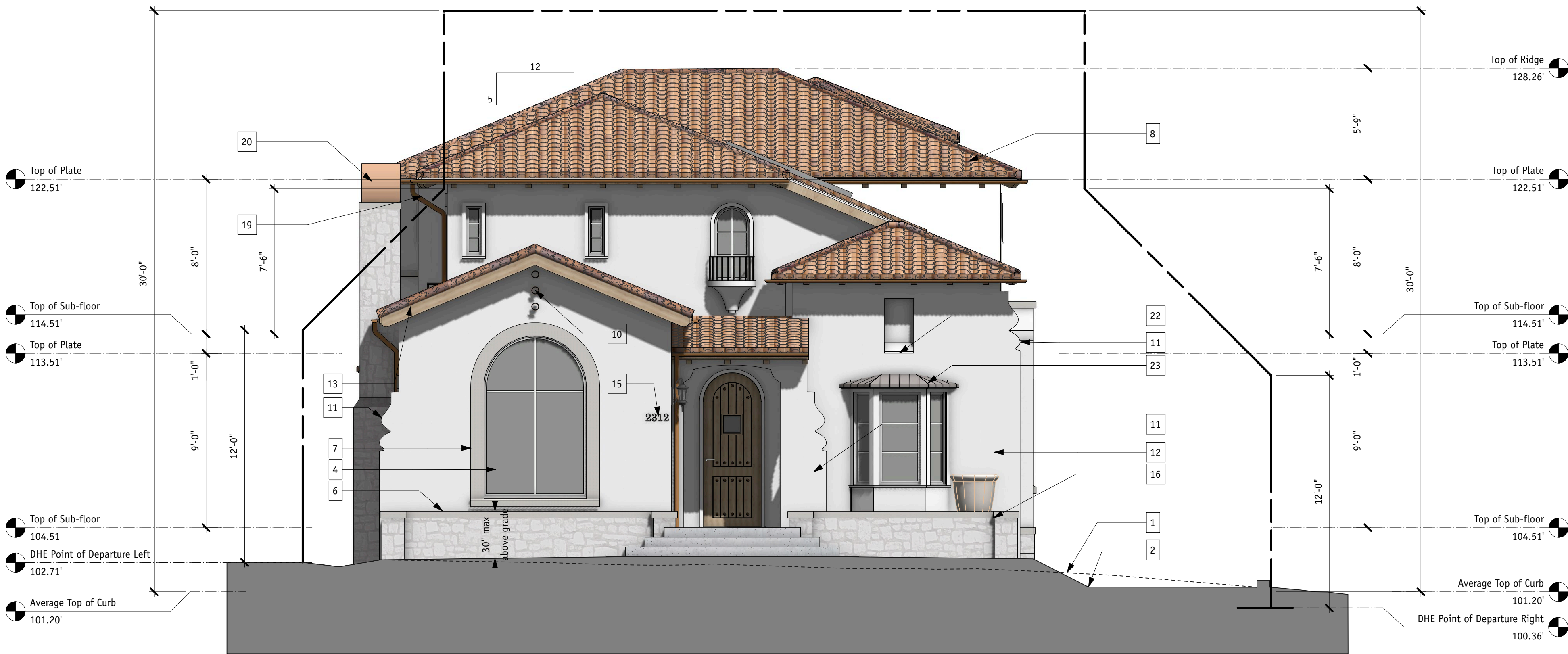




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Exterior Elevation Keynotes

1. (E) Grade
2. (N) Grade
3. Aluminum clad folding doors
4. Aluminum clad window, typ.
5. Arched opening into entry porch
6. Cast stone cap
7. Cast stone trim
8. Clay tile roof. Refer to Roof Plan.
9. Custom low profile skylight by Wasco or approved equal
10. Decorative faux Spanish vent, typ.
11. Decorative wing wall
12. Exterior stucco to be three-coat, 7/8" smooth finish stucco (acrylic elastomeric paint) over metal lath, 3/8" rainscreen, two layers of "D" stucco paper, and sheathing.
13. Fascia, smooth naturally durable wood.
14. Guard shall be a minimum of 43" high and shall not have openings which allow passage of a 4" sphere.
15. Illuminated address sign
16. Landscape walls, stucco finish to match house
17. Light fixture, typ.
18. Louvered doors for access to water heater
19. Prefinished downspout, typ. Connect to drainage system. Refer to Landscape Plan.
20. Prefinished metal gutter, typ.
21. Shed roof with wood brackets
22. Sloped stucco window sill
23. Standing seam metal roof
24. Top of deck
25. Wrought iron flower pot holder, typ.

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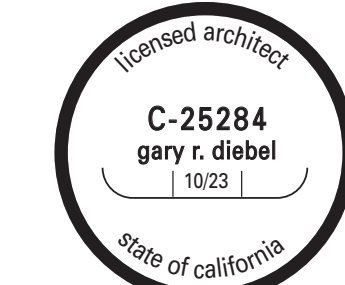
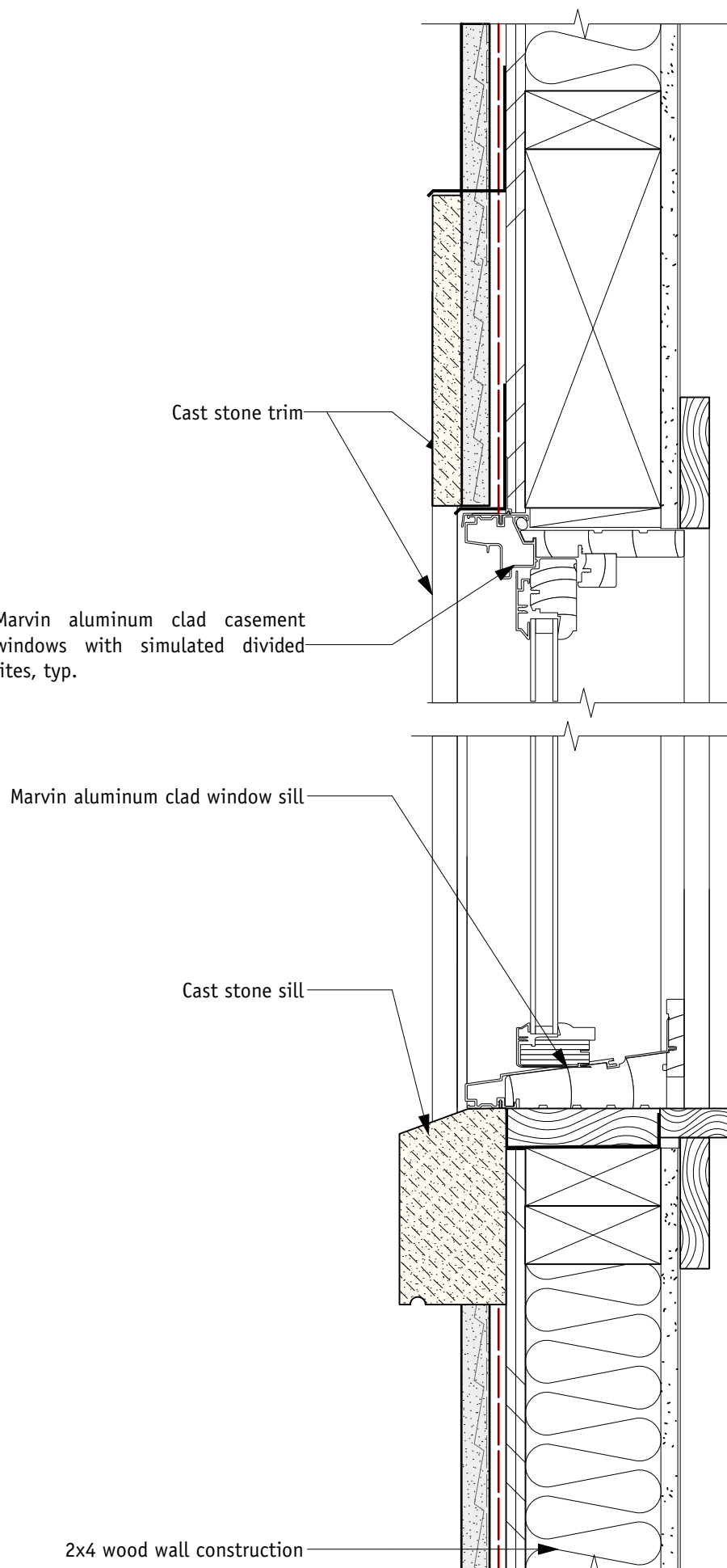


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1 FRONT ELEVATION
A3.1 1/4" = 1'-0"



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A3.1

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3 TYPICAL EXTERIOR WINDOW DETAIL
A3.1 3" = 1'-0"



1 REAR ELEVATION
A3.2 1/4" = 1'-0"



2 LEFT ELEVATION
A3.2 1/4" = 1'-0"

Exterior Elevation Keynotes

1. (E) Grade
2. (N) Grade
3. Aluminum clad balcony door
4. Aluminum clad door
5. Aluminum clad window, typ.
6. Cast stone cap
7. Cast stone trim
8. Clay tile roof. Refer to Roof Plan.
9. Decorative faux Spanish vent, typ.
10. Decorative wing wall
11. Exterior stucco to be three-coat, 7/8" smooth finish stucco (acrylic elastomeric paint) over metal lath, 3/8" rainscreen, two layers of "D" stucco paper, and sheathing.
12. Fascia, smooth naturally durable wood.
13. Guard shall be a minimum of 43" high and shall not have openings which allow passage of a 4" sphere.
14. Landscape walls, stucco finish to match house
15. Light fixture, typ.
16. Prefinished downspout, typ. Connect to drainage system. Refer to Landscape Plan.
17. Prefinished metal gutter, typ.
18. Shed roof with wood brackets
19. Tesla wall connector
20. Wrought iron flower pot holder, typ.
21. Cast stone medallion, typ.
22. Clay tile chimney cap
23. Planter boxes. See Landscape.

