN THE TESTING WATER LEVEL, THE CONTRACTOR SHALL HAVE TO EITHER PLUG THE FIXTURE OR THE LATERAL AT THE BUILDING. AN APPROVED BACKWATER VALVE SHALL BE INSTALLED IF THERE ARE ANY PLUMBING FIXTURES BELOW THE LEVEL OF THE CITY CLEANOUT. A PLUMBING PERMIT IS REQUIRED FOR THIS WORK. THE CONTRACTOR MAY ALSO INSTALL OR USE AN EXISTING CLEANOUT NEAR THE STRUCTURE AT THE FOUNDATION GRADE (FLOOR JOIST LEVEL) OR CONCRETE SLAB FLOOR LEVEL TO ESTABLISH THE MINIMUM TWO FEET (2'-0") WATER LEVEL.

THE LATERAL SHALL REMAIN SURCHARGED FOR A PERIOD OF 30 MINUTES AND THE AMOUNT OF WATER LOST SHALL BE MEASURED. THE LATERAL SHALL BE CONSIDERED ACCEPTABLE IF THE AMOUNT OF WATER LOST IS LESS THAN FOUR (4) GALLONS. NO INCREASE OR ALLOWANCE IS ALLOWED FOR LONG LATERALS OR FOR LATERALS LARGER THAN THE 4-INCH MINIMUM SIZE. SEE STANDARD DRAWING SS-2 (3 OF 5).

PRIVATE SEWER LATERAL AND TESTING  
PROCEDURE AND REQUIREMENTS  
DEPARTMENT OF PUBLIC WORKS

APPROVED BY: [Signature]  
DATE: 8/17/2008  
DRAWING NO. SS-2 (1 of 4)

ALL BACKFLOW PREVENTION ASSEMBLIES MUST BE APPROVED BY THE UNIVERSITY OF SOUTHERN CALIFORNIA (USC) AND TESTED BY A SAN MATEO COUNTY CERTIFIED TESTER BEFORE APPROVAL OF THE WATER SYSTEM. SEE THE SAN MATEO COUNTY WEB SITE FOR APPROVED LIST OF CERTIFIED TESTER'S AT [HTTP://SMCHEALTH.ORG/NODE/426](http://smchealth.org/node/426). FOR ADDITIONAL INFORMATION ON USC APPROVED DEVICES PLEASE CALL THE WATER DIVISION AT (650) 558-7670. PLEASE COMPLETE THE "WATER DEMAND WORKSHEET" FOR DETERMINING THE WATER SERVICE AND METER SIZE. THE WORKSHEET IS AVAILABLE AT THE BUILDING DEPARTMENT OR ON THE CITY OF BURLINGAME WEB SITE AT [HTTP://WWW.BURLINGAME.ORG/INDEX.ASPX?PAGE=125](http://www.burlingame.org/index.aspx?page=125).



DATE	REVISION	BY	APPR.	APPROVED BY:

TYPICAL RESIDENTIAL WATER SERVICE DETAIL  
(WITH FIRE SYSTEM)  
DEPARTMENT OF PUBLIC WORKS

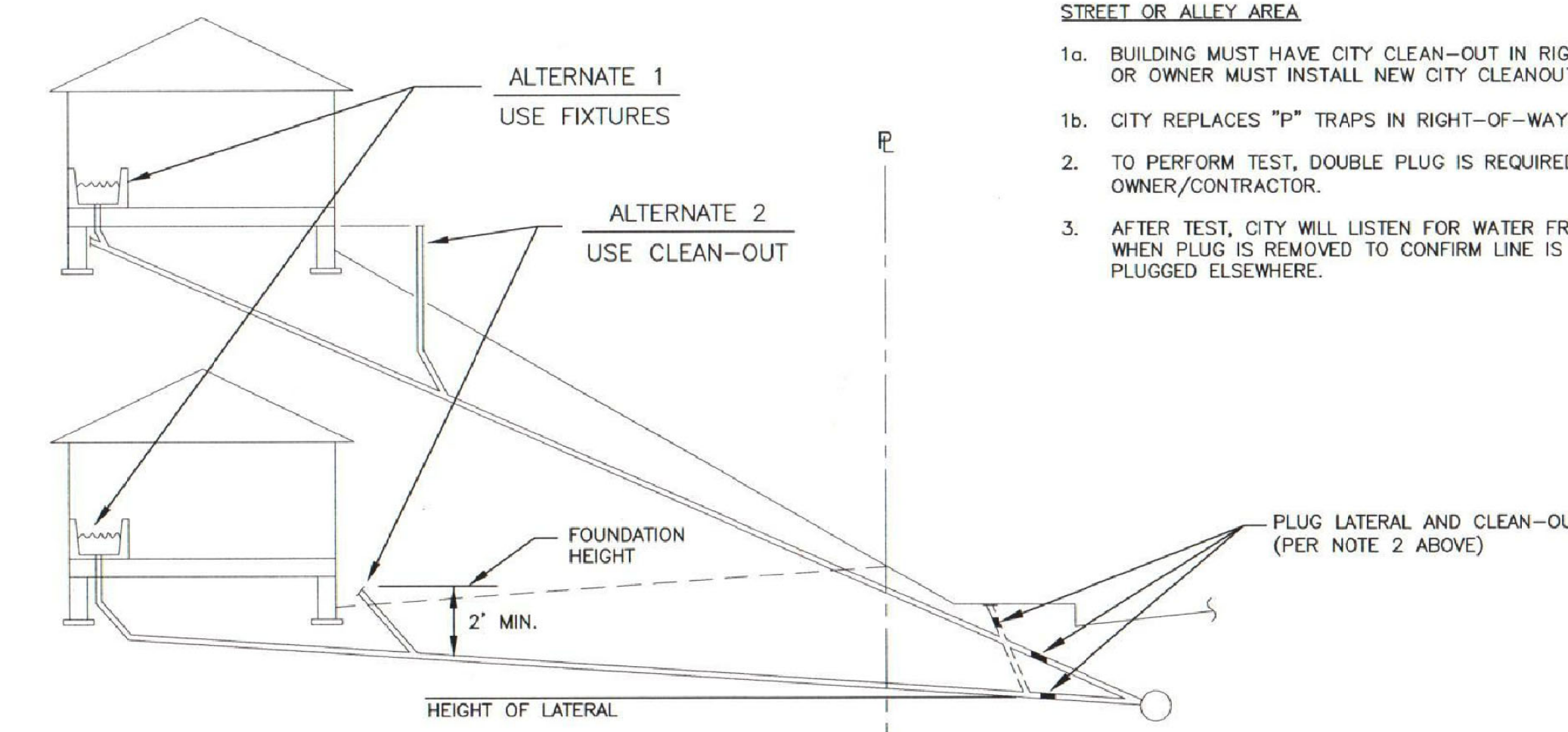
DATE: NOV 2012  
DRAWING NO. W-1780

DRAWN BY: L.T.  
CHECKED BY: K.O.  
SCALE: SHEET  
NONE 1 OF 1



SEWER LATERAL TEST (WATER)  
CITY ORDINANCE #1329  
DEPARTMENT OF PUBLIC WORKS

APPROVED BY: [Signature]  
DATE: 8/17/2008  
DRAWING NO. SS-2 (3 of 4)



- TEST PROCEDURE
- ALTERNATE 1 -
- USE LOWEST FIXTURE WHICH IS A MINIMUM OF 2' ABOVE THE LATERAL ELEVATION AT CLEAN-OUT
  - CHECK THE BASEMENT DRAINS OR SUMP PUMP.
  - REMOVE AND PLUG ALL ILLEGAL CONNECTIONS (I.E. ROOF DRAINS AND SUMP PUMP.)
  - FILL FIXTURE UNTIL WATER DOES NOT DRAIN.
  - MARK WATER LEVEL.
  - SHUT OFF BUILDING WATER SERVICE DURING CITY INSPECTION TEST.
  - WAIT 30 MINUTES AND REFILL TO MARK.
  - TEST PASSES IF WATER REFILLED IS FOUR (4) OR LESS GALLONS FOR FOUR (4") INCH OR SIX (6") INCH LATERAL.
- ALTERNATE 2 -
- INSTALL OR USE EXISTING CLEAN-OUT OR FIXTURE AT THE FOUNDATION LEVEL (FLOOR JOIST LEVEL) OR SLAB FLOOR LEVEL.
  - CONTINUE TEST AS IN ALTERNATE 1.

CHUNG  
RESIDENCE

713 HOWARD AVE  
BURLINGAME, CA

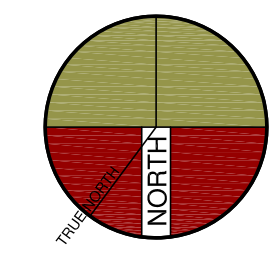
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PLANNING REVIEW COMMENTS-PC-1  
7-20-2022



SHEET TITLE  
PUBLIC WORKS  
REQ. AND DETAILS

PROJECT #: 2022-?  
DRAWN BY:  
DATE: 2-2-2022  
SCALE PER SHEET

DRAWING NUMBER

PW.2

# CHUNG RESIDENCE

713 HOWARD AVE  
BURLINGAME, CA

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△ SCHEME-2  
PLANNING REVIEW COMMENTS-PC-1  
7-20-2022

12 NOT USED SCALE=NTS

9 NOT USED SCALE=1"=1'-0"

7 NOT USED SCALE=NTS

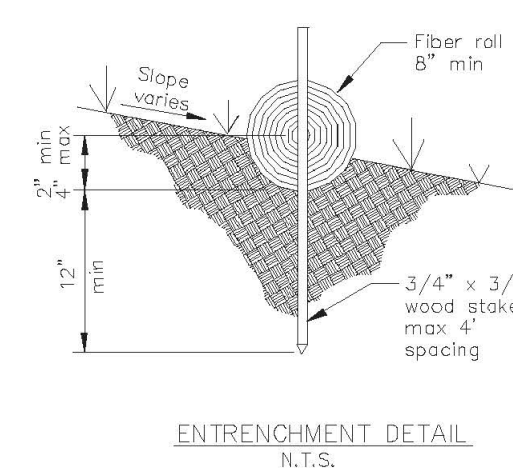
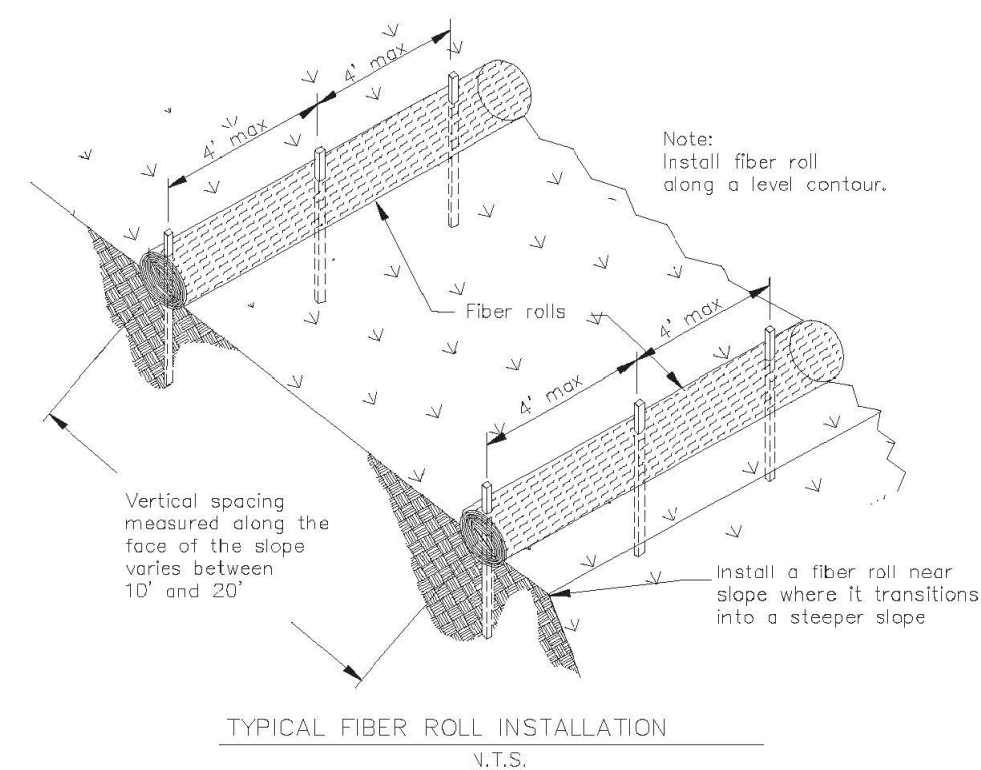
11 NOT USED SCALE=NTS

8 NOT USED SCALE=NTS

6 SUMP PUMP CATCH BASIN SCALE=1"=1'-0"

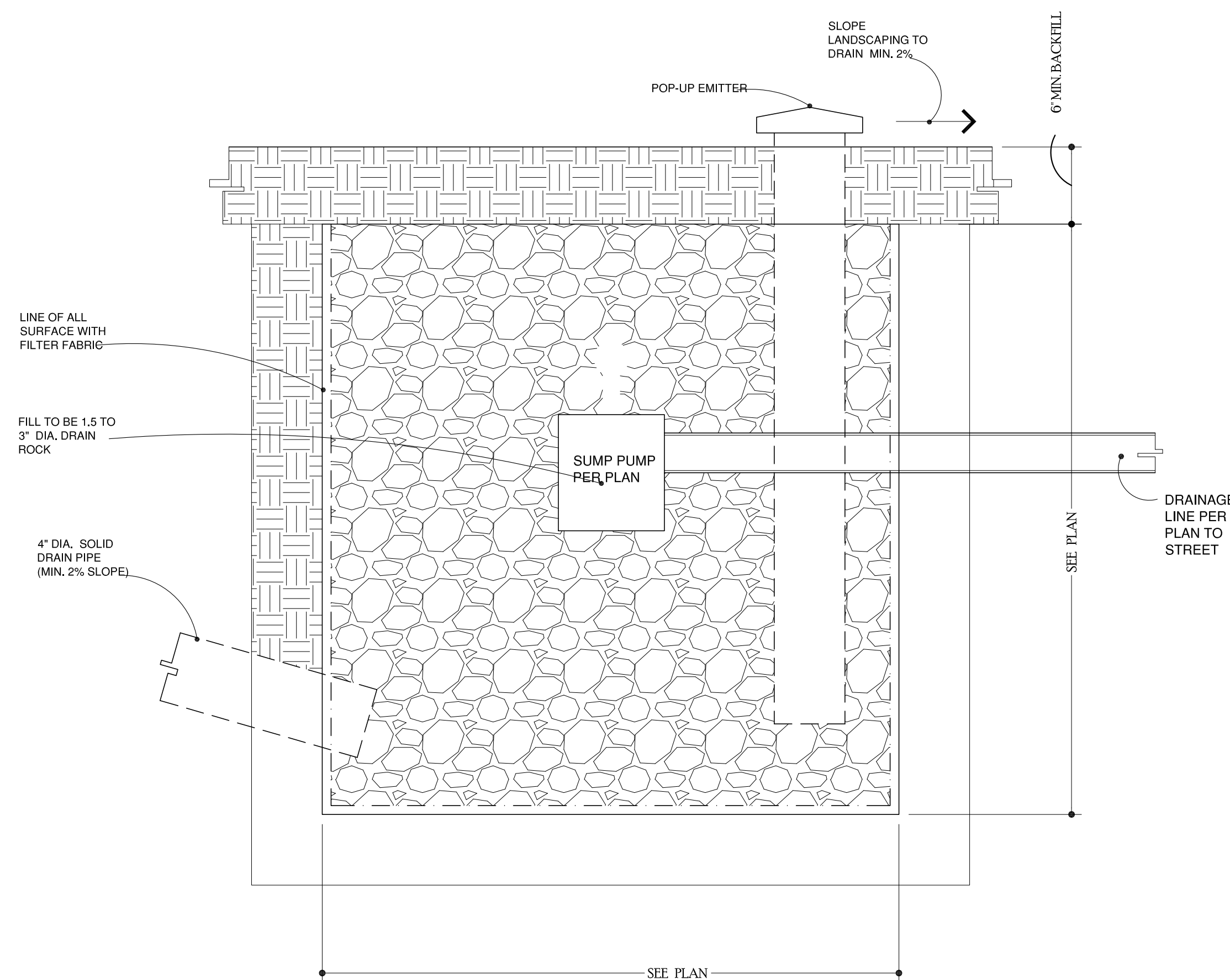
3 SUBDRAIN CROSS SECTION SCALE=1"=1'-0"

### Fiber Rolls SE-5

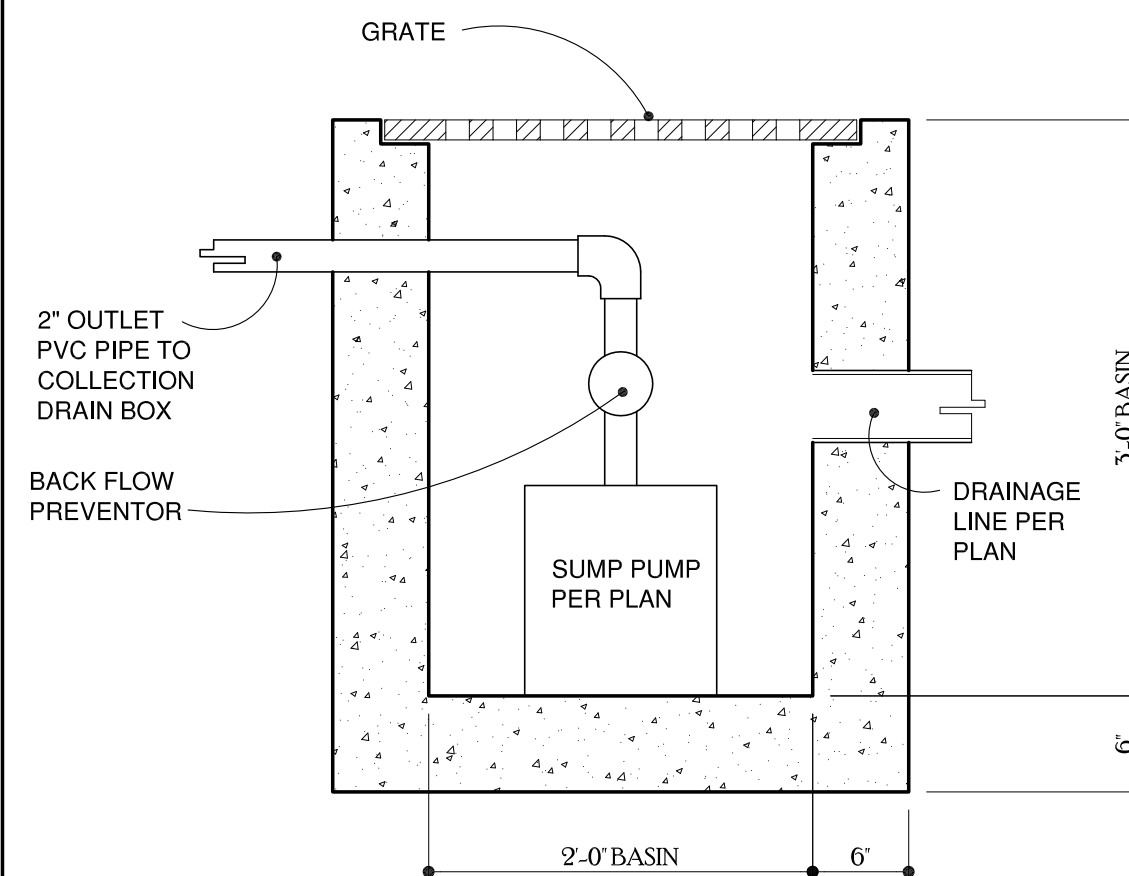


NOTES:  
If more than one fiber roll is placed in a row, the rolls must be overlapped, not abutted.  
Turn the ends of the fiber roll up-slope to prevent runoff from going around the roll.

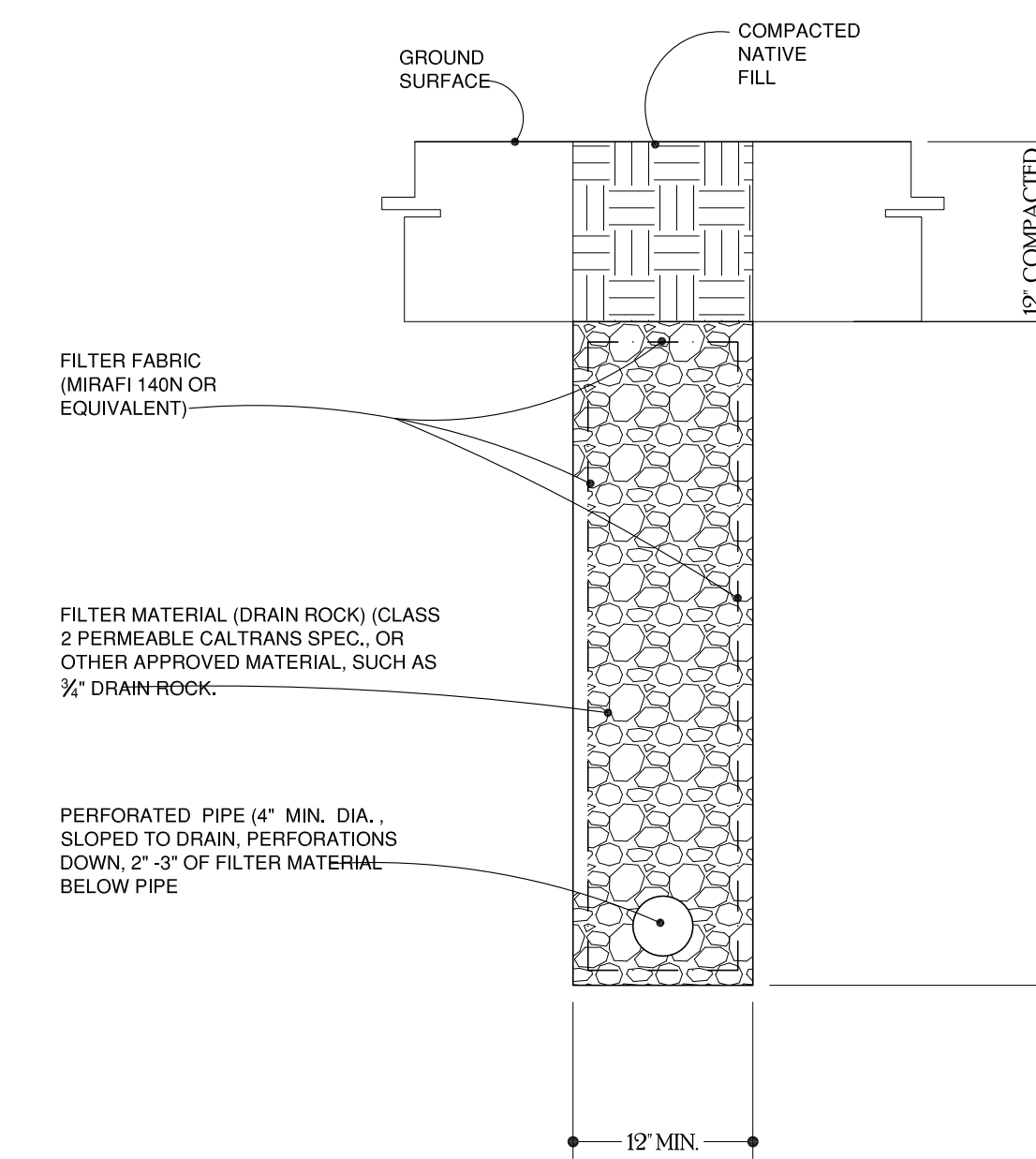
10 FIBER ROLL-WATTLE DETAIL SCALE=NTS



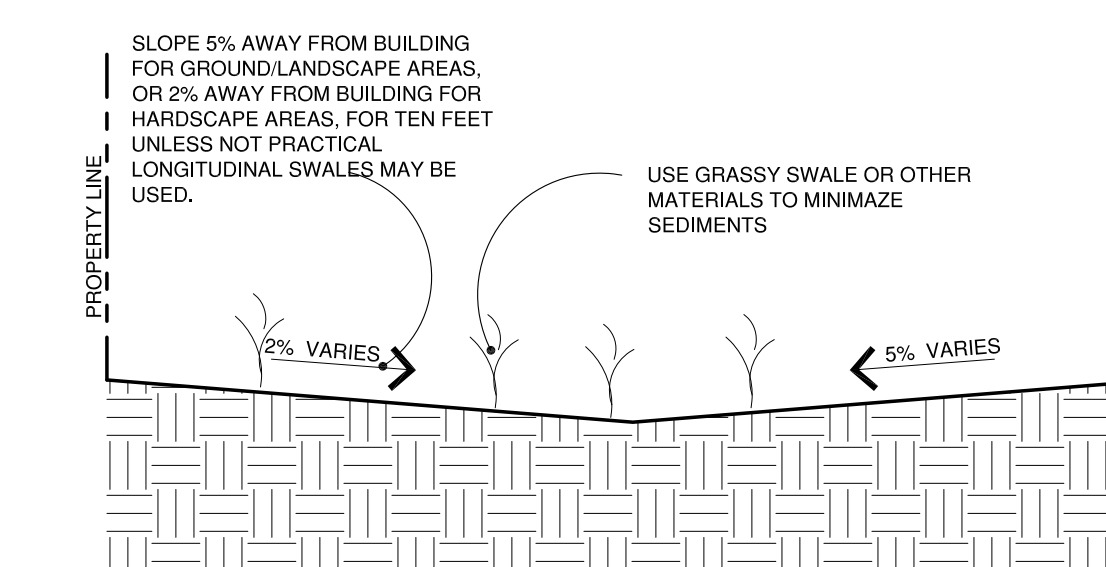
5 DRYWELL - RETENTION WELL SCALE=1"=1'-0"



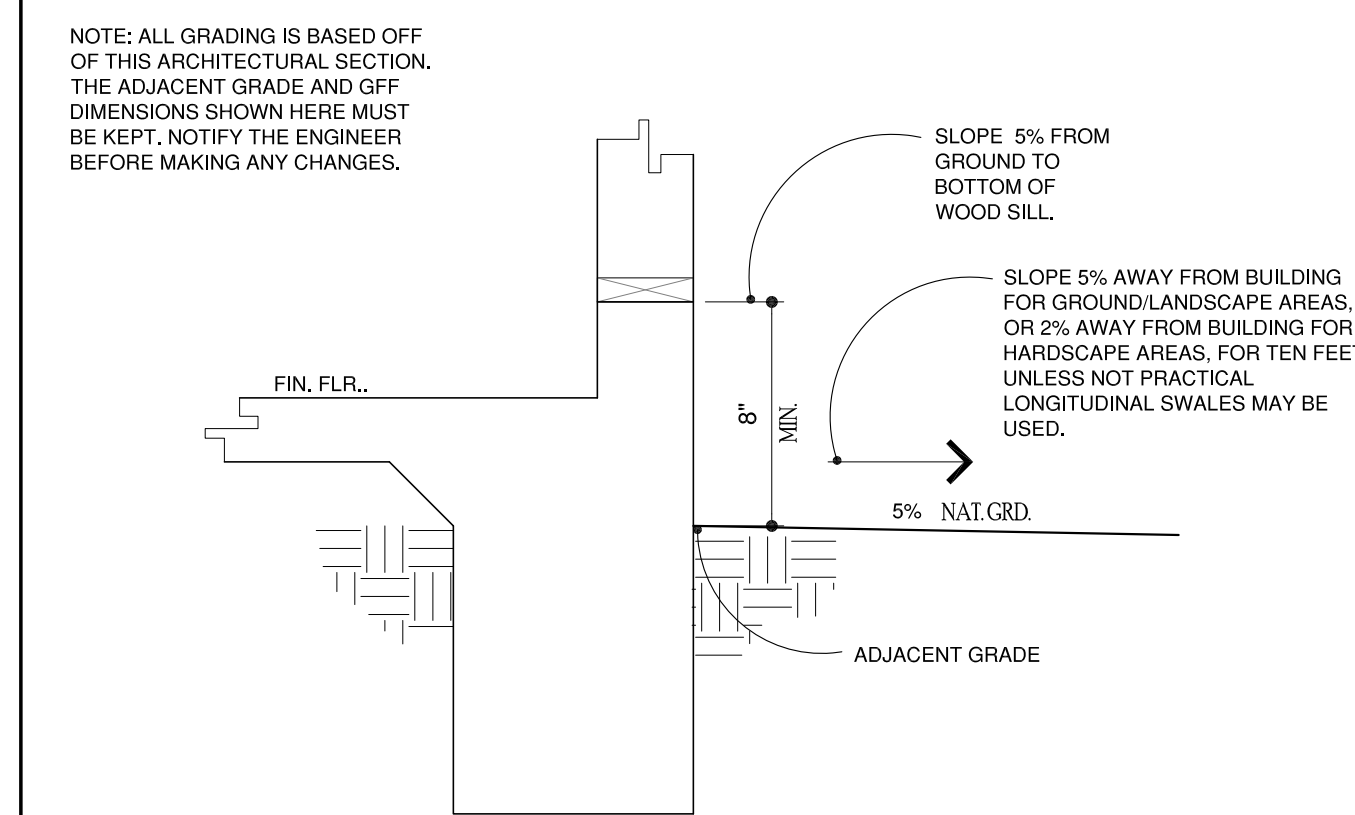
6 SUMP PUMP CATCH BASIN SCALE=1"=1'-0"



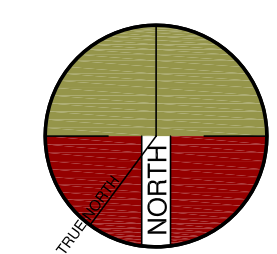
3 SUBDRAIN CROSS SECTION SCALE=1"=1'-0"



2 EARTHEN SWALE DETAIL SCALE=NTS



1 TYPICAL FOUNDATION/GFF / GROUND SECTION SCALE=1"=1'-0"



SHEET TITLE  
SITE DETAILS

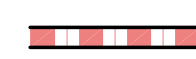


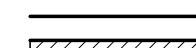

PROJECT #: 2022-?  
DRAWN BY:  
DATE: 2-2-2022  
SCALE PER SHEET

DRAWING NUMBER

# PW.3

KEYNOTES CONTINUED

WALL LEGEND

-  1-HOUR FIRE RATED WALL BETWEEN GARAGE AND LIVING SPACE.  
-PROVIDE 5/8" TYP "X" ONE-HOUR FIRE RATED WALL PER CODE FOR REQUIRED SEPARATION BETWEEN GARAGE AND LIVING SPACE. SHOWN DASHED.
  
- NOTE: EXTERIOR BEARING WALLS LESS THAN FIVE FEET FROM THE PROPERTY LINE WILL BE BUILT OUT OF ONE-HOUR FIRE RATED CONSTRUCTION (2019 CBC, TABLE 602).
  
-  EXTERIOR WALL:  
2X4 STUDS AT 16" O.C. ON EXTERIOR WALL WITH BATTEN BOARD SIDING WITH BATTENS 16" O.C. O/ TYVEX O/ PLYWOOD. INSULATION PER TITLE 24 CALCS.
  
-  INTERIOR WALL:  
2X4 STUDS AT 16" O.C. WITH 5/8" INTERIOR GYPSUM.  
DOUBLE UP 2X4 WALLS AT ALL THICKEN WALLS.
  
-  EXTERIOR WALL:  
2X4 STUDS AT 16" O.C. ON EXTERIOR WALL ONLY WITH STONE VENEER O/ SCRATCH COAT CEMENT PLASTER O/ LATH O/ 2 LAYERS OF GRADE 'D' BUILD. PAPER OR TYVEX O/ PLYWOOD.
  