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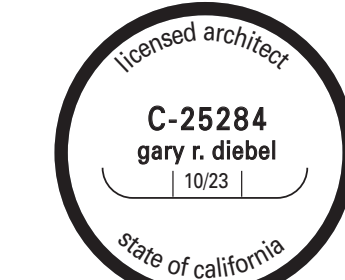
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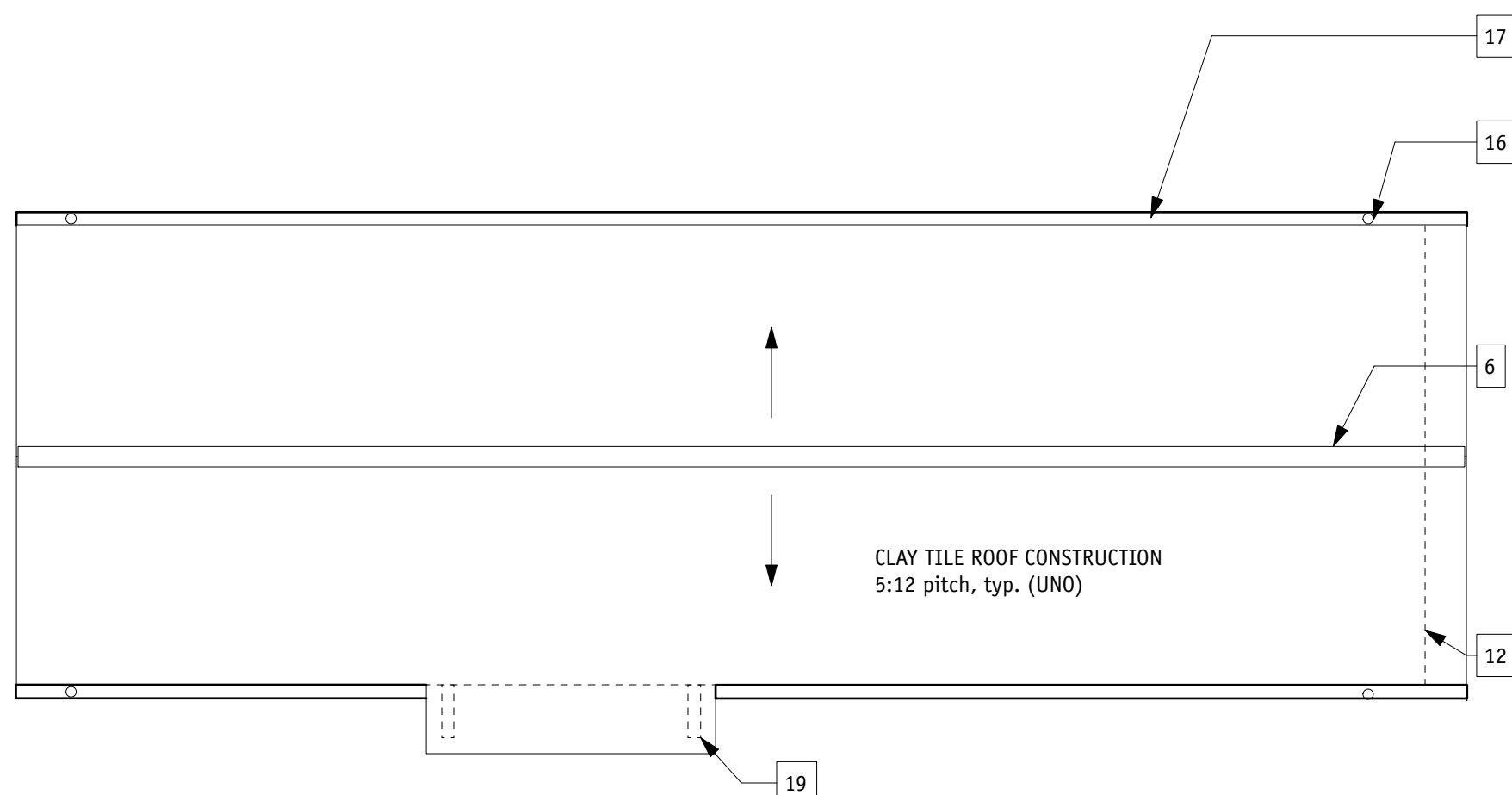
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- ### Floor Plan Keynotes
1. (E) Grade
 2. (N) Grade
 3. (N) Retaining wall
 4. Aluminum clad patio door
 5. Aluminum clad window, typ.
 6. Clay tile ridge, typ.
 7. Clay tile roof. Refer to Roof Plan.
 8. Decorative faux Spanish vent, typ.
 9. Driveway. Refer to Landscape Plans
 10. Exterior stucco to be three-coat, 7/8" smooth finish stucco (acrylic elastomeric paint) over metal lath, 3/8" rainscreen, two layers of "D" stucco paper, and sheathing.
 11. Exterior trim to be smooth naturally durable wood.
 12. Exterior wall below, typ.
 13. Garage wall along property lines. Wood studs @ 16" o.c. (UNO), interior 5/8" Type X gypsum board, 2x4 studs, batt insulation, plywood sheathing, 5/8" Type X Dens Glass gypsum sheathing, two layers of "D" stucco paper, 3/8" rainscreen, 7/8" stucco. Pressure treated wood sills at the foundation.
 14. Light fixture, typ.
 15. Line of shed roof above.
 16. Prefinished downspout, typ. Connect to drainage system. Refer to Landscape Plan.
 17. Prefinished metal gutter, typ.
 18. Property line, typ.
 19. Shed roof with wood brackets
 20. Solid wood garage door
 21. Stucco wall up to clay tile fascia
 22. Seura Ultra Bright 65" outdoor TV mounted in cabinet with doors.
 23. Tesla wall connector

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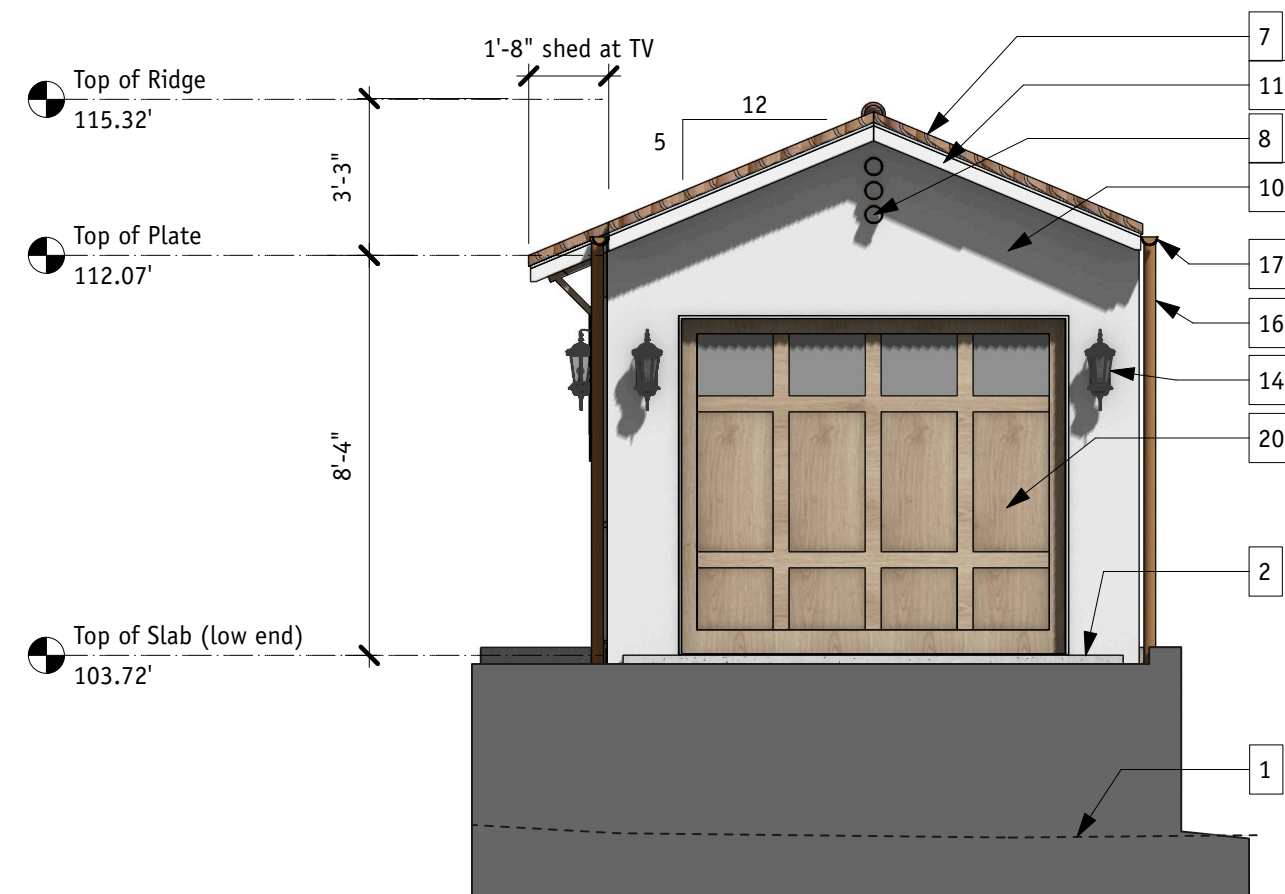


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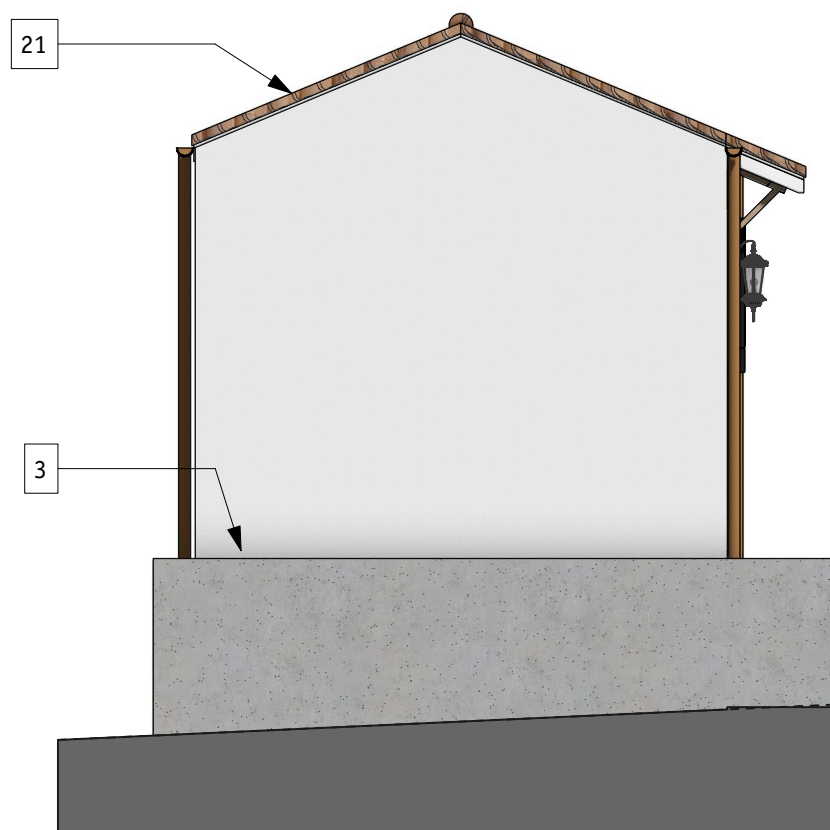
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2 GARAGE ROOF PLAN
A1.2 1/4" = 1'-0"



4 GARAGE FRONT ELEVATION
A1.2 1/4" = 1'-0"



6 GARAGE REAR ELEVATION
A1.2 1/4" = 1'-0"

Wall Type Legend



Exterior 2x8 Wall Stucco. Three-coat, 7/8" stucco to match (E) (acrylic elastomeric paint) on 3/8" rainscreen over two layers of "D" stucco paper, plywood sheathing on 2x8 wood studs @ 16" o.c. (UNO). Provide R-25 batt insulation in cavity. Pressure treated wood sills at the foundation. Interior finish per Room Finish Schedule, UNO.



Exterior 2x4 Wall Stucco. Three-coat, 7/8" stucco to match (E) (acrylic elastomeric paint) on 3/8" rainscreen over two layers of "D" stucco paper, plywood sheathing on 2x4 wood studs @ 16" o.c. (UNO). Provide R-13 batt insulation in cavity. Pressure treated wood sills at the foundation. Interior finish per Room Finish Schedule, UNO.



Interior Wall. 2x4 or 2x8 studs at 16" o.c., interior finish per Room Finish Schedule, UNO.



Interior wall. 2x4 or 2x6 studs at 16" o.c., interior finish per Room Finish Schedule, UNO. Provide acoustical insulation full height.



Exterior wall. Garage wall along property lines and ADU. Wood studs @ 16" o.c. (UNO), interior 5/8" Type X gypsum board, batt insulation, plywood sheathing, 5/8" Type X Dens Glass gypsum sheathing, two layers of 'D' stucco paper, 3/8" rainscreen, 7/8" stucco. Pressure-treated wood sills at the foundation.



Interior wall. ADU separation wall. 2x4 studs @ 24" o.c. with 5/8" Type X gypsum board both sides. Provide R-13 acoustical insulation in cavity. Interior finish per Room Finish Schedule, UNO. Pressure treated wood sills at the foundation. CBC Table 721.1(2) Item 14-1.3 One-hour fire rated construction.



Interior Partial Height Wall. 2x4 studs at 16" o.c., interior finish per Room Finish Schedule, UNO.

licensed architect

C-25284
gary r. diebel

10/23

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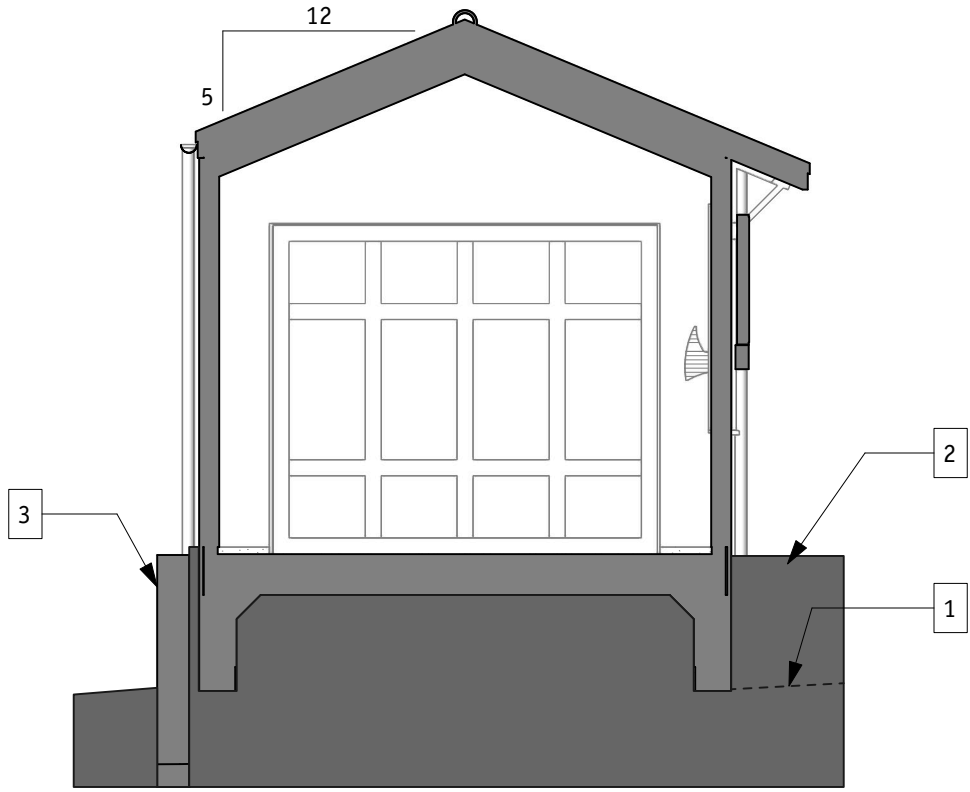
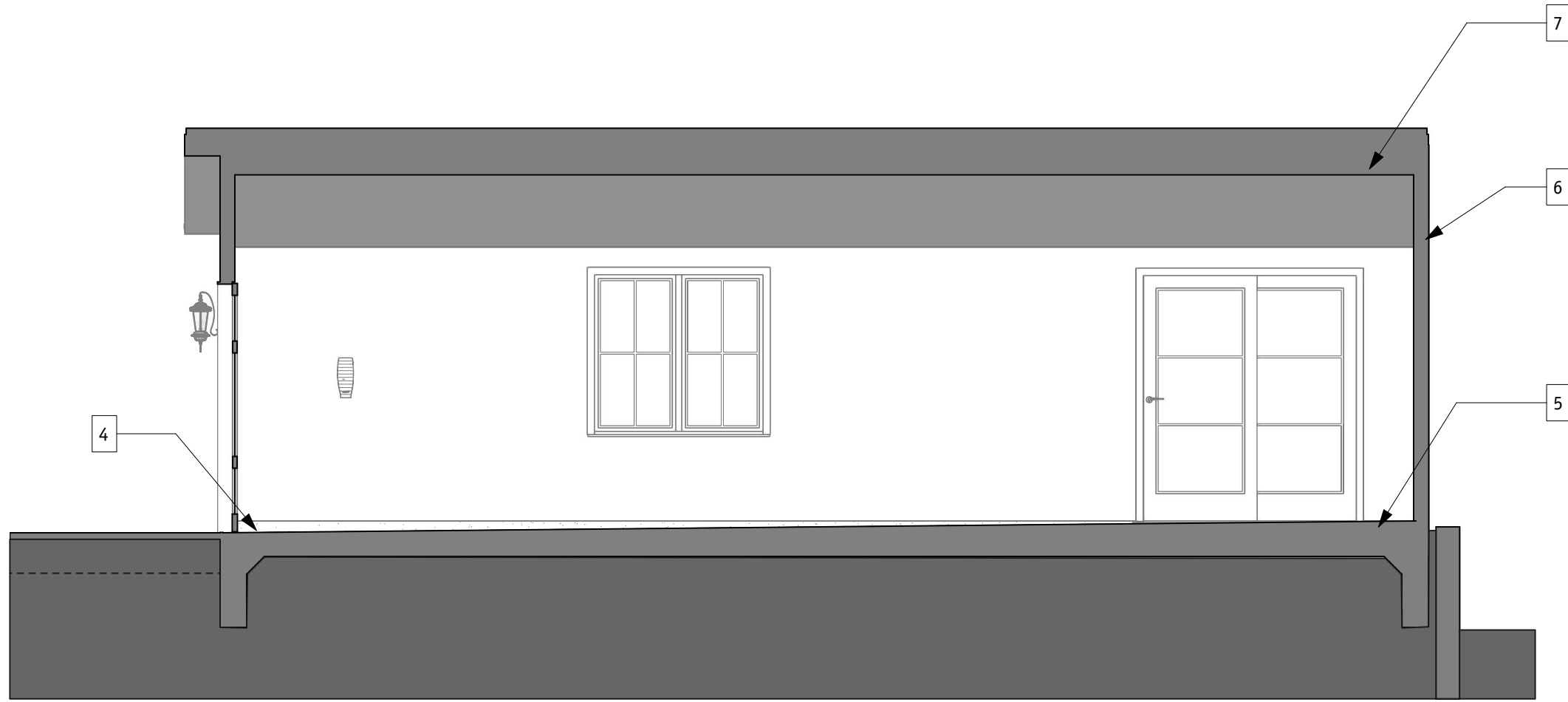
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1
A1.3 SECTION AT GARAGE
1/4" = 1'-0"