-  RETAINING WALL WITH FURRING INTERIOR AND INSULATION SEE STRUCTURAL FOR WALL DETAILS

FLOOR PLAN KEYNOTES

# CHUNG RESIDENCE


713 HOWARD AVE  
BURLINGAME, CA

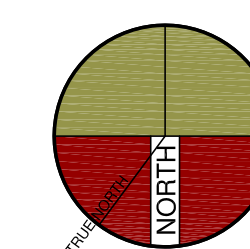
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7-20-2022

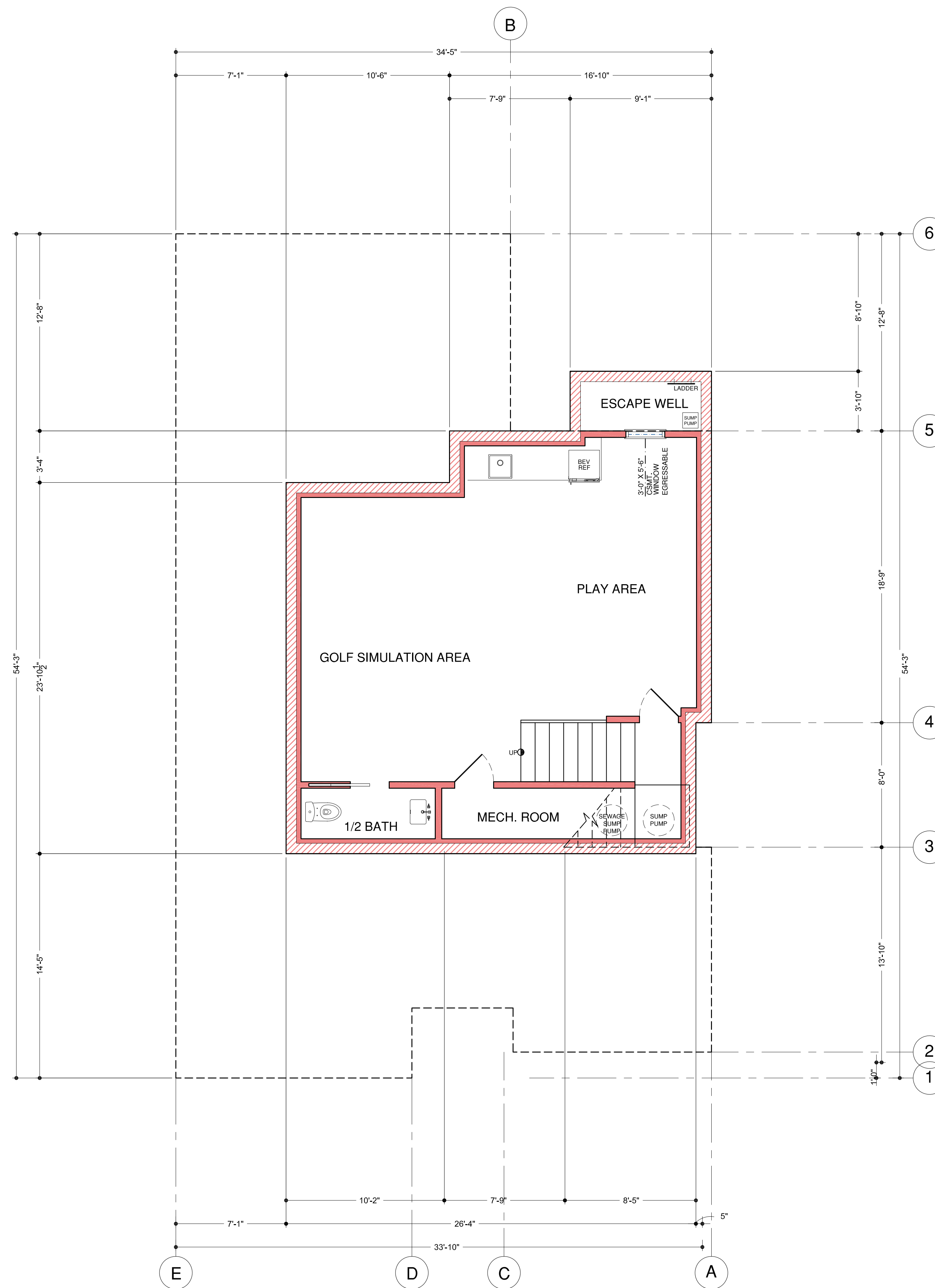


SHEET TITLE  
**BASEMENT LEVEL FLOOR PLAN**

PROJECT #: 2022-?  
DRAWN BY:  
DATE: 2-2-2022  
SCALE PER SHEET

DRAWING NUMBER

# A.0



BASEMENT LEVEL FLOOR PLAN

SCALE 1/4"=1'-0"

# CHUNG RESIDENCE

713 HOWARD AVE  
BURLINGAME, CA

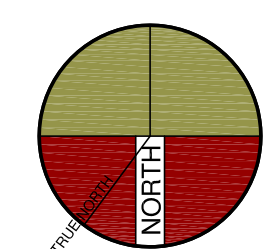
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7-20-2022



## SHEET TITLE BASEMENT LEVEL FLOOR AREA CALCULATION PLAN

PROJECT #: 2022-?  
DRAWN BY:  
DATE: 2-2-2022  
SCALE PER SHEET

DRAWING NUMBER

**A.0.SF**

### RESIDENCE LOT COVERAGE

EXISTING LOT AREA: 5,247 SQ. FT.  
MAXIMUM LOT COVERAGE:  
5,247 SQ. FT. X 40% = 2,099 SQ. FT.  
PROPOSED LOT COVERAGE:  
RESIDENCE/PORCH = 1,673 SQ. FT.  
DETACHED GARAGE = 423 SQ. FT.  
TOTAL LOT COVERAGE = 2,096 SQ. FT.

### CITY OF BURLINGAME ALLOWABLE FLOOR AREA RATIO

BURLINGAME ALLOWABLE: 32 PERCENT X LOT AREA + 1,100 S.F. +  
400 S.F.  
RESIDENCE: 32 PERCENT X 5,247 SQ. FT. = 1,679 + 1,100  
= 2,779 SQ. FT.  
DETACHED GARAGE = 397 SQ. FT.

### FLOOR AREA CALCULATION

#### FIRST LEVEL FLOOR PLAN:

1,646 SQ. FT.

#### SECOND LEVEL FLOOR PLAN:

1,017 SQ. FT.

TOTAL FLOOR AREA : 2,663 SQ. FT.

#### BASEMENT / MECH ROOM: EXEMPT

600 SQ. FT.

99 SQ. FT.

TOTAL HABITABLE FLOOR AREA : 3,362 SQ. FT.

#### COVERED PORCH :

29 SQ. FT.

#### SECOND LEVEL UNCOVERD DECK :

75 SQ. FT.

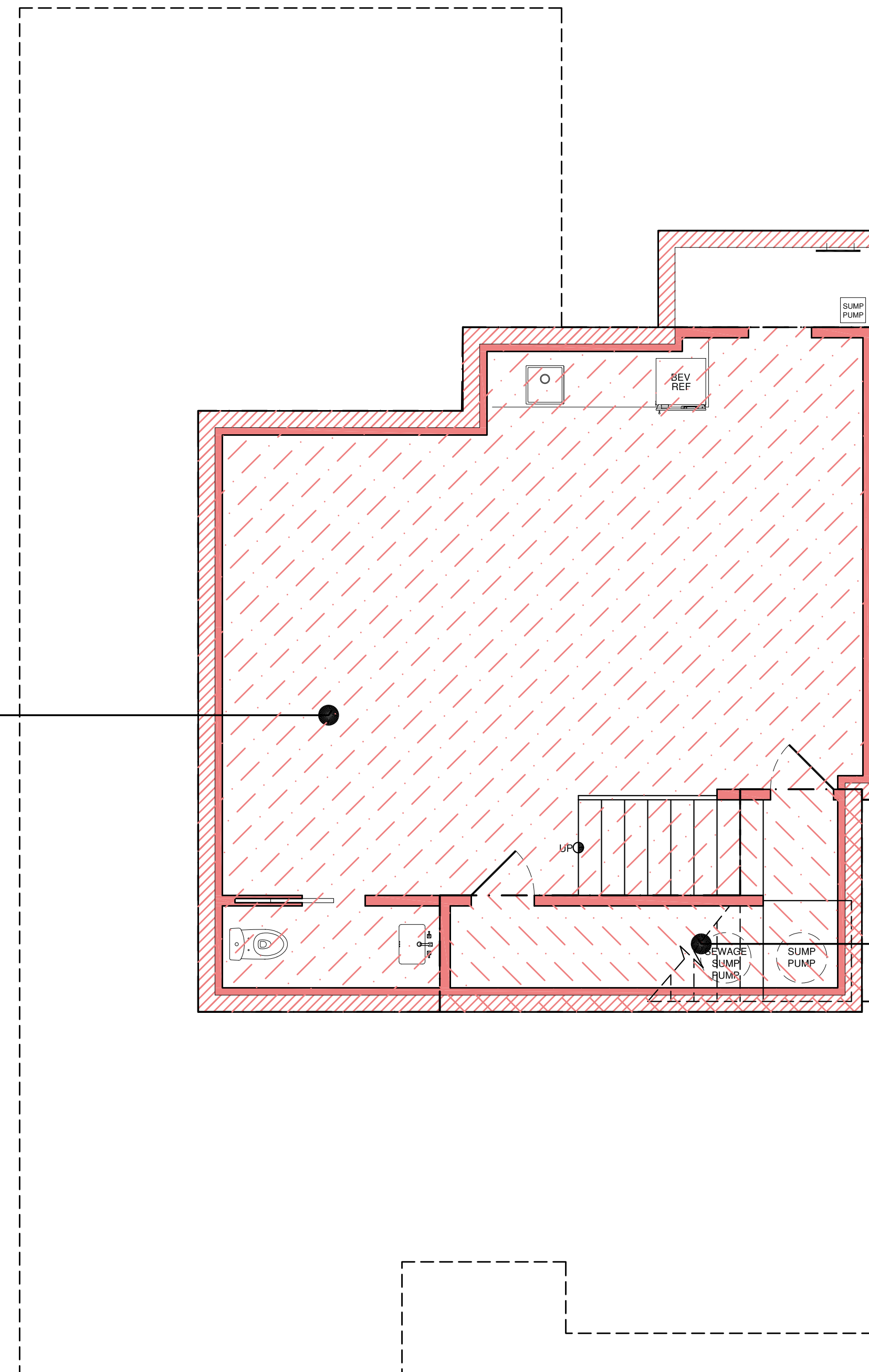
#### DETACHED GARAGE:

423 SQ. FT.

#### DETACHED ADU:

321 SQ. FT.

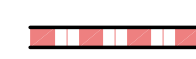




600 SQ. FT.  
(BASEMENT LEVEL FLOOR,  
SHOWN HATCHED) EXEMPT.



99 SQ. FT.  
(BASEMENT MECH. ROOM,  
SHOWN HATCHED) EXEMPT.

KEYNOTES CONTINUED

WALL LEGEND

-  1-HOUR FIRE RATED WALL BETWEEN GARAGE AND LIVING SPACE.  
-PROVIDE 5/8" TYP "X" ONE-HOUR FIRE RATED WALL PER CODE FOR REQUIRED SEPARATION BETWEEN GARAGE AND LIVING SPACE. SHOWN DASHED.
  
- NOTE: EXTERIOR BEARING WALLS LESS THAN FIVE FEET FROM THE PROPERTY LINE WILL BE BUILT OUT OF ONE-HOUR FIRE RATED CONSTRUCTION (2019 CBC, TABLE 602).
  
-  EXTERIOR WALL:  
2X4 STUDS AT 16" O.C. ON EXTERIOR WALL WITH BATTEN BOARD SIDING WITH BATTENS 16" O.C. O/ TYVEK O/ PLYWOOD. INSULATION PER TITLE 24 CALCS.
  
-  INTERIOR WALL:  
2X4 STUDS AT 16" O.C. WITH 5/8" INTERIOR GYPSUM. DOUBLE UP 2X4 WALLS AT ALL THICKEN WALLS.
  
-  EXTERIOR WALL:  
2X4 STUDS AT 16" O.C. ON EXTERIOR WALL ONLY WITH STONE VENEER O/ SCRATCH COAT CEMENT PLASTER O/ LATH O/ 2 LAYERS OF GRADE 'D' BUILD. PAPER OR TYVEK O/ PLYWOOD.
  
-  RETAINING WALL WITH FURRING INTERIOR AND INSULATION SEE STRUCTURAL FOR WALL DETAILS

FLOOR PLAN KEYNOTES

# CHUNG RESIDENCE


713 HOWARD AVE  
BURLINGAME, CA

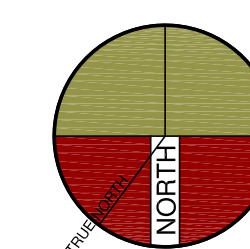
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7-20-2022

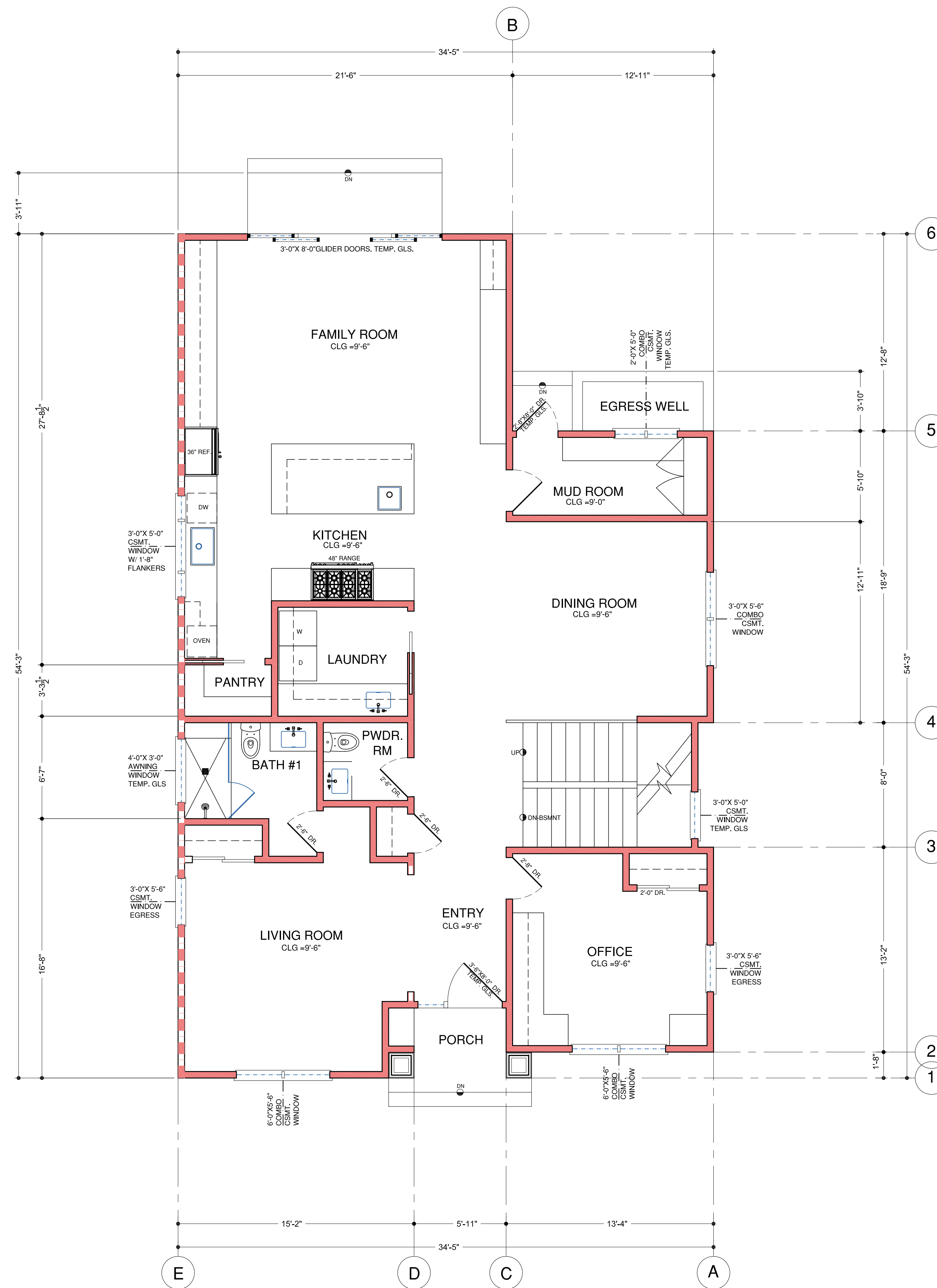


SHEET TITLE  
**FIRST LEVEL FLOOR PLAN**

PROJECT #: 2022-?  
DRAWN BY:  
DATE: 2-2-2022  
SCALE PER SHEET

DRAWING NUMBER

# A.1



FIRST LEVEL FLOOR PLAN

SCALE 1/4"=1'-0"

# CHUNG RESIDENCE

713 HOWARD AVE  
BURLINGAME, CA

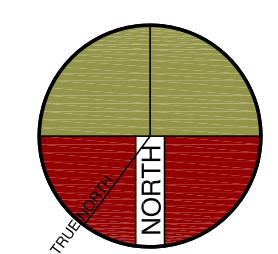
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7-20-2022



## SHEET TITLE FIRST LEVEL FLOOR AREA CALCULATION PLAN

PROJECT #: 2022-?  
DRAWN BY:  
DATE: 2-2-2022  
SCALE PER SHEET

DRAWING NUMBER

# A.1.SF

## RESIDENCE LOT COVERAGE

EXISTING LOT AREA: 5,247 SQ. FT.  
MAXIMUM LOT COVERAGE:  
5,247 SQ. FT. X 40% = 2,099 SQ. FT.  
PROPOSED LOT COVERAGE:  
RESIDENCE/PORCH = 1,673 SQ. FT.  
DETACHED GARAGE = 423 SQ. FT.  
TOTAL LOT COVERAGE = 2,096 SQ. FT.

## CITY OF BURLINGAME ALLOWABLE FLOOR AREA RATIO

BURLINGAME ALLOWABLE: 32 PERCENT X LOT AREA + 1,100 S.F. +  
400 S.F.  
RESIDENCE: 32 PERCENT X 5,247 SQ. FT. = 1,679 + 1,100  
= 2,779 SQ. FT.  
DETACHED GARAGE = 397 SQ. FT.

## FLOOR AREA CALCULATION

### FIRST LEVEL FLOOR PLAN:

1,646 SQ. FT.

### SECOND LEVEL FLOOR PLAN:

1,017 SQ. FT.

TOTAL FLOOR AREA: 2,663 SQ. FT.

### BASEMENT / MECH ROOM: EXEMPT

600 SQ. FT.

99 SQ. FT.

TOTAL HABITABLE FLOOR AREA: 3,362 SQ. FT.

### COVERED PORCH:

29 SQ. FT.

### SECOND LEVEL UNCOVERED DECK:

75 SQ. FT.

### DETACHED GARAGE:

423 SQ. FT.

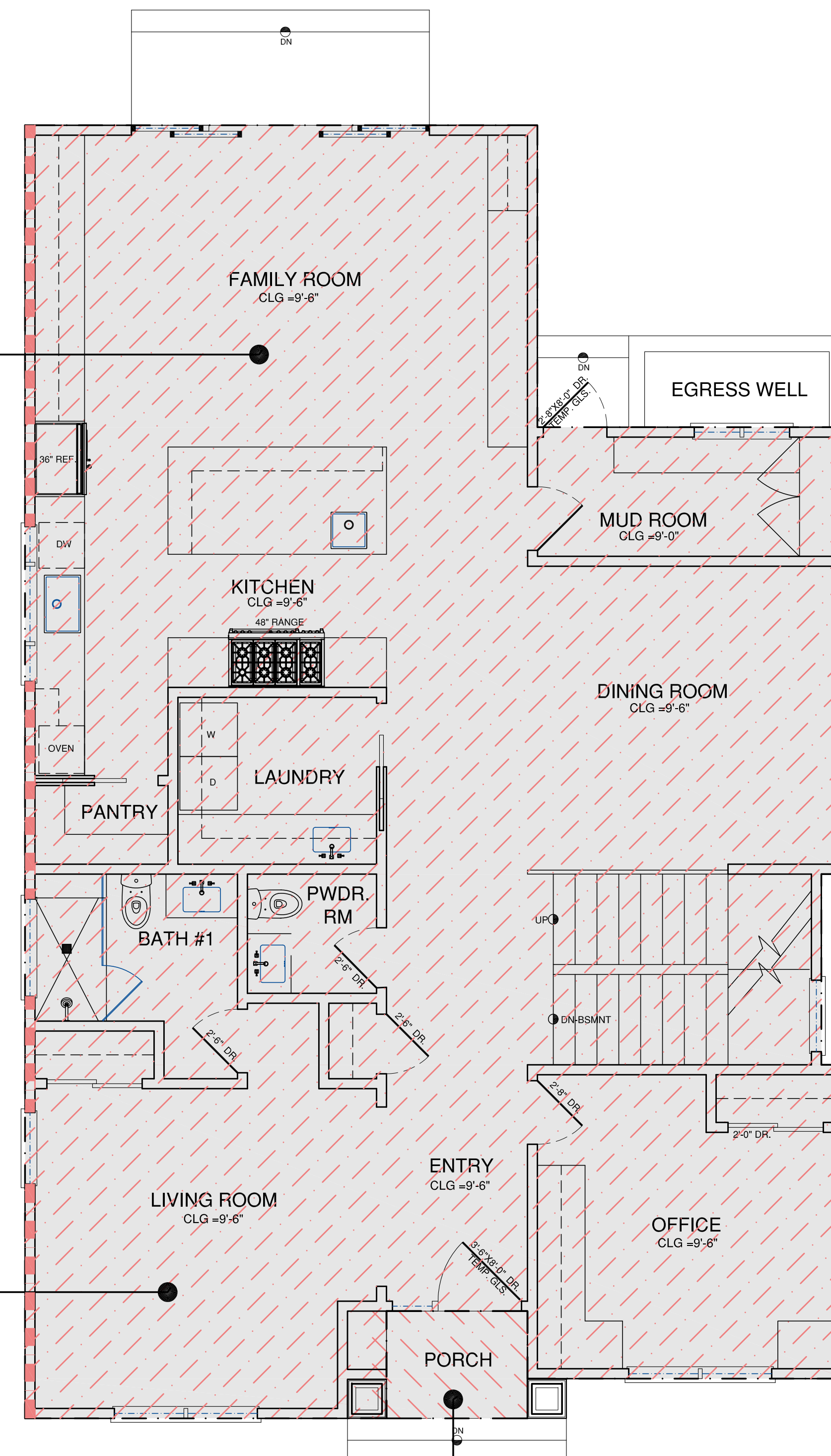
### DETACHED ADU:

321 SQ. FT.

1,646 SQ. FT.  
(FIRST LEVEL FLOOR,  
SHOWN HATCHED)

1,673 SQ. FT.  
(LOT COVERAGE,  
SHOWN SHADED)




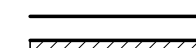

29 SQ. FT.  
(COVERED PORCH,  
SHOWN HATCHED)  
EXEMPT



FIRST LEVEL FLOOR AREA CALCULATION PLAN

SCALE 1/4"=1'-0"

WALL LEGEND

-  1-HOUR FIRE RATED WALL BETWEEN GARAGE AND LIVING SPACE.  
-PROVIDE 5/8" TYP "X" ONE-HOUR FIRE RATED WALL PER CODE FOR REQUIRED SEPARATION BETWEEN GARAGE AND LIVING SPACE. SHOWN DASHED.
  
- NOTE: EXTERIOR BEARING WALLS LESS THAN FIVE FEET FROM THE PROPERTY LINE WILL BE BUILT OUT OF ONE-HOUR FIRE RATED CONSTRUCTION (2019 CBC, TABLE 602).
  
-  EXTERIOR WALL:  
2X4 STUDS AT 16" O.C. ON EXTERIOR WALL WITH BATTEN BOARD SIDING WITH BATTENS 16" O.C. O/ TYVEX O/ PLYWOOD. INSULATION PER TITLE 24 CALCS.
  
-  INTERIOR WALL:  
2X4 STUDS AT 16" O.C. WITH 5/8" INTERIOR GYPSUM.  
DOUBLE UP 2X4 WALLS AT ALL THICKEN WALLS.
  
-  EXTERIOR WALL:  
2X4 STUDS AT 16" O.C. ON EXTERIOR WALL ONLY WITH STONE VENEER O/ SCRATCH COAT CEMENT PLASTER O/ LATH O/ 2 LAYERS OF GRADE 'D' BUILD. PAPER OR TYVEX O/ PLYWOOD.
  
-  RETAINING WALL WITH FURRING INTERIOR AND INSULATION SEE STRUCTURAL FOR WALL DETAILS

# CHUNG RESIDENCE

713 HOWARD AVE  
BURLINGAME, CA

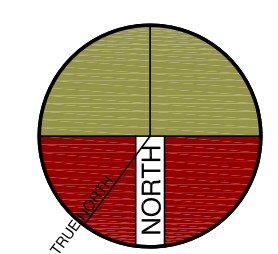
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PLANNING REVIEW COMMENTS-PC-1  
7-20-2022

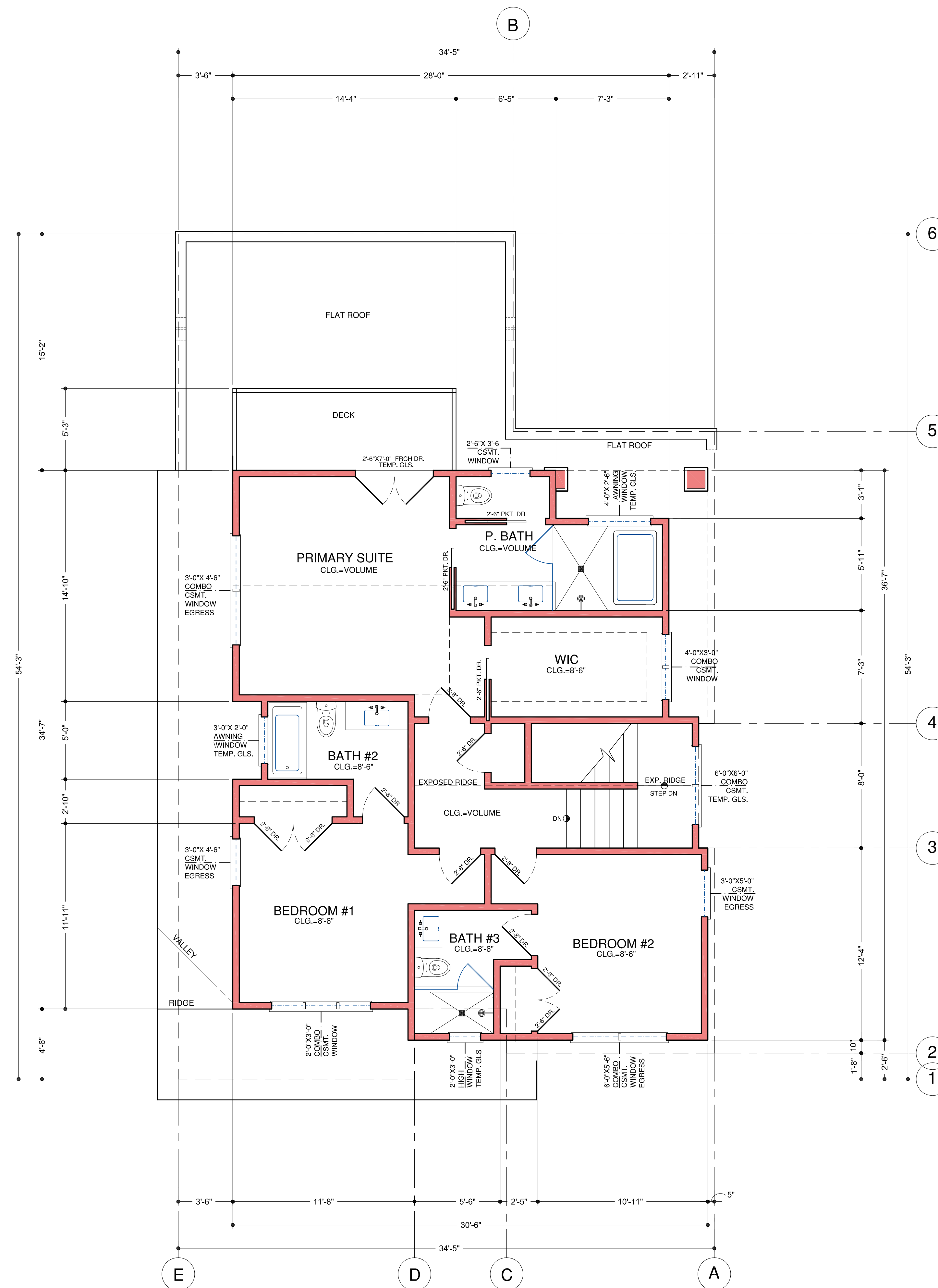


SHEET TITLE  
**SECOND LEVEL FLOOR PLAN**

PROJECT #: 2022-?  
DRAWN BY:  
DATE: 2-2-2022  
SCALE PER SHEET

DRAWING NUMBER

# A.2



SECOND LEVEL FLOOR PLAN

SCALE 1/4"=1'-0"

# CHUNG RESIDENCE

713 HOWARD AVE  
BURLINGAME, CA

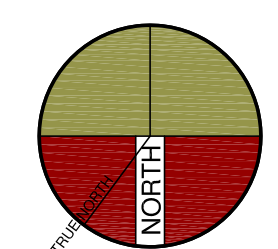
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BURLINGAME, CA 94010  
(650) 235-9566 tel.  
(650) 235-9569 fax

## DESIGN REVIEW

△ SCHEME-2  
PLANNING REVIEW COMMENTS-PC-1  
7-20-2022



## SHEET TITLE SECOND LEVEL FLOOR AREA CALCULATION PLAN

PROJECT #: 2022-?  
DRAWN BY:  
DATE: 2-2-2022  
SCALE PER SHEET

DRAWING NUMBER

# A.2.SF

### RESIDENCE LOT COVERAGE

EXISTING LOT AREA: 5,247 SQ. FT.  
MAXIMUM LOT COVERAGE:  
5,247 SQ. FT. X 40% = 2,099 SQ. FT.  
PROPOSED LOT COVERAGE:  
RESIDENCE/PORCH = 1,673 SQ. FT.  
DETACHED GARAGE = 423 SQ. FT.  
TOTAL LOT COVERAGE = 2,096 SQ. FT.

### CITY OF BURLINGAME ALLOWABLE FLOOR AREA RATIO

BURLINGAME ALLOWABLE: 32 PERCENT X LOT AREA + 1,100 S.F. +  
400 S.F.  
RESIDENCE: 32 PERCENT X 5,247 SQ. FT. = 1,679 + 1,100  
= 2,779 SQ. FT.  
DETACHED GARAGE = 397 SQ. FT.

### FLOOR AREA CALCULATION

#### FIRST LEVEL FLOOR PLAN:

1,646 SQ. FT.

#### SECOND LEVEL FLOOR PLAN:

1,017 SQ. FT.

TOTAL FLOOR AREA: 2,663 SQ. FT.

#### BASEMENT / MECH ROOM: EXEMPT

600 SQ. FT.

99 SQ. FT.

TOTAL HABITABLE FLOOR AREA: 3,362 SQ. FT.

#### COVERED PORCH:

29 SQ. FT.

#### SECOND LEVEL UNCOVERD DECK:

75 SQ. FT.

#### DETACHED GARAGE:

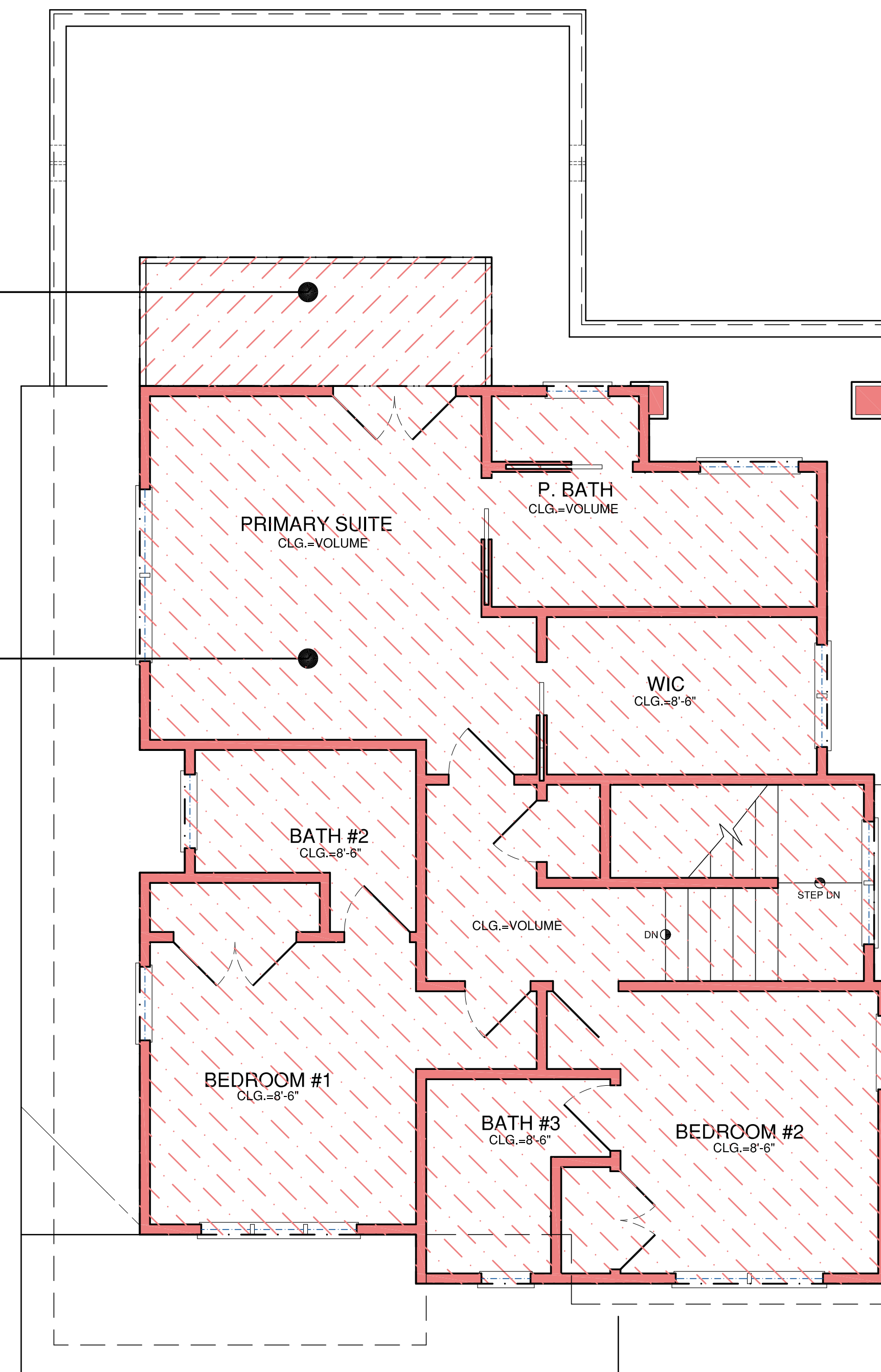
423 SQ. FT.

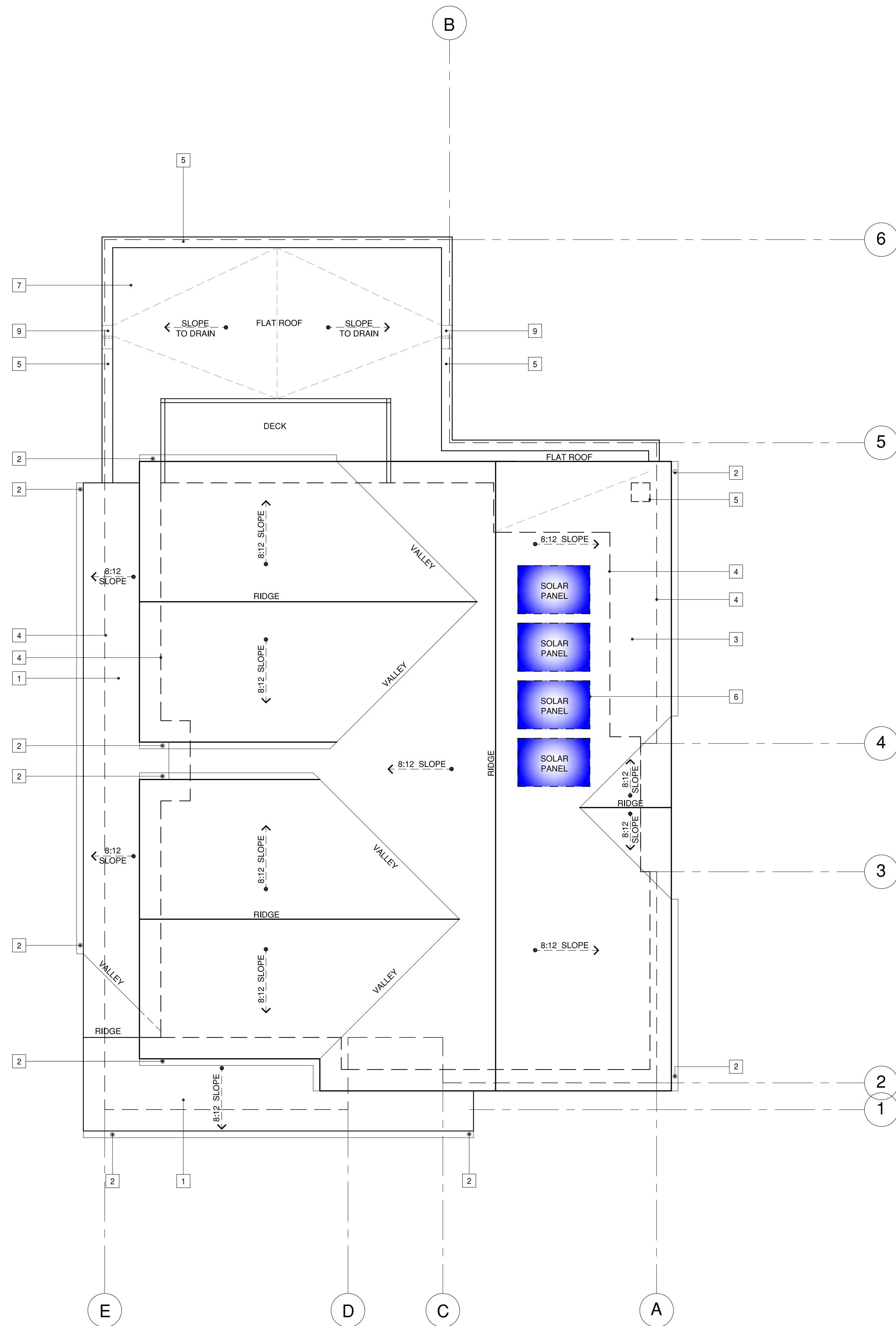
#### DETACHED ADU:

321 SQ. FT.

75 SQ. FT.  
(SHOWN HATCHED)

1,017 SQ. FT.  
(SHOWN HATCHED)





**ROOF PLAN KEYNOTES**

1. STANDING SEAM METAL ROOFING SYSTEM
2. GUTTERS:  
 \* SIZE: 4-1/2" OG  
 \* DOWNSPOUT: 4" SQ. TIE INTO ON-SITE DRAINAGE LINE TO DRY WELL PER SHEET SP.1.
3. ROOF FLASHING 24 GA. G.I. FLASHING AT ALL ROOF 24 GA. G.I. FLASHING AT ALL ROOF PENETRATIONS AND CRICKET VALLEYS.
4. LINE OF WALL BELOW EAVE AND RAKE.
5. WOOD COLUMN PER PLANS.
6. (SOLAR POWER PANELS) BY SOLAR POWER COMPANY. AMOUNT TO BE DETERMINED BY MANUFACTURER AND SOLAR LOCATION AND ANGLE.
7. FLAT ROOF:  
 SLOPE: MIN. 1/4" MIN SLOPE  
 MATERIAL: TORCH DOWN ROOFING MATERIAL WITH PEA GRAVEL TOP COVER  
 COLOR: VARIETY OF TANS
8. GALVANIZED 6"x12" SQUARE LOW PROFILE GRAVITY ATTIC VENTILATORS:  
 FINISH: PRIME AND PAINT TO MATCH ROOF
9. DRAIN AND OVERFLOW SCUPPER. POSITIVE SLOPE DRAIN WITH CONDUCTOR BOX.

# CHUNG RESIDENCE

713 HOWARD AVE  
BURLINGAME, CA

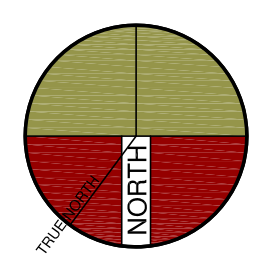
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△ SCHEME-2  
 PLANNING REVIEW COMMENTS-PC-1  
 7-20-2022



SHEET TITLE  
**ROOF LEVEL PLAN**

PROJECT #: 2022-?  
 DRAWN BY:  
 DATE: 2-2-2022  
 SCALE PER SHEET

DRAWING NUMBER

**A.3**

**ROOF LEVEL PLAN**

SCALE 1/4"=1'-0"

ELEVATION~KEYNOTES

1. STANDING SEAM METAL ROOFING SYSTEM  
-STYLE: RIBBED  
-COLOR: TBD
2. EXTERIOR FINISH:  
-STYLE: BATTEN AND BOARD  
BATTEN AND BOARD OVER TYVEX OVER PLYWOOD  
-SPACING: BATTENS AT 16" O.C.  
-TEXTURE: SMOOTH  
-COLOR: TBD  
-PAINT MANUFAC: TBD.
3. DECORATIVE STANDING SEAM SHED ROOF:  
-MATERIAL: METAL  
-FINISH: KYNAR  
-STYLE: AS SHOWN  
-COLOR: TBD
4. FACIA, E AVE AND RAKE WITH EXPOSED RAFTER TIPS  
-MATERIAL: WOOD  
-COLOR: TBD  
-PAINT MANUFAC: TBD  
-SEE DETAIL ?, SHEET ?
5. ILLUMINATED ADDRESS BY PER BURLINGAME REQUIREMENTS
6. -TRIM HEAD AND JAMB SURROUND SIZE: 1" X 3-1/2"  
-CAP SIZE: 1" X 2" WITH METAL DRIP  
-SILL SIZE: 1" X 2" SILL WITH 1" X 4" APRON  
-STYLE: TRADITIONAL ALUMINUM CLAD WOOD WITH SIMULATED TRUE DIVIDED LIGHTS.  
-EXTERIOR: ALUM CLAD, COLOR TBD  
-GLAZING: DUAL GLAZED SIMULATED TRUE DIVIDED  
-INTERIOR: PRIMED, PAINT READY.  
-DOOR AND WINDOW REP:  
DOOR AND WINDOW S TO BE MANUFAC:  
BY TBD.  
-COLOR AND HARDWARE TO BE SELECTED BY HOMEOWNER.  
CONSULT OWNER.  
-SEE SHEET AD.2 FOR TYPICAL DOOR AND WINDOW DETAILS.
7. GUTTERS AND DOWNSPOUTS  
-MATERIAL: GALVANIZED  
-COLOR: TBD  
-SIZE OF GUTTER: 5" DECORATIVE O.G.  
-SIZE OF DOWN SPOUT: 4" DIA.
8. LINE OF BASEMENT BELOW
9. SQUARE POLYMER OR WOOD COLUMNS, TYP.  
-SIZE: 1-1/4" SHAFT WITH BASE AND CAP  
-COLOR: TBD  
MANUFAC:  
-TURNCRRAFT OR EQUAL
10. NEW FLOOR VENTS:  
-SIZE: 6" X 14"  
-MANFAC: TBD  
-COLOR: TBD
11. ALUMINUM CLAD GARAGE DOOR.
12. (SOLAR POWER PANELS) BY SOLAR POWER COMPANY.  
AMOUNT TO BE DETERMINED BY MANUFACTURER AND SOLAR LOCATION AND ANGLE.
13. DECORATIVE WOOD KNEE BRACES PER DETAIL.
14. NEW WOOD GARAGE DOOR WITH TRUE SIMULATED DIVIDED LIGHTS.

# CHUNG RESIDENCE

713 HOWARD AVE  
BURLINGAME, CA

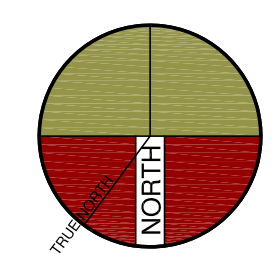
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DESIGN REVIEW

△ SCHEME-2  
PLANNING REVIEW COMMENTS-PC-1  
7-20-2022

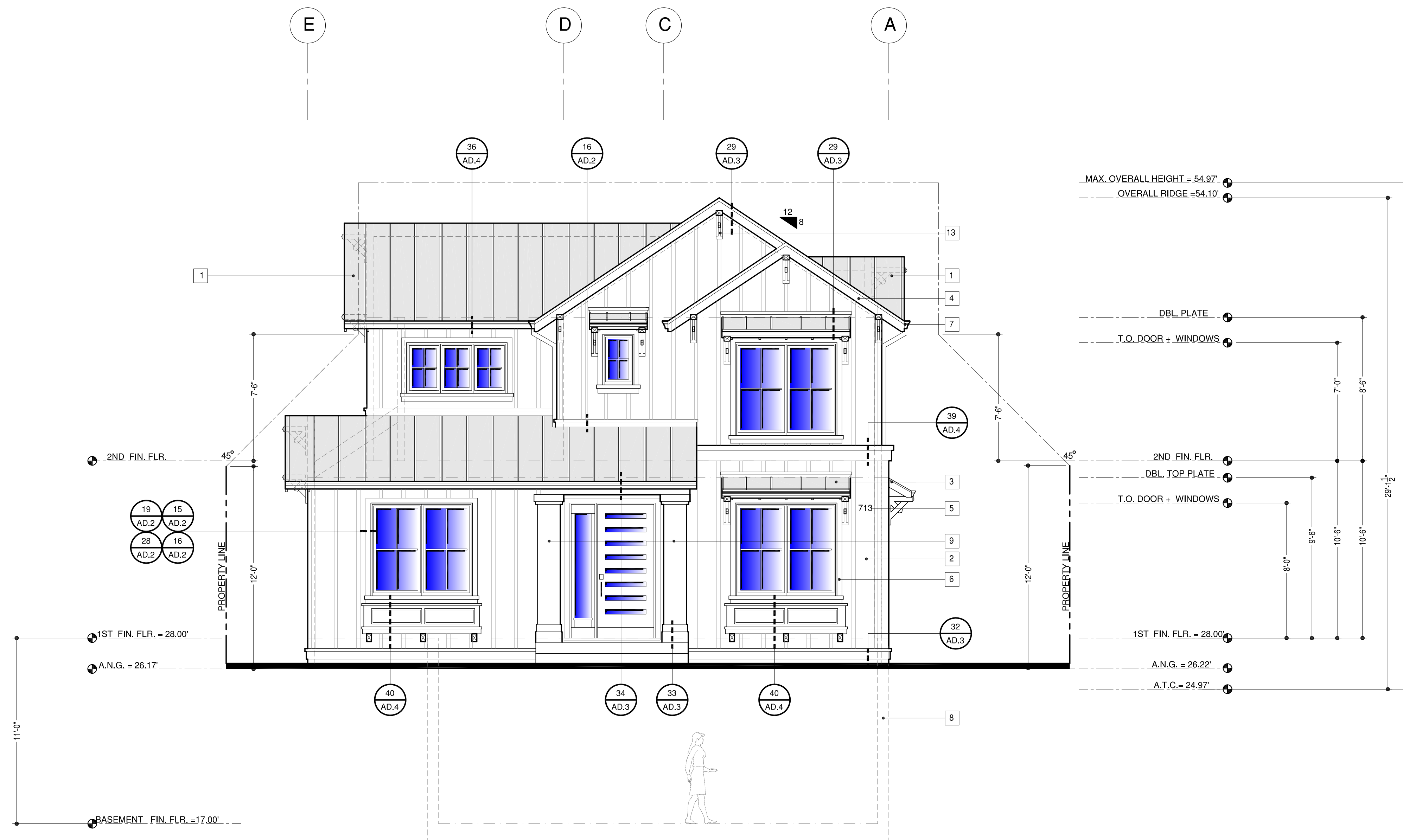


SHEET TITLE  
ELEVATIONS

PROJECT #: 2022-?  
DRAWN BY:  
DATE: 2-2-2022  
SCALE PER SHEET

DRAWING NUMBER

A.4



1~PROPOSED-FRONT ~NORTH ELEVATION

SCALE: 1/4"=1'-0"

POLLUTANT CONTROL CGC NOT

1. PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS PER CGC 4.504.2.2.
2. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC AND OTHER REQUIREMENTS PER CGC 4.504.2.3.
3. DOCUMENTATION WILL BE PROVIDED TO VERIFY COMPLIANCE WITH VOC FINISH MATERIALS PER CGC 4.504.2.4.



ELEVATION~KEYNOTES

1. STANDING SEAM METAL ROOFING SYSTEM  
-STYLE: RIBBED  
-COLOR: TBD
2. EXTERIOR FINISH:  
-STYLE: BATTEN AND BOARD  
BATTEN AND BOARD OVER TYVEX OVER PLYWOOD  
-SPACING: BATTENS AT 16" O.C.  
-TEXTURE: SMOOTH  
-COLOR: TBD  
-PAINT MANUFAC: TBD.
3. DECORATIVE STANDING SEAM SHED ROOF :  
-MATERIAL: METAL  
-FINISH: KYNAR  
-STYLE: AS SHOWN  
-COLOR: TBD
4. FACIA, E AVE AND RAKE WITH EXPOSED RAFTER TIPS  
-MATERIAL: WOOD  
-COLOR: TBD  
-PAINT MANUFAC: TBD  
-SEE DETAIL ?, SHEET ?
5. ILLUMINATED ADDRESS BY PER BURLINGAME REQUIEMENTS
- 6.-TRIM HEAD AND JAMB SURROUND SIZE: 1" X 3-1/2"  
-CAP SIZE: 1" X 2" WITH METAL DRIP  
-SILL SIZE: 1" X 2" WITH 1" X 4" APRON  
-STYLE: TRADITIONAL ALUMINUM CLAD WOOD WITH SIMULATED TRUE DIVIDED LIGHTS.  
-EXTERIOR: ALUM CLAD, COLOR TBD  
-GLAZING : DUAL GLAZED SIMULATED TRUE DIVIDED  
-INTERIOR: PRIMED, PAINT READY.  
-DOOR AND WINDOW REP:  
DOOR AND WINDOW S TO BE MANUFAC:  
BY TBD.  
-COLOR AND HARDWARE TO BE SELECTED BY HOMEOWNER.  
CONSULT OWNER.  
-SEE SHEET AD.2 FOR TYPICAL DOOR AND WINDOW DETAILS.
7. GUTTERS AND DOWNSPOUTS  
-MATERIAL: GALVANIZED  
-COLOR: TBD  
-SIZE OF GUTTER: 5" DECORATIVE O.G.  
-SIZE OF DOWN SPOUT: 4" DIA.
8. LINE OF BASEMENT BELOW
9. SQUARE POLYMER OR WOOD COLUMNS, TYP.  
-SIZE: 1-4" SHAFT WITH BASE AND CAP  
-COLOR: TBD  
MANUFAC:  
-TURNCRAFT OR EQUAL.
10. NEW FLOOR VENTS:  
-SIZE: 6" X 14"  
-MANFAC: TBD  
-COLOR: TBD
11. ALUMINUM CLAD GARAGE DOOR.
12. (SOLAR POWER PANELS) BY SOLAR POWER COMPANY.  
AMOUNT TO BE DETERMINED BY MANUFACTURER AND SOLAR LOCATION AND ANGLE.
13. DECORATIVE WOOD KNEE BRACES PER DETAIL.
14. NEW WOOD GARAGE DOOR WITH TRUE SIMULATED DIVIDED LIGHTS..

# CHUNG RESIDENCE

713 HOWARD AVE  
BURLINGAME, CA

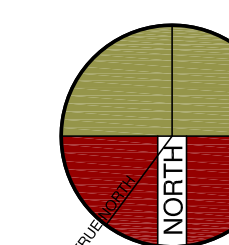
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DESIGN REVIEW

△ SCHEME-2  
PLANNING REVIEW COMMENTS-PC-1  
7-20-2022



SHEET TITLE  
ELEVATIONS

PROJECT #: 2022-?  
DRAWN BY:  
DATE: 2-2-2022  
SCALE PER SHEET

DRAWING NUMBER

A.5

POLLUTANT CONTROL CGC NOT

1. PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS PER CGC 4.504.2.2.
2. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC AND OTHER REQUIREMENTS PER CGC 4.504.2.3.
3. DOCUMENTATION WILL BE PROVIDED TO VERIFY COMPLIANCE WITH VOC FINISH MATERIALS PER CGC 4.504.2.4.

2~PROPOSED-RIGHTSIDE~WEST ELEVATION

SCALE: 1/4"=1'-0"

ELEVATION~KEYNOTES

1. STANDING SEAM METAL ROOFING SYSTEM  
-STYLE: RIBBED  
-COLOR: TBD
2. EXTERIOR FINISH:  
-STYLE: BATTEN AND BOARD  
BATTEN AND BOARD OVER TYVEX OVER PLYWOOD  
-SPACING: BATTENS AT 16" O.C.  
-TEXTURE: SMOOTH  
-COLOR: TBD  
-PAINT MANUFAC: TBD.
3. DECORATIVE STANDING SEAM SHED ROOF :  
-MATERIAL: METAL  
-FINISH: KYNAR  
-STYLE: AS SHOWN  
-COLOR: TBD
4. FACIA, E AVE AND RAKE WITH EXPOSED RAFTER TIPS  
-MATERIAL: WOOD  
-COLOR: TBD  
-PAINT MANUFAC: TBD  
-SEE DETAIL ?, SHEET ?
5. ILLUMINATED ADDRESS BY PER BURLINGAME REQUIREMENTS
- 6.-TRIM HEAD AND JAMB SURROUND SIZE: 1" X 3-1/2"  
-CAP SIZE: 1" X 2" WITH METAL DRIP  
-SILL SIZE: 1" X 2" SILL WITH 1" X 4" APRON  
-STYLE: TRADITIONAL ALUMINUM CLAD WOOD WITH SIMULATED TRUE DIVIDED LIGHTS.  
-EXTERIOR: ALUM CLAD, COLOR TBD  
-GLAZING : DUAL GLAZED SIMULATED TRUE DIVIDED  
-INTERIOR: PRIMED, PAINT READY.  
-DOOR AND WINDOW REP:  
DOOR AND WINDOW S TO BE MANUFAC:  
BY TBD.  
-COLOR AND HARDWARE TO BE SELECTED BY HOMEOWNER.  
CONSULT OWNER.  
-SEE SHEET AD.2 FOR TYPICAL DOOR AND WINDOW DETAILS.
7. GUTTERS AND DOWNSPOUTS  
-MATERIAL: GALVANIZED  
-COLOR: TBD  
-SIZE OF GUTTER: 5" DECORATIVE O.G.  
-SIZE OF DOWN SPOUT: 4" DIA.
8. LINE OF BASEMENT BELOW
9. SQUARE POLYMER OR WOOD COLUMNS, TYP.  
-SIZE: 1-4" SHAFT WITH BASE AND CAP  
-COLOR: TBD  
MANUFAC:  
-TURNCRRAFT OR EQUAL.
10. NEW FLOOR VENTS:  
-SIZE: 6" X 14"  
-MANFAC: TBD  
-COLOR: TBD
11. ALUMINUM CLAD GARAGE DOOR.
12. (SOLAR POWER PANELS) BY SOLAR POWER COMPANY.  
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# CHUNG RESIDENCE

713 HOWARD AVE  
BURLINGAME, CA

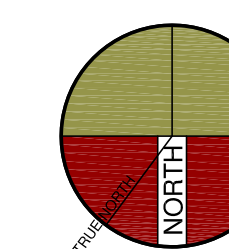
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DESIGN REVIEW

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PLANNING REVIEW COMMENTS-PC-1  
7-20-2022

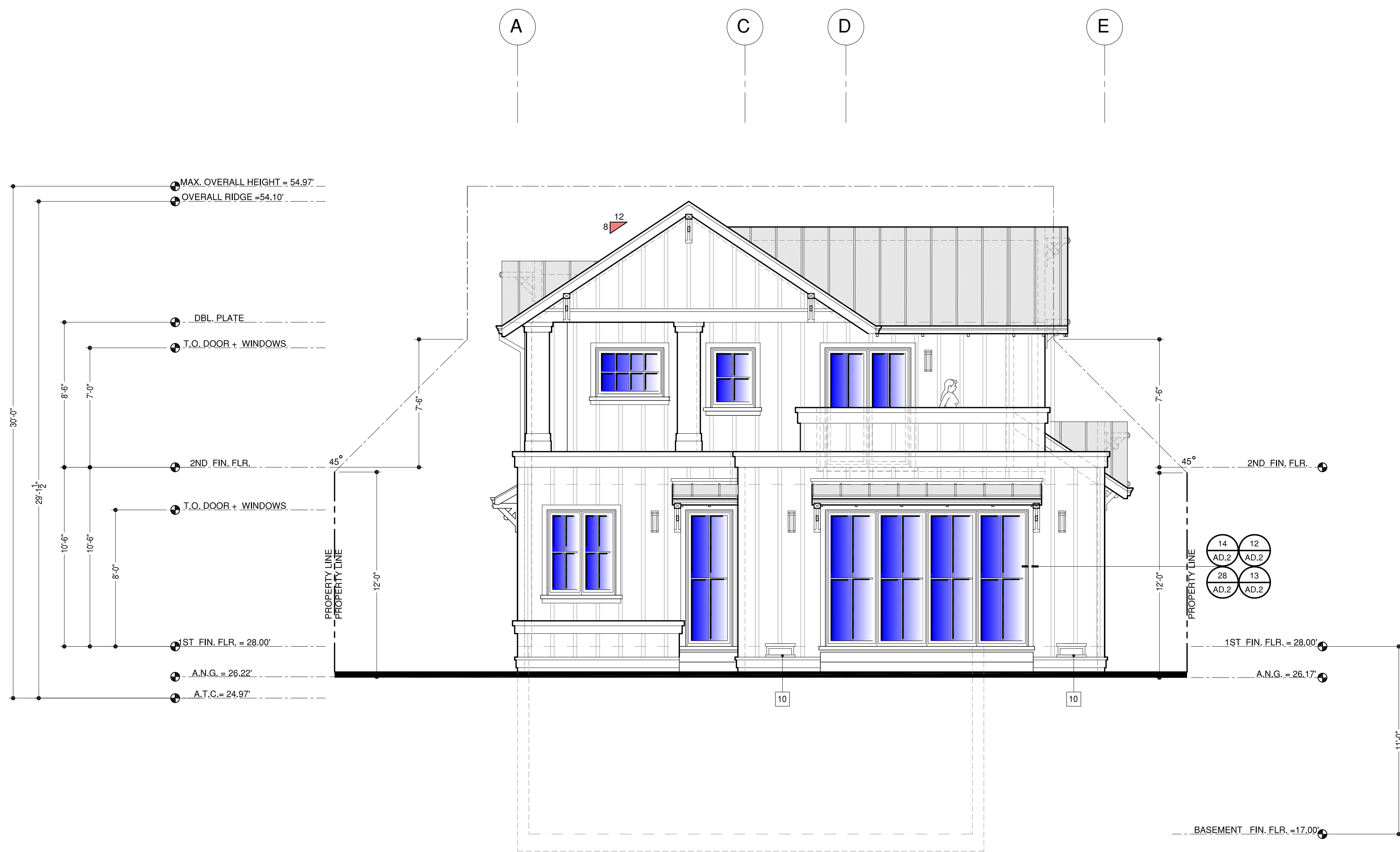


SHEET TITLE  
ELEVATIONS

PROJECT #: 2022-?  
DRAWN BY:  
DATE: 2-2-2022  
SCALE PER SHEET

DRAWING NUMBER

# A.6



REFER TO SHEET A.4 FOR TYPICAL MATERIAL CALLOUTS.

3~PROPOSED-REAR ~SOUTH ELEVATION

SCALE: 1/4"=1'-0"

POLLUTANT CONTROL CGC NOT

1. PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS PER CGC 4.504.2.2.
2. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC AND OTHER REQUIREMENTS PER CGC 4.504.2.3.
3. DOCUMENTATION WILL BE PROVIDED TO VERIFY COMPLIANCE WITH VOC FINISH MATERIALS PER CGC 4.504.2.4.



ELEVATION~KEYNOTES

1. STANDING SEAM METAL ROOFING SYSTEM  
-STYLE: RIBBED  
-COLOR: TBD
2. EXTERIOR FINISH:  
-STYLE: BATTEN AND BOARD  
BATTEN AND BOARD OVER TYVEX OVER PLYWOOD  
-SPACING: BATTENS AT 16" O.C.  
-TEXTURE: SMOOTH  
-COLOR: TBD  
-PAINT MANUFAC: TBD.
3. DECORATIVE STANDING SEAM SHED ROOF :  
-MATERIAL: METAL  
-FINISH: KYNAR  
-STYLE: AS SHOWN  
-COLOR: TBD
4. FACIA, E AVE AND RAKE WITH EXPOSED RAFTER TIPS  
-MATERIAL: WOOD  
-COLOR: TBD  
-PAINT MANUFAC: TBD  
-SEE DETAIL ?, SHEET ?
5. ILLUMINATED ADDRESS BY PER BURLINGAME REQUIEMENTS
- 6.-TRIM HEAD AND JAMB SURROUND SIZE: 1"X 3-1/2"  
-CAP SIZE: 1" X 2" WITH METAL DRIP  
-SILL SIZE: 1" X 2" SILL WITH 1" X 4" APRON  
-STYLE: TRADITIONAL ALUMINUM CLAD WOOD WITH SIMULATED TRUE DIVIDED LIGHTS.  
-EXTERIOR: ALUM CLAD, COLOR TBD  
-GLAZING : DUAL GLAZED SIMULATED TRUE DIVIDED  
-INTERIOR: PRIMED, PAINT READY.  
-DOOR AND WINDOW REP:  
DOOR AND WINDOW S TO BE MANUFAC:  
BY TBD.  
-COLOR AND HARDWARE TO BE SELECTED BY HOMEOWNER.  
CONSULT OWNER.  
-SEE SHEET AD.2 FOR TYPICAL DOOR AND WINDOW DETAILS.
7. GUTTERS AND DOWNSPOUTS  
-MATERIAL: GALVANIZED  
-COLOR: TBD  
-SIZE OF GUTTER: 5" DECORATIVE O.G.  
-SIZE OF DOWN SPOUT: 4" DIA.
8. LINE OF BASEMENT BELOW
9. SQUARE POLYMER OR WOOD COLUMNS, TYP.  
-SIZE: 1-4" SHAFT WITH BASE AND CAP  
-COLOR: TBD  
MANUFAC:  
-TURNCRRAFT OR EQUAL.
10. NEW FLOOR VENTS:  
-SIZE: 6" X 14"  
-MANFAC: TBD  
-COLOR: TBD
11. ALUMINUM CLAD GARAGE DOOR.
12. (SOLAR POWER PANELS) BY SOLAR POWER COMPANY.  
AMOUNT TO BE DETERMINED BY MANUFACTURER AND SOLAR LOCATION AND ANGLE.
13. DECORATIVE WOOD KNEE BRACES PER DETAIL.
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# CHUNG RESIDENCE

713 HOWARD AVE  
BURLINGAME, CA

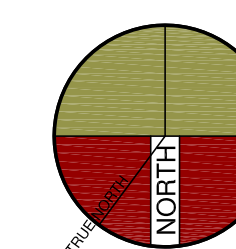
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DESIGN REVIEW

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7-20-2022



SHEET TITLE  
ELEVATIONS

PROJECT #: 2022-?  
DRAWN BY:  
DATE: 2-2-2022  
SCALE PER SHEET

DRAWING NUMBER

A.7

POLLUTANT CONTROL CGC NOT

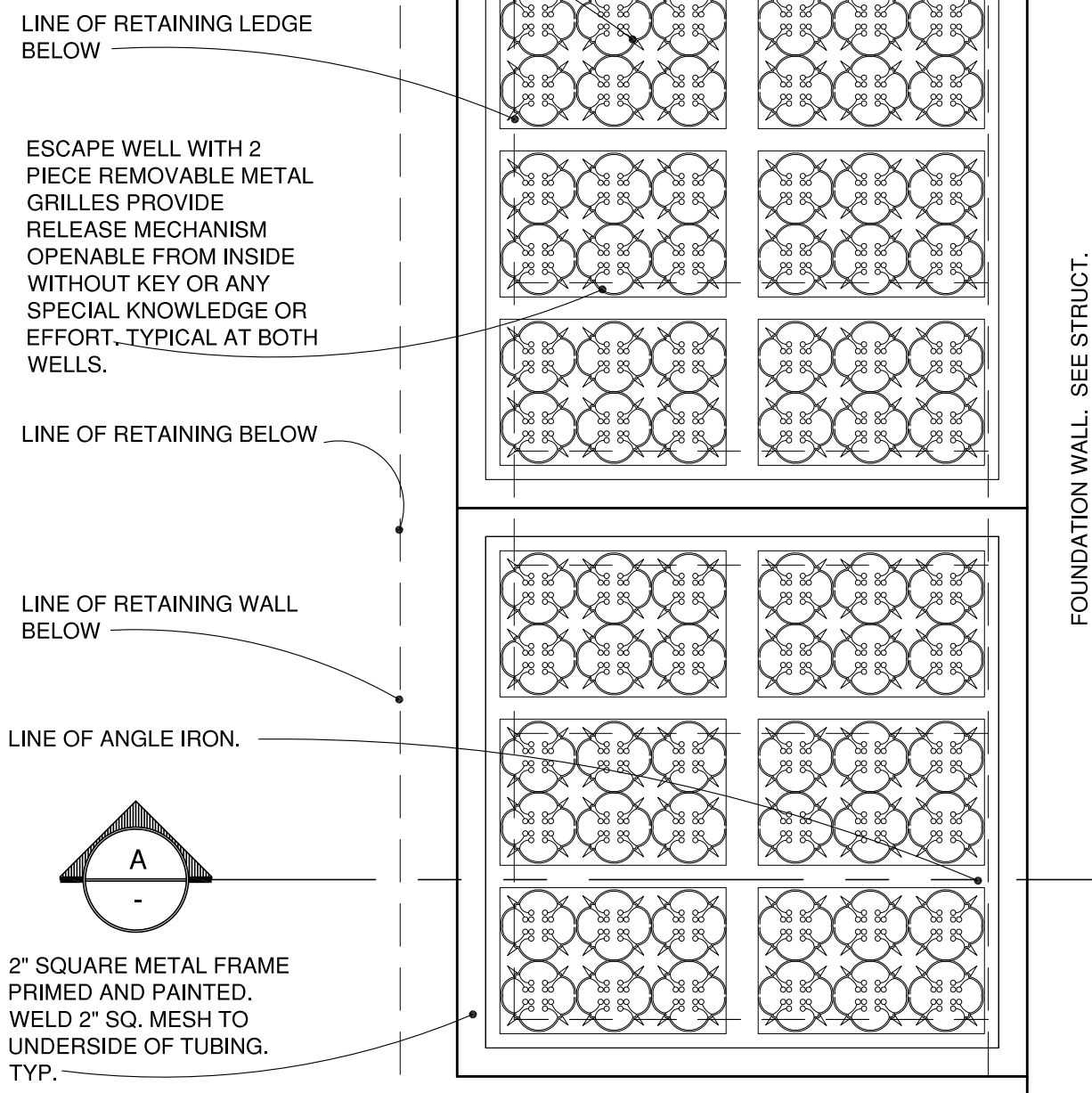
1. PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS PER CGC 4.504.2.2.
2. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC AND OTHER REQUIREMENTS PER CGC 4.504.2.3.
3. DOCUMENTATION WILL BE PROVIDED TO VERIFY COMPLIANCE WITH VOC FINISH MATERIALS PER CGC 4.504.2.4.