2
A1.3 SECTION AT GARAGE
1/4" = 1'-0"

Building Section Keynotes

1. (E) Grade
2. (N) Deck
3. (N) Retaining wall
4. All Garage walls to have a minimum 6" concrete curb
5. Concrete slab on grade floor construction. Provide Paraseal, or approved equal sheet membrane dual waterproofing, per Soils Report, between the slab and crushed 3/4" rock below. Capillary break to be installed at slab on grade foundation. Slope slab from back to garage doors as indicated on plans.
6. Exterior Wall Construction: Three-coat, 7/8" stucco with smooth sand texture over metal lath, 3/8" rainscreen (vent at top and weep screed at bottom), on two laters of "D" stucco paper, sheathing, wood studs, R-13 blanket insulation in cavity with vapor barrier, and gypsum board. Interior finish per Room Finish Schedule, UN0.
7. Wood-framed roof. Refer to Structural.

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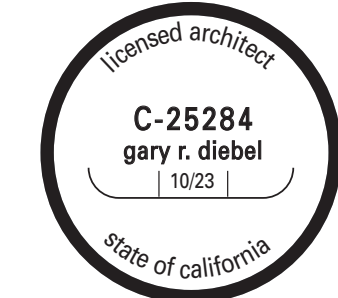
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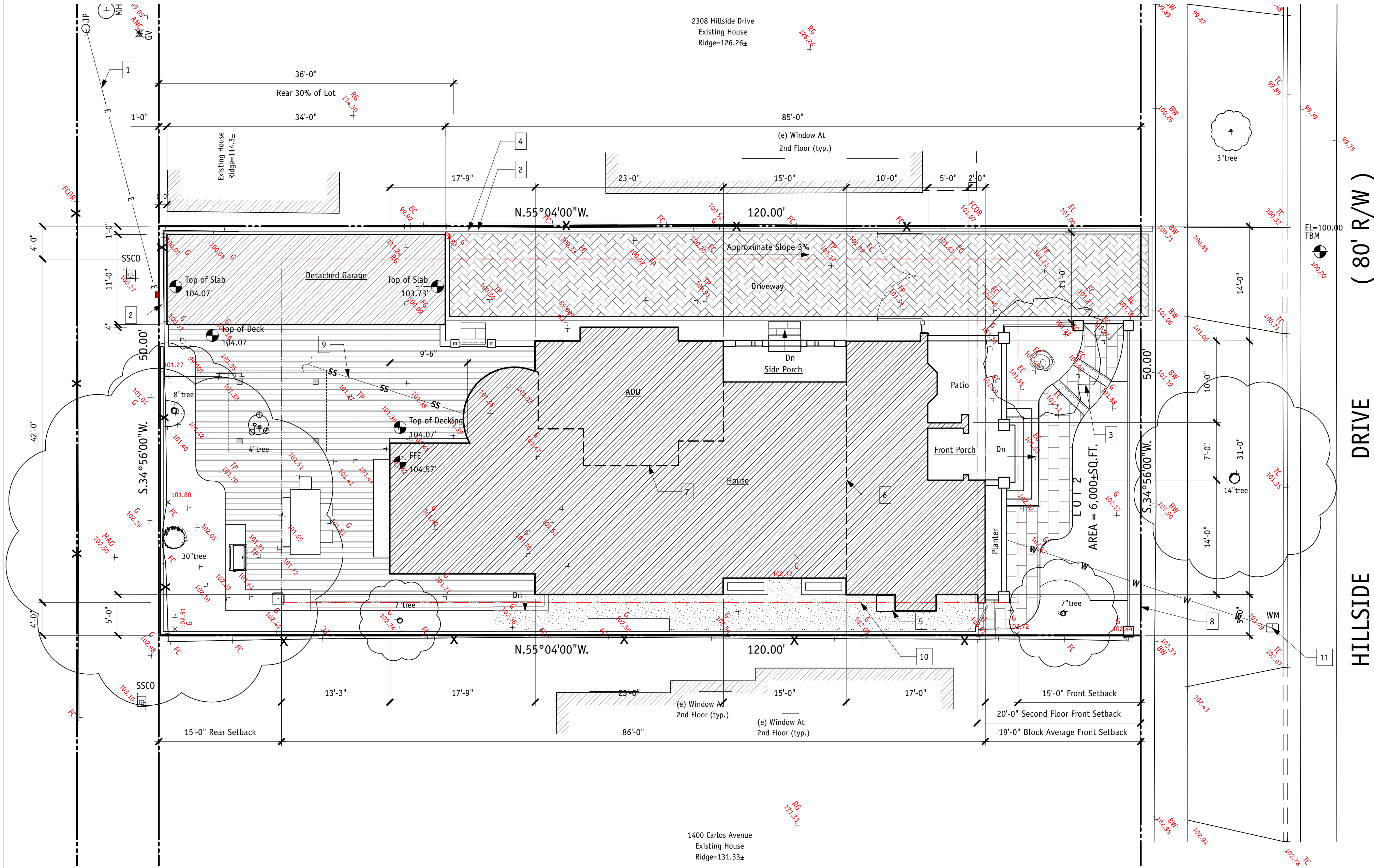
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A1.3

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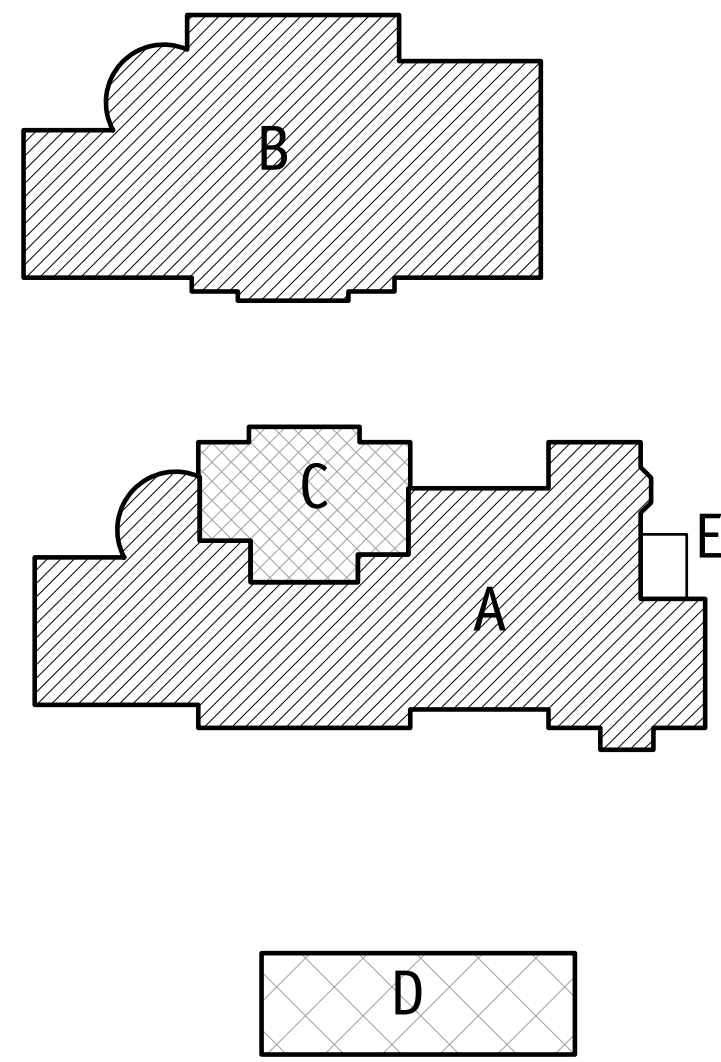


1 PROPOSED SITE PLAN
A1.1 1/8" = 1'-0"

- Site Plan Keynotes**
- (N) Overhead electrical service
 - (N) Retaining wall
 - (N) Tree, refer to Landscape Plan.
 - (N) Wood fence on top of retaining wall
 - AC Condenser
 - Extent of 2nd Floor
 - Extent of ADU.
 - Property line, typ.
 - Remove and replace sanitary sewer lateral.
 - Required setback line, typ.
 - Water meter vault.

- Site Plan General Notes**
- Refer to Landscape Plan.
 - The property will not have gas service.
 - Connect all downspouts to 4" diameter SDR 35 drain pipe in a French drain. Also, provide 4" perforated drain line around perimeter of foundations. Slope all drain lines pipes a minimum of 2% to through-curb outlet at street. Provide sump pump as required.

PROJECT DATA				
PROJECT ADDRESS		2312 Hillside Drive Burlingame, CA 94010		
PARCEL NUMBER		027.166.120		
ZONING		R1 Single Family Residence		
OCCUPANCY GROUP		R3 Dwelling U Garage		
TYPE OF CONSTRUCTION		VB Fire Sprinklers under a separate permit		
SETBACKS	Upper Floor	FRONT 20'0"	REAR 20'0"	SIDES *
	Lower Floor	**15'0"	15'0"	4'0"
LOT SIZE		6,000 sf		
LOT COVERAGE		PROPOSED	ALLOWABLE	
	House	1551 sf	-	
	Covered Porch	35 sf	-	
	Detached Garage	374 sf	-	
	Total	1960 sf 33%	2400 sf 40%	
FLOOR AREA RATIO		PROPOSED	ALLOWABLE	
	First Floor	1551 sf	-	
	Second Floor	1418 sf	-	
	*** Covered Porch	35 sf	-	
	Detached Garage	374 sf	-	
Total		3343 sf 0.56 FAR	3394 sf 0.57 FAR	
HEIGHT RESTRICTION (30')		131.20' Average top of curb: (102.07' + 100.32')/2 = 101.20'		
PARKING SPACES		PROPOSED	REQUIRED	
		2	2	
* Declining Height Envelope ** The block average front setback is 19'-0" *** Excludes front porch sf FAR and Lot Coverage excludes the ADU				
AVERAGE FRONT SETBACK				
1400 Carlos Avenue		23.00'		
2312 Hillside Drive		16.00'		
2308 Hillside Drive		20.00'		
2306 Hillside Drive		16.50'		
1401 Columbus Avenue		21.00'		
(16'+20'+21')/3=		19.00'		
FLOOR AREA CALCULATIONS				
A		1551 sf First Floor House		
B		1418 sf Second Floor House		
C		324 sf ADU		
D		374 sf Detached garage		
E		35 sf Front Covered Porch		



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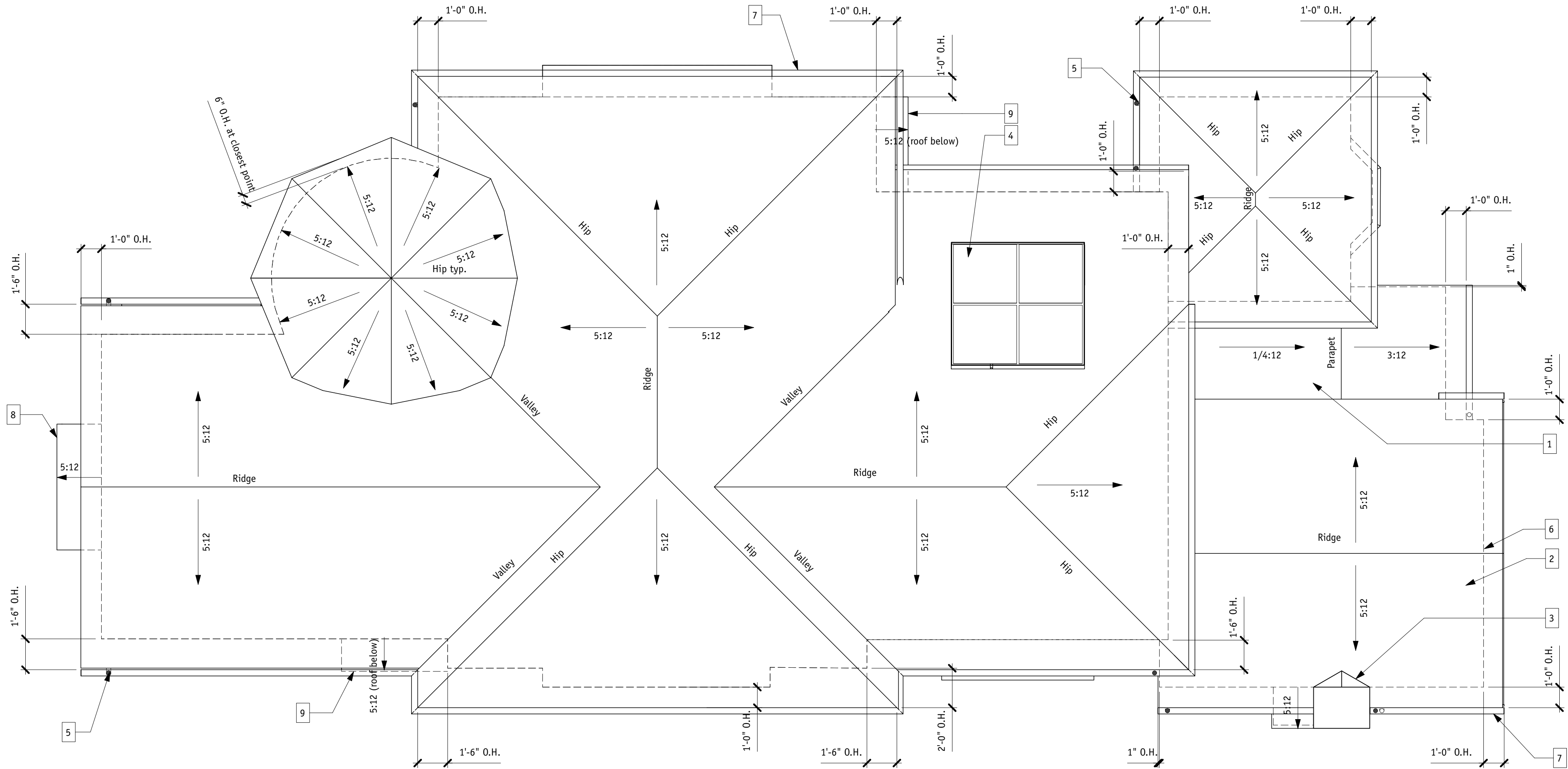
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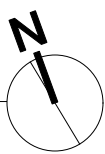
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- Roof Plan Keynotes**
1. Class B TPO low-slope roof, typ, 2% minimum slope. Provide strainer and internal drain. Provide metal flashing up and under tile and at adjoining walls. Provide overflow.
 2. Class B clay tile roofing to be Gladding, McBean Cordova Straight Barrel Mission. Color to be Franciscan Blend. Gladding, McBean, Lincoln, CA. ICC ES ESR-2015. Meet requirements of ASTM C-1167. Strictly follow Manufacturer's instructions. Provide a minimum of one layer of 30# or 40# felt under roofing. Radiant barrier required. Refer to Specifications. Refer to Structural for framing.
 3. Cricket below
 4. Custom low profile skylight by Wasco or approved equal
 5. Downspouts, typ.
 6. Exterior wall below, typ.
 7. Prefinished metal gutters with filler, typ.
 8. Shed roof with wood brackets over balcony below
 9. Shed roof with wood brackets over First Floor door.