REFER TO SHEET A.4 FOR TYPICAL MATERIAL CALLOUTS.

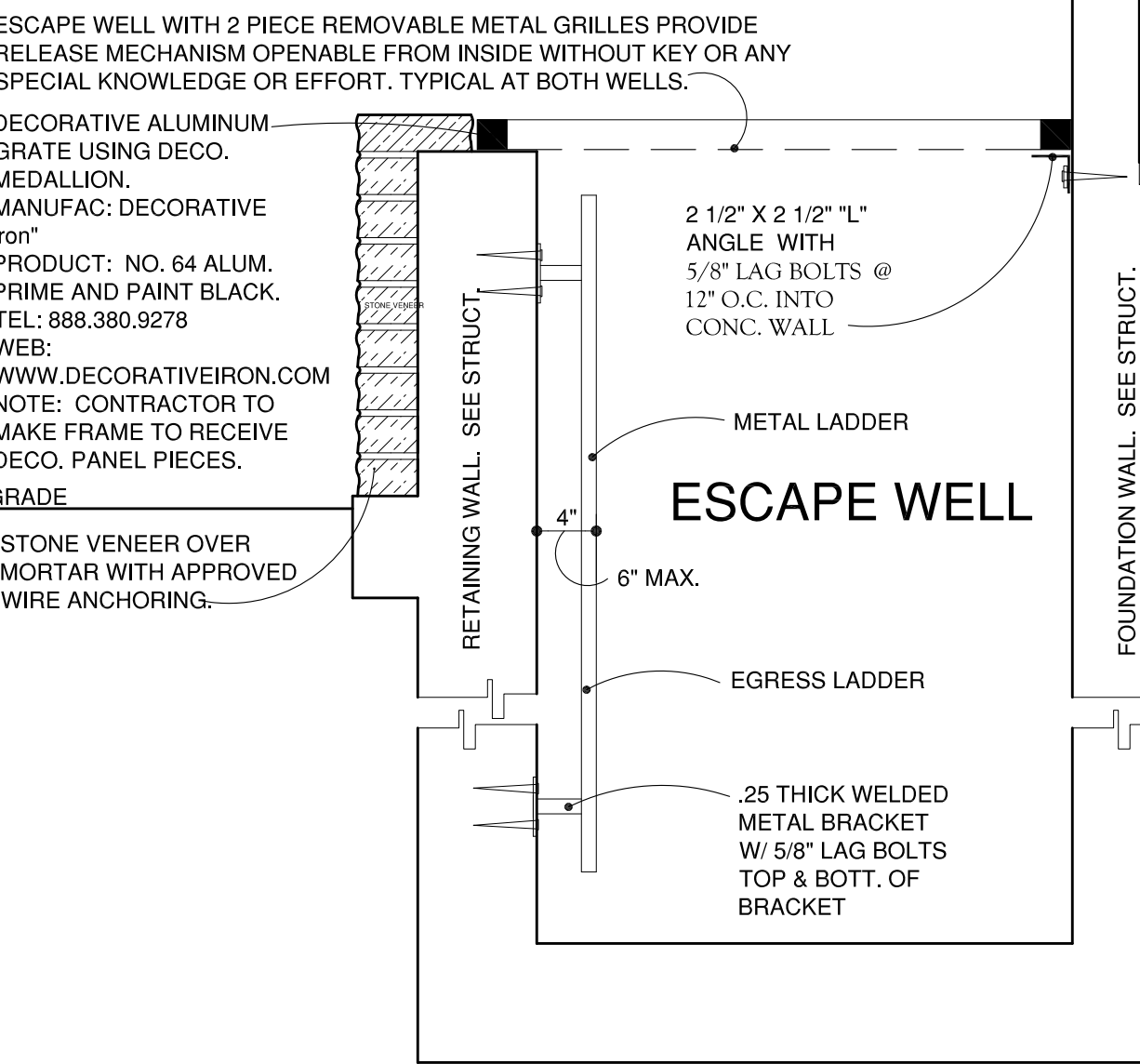
4~PROPOSED-LEFTSIDE~EAST ELEVATION

SCALE: 1/4"=1'-0"

DECORATIVE ALUMINUM GRATE USING DECO. MEDALLION.  
 MANUFAC. DECORATIVE IRON®  
 PRODUCT: NO. 64 ALUM.  
 PRIME AND PAINT BLACK.  
 TEL: 888.380.9278  
 WEB: WWW.DECORATIVEIRON.COM  
 NOTE: CONTRACTOR TO MAKE FRAME TO RECEIVE DECO.  
 PANEL PIECES.



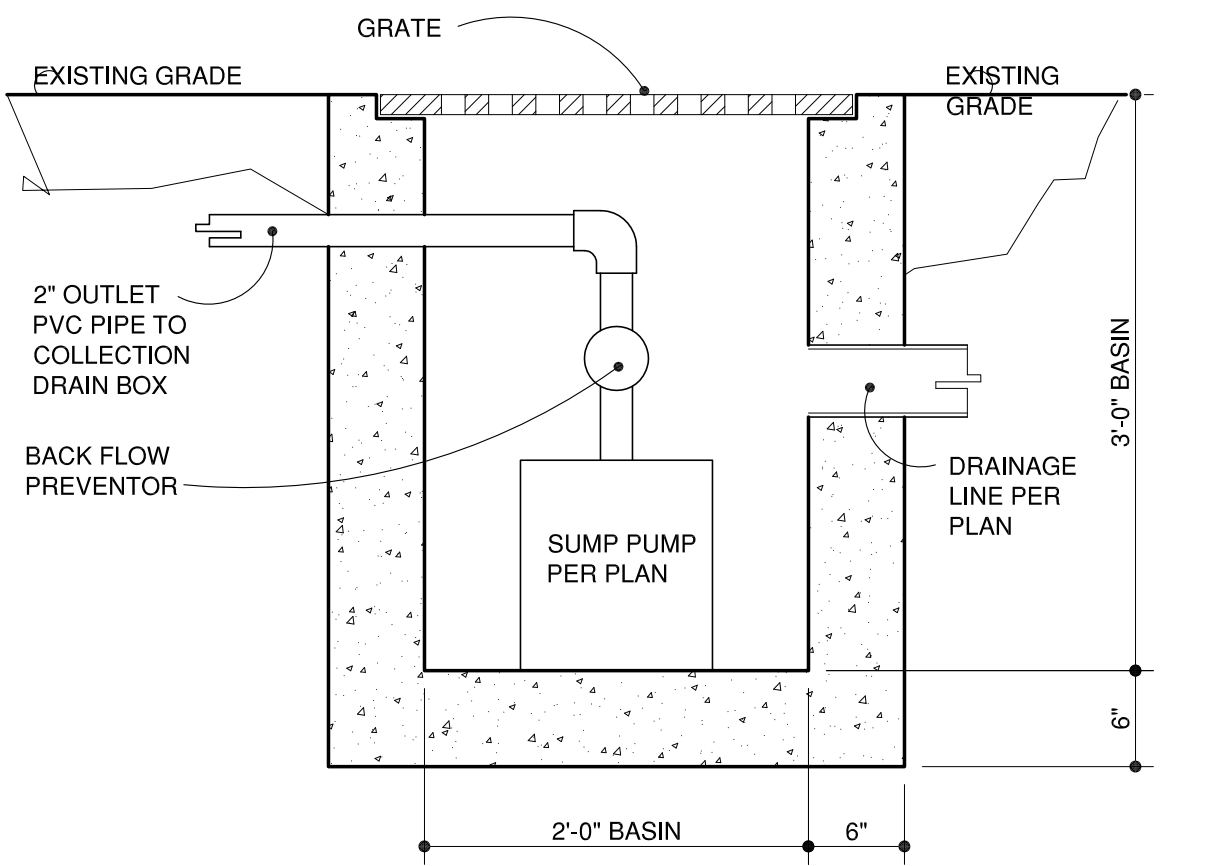
PLAN VIEW



SECTION A

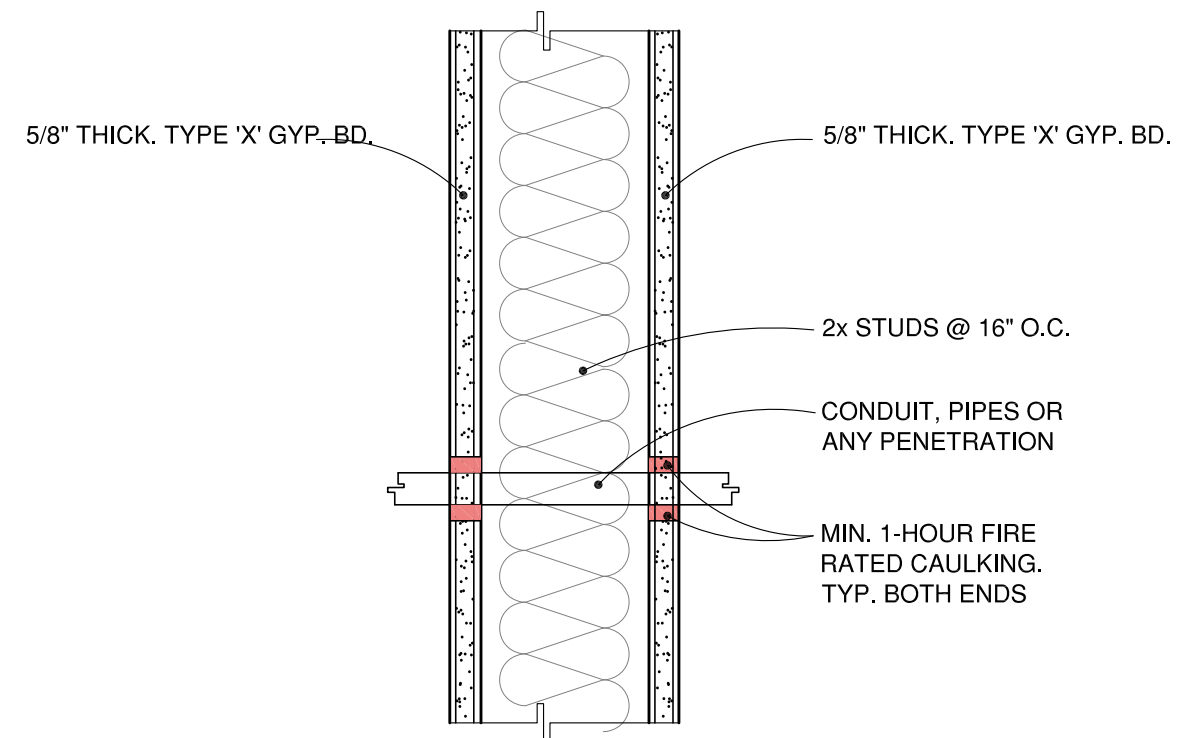
11 ESCAPE WELL

SCALE=1"=1'-0"



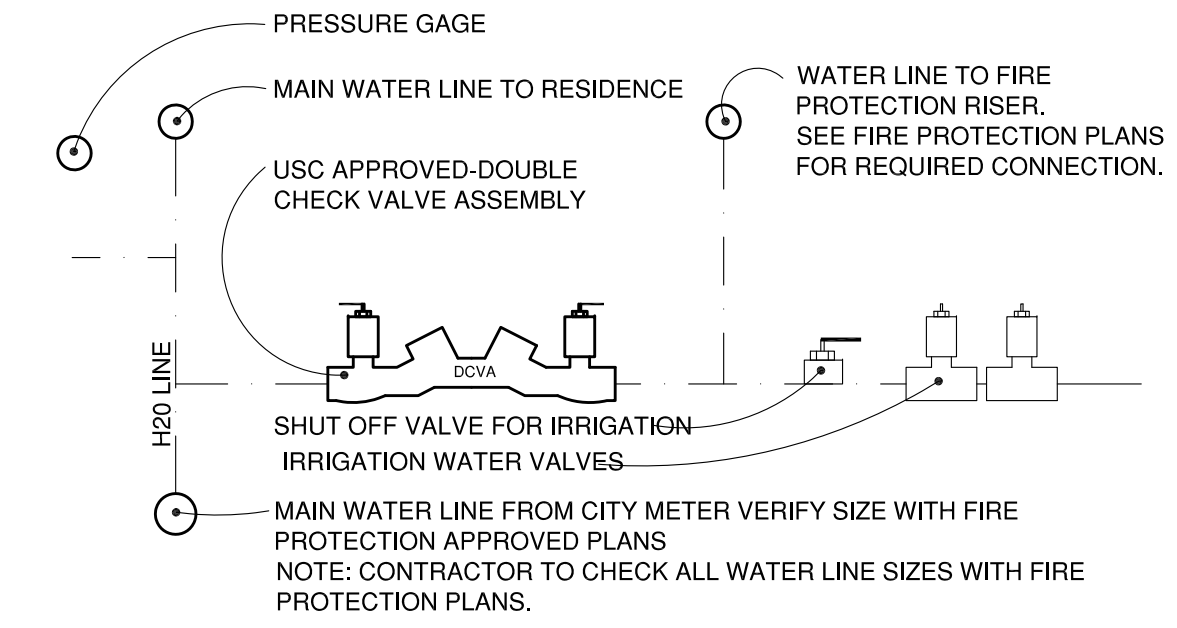
10 SUMP PUMP CATCH BASIN

SCALE=NTS



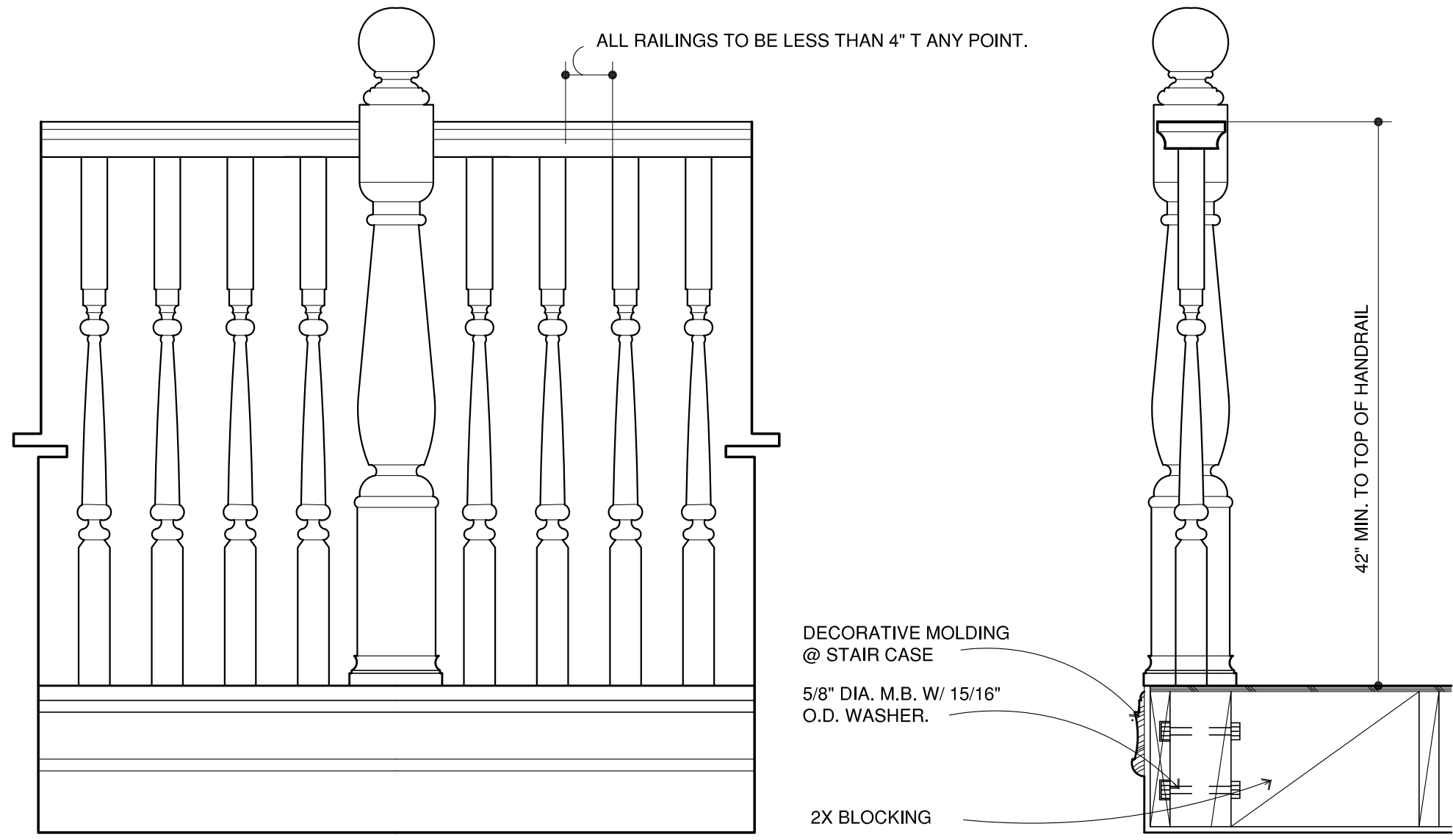
9 1-HOUR RATED WALL

SCALE=1"=1'-0"



8 CONC. STEDBL. CCK. VALVE ASSEM. (DCVA)PS

SCALE=1"=1'-0"

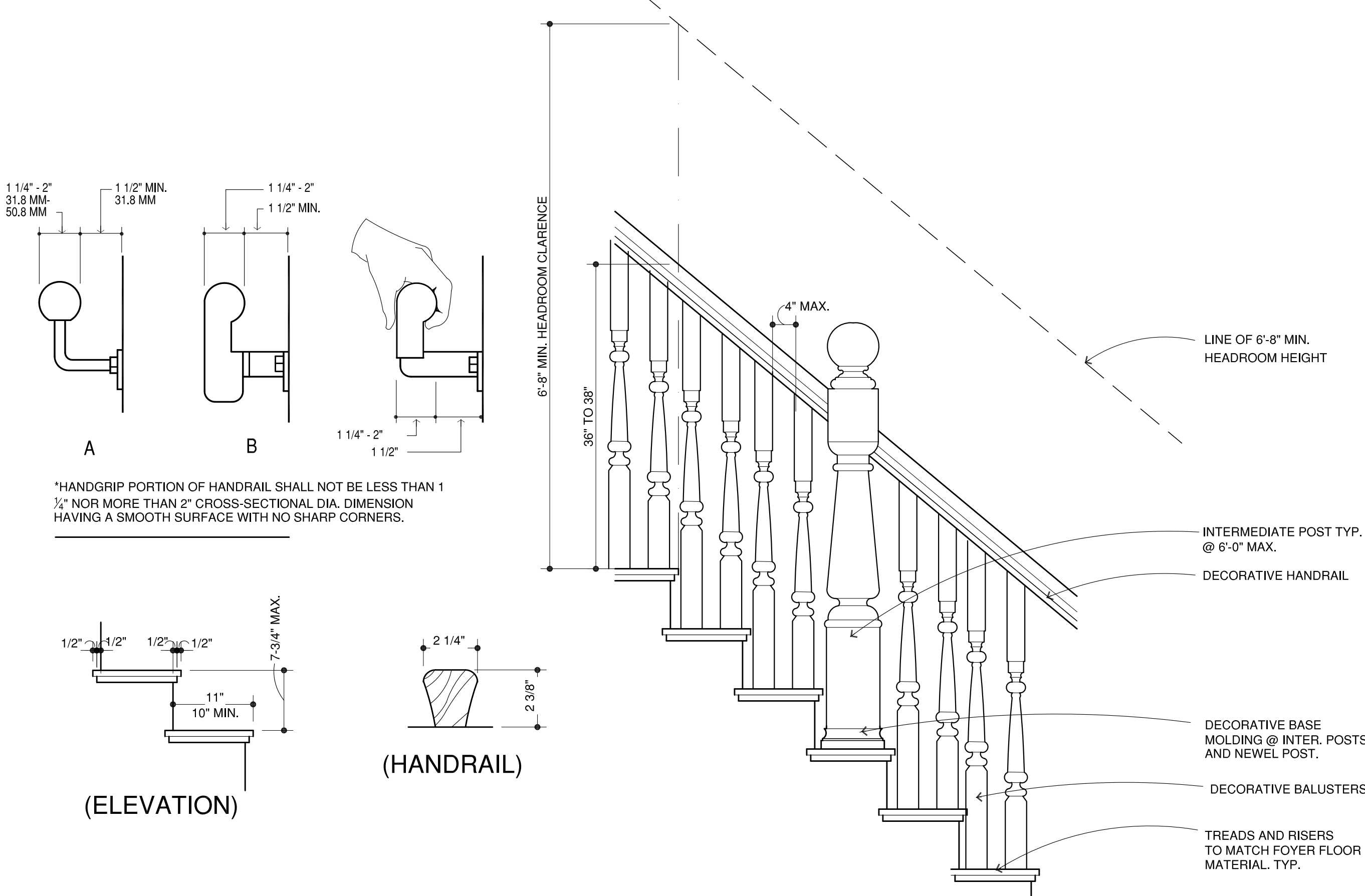


(ELEVATION)

(SECTION)

7 INTERIOR GUARDRAIL

SCALE=1"=1'-0"

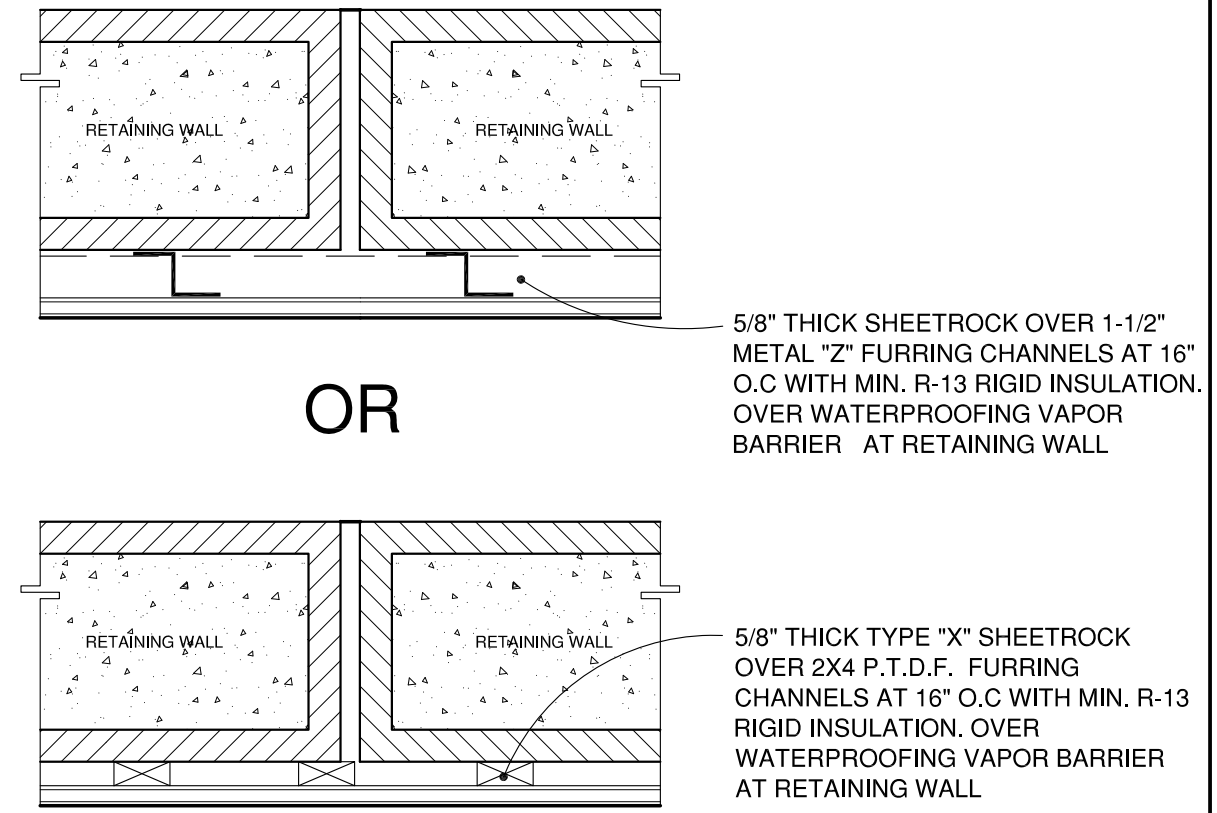


(ELEVATION)

(HANDRAIL)

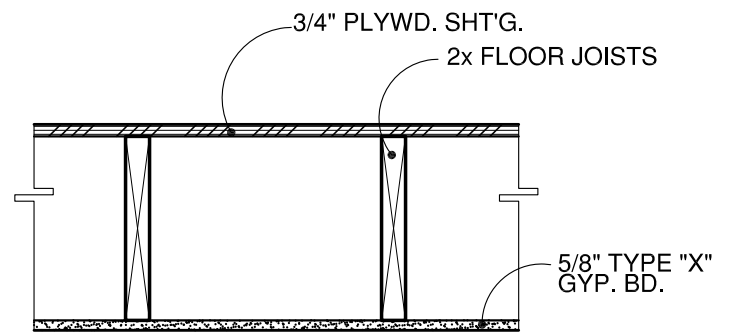
6 INTERIOR STAIR CASE HANDRAIL

SCALE=1"=1'-0"



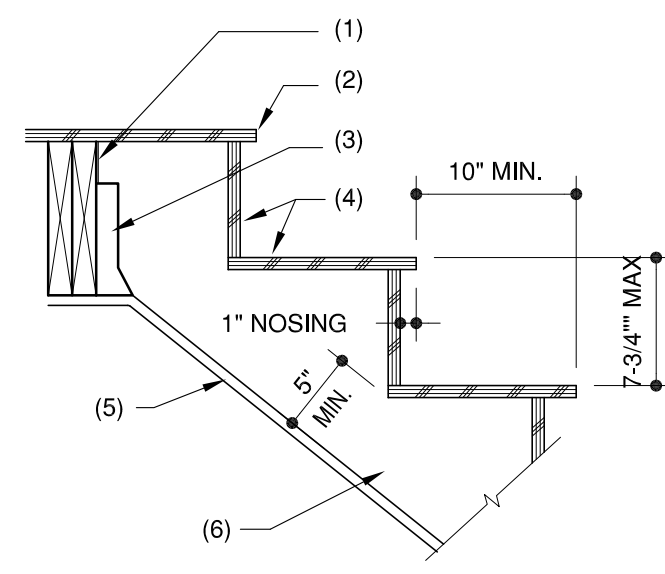
5 FURRING AT RETAINING WALL

SCALE=NTS



4 1-HR. R RATED CLG/FLOOR

SCALE=1"=1'-0"

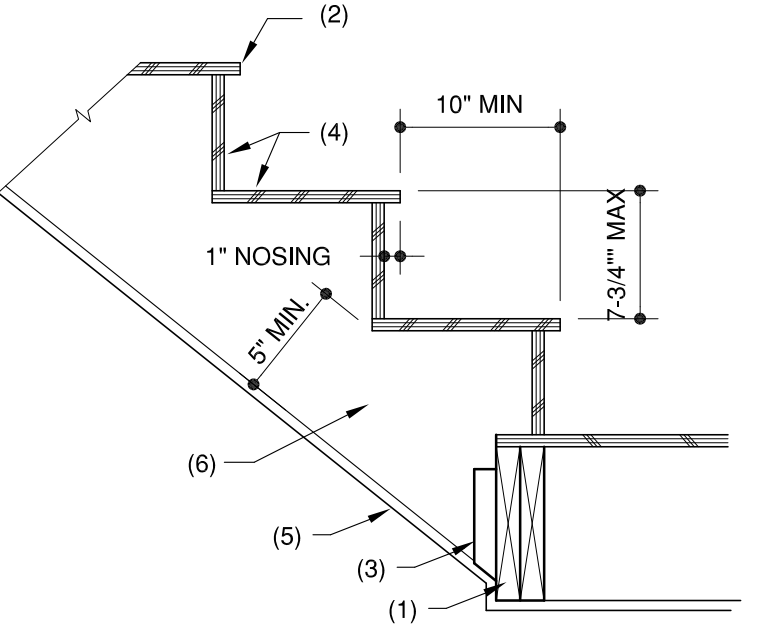


KEY NOTES:

1. DOUBLE JOIST OR HEADER
2. PLYWD SUBFLOOR OR EQUAL
3. APPROVED METAL HANGERS
4. 3/4" PLYWD THREADS & RISERS OR EQUAL
5. 5/8" TYPE "X" GYPBD, WHERE UNDERSIDE OF STAIR IS ACCESSIBLE, TYPICAL
6. 4x12 STRINGER AT 12" O.C.

3 STAIR TO LAND

SCALE=1"=1'-0"

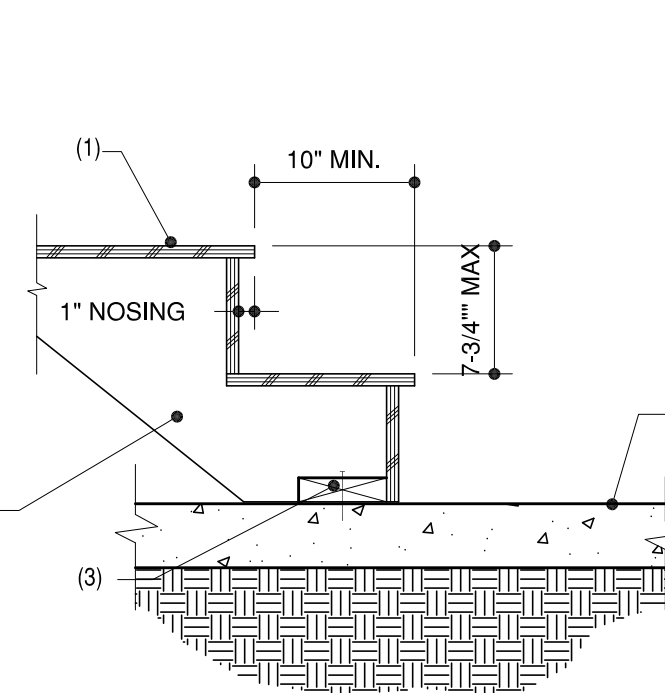


KEY NOTES:

1. DOUBLE JOIST OR HEADER
2. PLYWD SUBFLOOR OR EQUAL
3. APPROVED METAL HANGERS
4. 3/4" PLYWD THREADS & RISERS OR EQUAL
5. 5/8" TYPE "X" GYPBD, WHERE UNDERSIDE OF STAIR IS ACCESSIBLE, TYPICAL
6. 4x12 STRINGER AT 12" O.C.

2 STAIR @ FLOOR

SCALE=NTS



KEY NOTES:

1. 3/4" PLYWD PRESSURE TREATED TREADS & RISERS OR EQUAL
2. 4x12 STRINGER AT 12" O.C.
3. 2X6 P.T.D.F. THRUST PLATE ATTACH TO CONCRETE SLAB

1 STAIR TO CONCRETE SLAB

SCALE=1"=1'-0"

# CHUNG RESIDENCE

713 HOWARD AVE  
 BURLINGAME, CA

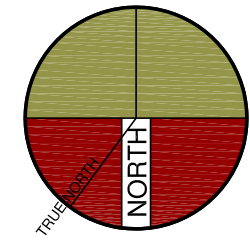
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△ SCHEME-2  
 PLANNING REVIEW COMMENTS-PC-1  
 7-20-2022



## SHEET TITLE DETAILS

PROJECT #: 2022-?  
 DRAWN BY:  
 DATE: 2-2-2022  
 SCALE PER SHEET

DRAWING NUMBER

AD.1

# CHUNG RESIDENCE

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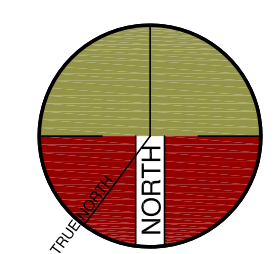
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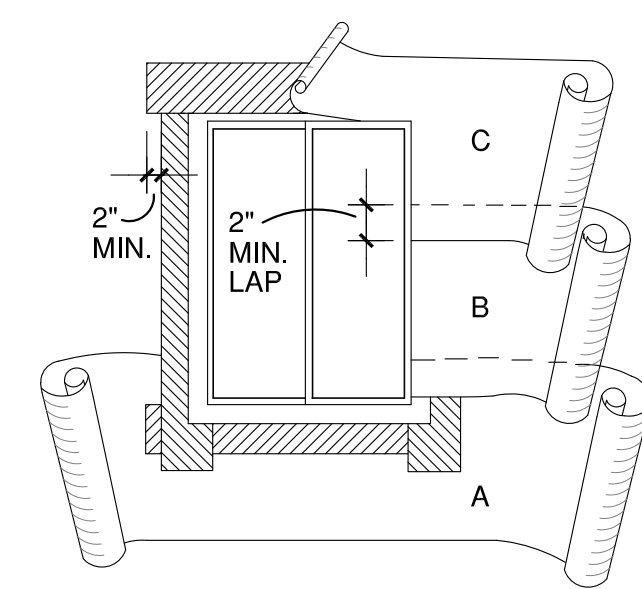


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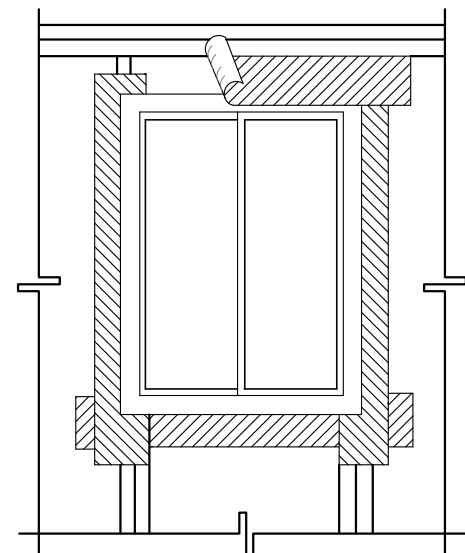
AD.2



STARTING AT THE BOTTOM OF THE WALL (SOLE PLATE), LAY WATER-RESISTANT PAPER UNDER THE SILL STRIP. CUT ANY EXCESS WATER-RESISTANT PAPER THAT MAY EXTEND ABOVE THE SILL FLANGE ON EACH SIDE OF THE OPENING. (SHOWN IN DIAGRAM AS SHORT DASH LINES.) INSTALL SUCCEEDING COURSES OF WATER-RESISTANT PAPER (R.C. #4) OVER JAMB AND HEAD FLANGES IN SINGLE-BOARD FASHION.

(STEP 4)

LINE WIRE, WHEN USED AS BACKING TO SUPPORT WATER-RESISTANT BUILDING PAPER OR FELT BENEATH LATH FOR STUCCO SHOULD BE INSTALLED ACCORDING TO INDUSTRY STANDARDS AND PRACTICE. NO ATTACHMENT DEVICES NOR THE WIRE BACKING SHOULD COVER OR PENETRATE FLASHING MATERIAL. PERIPHERAL FLASHING AT ALL EDGES OF WALL OPENINGS MUST COVER WIRE BACKING.

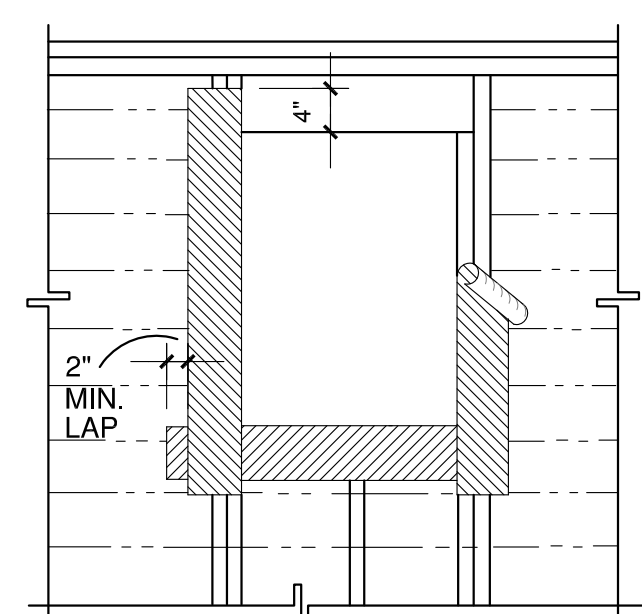


APPLY A BEAD OF CAULKING TO THE BACK SURFACES OF THE WINDOW. THEN PLACE THE WINDOW INTO THE ROUGH OPENING, WITH FLANGES OVER THE INSTALLED FLASHING MATERIAL. AFTER WINDOW IS PLACED, INSTALL THE HEAD FLASHING OVER THE WINDOW FLANGE. THIS IS ANOTHER STRIP OF FLASHING MATERIAL AT LEAST 9" WIDE.

(STEP 3)

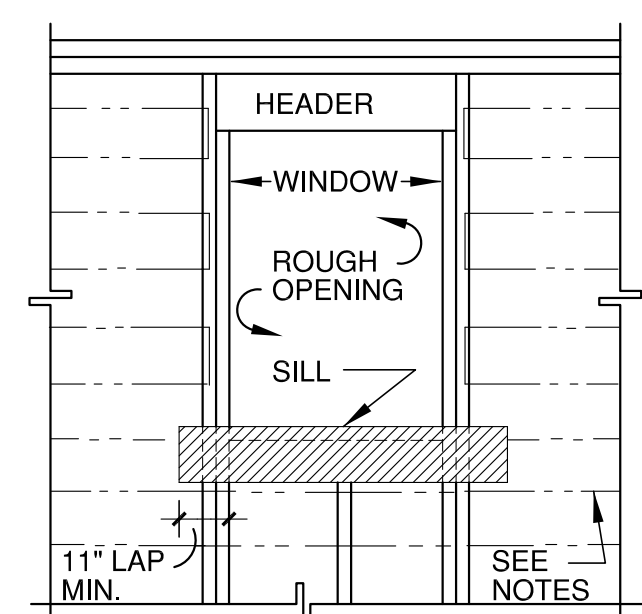
NOTES:  
SECTION 1402.2 OF THE UNIFORM BUILDING CODE STATES, "EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE WATERPROOF." THE FOLLOWING PROCEDURE IS RECOMMENDED TO ACHIEVE THIS INTENT IN THE FLASHING OF PENETRATIONS TO INCLUDE, BUT NOT LIMITED TO, WINDOWS, DOORS, VENTS, ETC.

PENETRATION FLASHING MATERIAL FOR FLASHING SHALL BE BARRIER COATED REINFORCED FLASHING MATERIAL AND SHALL PROVIDE FOR 4-HOUR MINIMUM PROTECTION FROM WATER PENETRATION WHEN TESTED IN ACCORDANCE WITH ASTM D 778. FLASHING MATERIAL SHALL CARRY CONTINUOUS IDENTIFICATION. SEALANT SHALL BE BUTYL TO COMPLY WITH FED. SPEC. TT-8-1657.



AFTER SILL STRIP IS IN PLACE, ATTACH JAMB STRIPS (SIDE OF OPENING) AT LEAST 9" WIDE WITH INSIDE EDGE OF FLASHING MATERIAL EVEN WITH EDGE OF WINDOW OPENING. START JAMB STRIPS 2" BELOW THE SILL STRIP AND EXTEND JAMB STRIPS 4" ABOVE THE LOWER EDGE OF THE HEADER (TOP OF THE WINDOW OPENING).

(STEP 2)



ATTACH A SILL STRIP OF FLASHING MATERIAL AT LEAST 9" WIDE WITH THE TOP EDGE EVEN WITH THE TOP EDGE OF THE ROUGH SILL. EXTEND THIS SILL STRIP AT LEAST 11" BEYOND THE EDGE OF THE ROUGH OPENING FOR WINDOW. ATTACH FLASHING MATERIAL WITH GALVANIZED ROOFING NAILS OR RUST-RESISTANT STAPLES.

(STEP 1)

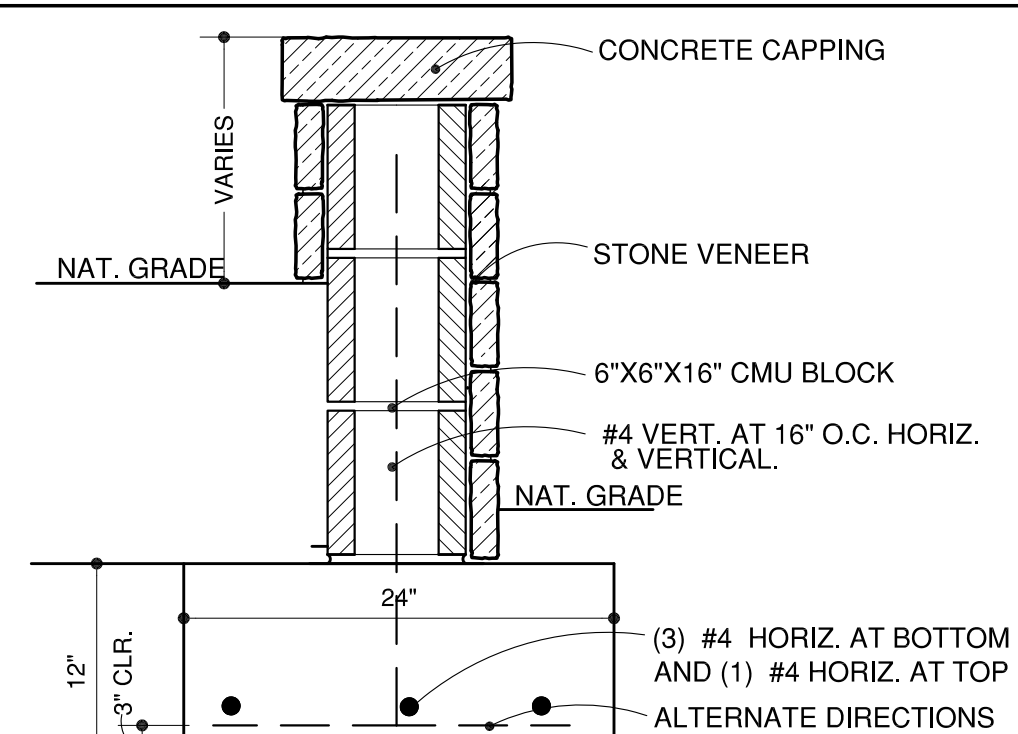
28 WINDOW FLASHING MATERIAL APPLICATION SCALE=3"=1'-0"

27 NOT USED SCALE=3"=1'-0"

26 NOT USED SCALE=3"=1'-0"

25 NOT USED SCALE=3"=1'-0"

24 GARDEN WALL SCALE=3"=1'-0"

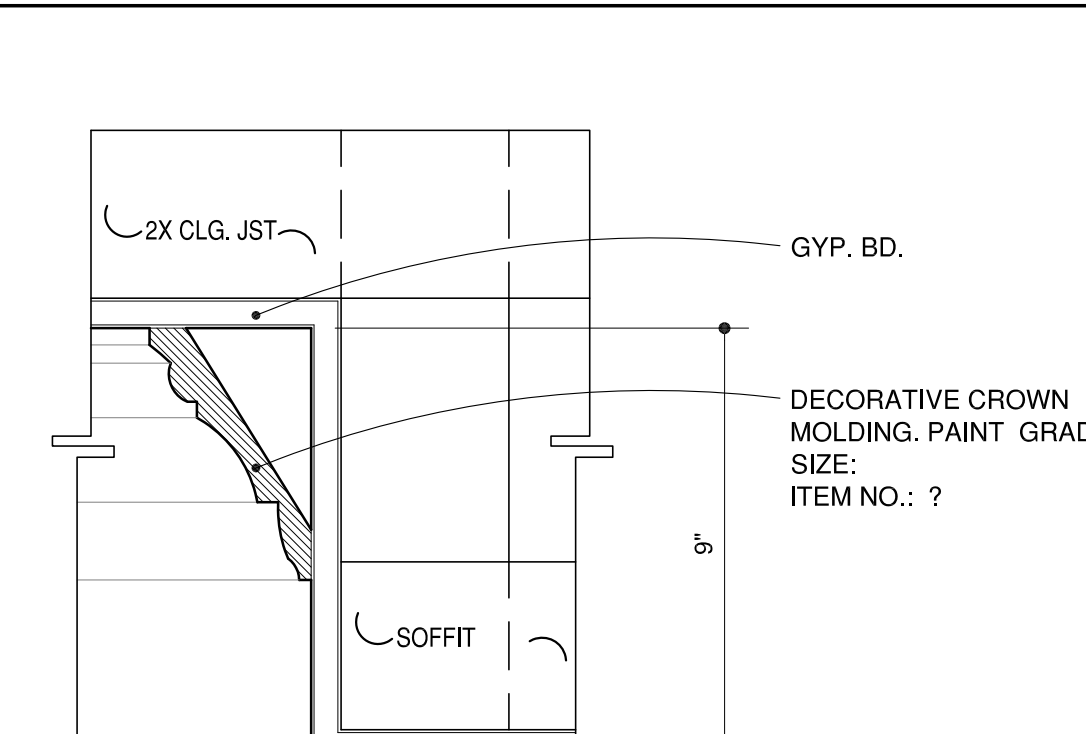
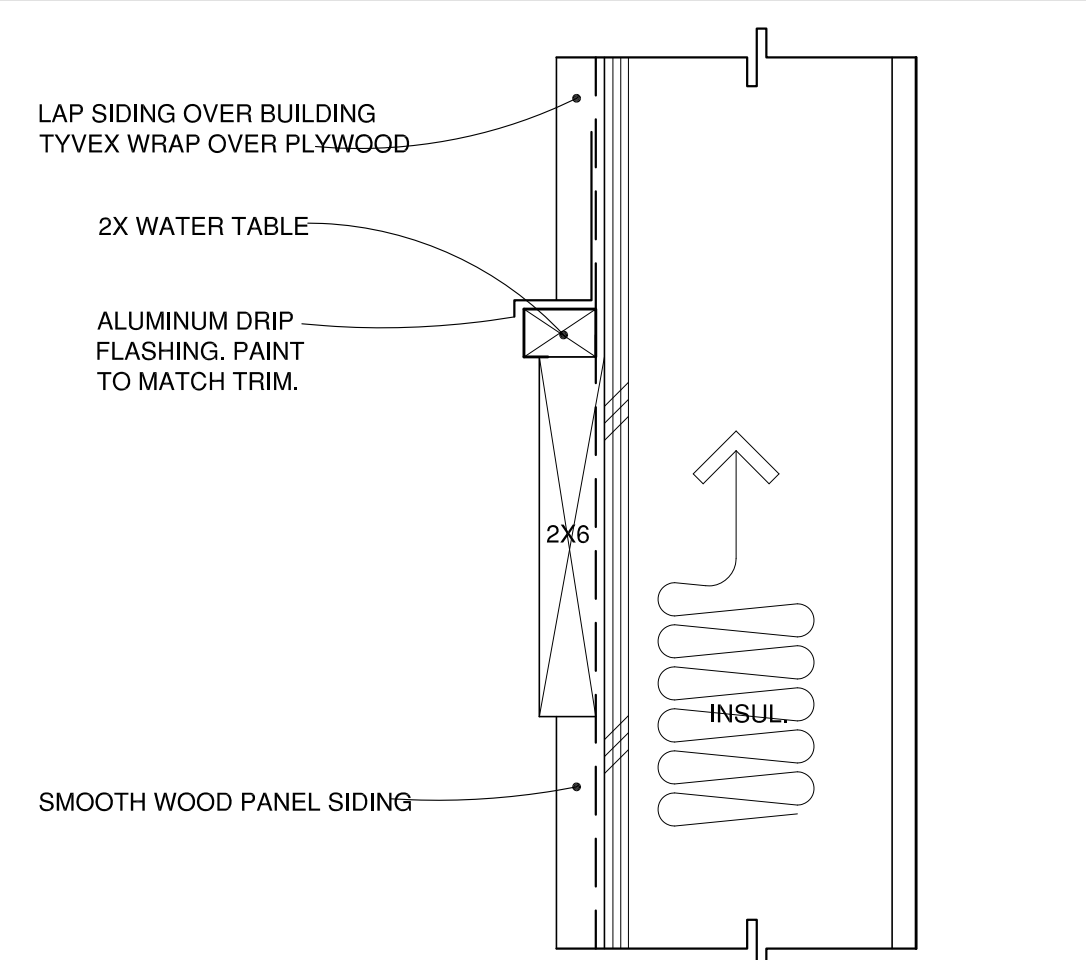
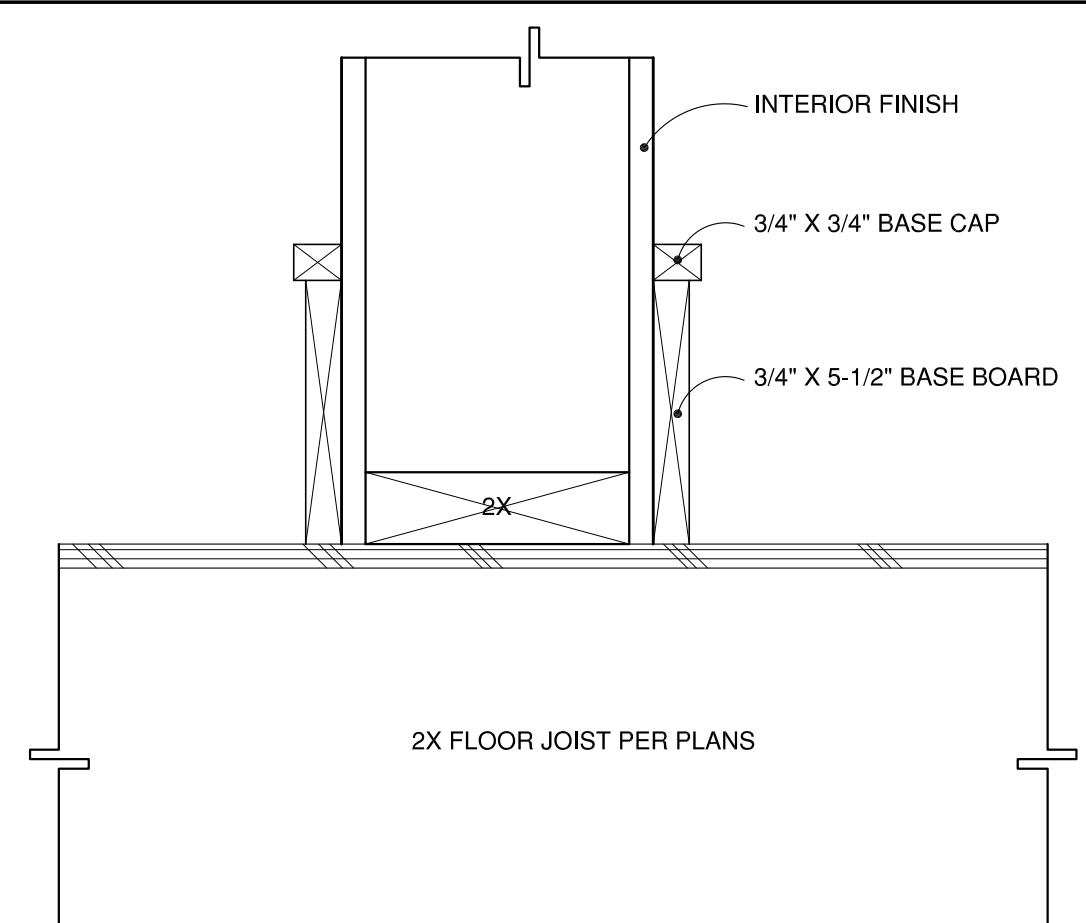


23 NOT USED SCALE=3"=1'-0"

22 BASEBOARD SCALE=3"=1'-0"

21 INTERMEDIATE TRIM SCALE=3"=1'-0"

20 CROWN MOLDING SCALE=3"=1'-0"

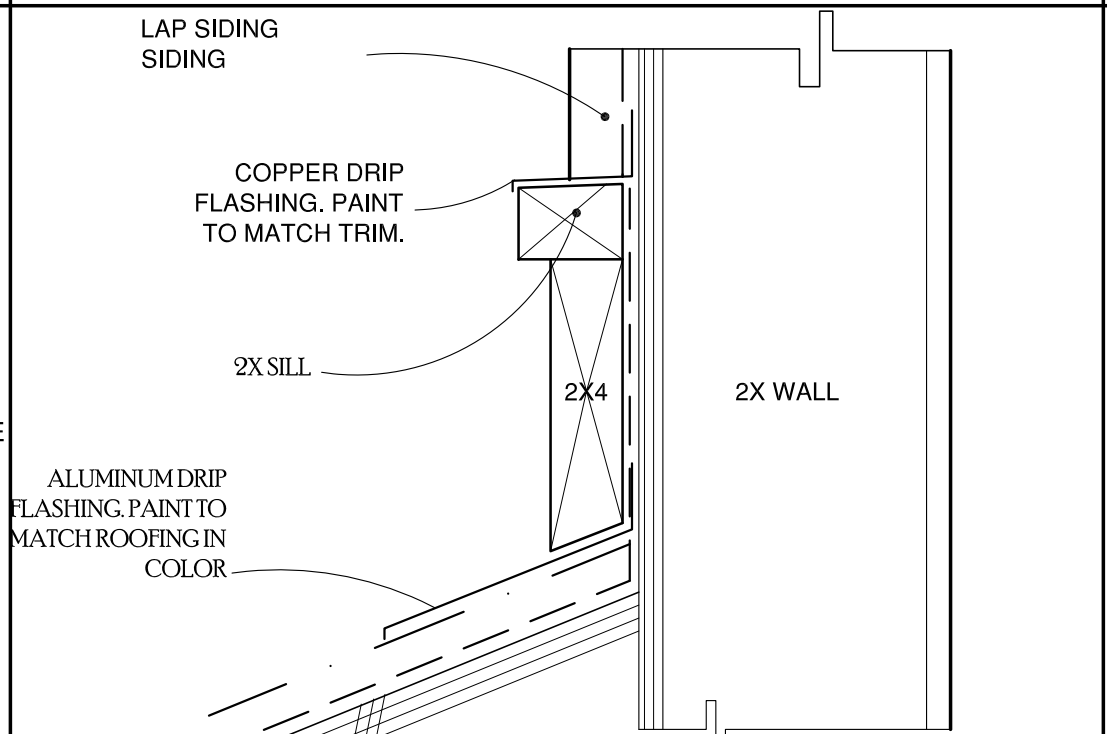
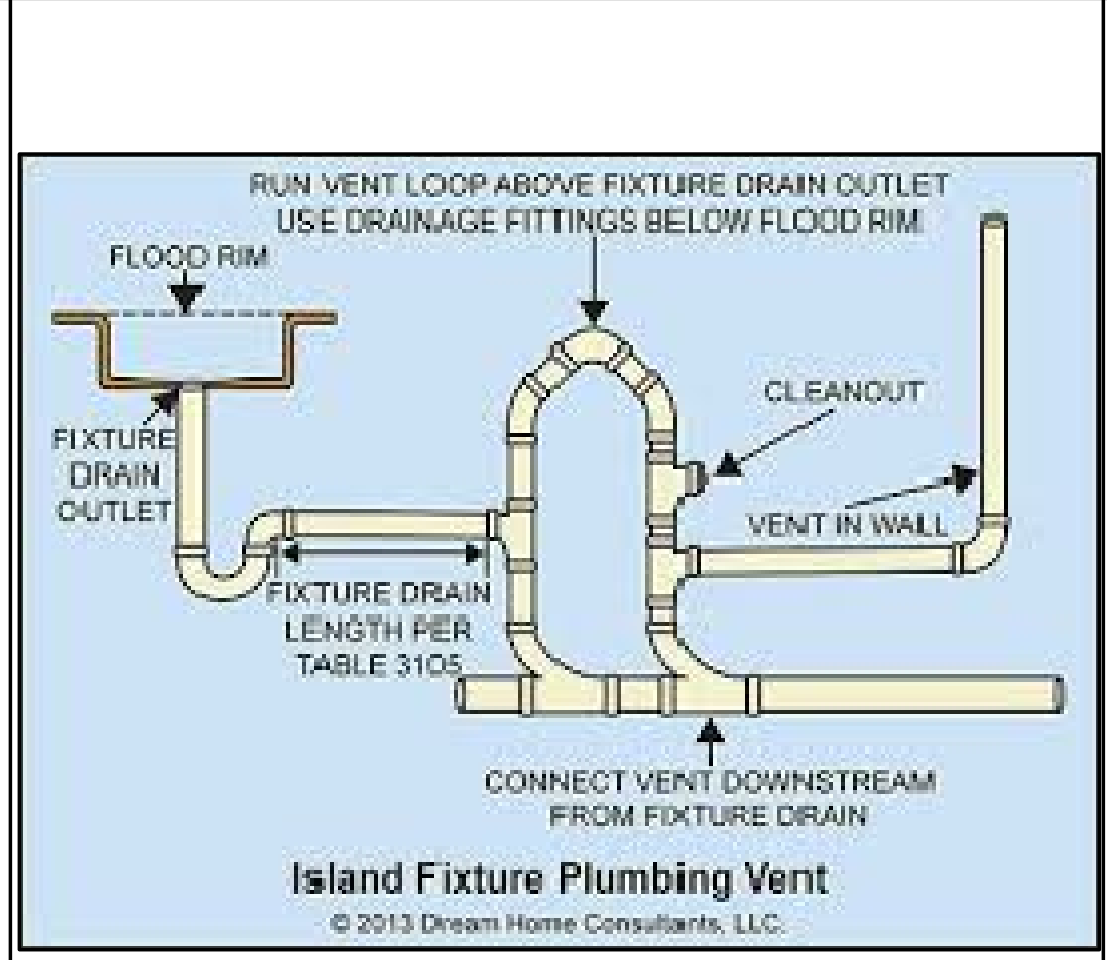
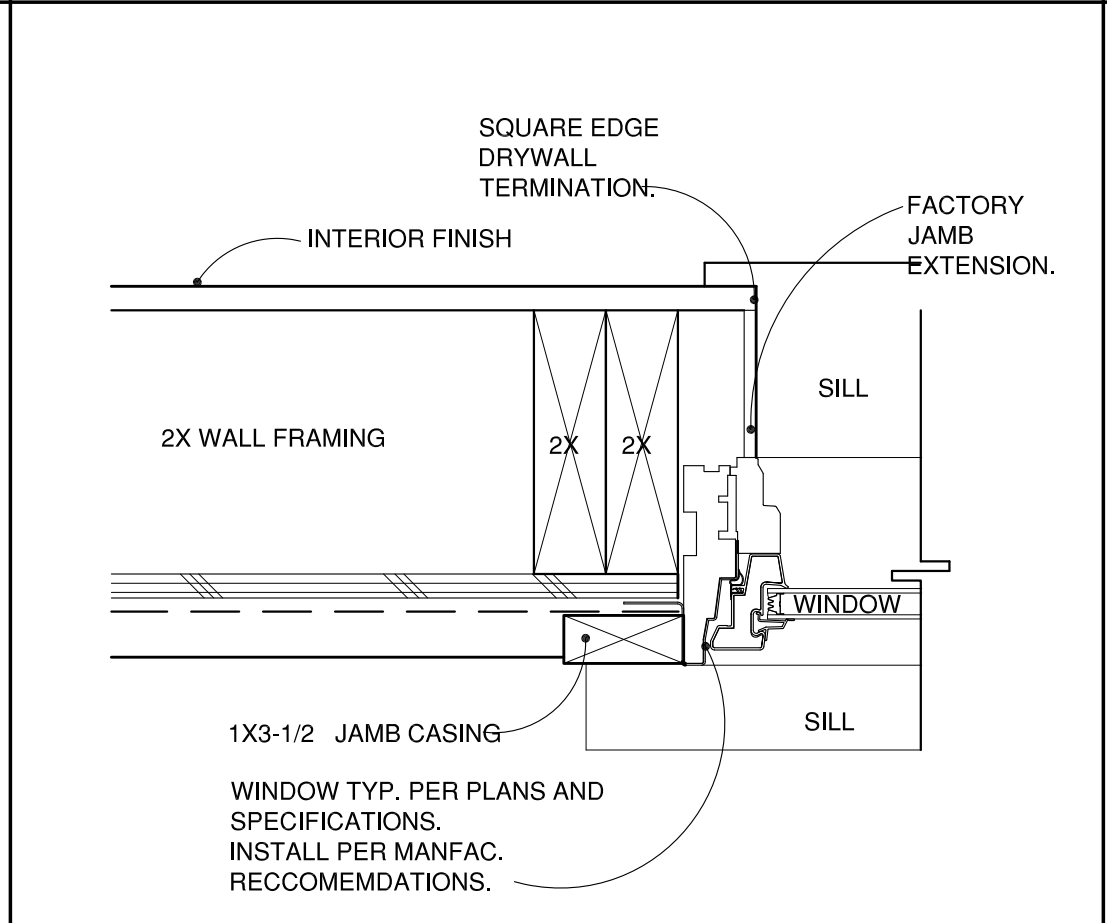


19 WINDOW HEAD SCALE=3"=1'-0"

18 WINDOW JAMB SCALE=3"=1'-0"

17 LOOP VENT DETAIL SCALE=3"=1'-0"

16 WATER TABLE ROOF TO WALL SCALE=3"=1'-0"

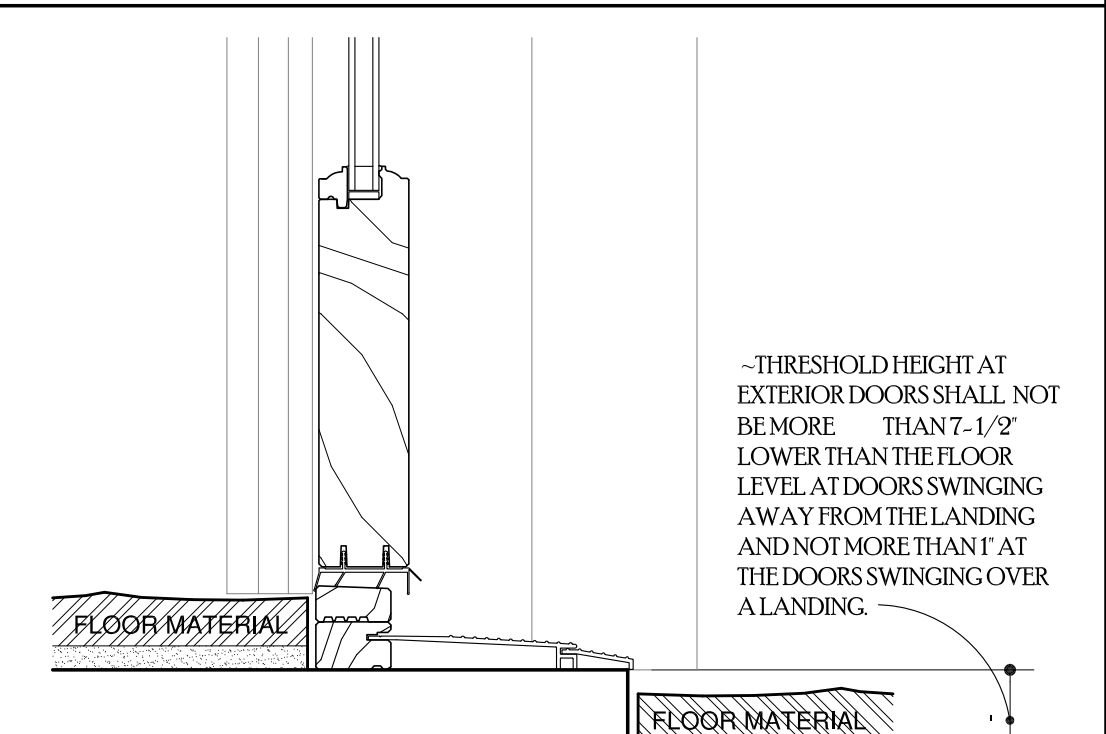
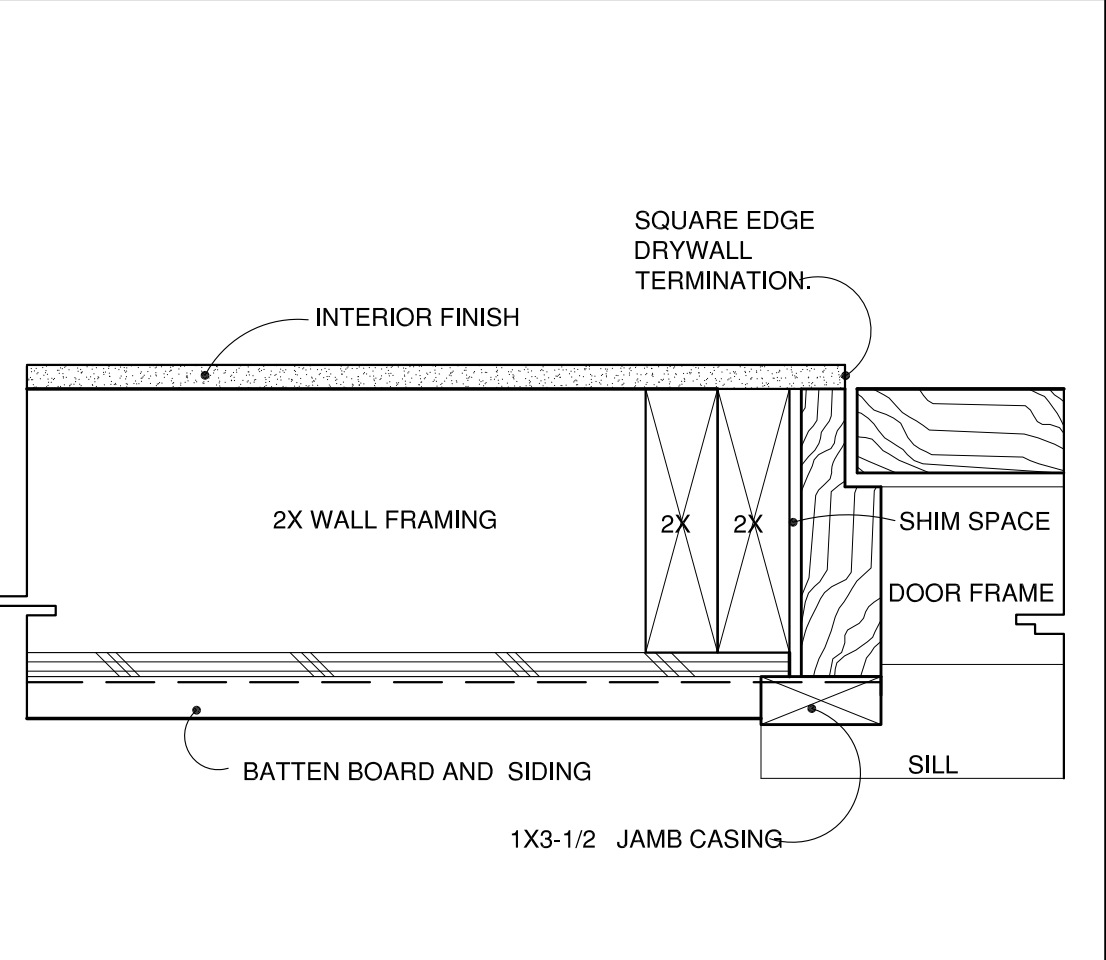
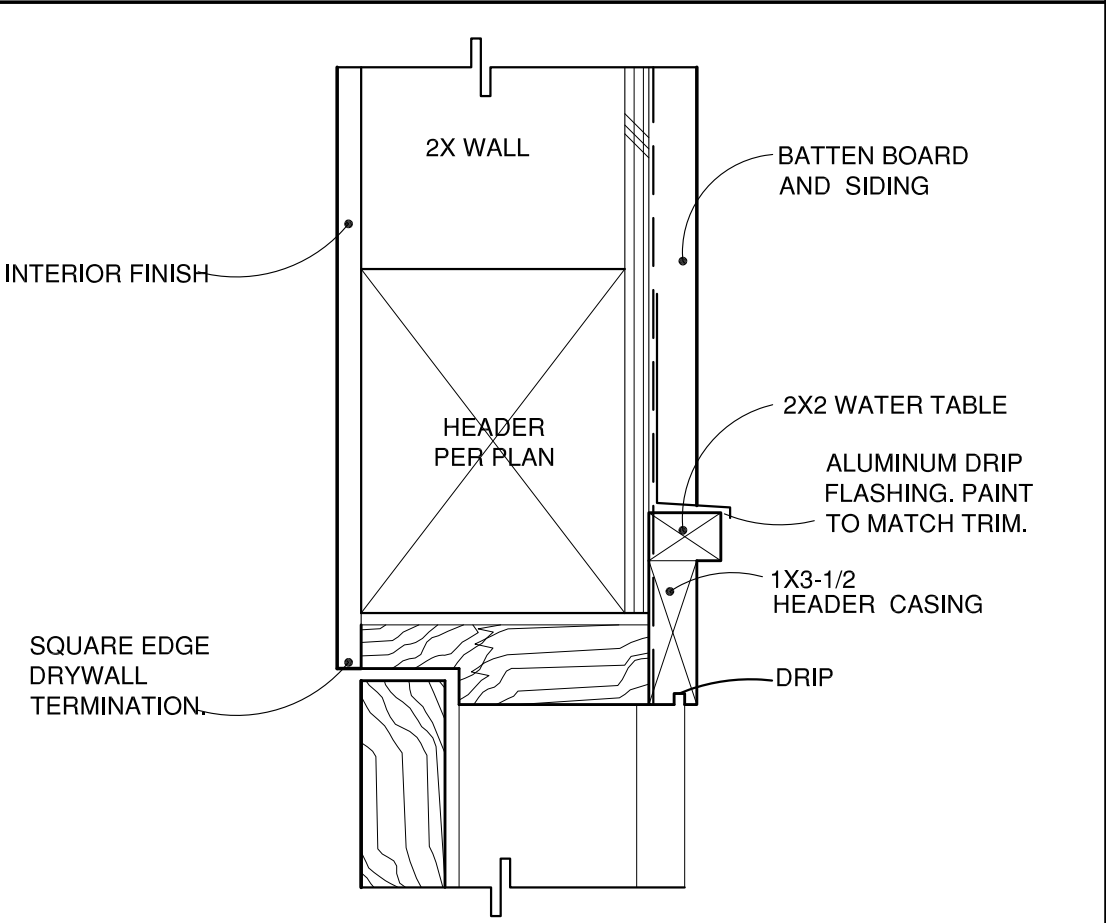