1 ROOF PLAN
A2.3 1/4" = 1'-0"



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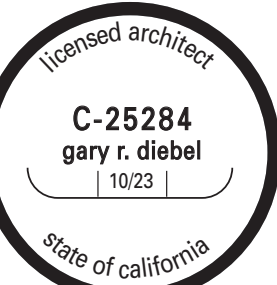
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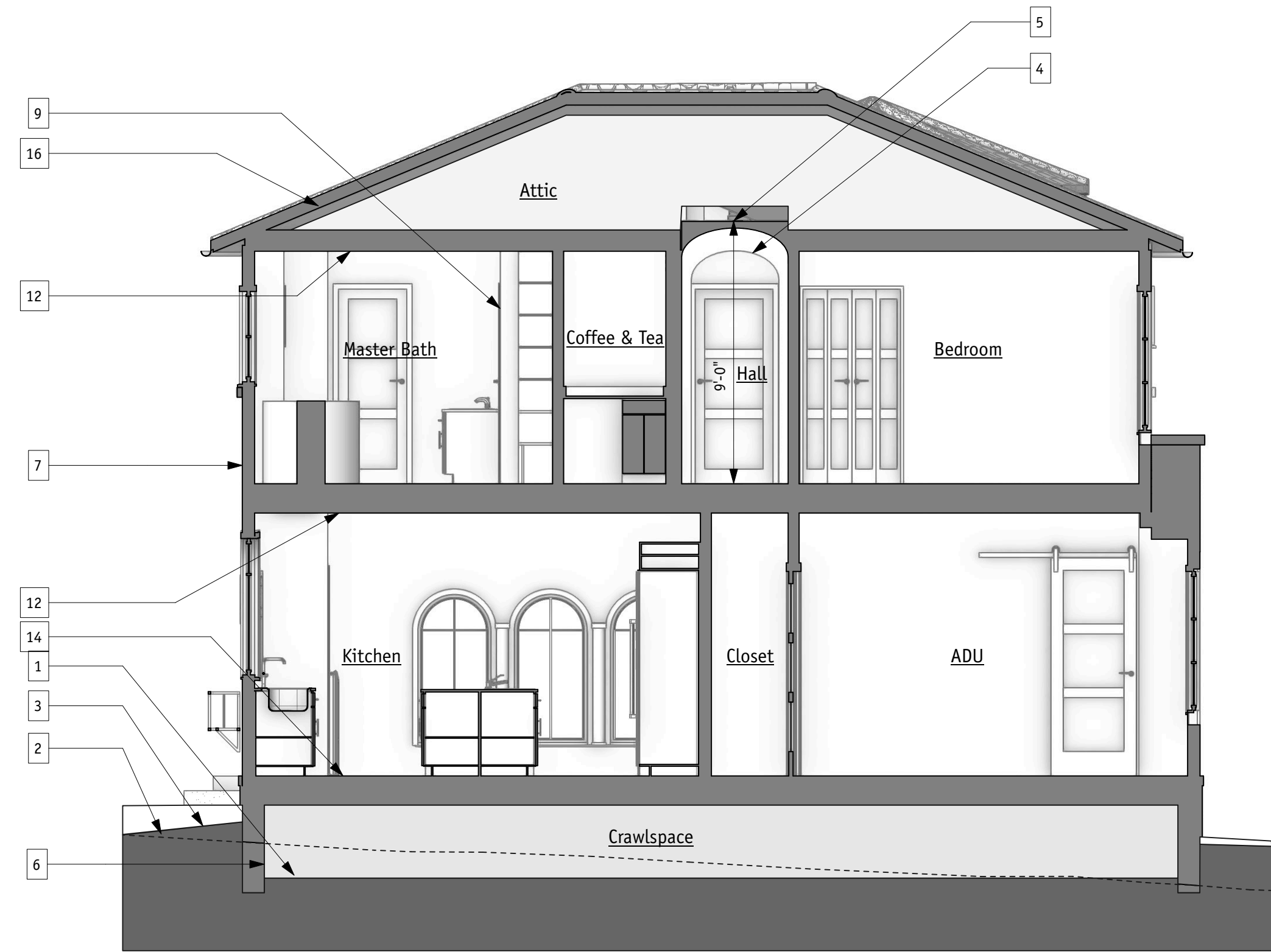
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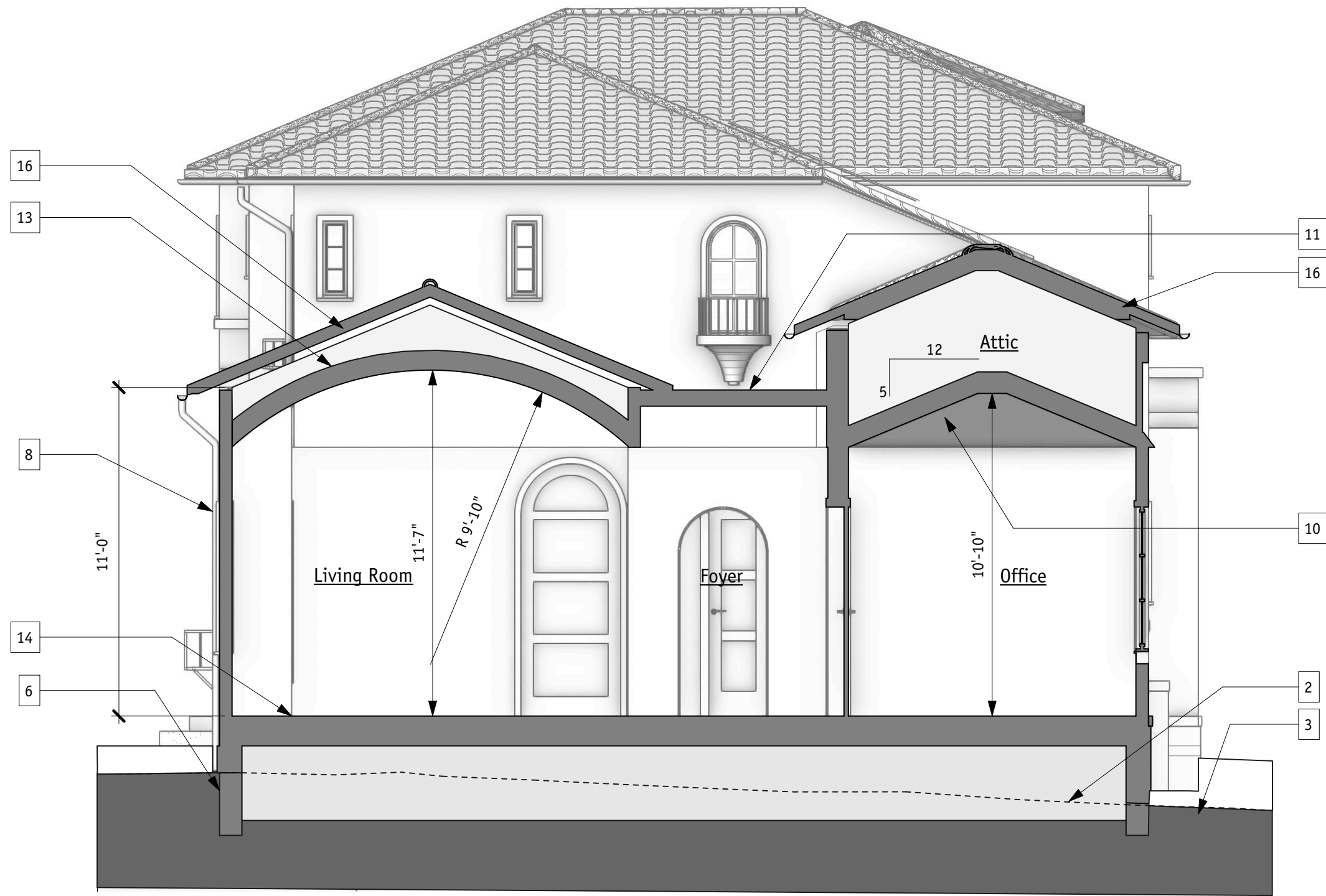
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A2.3

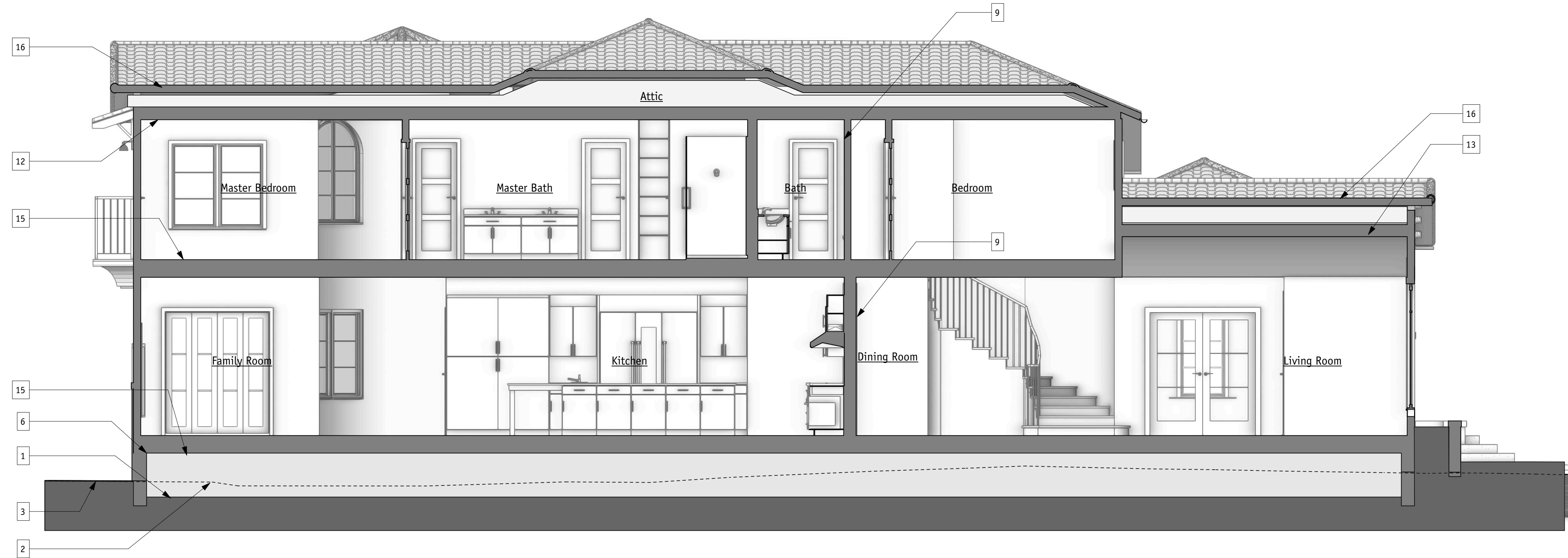
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1 BUILDING SECTION AT ADU
A3.5



2 BUILDING SECTION AT OFFICE/LIVING ROOM
A3.5



3 BUILDING SECTION AT FAMILY RM / KITCHEN / DINING RM / LIVING RM
A3.5

Building Section Keynotes

1. All crawlspaces to be less than 6' high with rat slab.
2. Approximate (E) grade
3. Approximate (N) grade
4. Arched openings. See Second Floor Plan.
5. Barrel vaulted ceiling concentric to arched openings.
6. Concrete foundation wall, typ.
7. Exterior Wall Construction: Three-coat, 7/8" stucco with smooth sand texture over metal lath, 3/8" rainscreen (vent at top and weep screed at bottom), on two layers of "D" stucco paper, sheathing, wood studs, R-19/R-26 blanket insulation in cavity with vapor barrier, and gypsum board. Interior finish per Room Finish Schedule, UNO.
8. Exterior Wall Construction: Three-coat, 7/8" stucco with smooth sand texture over metal lath, 3/8" rainscreen (vent at top and weep screed at bottom), on two layers of "D" stucco paper, sheathing, wood studs, R-19/R-26 blanket insulation in cavity with vapor barrier, and gypsum board. Refer to Elevations for stone veneer area on exterior barriers. Interior finish per Room Finish Schedule, UNO.
9. Interior Wall Construction: Wall finish on 2x wood studs @ 16" o.c. (UNO). See floor plans for acoustical walls. Verify finishes.
10. Vaulted ceiling. Refer to Reflected Ceiling Plan.
11. Wood framed roof deck structure. Provide low sloped TPO membrane roofing. See Roof Plan.
12. Wood-frame ceiling. Refer to Room Finish Schedule and Structural.
13. Wood-framed barrel vault ceiling. Refer to Structural.
14. Wood-framed floor structure. Install R-19 batt insulation under floor in wire hoops at crawl space. Refer to Structural.
15. Wood-framed floor structure. Refer to Structural.
16. Wood-framed roof. Refer to Structural.