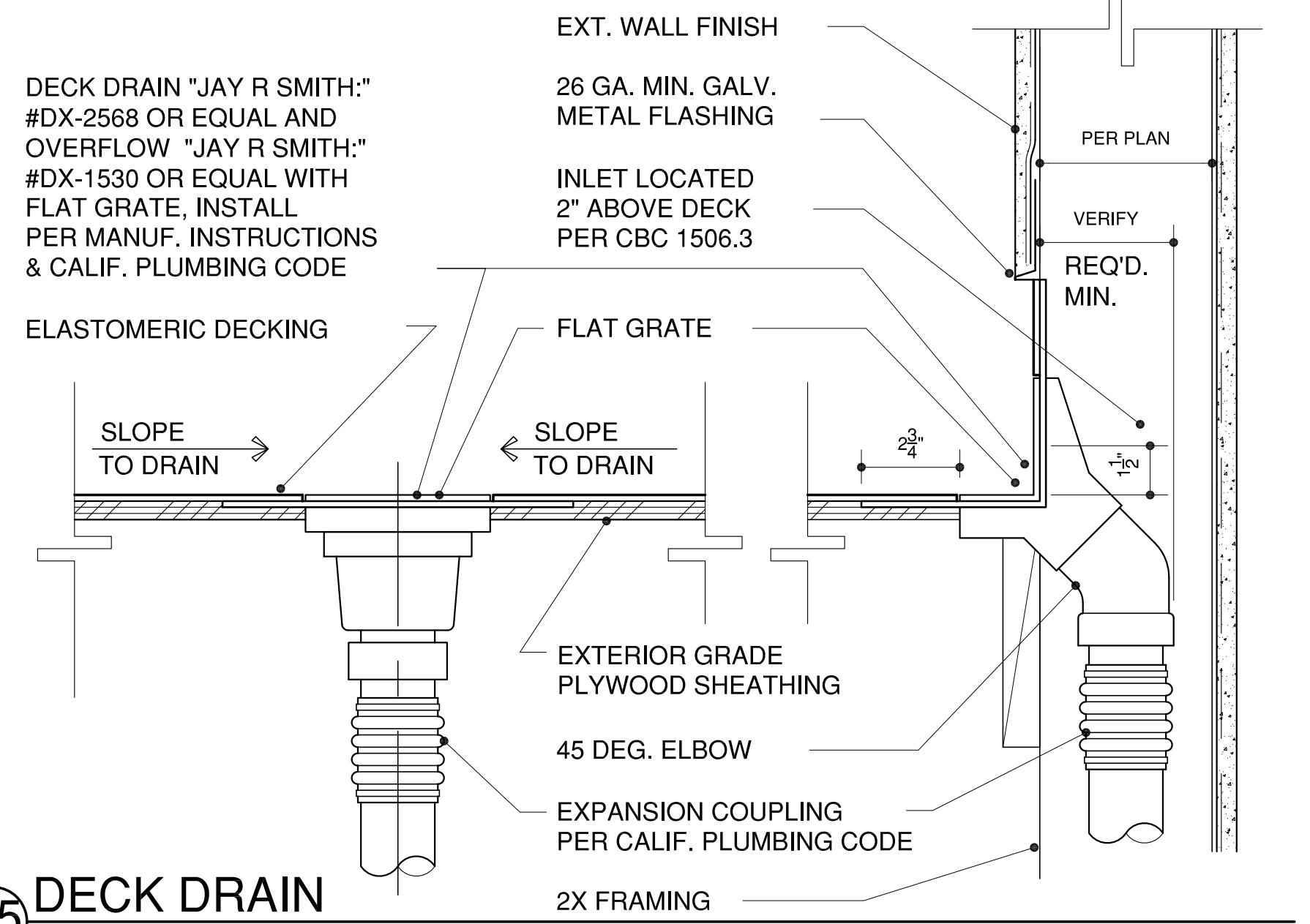
15 WINDOW SILL SCALE=3"=1'-0"

14 DOOR HEAD SCALE=3"=1'-0"

13 DOOR JAMB SCALE=3"=1'-0"

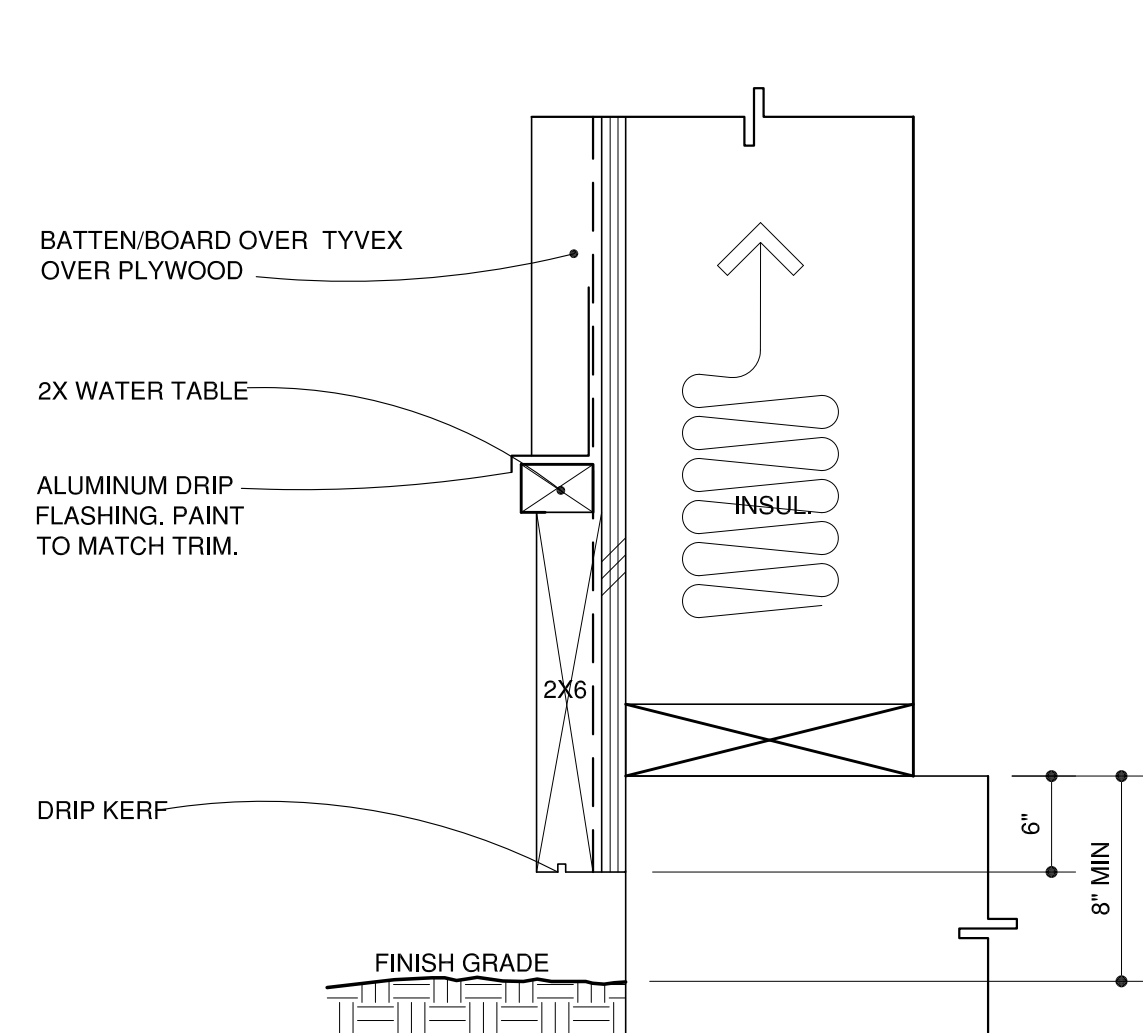
12 DOOR SILL SCALE=3"=1'-0"





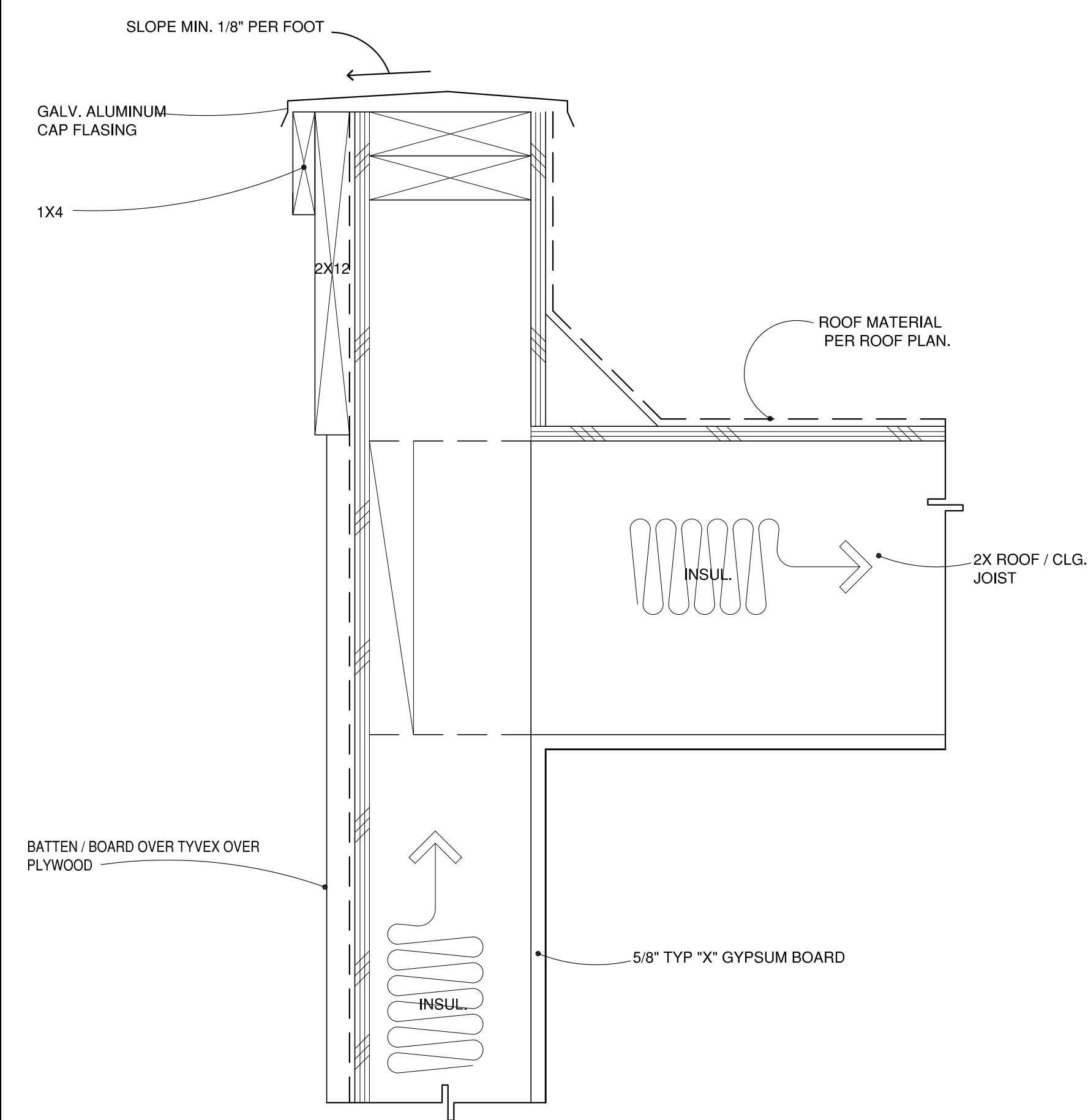
35 DECK DRAIN

SCALE=3"=1'-0"



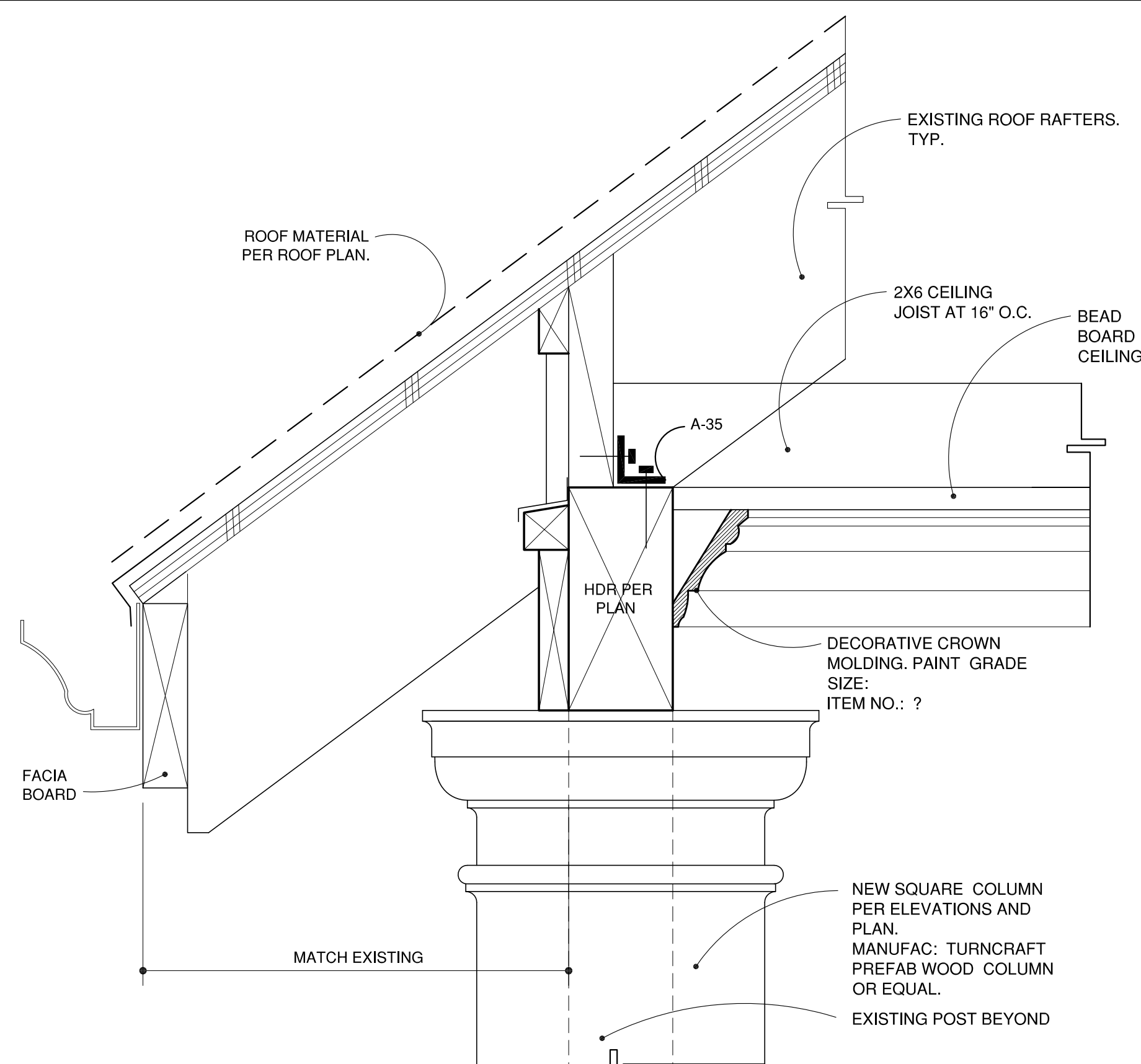
32 EXTERIOR SIDING BASE TERMINATION

SCALE=3"=1'-0"



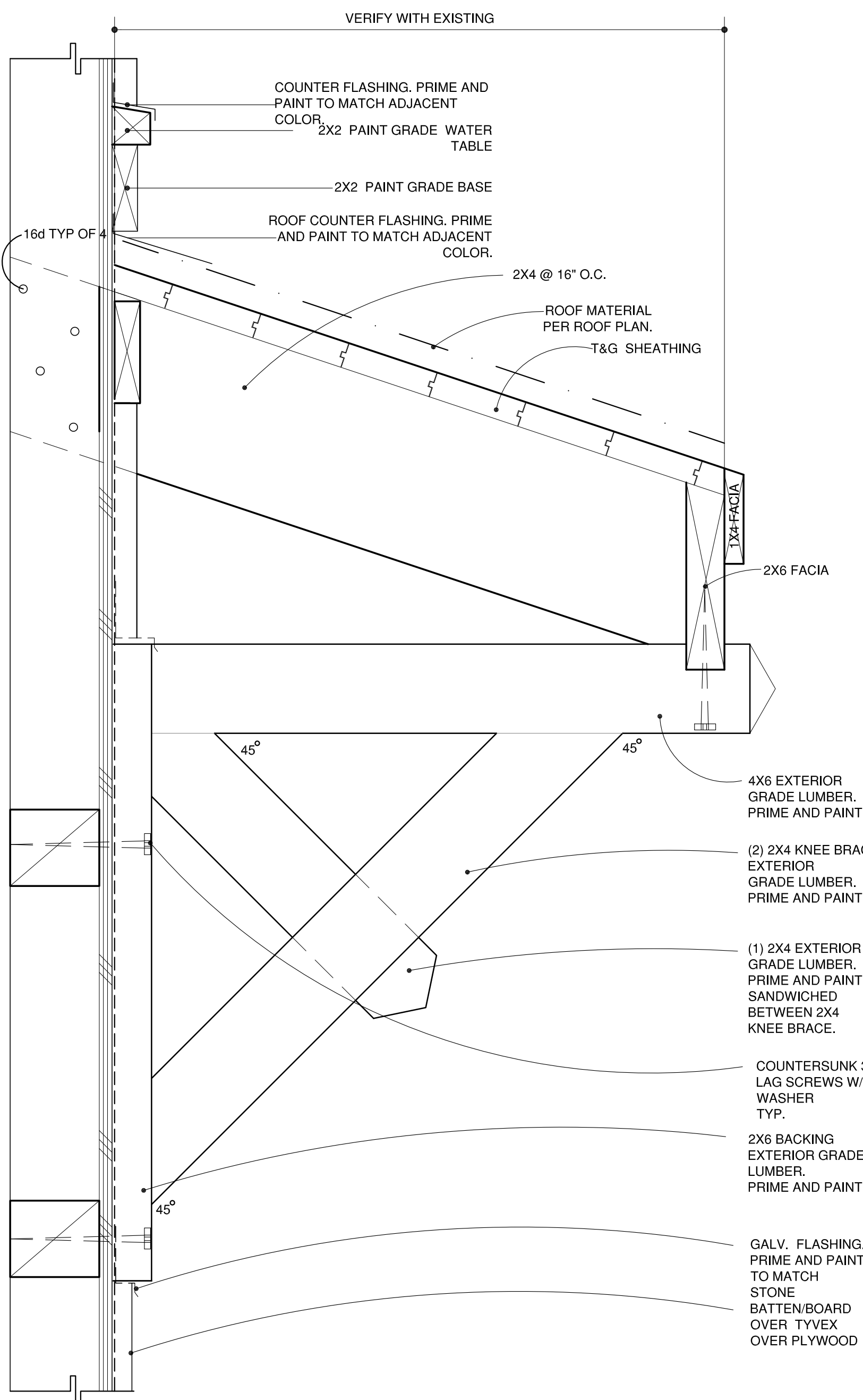
30 PARAPET

SCALE=3"=1'-0"



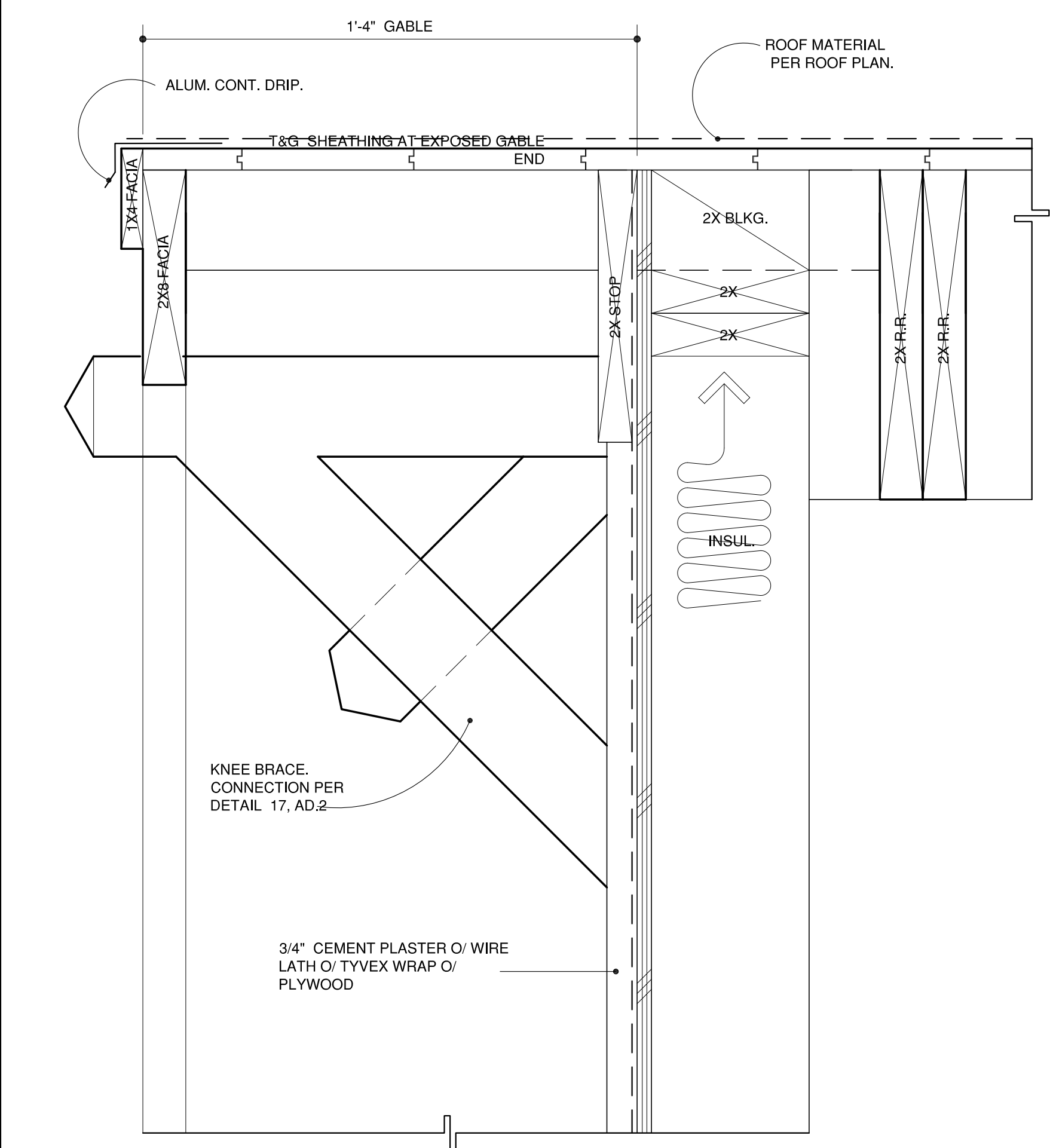
34 COLUMN CAP TO PORCH ROOF

SCALE=3"=1'-0"



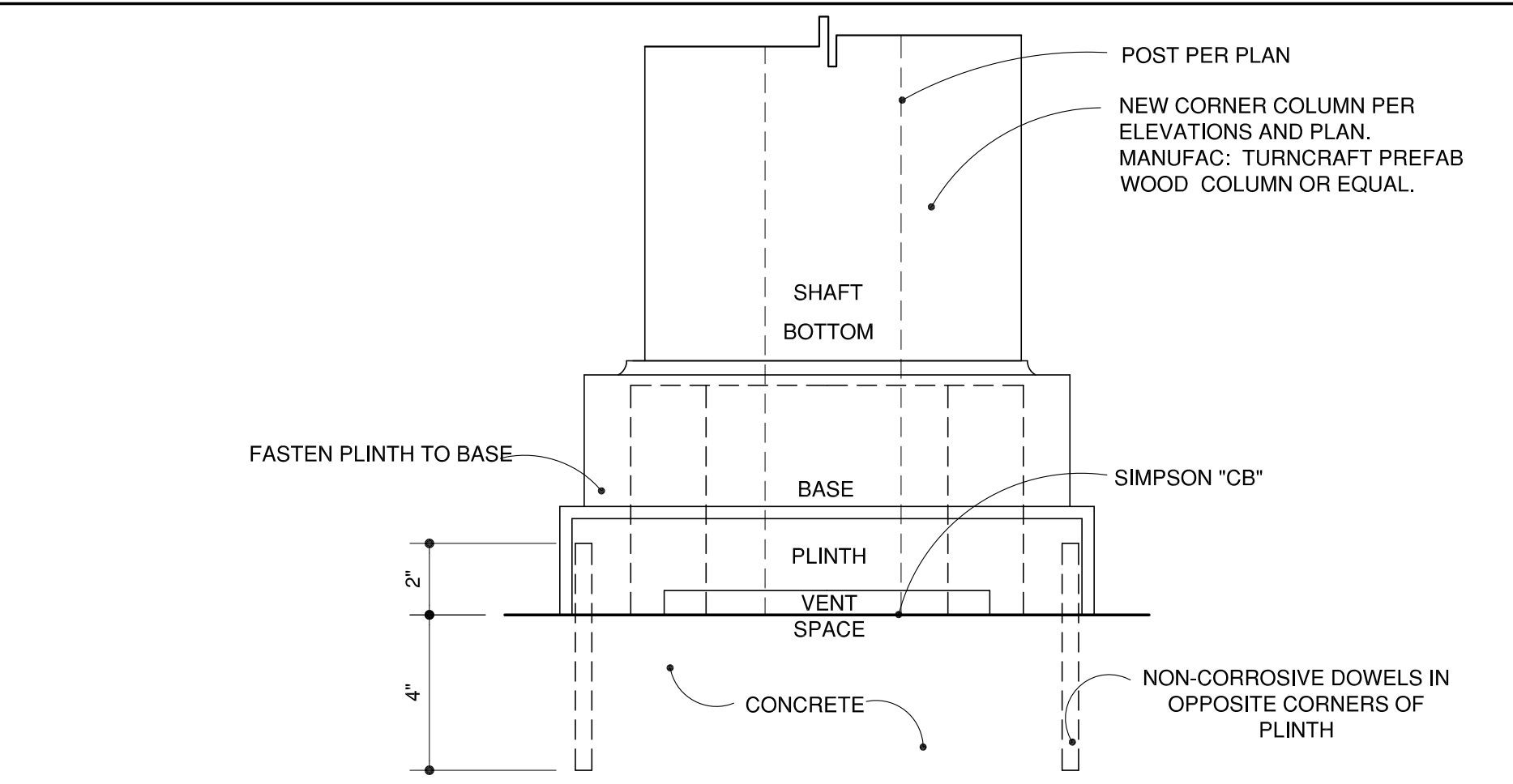
31 SHED ROOF WITH KNEE BRACE

SCALE=3"=1'-0"



29 GABLE KNEE BRACE

SCALE=3"=1'-0"



33 COLUMN BASE

SCALE=3"=1'-0"

# CHUNG RESIDENCE

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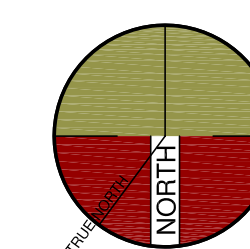
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DATE: 2-2-2022  
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AD.3

# CHUNG RESIDENCE

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BURLINGAME, CA

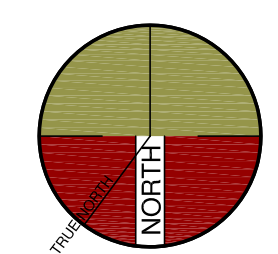
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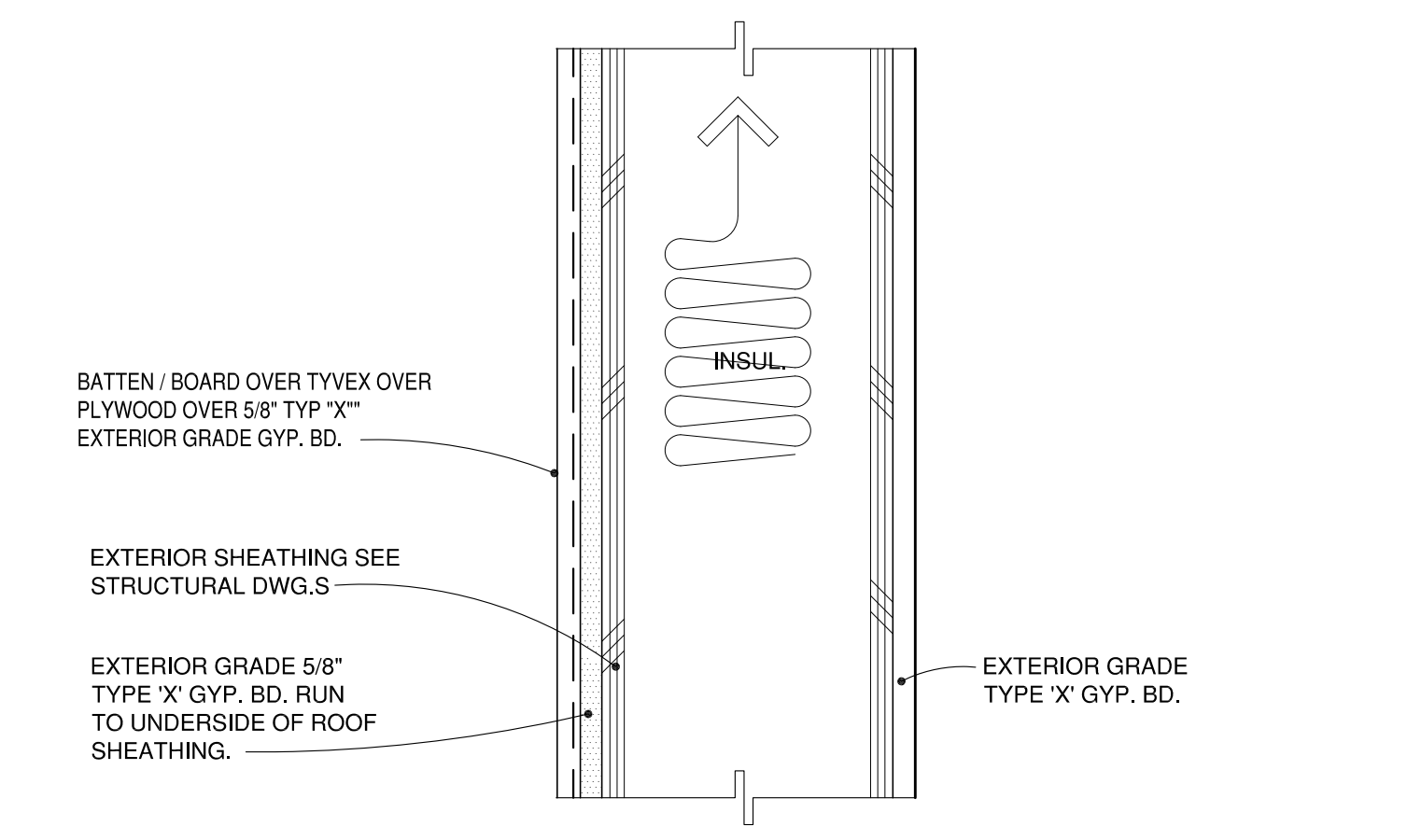


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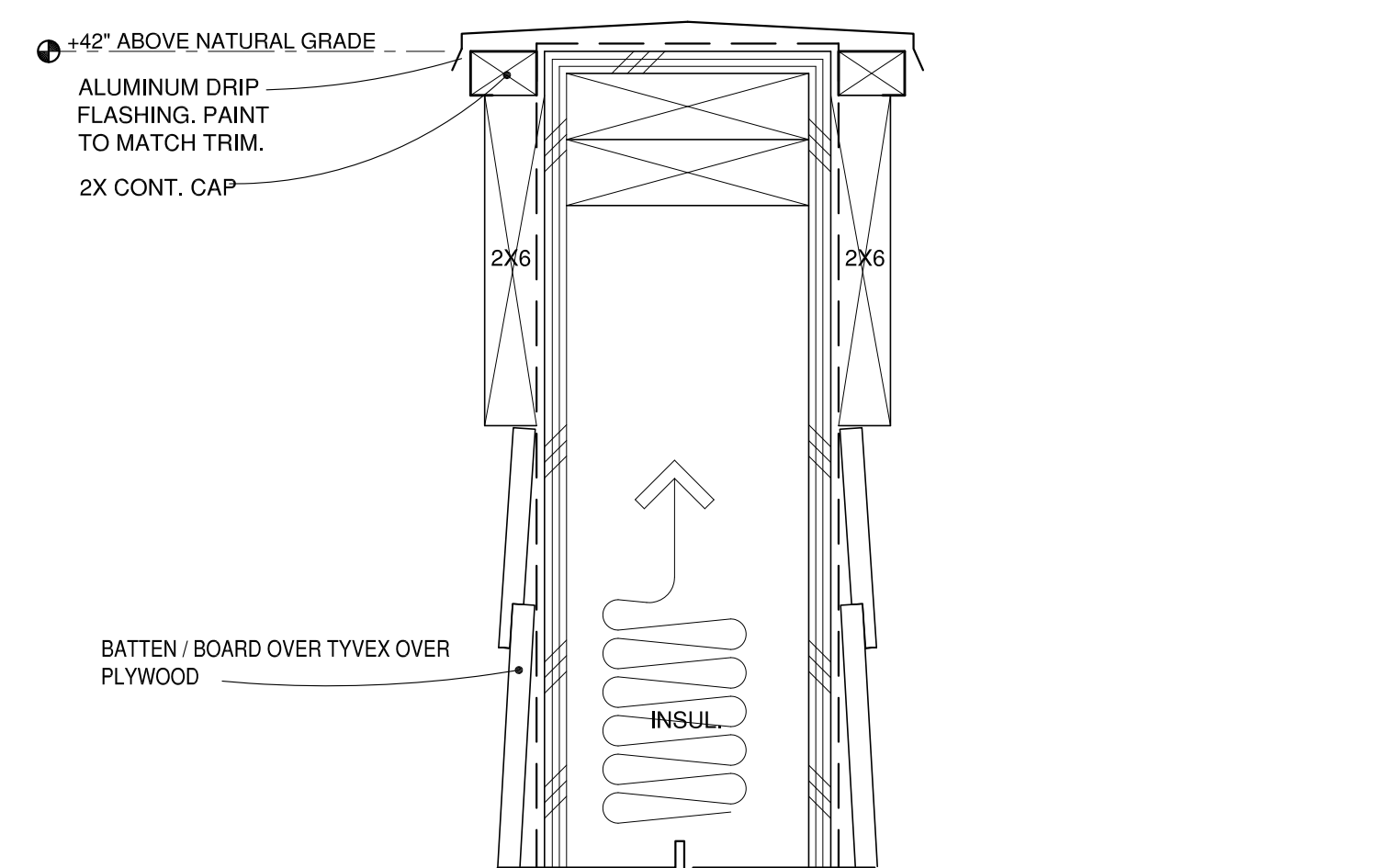
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DATE: 2-2-2022  
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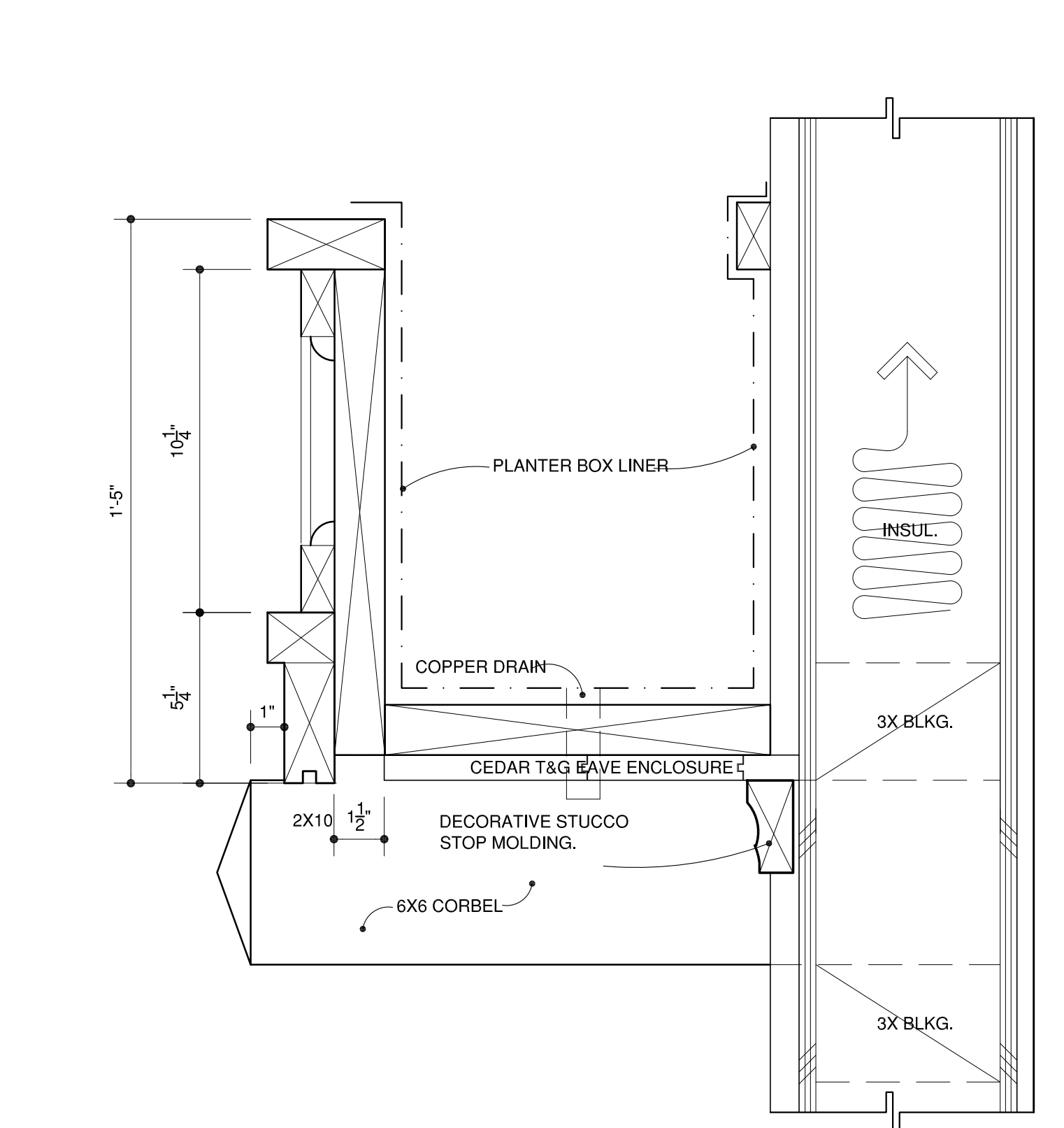
AD.4



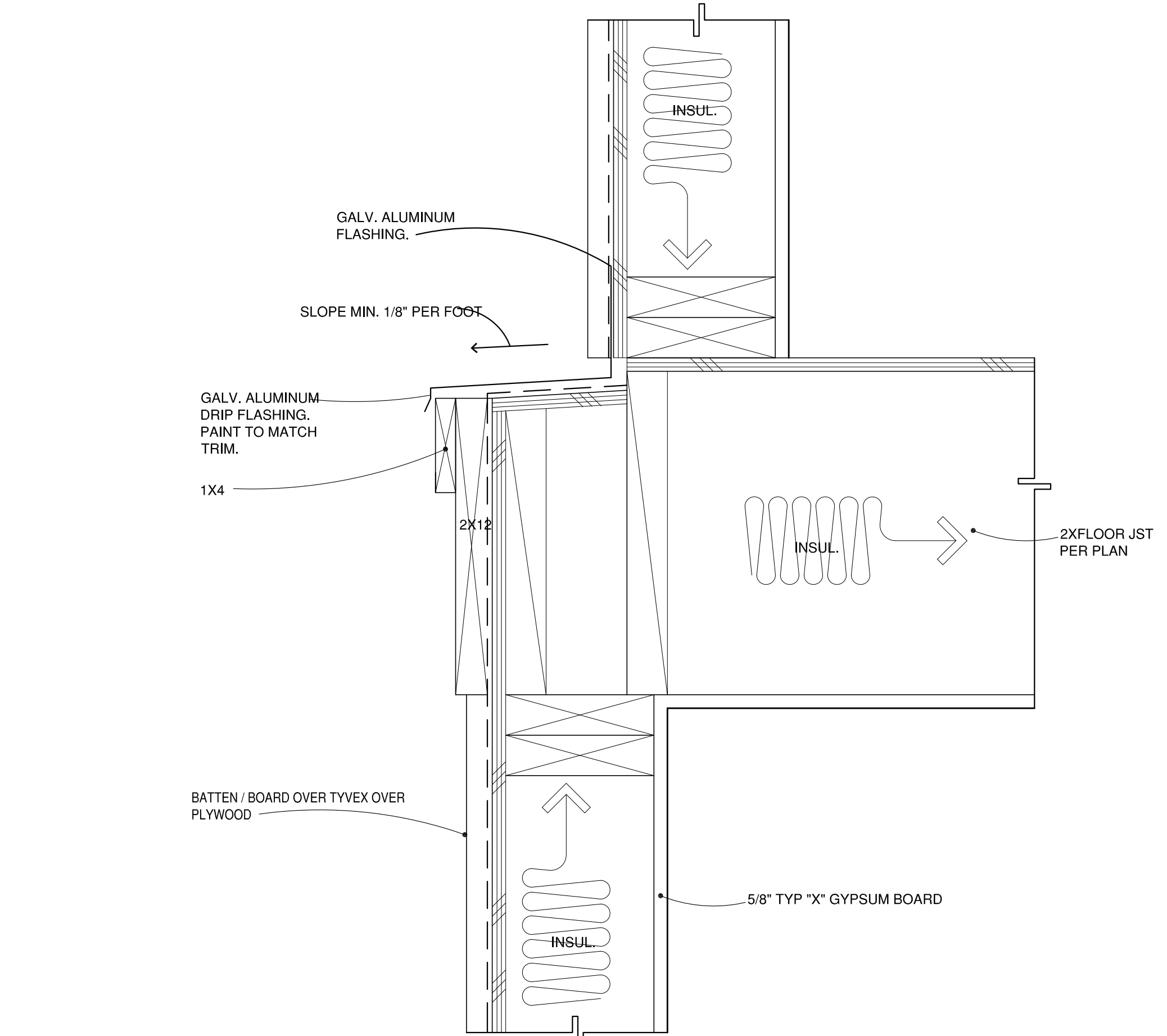
42 1-HR WALL WITHIN 5'-0" OF PROP. LINE  
SCALE=3"=1'-0"



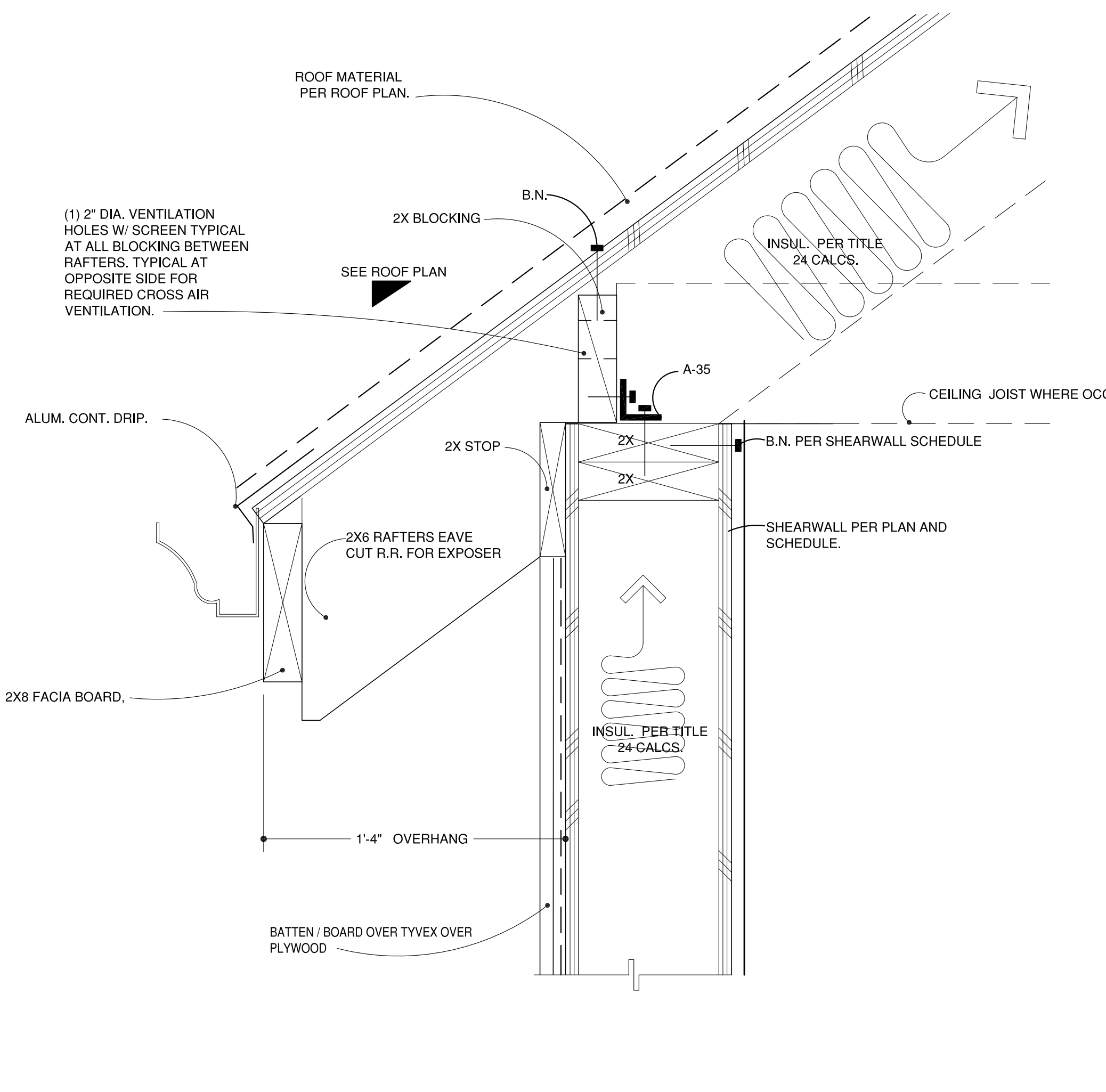
41 DECK GUARDRAL CAP  
SCALE=3"=1'-0"



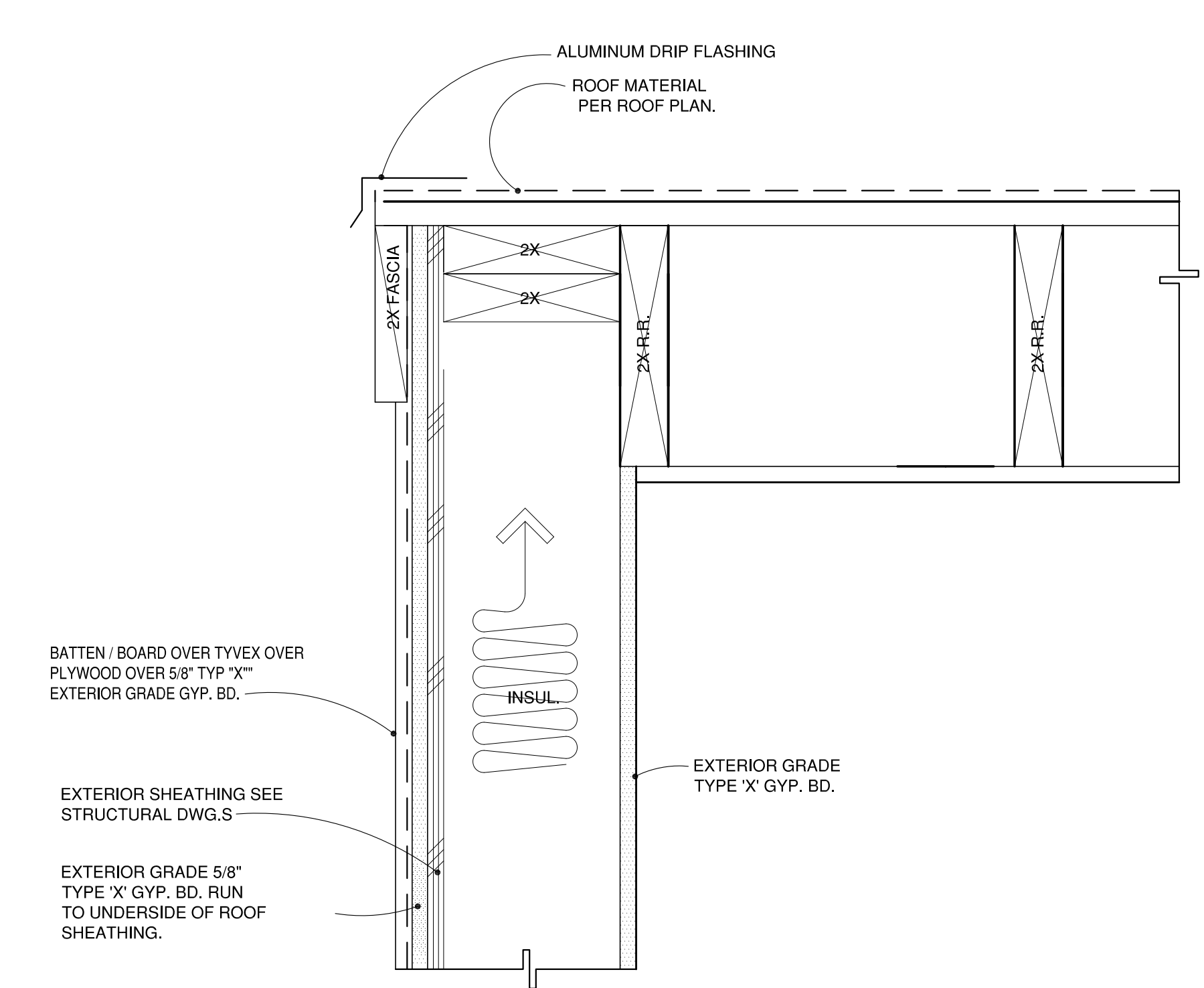
40 PLANTER BOX  
SCALE=3"=1'-0"



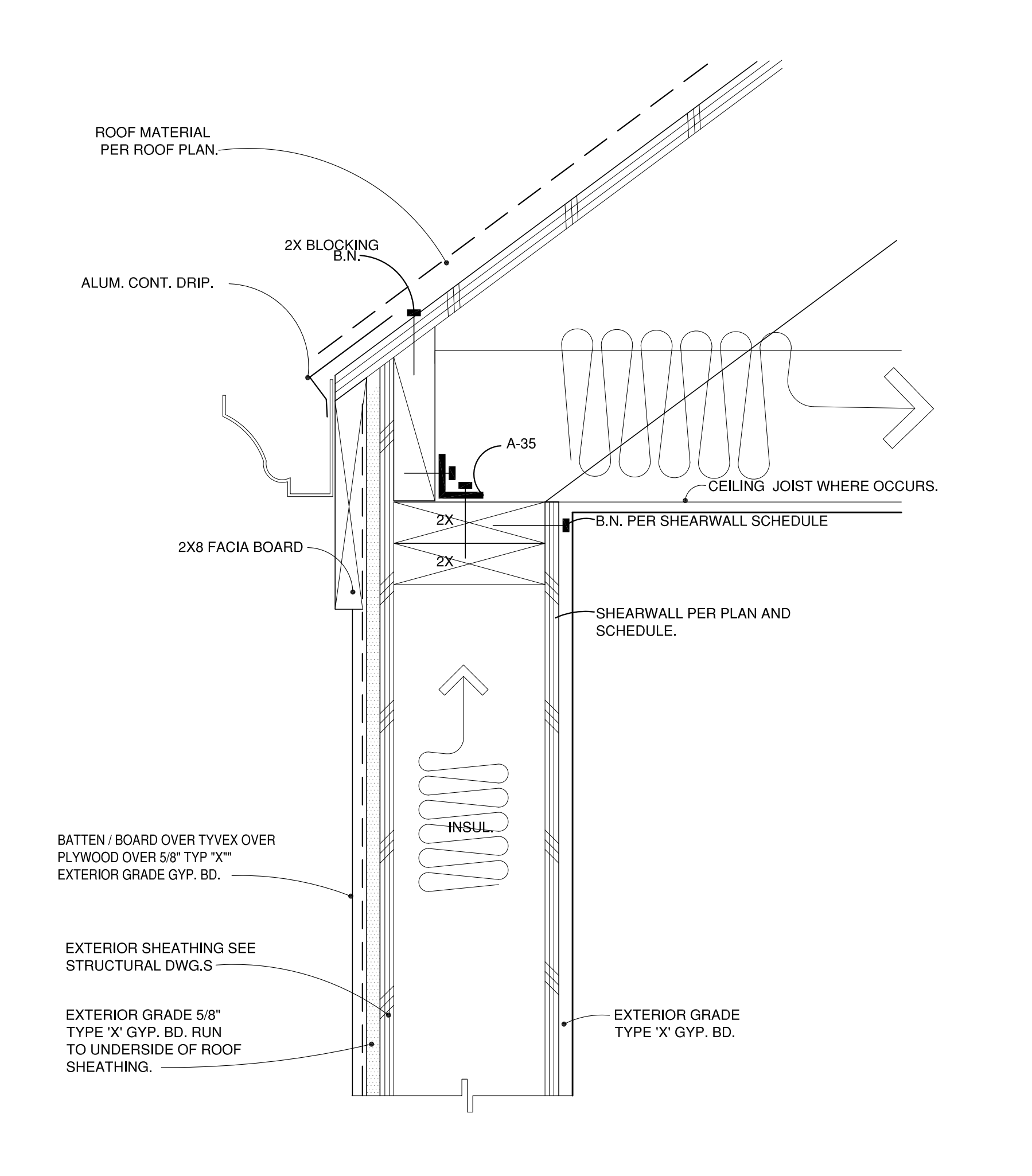
39 WALL LEDGE  
SCALE=3"=1'-0"



38 TYPICAL EAVE  
SCALE=3"=1'-0"



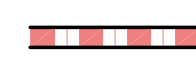


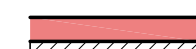

37 1-HR GABLE END WITHIN 5'-0" OF PROPERTY LINE  
SCALE=3"=1'-0"



36 1-HR EAVE WITHIN 5'-0" OF PROPERTY LINE  
SCALE=3"=1'-0"

KEYNOTES CONTINUED

WALL LEGEND

-  1-HOUR FIRE RATED WALL BETWEEN GARAGE AND LIVING SPACE.  
-PROVIDE 5/8" TYP "X" ONE-HOUR FIRE RATED WALL PER CODE FOR REQUIRED SEPARATION BETWEEN GARAGE AND LIVING SPACE. SHOWN DASHED.
- NOTE: EXTERIOR BEARING WALLS LESS THAN FIVE FEET FROM THE PROPERTY LINE WILL BE BUILT OUT OF ONE-HOUR FIRE RATED CONSTRUCTION (2019 CBC, TABLE 602).
-  EXTERIOR WALL:  
2X4 STUDS AT 16" O.C. ON EXTERIOR WALL WITH BATTEN BOARD SIDING WITH BATTENS 16" O.C. O/ TYVEX O/ PLYWOOD. INSULATION PER TITLE 24 CALCS.
-  INTERIOR WALL:  
2X4 STUDS AT 16" O.C. WITH 5/8" INTERIOR GYPSUM.  
DOUBLE UP 2X4 WALLS AT ALL THICKEN WALLS.
-  EXTERIOR WALL:  
2X4 STUDS AT 16" O.C. ON EXTERIOR WALL ONLY WITH STONE VENEER O/ SCRATCH COAT CEMENT PLASTER O/ LATH O/ 2 LAYERS OF GRADE 'D' BUILD. PAPER OR TYVEX O/ PLYWOOD.
-  RETAINING WALL WITH FURRING INTERIOR AND INSULATION SEE STRUCTURAL FOR WALL DETAILS

FLOOR PLAN KEYNOTES

# CHUNG RESIDENCE

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BURLINGAME, CA

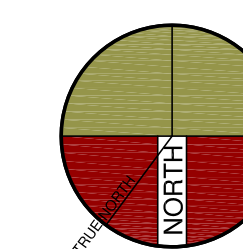
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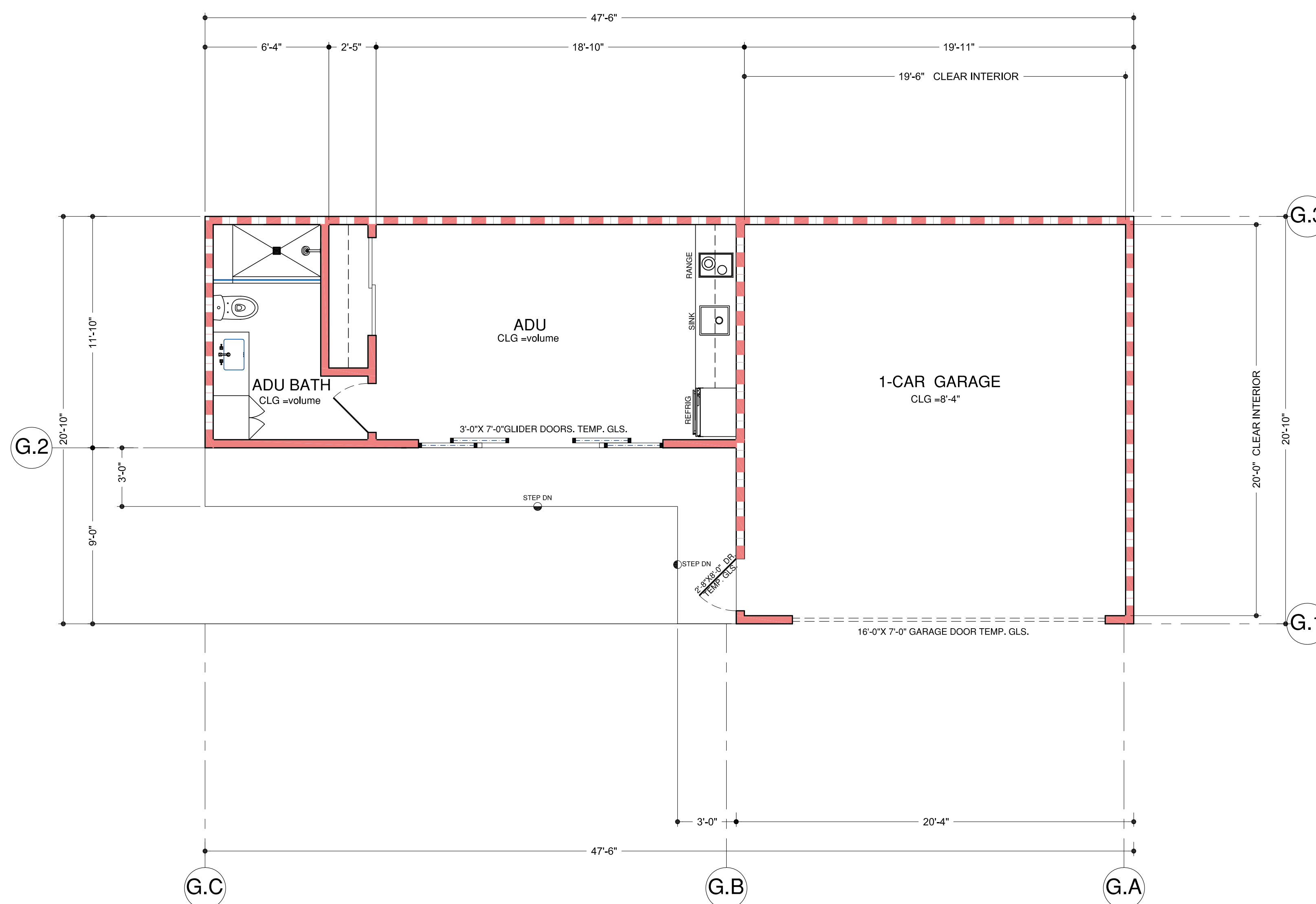


SHEET TITLE  
**GARAGE+ADU FLOOR PLAN**

PROJECT #: 2022-?  
DRAWN BY:  
DATE: 2-2-2022  
SCALE PER SHEET

DRAWING NUMBER

**G.1**



FIRST LEVEL FLOOR PLAN

SCALE 1/4"=1'-0"

# CHUNG RESIDENCE

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BURLINGAME, CA

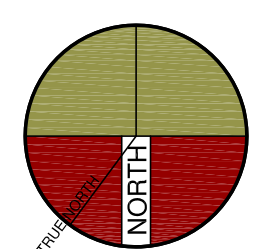
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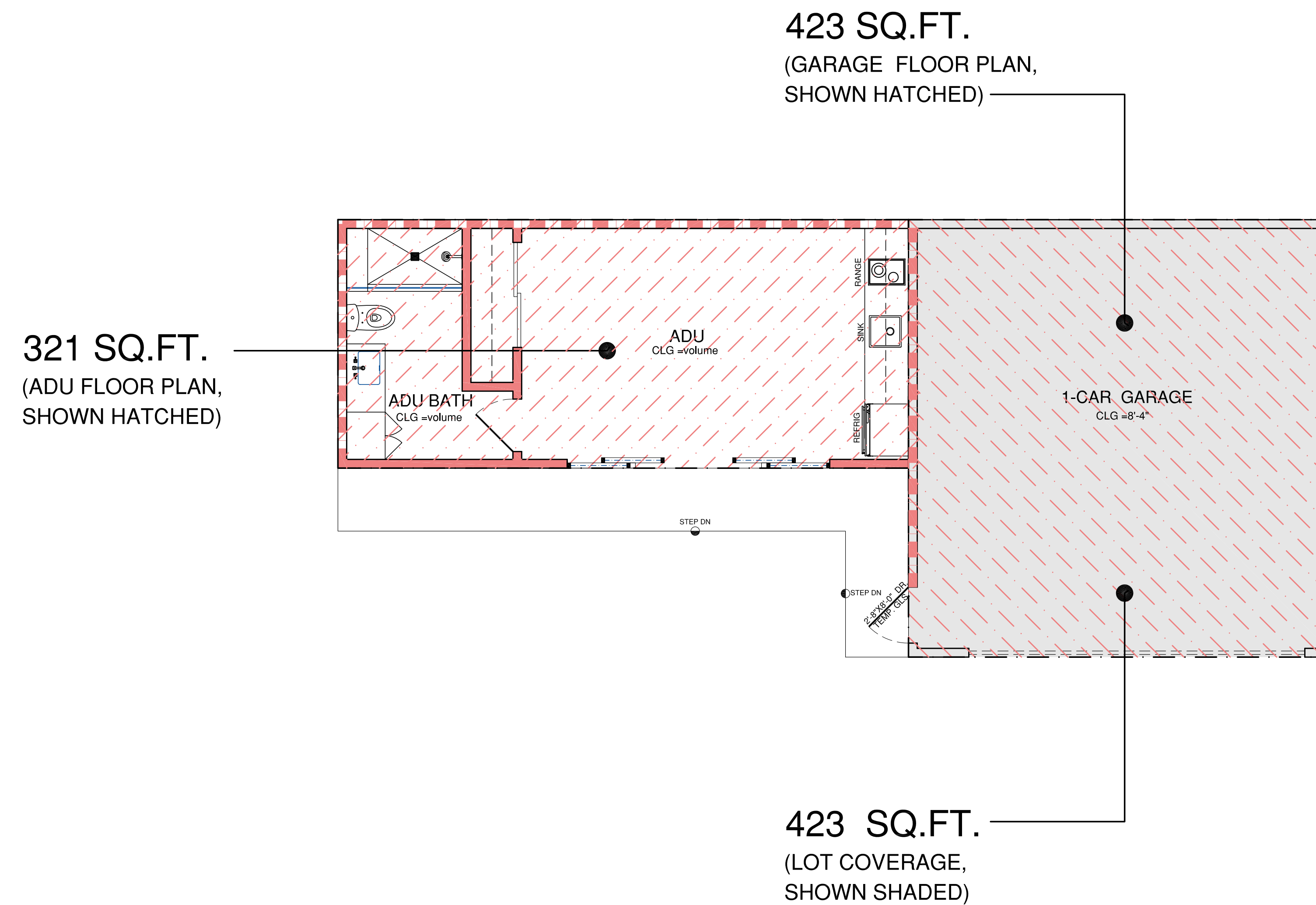


SHEET TITLE  
**GARAGE+ADU FLOOR  
AREA CALCULATION  
PLAN**

PROJECT #: 2022-?  
DRAWN BY:  
DATE: 2-2-2022  
SCALE PER SHEET

DRAWING NUMBER

**G.1.SF**



ROOF PLAN KEYNOTES

1. STANDING SEAM ROOFING SYSTEM/
2. GUTTERS:  
-SIZE: 4-1/2" OG  
-DOWNSPOUT: 4" SQ. TIE INTO ON-SITE DRAINAGE LINE TO DRY WELL PER SHEET SP.1.
3. ROOF FLASHING 24 GA. G.I. FLASHING AT ALL ROOF 24 GA. G.I. FLASHING AT ALL ROOF PENETRATIONS AND CRICKET VALLEYS.
4. LINE OF WALL BELOW EAVE AND RAKE.
5. CHIMNEY STACK.  
-PROVIDE APPROVED SPARK ARRESTOR PER MANUFAC. REQUIEMENTS.
6. (SOLAR POWER PANELS) BY SOLAR POWER COMPANY. AMOUNT TO BE DETERMINED BY MANUFACTURER AND SOLAR LOCATION AND ANGLE.
7. FLAT ROOF:  
SLOPE: MIN 1/4" MIN SLOPE  
MATERIAL: TORCH DOWN ROOFING MATERIAL WITH PEA GRAVEL TOP COVER  
COLOR: VARIETY OF TANS
8. GALVANIZED 6"X12" SQUARE LOW PROFILE GRAVITY ATTIC VENTILATORS:  
FINISH: PRIME AND PAINT TO MATCH ROOF
9. DRAIN AND OVERFLOW SCUPPER. POSITIVE SLOPE DRAIN WITH CONDUCTOR BOX.