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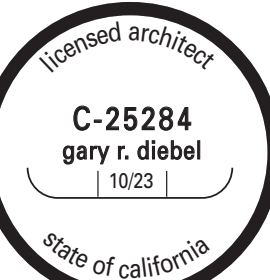
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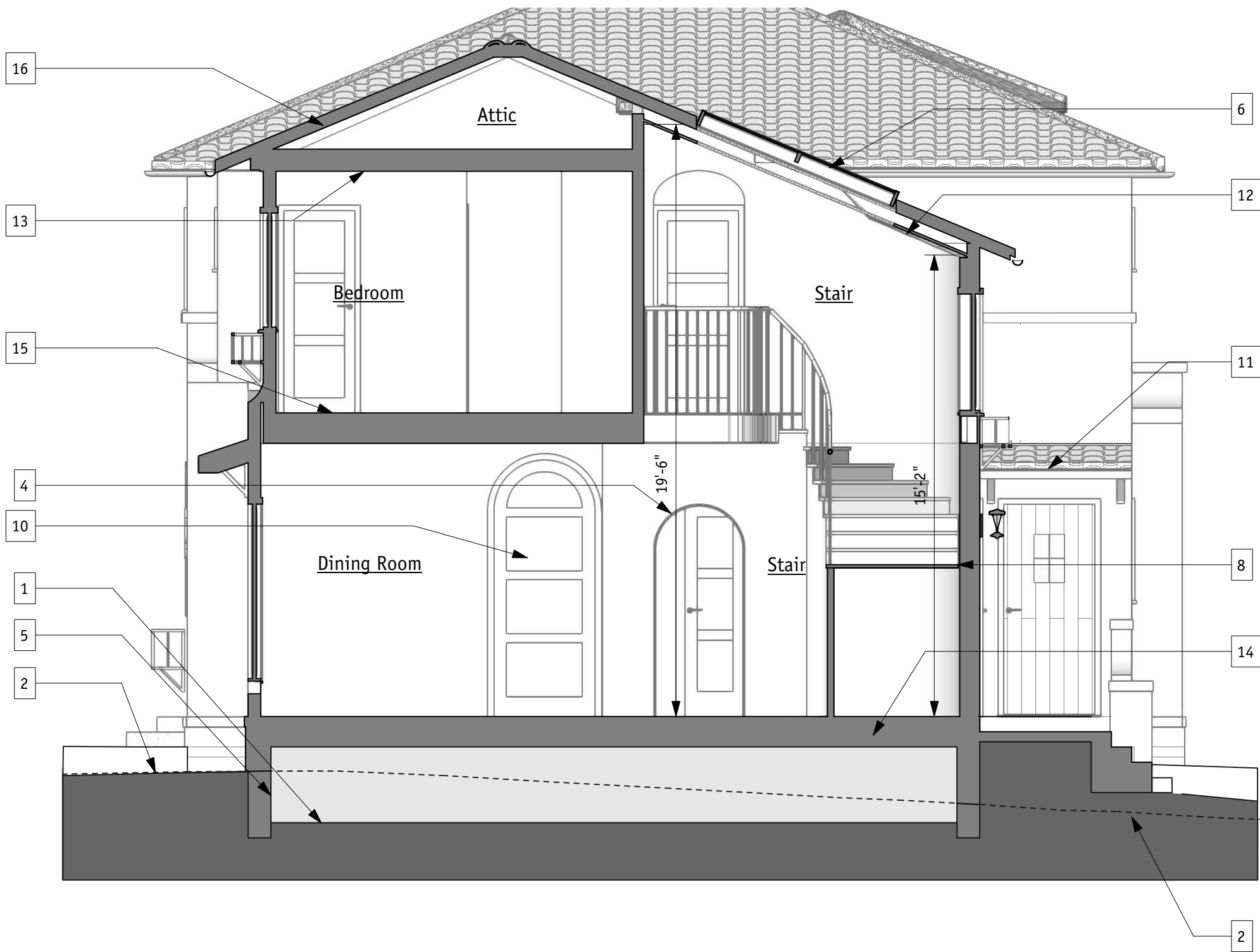
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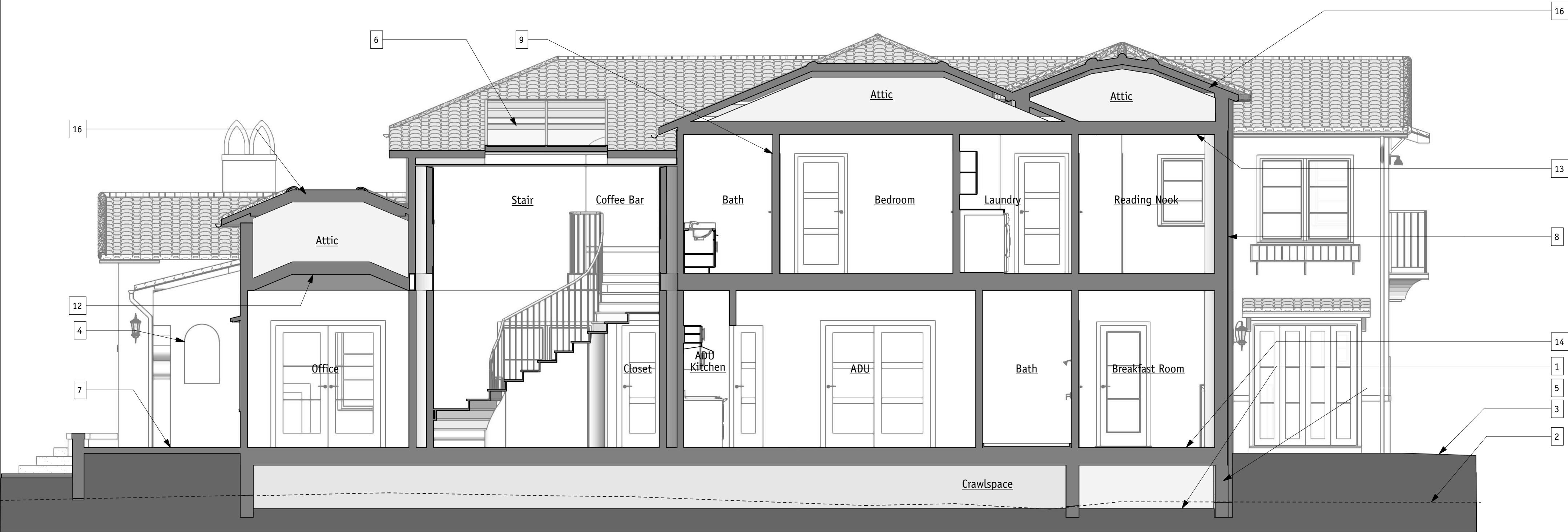


- Building Section Keynotes**
1. All crawlspaces to be less than 6' high with rat slab.
 2. Approximate (E) grade
 3. Approximate (N) grade
 4. Arched opening
 5. Concrete foundation wall, typ.
 6. Custom deck mounted skylight. Wasco or approved equal.
 7. Exterior concrete based patio slab on grade.
 8. Exterior Wall Construction: Three-coat, 7/8" stucco with smooth sand texture over metal lath, 3/8" rainscreen (vent at top and weep screed at bottom), on two laters of "D" stucco paper, sheathing, wood studs, R-13 blanket insulation in cavity with vapor barrier, and gypsum board. Interior finish per Room Finish Schedule, UNO.
 9. Interior Wall Construction: Wall finish on 2x wood studs @ 16" o.c. (UNO). See floor plans for acoustical walls. Verify finishes.
 10. Pocket door with arched panel
 11. Shed roof with wood brackets
 12. Vaulted ceiling. Refer to Reflected Ceiling Plan.
 13. Wood-frame ceiling. Refer to Room Finish Schedule and Structural.
 14. Wood-framed floor structure. Install R-19 batt insulation under floor in wire hoops at crawl space. Refer to Structural.
 15. Wood-framed floor structure. Refer to Structural.
 16. Wood-framed roof. Refer to Structural.