# CHUNG RESIDENCE

713 HOWARD AVE  
BURLINGAME, CA

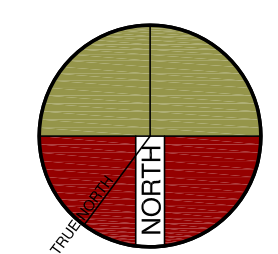
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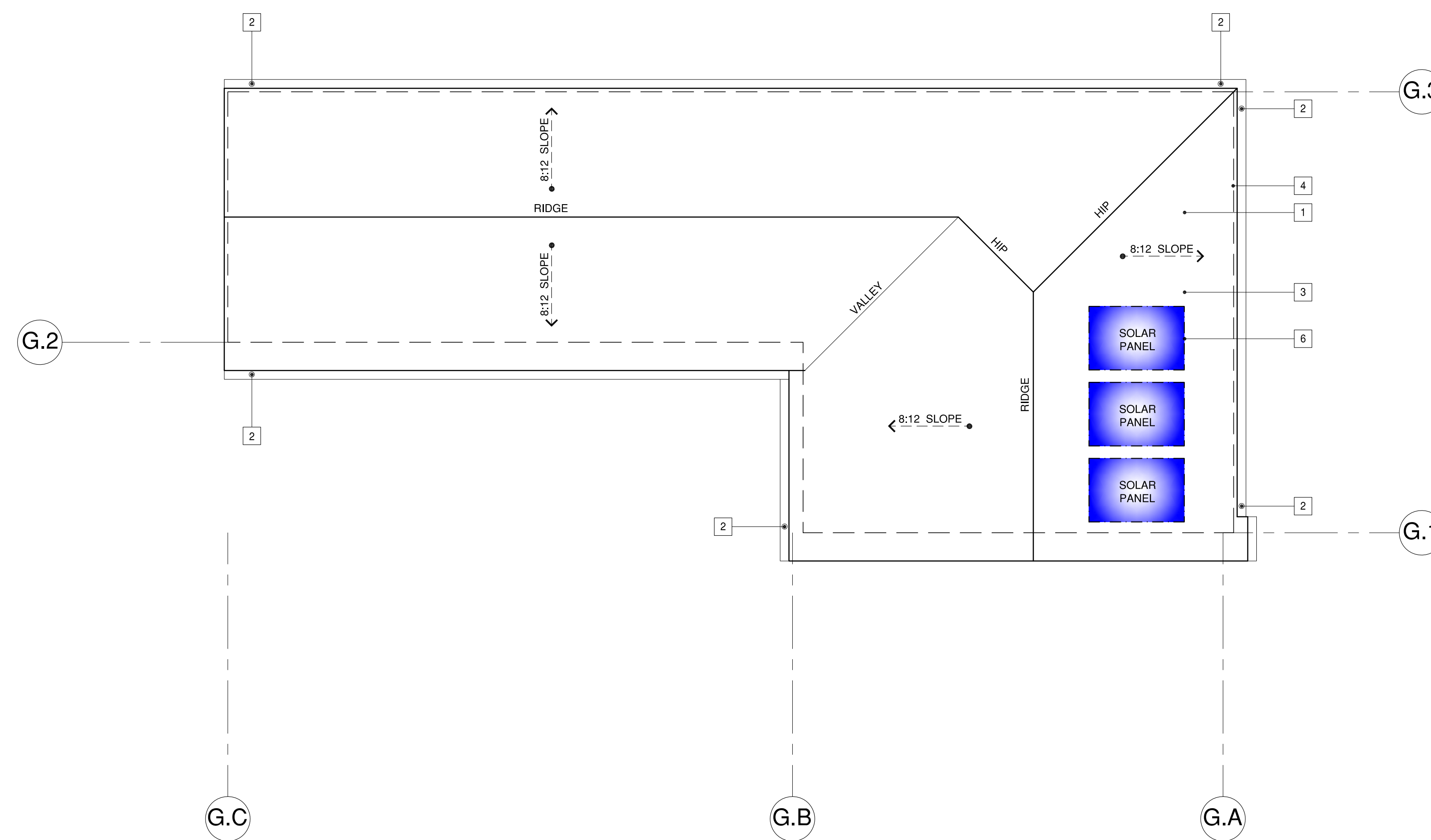


SHEET TITLE  
**GARAGE+ ADU  
ROOF PLAN**

PROJECT #: 2022-?  
DRAWN BY:  
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SCALE PER SHEET

DRAWING NUMBER

**G.2**



ELEVATION~KEYNOTES

1. STANDING SEAM METAL ROOFING SYSTEM  
-STYLE: RIBBED  
-COLOR: TBD
2. EXTERIOR FINISH:  
-STYLE: BATTEN AND BOARD  
BATTEN AND BOARD OVER TYVEX OVER PLYWOOD  
-SPACING: BATTENS AT 16" O.C.  
-TEXTURE: SMOOTH  
-COLOR: TBD  
-PAINT MANUFAC: TBD.
3. DECORATIVE STANDING SEAM SHED ROOF :  
-MATERIAL: METAL  
-FINISH: KYNAR  
-STYLE: AS SHOWN  
-COLOR: TBD
4. FACIA, EAVE AND RAKE WITH EXPOSED RAFTER TIPS  
-MATERIAL: WOOD  
-COLOR: TBD  
-PAINT MANUFAC: TBD  
-SEE DETAIL ?, SHEET ?
5. ILLUMINATED ADDRESS BY PER BURLINGAME REQUIEMENTS
- 6.-TRIM HEAD AND JAMB SURROUND SIZE: 1" X 3-1/2"  
-CAP SIZE: 1" X 2" WITH METAL DRIP  
-SILL SIZE: 1" X 2" SILL WITH 1" X 4" APRON  
-STYLE: TRADITIONAL ALUMINUM CLAD WOOD WITH SIMULATED TRUE DIVIDED LIGHTS.  
-EXTERIOR: ALUM CLAD, COLOR TBD  
-GLAZING : DUAL GLAZED SIMULATED TRUE DIVIDED  
-INTERIOR: PRIMED, PAINT READY.  
-DOOR AND WINDOW REP:  
DOOR AND WINDOW S TO BE MANUFAC:  
BY TBD.  
-COLOR AND HARDWARE TO BE SELECTED BY HOMEOWNER.  
CONSULT OWNER.  
-SEE SHEET AD.2 FOR TYPICAL DOOR AND WINDOW DETAILS.
7. GUTTERS AND DOWNSPOUTS  
-MATERIAL: GALVANIZED  
-COLOR: TBD  
-SIZE OF GUTTER: 5" DECORATIVE O.G.  
-SIZE OF DOWN SPOUT: 4" DIA.
8. LINE OF BASEMENT BELOW
9. SQUARE POLYMER OR WOOD COLUMNS, TYP.  
-SIZE: 1-4" SHAFT WITH BASE AND CAP  
-COLOR: TBD  
MANUFAC:  
-TURN CRAFT OR EQUAL
10. NEW FLOOR VENTS:  
-SIZE: 6" X 14"  
-MANFAC: TBD  
-COLOR: TBD
11. ALUMINUM CLAD GARAGE DOOR.
12. (SOLAR POWER PANELS) BY SOLAR POWER COMPANY.  
AMOUNT TO BE DETERMINED BY MANUFACTURER AND SOLAR LOCATION AND ANGLE.
13. DECORATIVE WOOD KNEE BRACES PER DETAIL
14. NEW WOOD GARAGE DOOR WITH TRUE SIMULATED DIVIDED LIGHTS.

# CHUNG RESIDENCE

713 HOWARD AVE  
BURLINGAME, CA

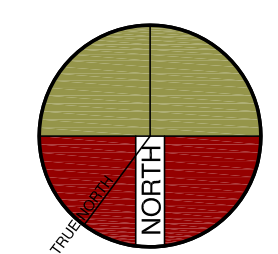
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DESIGN REVIEW

△ SCHEME-2  
PLANNING REVIEW COMMENTS-PC-1  
7-20-2022

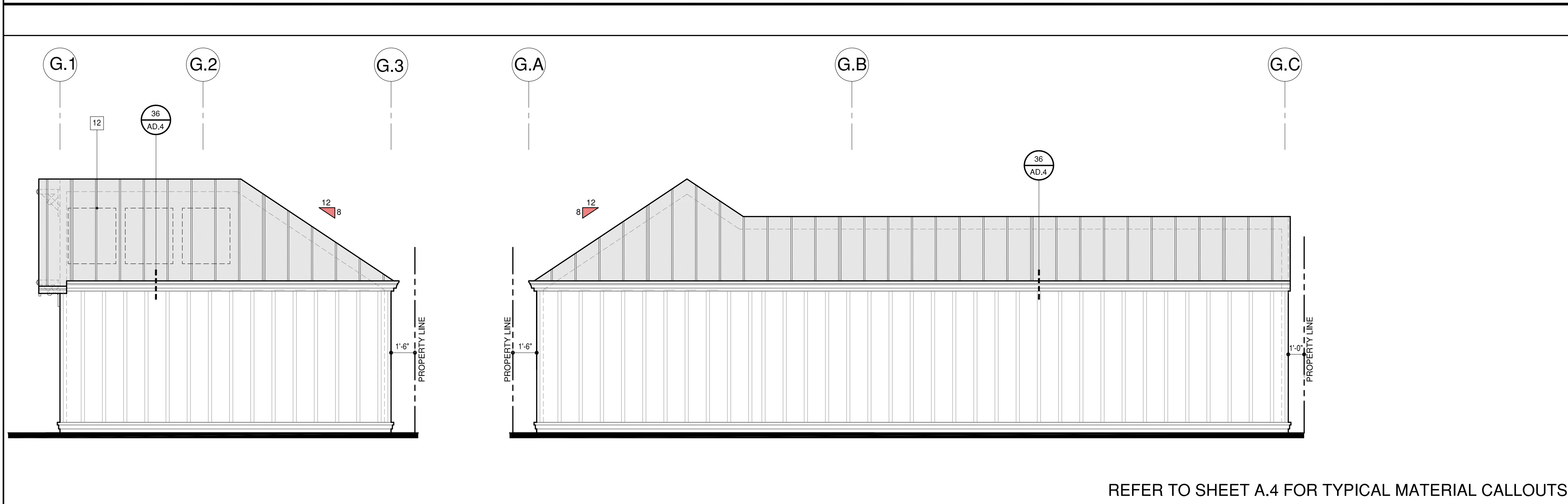
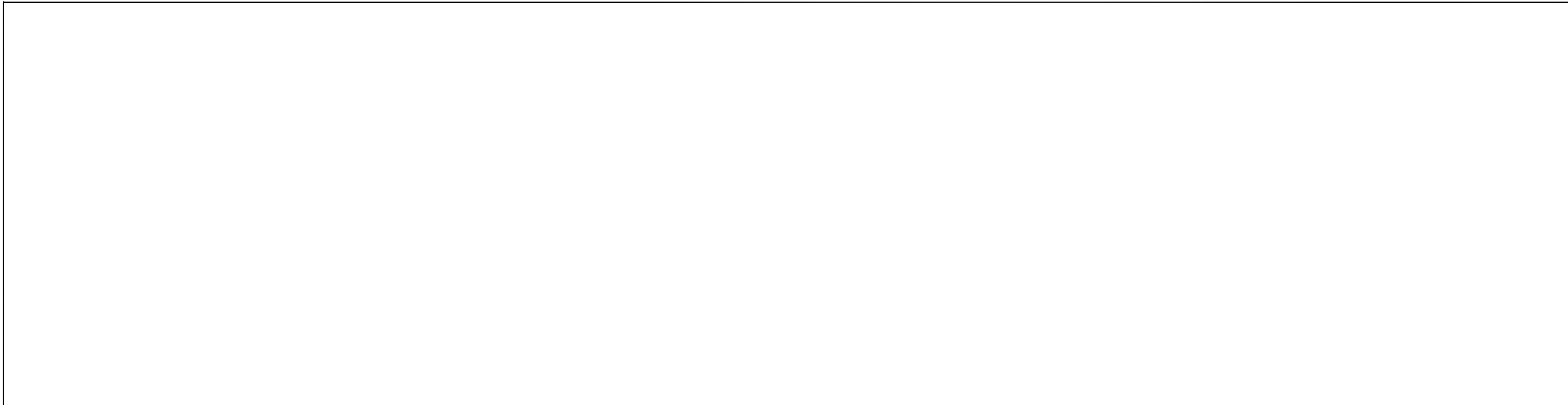


SHEET TITLE  
GARAGE+ADU  
ELEVATIONS

PROJECT #: 2022-?  
DRAWN BY:  
DATE: 2-2-2022  
SCALE PER SHEET

DRAWING NUMBER

G.3

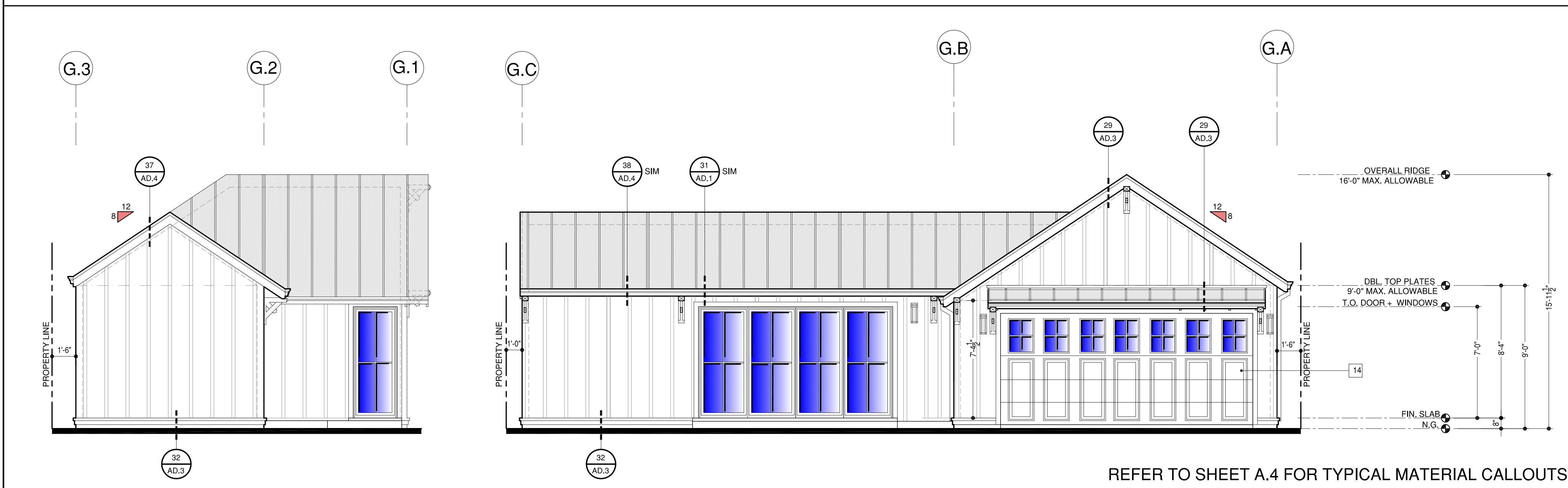


REFER TO SHEET A.4 FOR TYPICAL MATERIAL CALLOUTS.

G.4~PROPOSED-LEFTSIDE ~EAST ELEVATION

G.3~PROPOSED-REAR ~SOUTH ELEVATION

SCALE 1/4"=1'-0"



REFER TO SHEET A.4 FOR TYPICAL MATERIAL CALLOUTS.

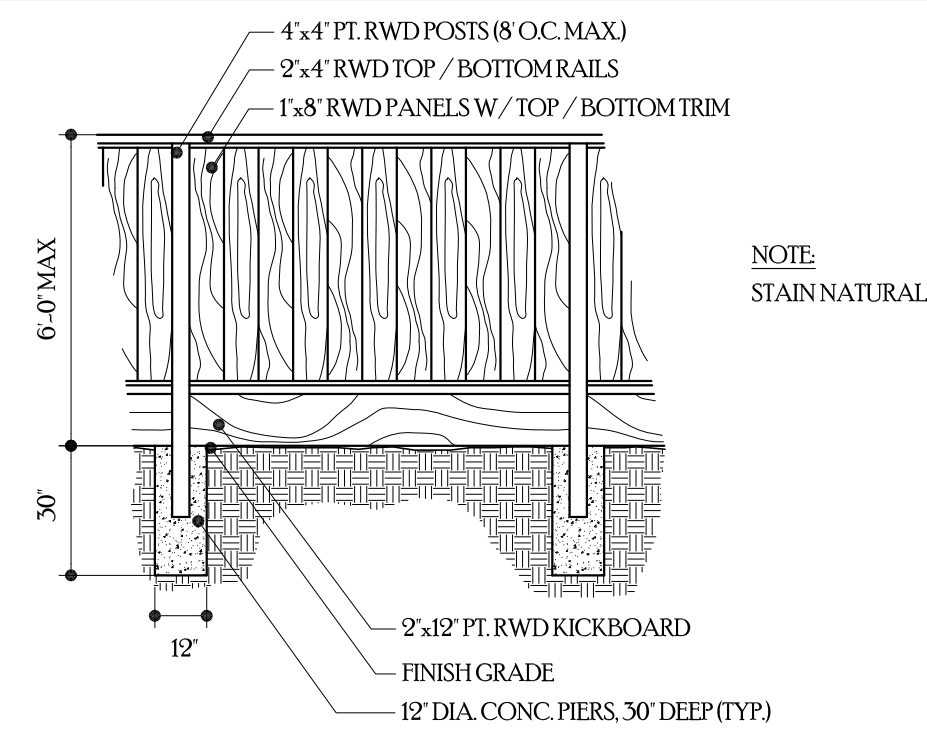
G.2~PROPOSED-RIGHTSIDE ~WEST ELEVATION

G.1~PROPOSED-FRONT~NORTH ELEVATION

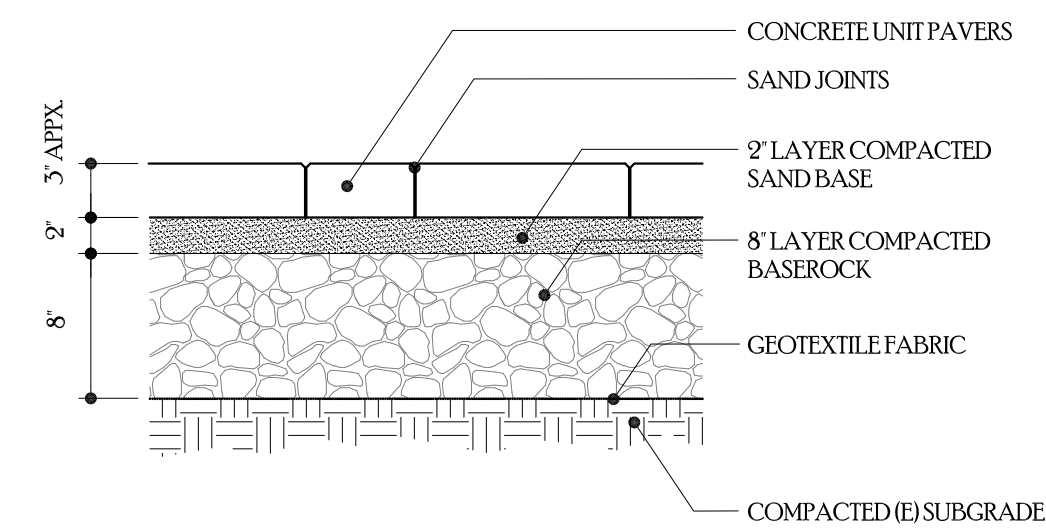
SCALE 1/4"=1'-0"

POLLUTANT CONTROL CGC NOT

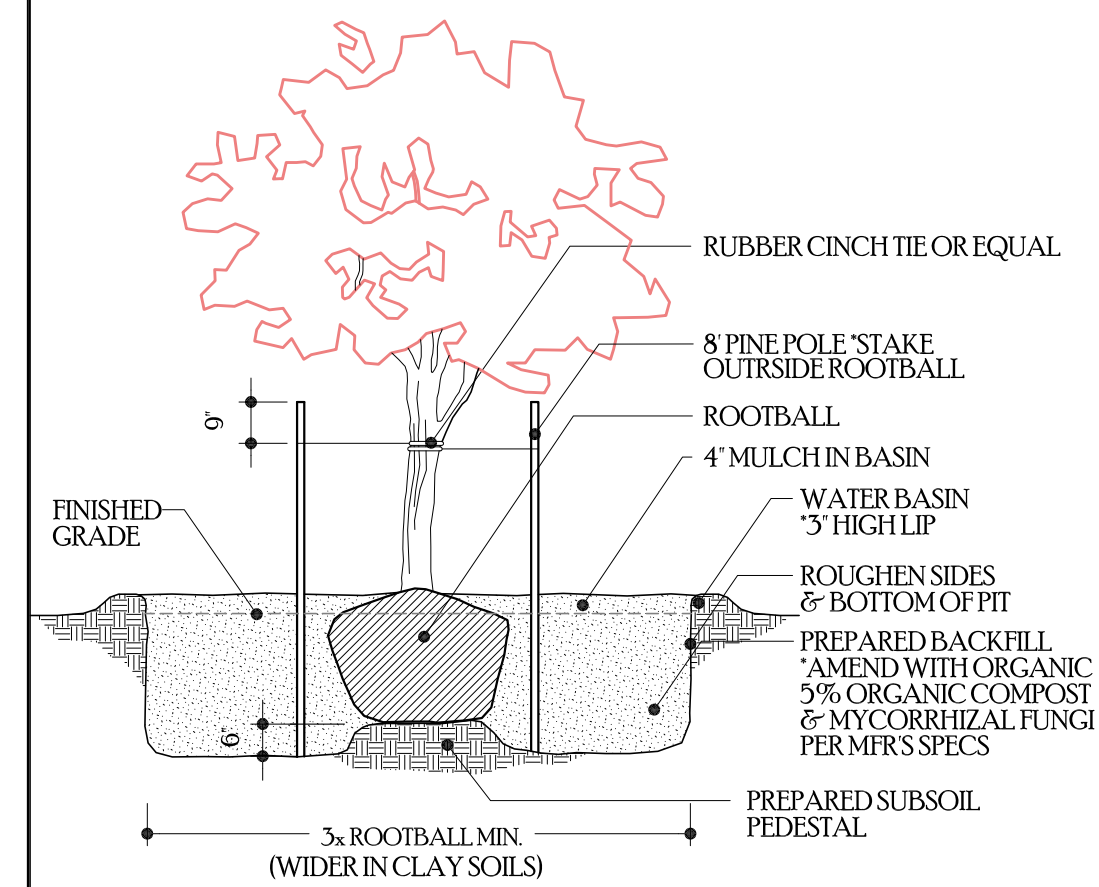
1. PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS PER CGC 4.504.2.2.
2. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC AND OTHER REQUIREMENTS PER CGC 4.504.2.3.
3. DOCUMENTATION WILL BE PROVIDED TO VERIFY COMPLIANCE WITH VOC FINISH MATERIALS PER CGC 4.504.2.4.



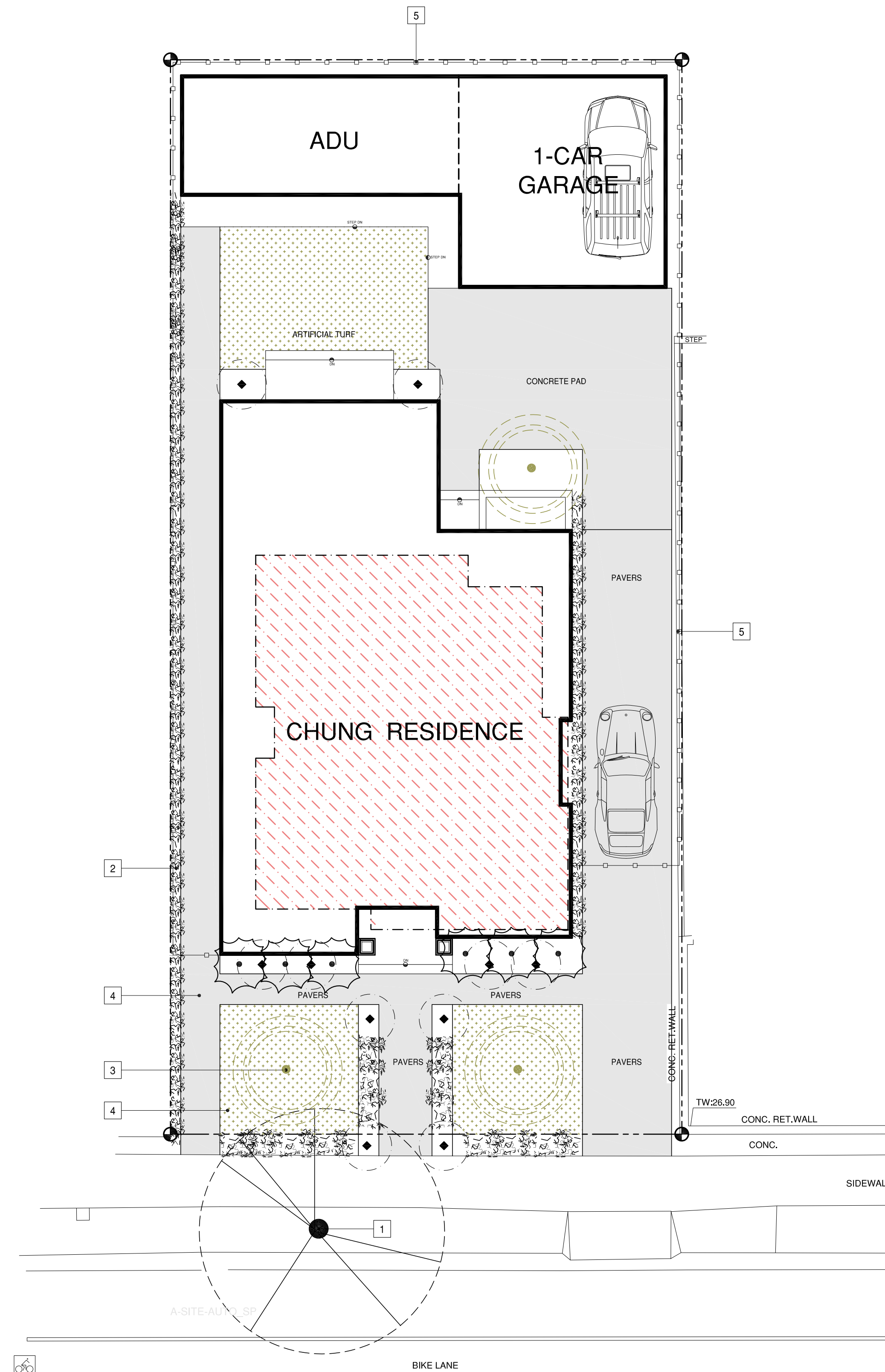
**WOOD FENCE**



**VEHICULAR UNIT PAVERS**



**TREE PLANTING**



**LANDSCAPE / HARDSCAPE PLAN**

SCALE 1/8"=1'-0"

**LANDSCAPE KEYNOTES**

1. EXISTING CITY STREET TREE TO REMAIN. TO BE PROTECTED PER PARKS AND RECREATIONS REQUIREMENTS.
2. VEGETATION PER LEGEND. TYP.
3. TREE PER LEGEND. TYP.
4. GROUND COVER PER LEGEND.
5. NEW 6'-0" HIGH GOOD NEIGHBOR FENCE.

SYMBOL	COMMON NAME	SIZE
	CYPRESS SCREEN TREES SEMPERVIRENS	5 GALLON
	EXISTING CITY STREET TREE TO REMAIN	5 GALLON
	JAPANESE MAPLE TREE SINGLE STEM, UPRIGHT (GREEN ACER PALMATUM), AND 24" BOX SIZE TREES	5 GALLON
	ROYAL PURPLE SMOKE BUSH	1 GALLON
	FRENCH LAVENDER	1 GALLON
	CALIFORNIA LILAC	1 GALLON
	JAPANESE BOX WOOD	1 GALLON
	CONCRETE OR PAVING SYSTEM	
	ZOSIYA GRASS	SOD
	CRUSHED GRANITE ROCK	1/4" TO 1/2"

**LANDSCAPE NOTE**

RETAIN EXISTING VEGETATION AS PRACTICABLE.  
 SELECT DIVERSE SPECIES APPROPRIATE TO THE SITE.  
 INCLUDE PLANTS THAT ARE PEST-AND/OR DISEASE-RESISTANT, DROUGHT-TOLERANT, AND / OR ATTRACT BENEFICIAL INSECTS.  
 MINIMIZE USE OF PESTICIDES AND QUICK-RELEASE FERTILIZERS.  
 USE EFFICIENT IRRIGATION SYSTEM; DESIGN TO MINIMIZE RUNOFF.

**PARKS GENERAL NOTE**

- NOTE: EXISTING STREET TREES MAY NOT BE CUT, TRIMMED OR REMOVED WITHOUT PERMIT FROM THE PARKS DEPARTMENT. (558-7330)
- NOTE: NO EXISTING TREE OVER 48" IN CIRCUMFERENCE AT 54" FROM BASE OF THE TREE MAY NOT BE REMOVED WITHOUT A PROTECTED TREE PERMIT FROM THE PARKS DIVISION. (558-7330)
- NOTE: ALL TREES MUST BE 24" BOX SIZE LANDSCAPE TREES.
- NOTE: CONTRACTOR TO PROTECT STREET TREES DURING CONSTRUCTION.
- NOTE: NO PROTECTED OR CITY TREE MAY BE REMOVED WITHOUT PERMIT
- NOTE: CONTACT PARKS DIVISION FOR LIST OF APPROVED TREES IN PLANTER STRIP.

**CHUNG RESIDENCE**

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 BURLINGAME, CA

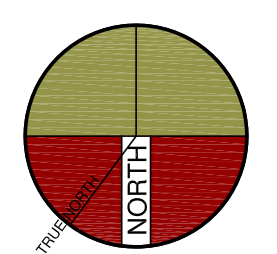
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**SHEET TITLE  
 LANDSCAPE PLAN**

PROJECT #: 2022-?  
 DRAWN BY:  
 DATE: 2-2-2022  
 SCALE PER SHEET

**DRAWING NUMBER**

**LS.1**