1 BUILDING SECTION AT DINING ROOM AND STAIR

A3.6



2 BUILDING SECTION AT OFFICE, STAIR, ADU, AND BREAKFAST ROOM

A3.6

LAYOUT LEGEND

- (E)

EXISTING
- (N)

NEW
- CB

CATCH BASIN
- CL

CENTERLINE
- CLR

CLEAR
- DN

DOWN
- EJ

EXPANSION JOINT
- EQ

EQUAL
- FOB

FACE OF BUILDING
- LA

LANDSCAPE ARCHITECT
- PA

PLANTING AREA
- PL

PROPERTY LINE
- RI

RIM ELEVATION
- SAD

SEE ARCHITECTURAL DRAWINGS
- SSD

SEE STRUCTURAL DRAWINGS
- SCD

SEE CIVIL DRAWINGS
- SYM

SYMMETRICAL
- TBD

TO BE DETERMINED
- TYP

TYPICAL
- VIF

VERIFY IN FIELD
- ⊗

AREA DRAIN IN PLANTING

2% → SLOPE DIRECTION AND GRADE

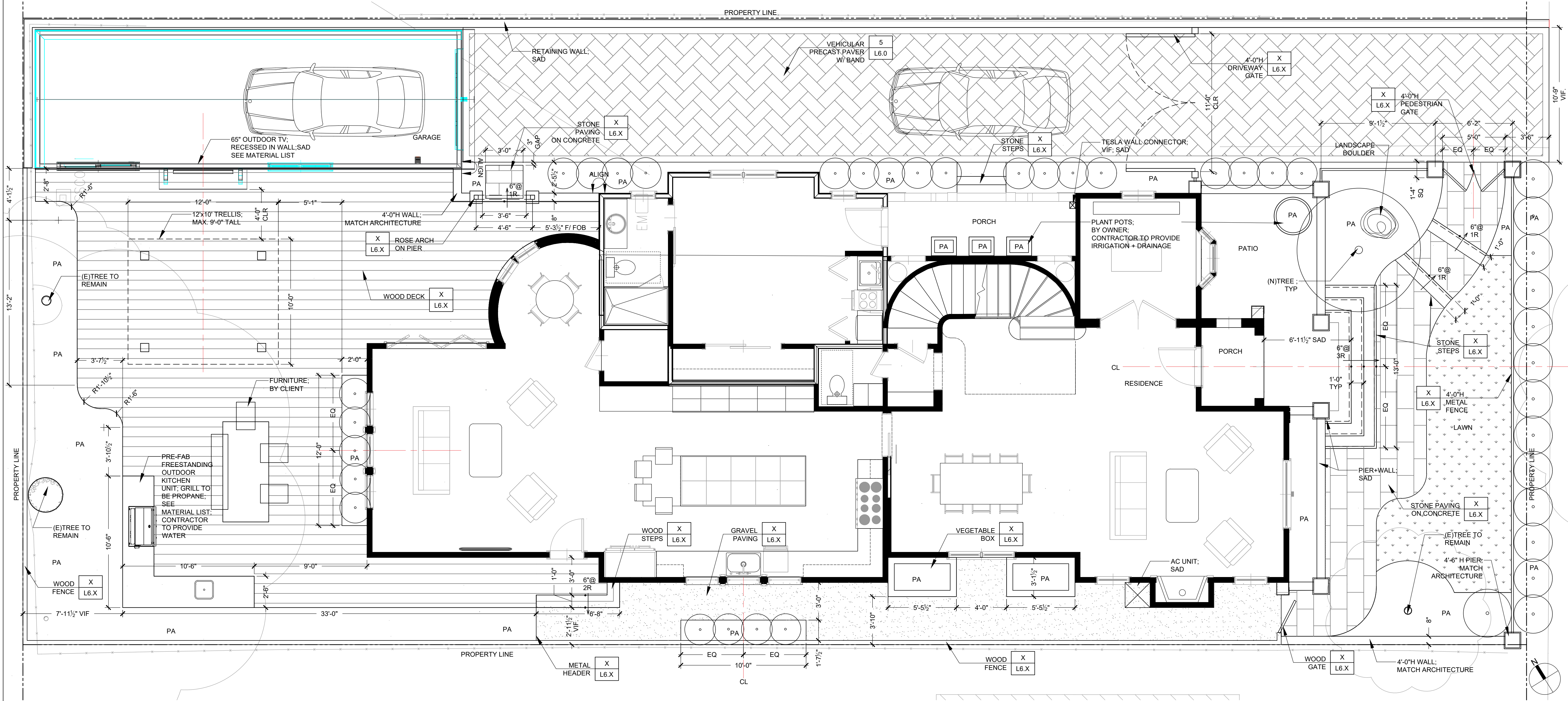
----- PROPERTY LINE

LAYOUT NOTES

1. VERIFY LOCATION OF ALL BUILDINGS, WALLS, ROADS AND CURBS AFFECTING LANDSCAPE SCOPE OF WORK WITH RELEVANT ARCHITECTURAL AND ENGINEERING DRAWINGS PRIOR TO COMMENCING SITE WORK.
2. VERIFY LOCATION OF ALL VAULTS, ELECTRICAL DUCT BANKS, MANHOLES, CONDUIT AND PIPING, DRAINAGE STRUCTURES, LIGHTING AND OTHER UTILITIES WITH THE APPROPRIATE ENGINEER'S DRAWINGS.
3. WHERE NOT SHOWN ON LANDSCAPE DRAWINGS, SEE CIVIL ENGINEERING DRAWINGS FOR ROADWAY CENTERLINE, STATION POINTS, BENCH MARKS AND BUILDING SETBACKS.
4. TAKE ALL DIMENSIONS FROM CENTER OF CURB, WALL OR BUILDING, OR TO CENTERLINE OF BUILDING COLUMNS OR TREES UNLESS OTHERWISE NOTED.
5. ALL DIMENSONS CALLED OUT AS "EQUAL" (EQ) SHALL BE EQUIDISTANT MEASUREMENTS BETWEEN THE REFERENCE POINTS SHOWN.
6. ALL ITEMS DESIGNATED AS "SIMILAR" OR "TYPICAL" (TYP) SHALL BE CONSTRUCTED IN THE MANNER OF THE DETAIL REFERENCED, WITH MINOR ADJUSTMENT FOR SPECIFIC CONDITION.
7. ALL ANGLES SHALL BE 90 DEGREES AND ALL LINES SHALL BE HELD PARALLEL UNLESS OTHERWISE NOTED ON THE DRAWINGS. MAINTAIN HORIZONTAL ALIGNMENT FOR ALL ADJACENT ELEMENTS SO REFERENCED ON THE DRAWINGS.
8. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE APPARENT ON DRAWINGS. DO NOT SCALE FROM DRAWINGS. SEE ENLARGED PLANS AND SPECIFIC DETAILS FOR ADDITIONAL INFORMATION.
9. INDIVIDUAL NOTES AND SPECIFIC DETAILS TAKE PRECEDENCE OVER GENERAL NOTES AND GENERIC DETAILS.
10. ALL WORK PERFORMED WITHIN THE TREE PROTECTION ZONE AND/OR THE DRIP LINE OF TREES DESIGNATED AS "EXISTING TREES TO REMAIN" SHALL BE HAND LABOR. NO ROOTS TWO INCHES OR LARGER IN CALIPER SHALL BE SEVERED WITHOUT REVIEW AND ACCEPTANCE BY ARBORIST.
11. CONTRACTOR TO RETAIN CONTROL SAMPLE FOR ALL MATERIALS FOR CONFIRMATION BY OWNER AND LANDSCAPE ARCHITECT.
12. OUTDOOR KITCHEN: UNLESS OTHERWISE NOTED, COUNTERTOPS SHALL HAVE A TURN DOWN EDGE WITH A MITERED JOINT. THE FINISH ON THE FACE OF THE COUNTER SHALL MATCH THE TOP OF THE COUNTER AND SHALL HAVE A 1/8" EASED EDGE. A LAMINATED EDGE DETAIL WILL NOT BE ACCEPTED.

MATERIALS LIST

MATERIAL	MANUFACTURER/SUPPLIER	STYLE/COLOR	FINISH/SIZE	NOTES/CONTACT
STONE PAVING				
DRIVEWAY PAVING				
GRAVEL PAVING				
STONE TREAD				
STONE RISER				
WOOD DECK				
OUTDOOR TV	SÉURA	Shade Series	65"	SLIM WALL MOUNT; VIF W/ ARCH



PERMIT SET

2312 HILLSIDE
DRIVE
Burlingame, CA 94010

Revisions

Sheet by: NS/EX
Scale": 1/2"= 1'-0"
Project #: 221-13
Date: 20 JUNE 2021

EUPHORIC
LANDSCAPE ARCHITECTURE

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LAYOUT PLAN

L1.0

PLANTING NOTES

1. CONTRACTOR TO FIELD VERIFY ALL UTILITIES WITHIN THE SPECIFIED WORK AREA AND SHALL BE RESPONSIBLE FOR THEIR PROTECTION.
2. CONTRACTOR IS TO PREPARE THE PLANTING AREAS PRIOR TO COMMENCEMENT BY REMOVING ANY EXISTING WEED GROWTH THROUGH ORGANIC, NON-TOXIC METHODS. IN ADDITION, CONTRACTOR IS TO ADD SIX CUBIC YARDS OF NITROGENATED SOIL AMENDMENT PER 1000 SQUARE FEET AND ROTOTILLED TO A DEPTH OF AT LEAST SIX INCHES. WHERE ROTOTILLING IS NOT POSSIBLE, INCORPORATE SOIL AMENDMENTS INTO THE TOP SIX INCHES OF EXISTING SOIL USING HAND TOOLS.
3. PLANTING PLAN PROVIDES GENERAL LAYOUT OF PLANT MATERIAL ONLY. CONTRACTOR TO VERIFY DIMENSIONS WITH ACTUAL FIELD CONDITIONS AND SHALL NOTIFY THE OWNER AND/OR **ARBOREALIS** OF ALL CONDITIONS WHICH PREVENT EXECUTION OF PLANS.
4. PLANTS SHALL BE NURSERY GROWN, BE SOUND AND FREE OF PESTS OR DISEASE. ALL PLANT MATERIAL IS SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER AND /OR **ARBOREALIS** UPON DELIVERY TO SITE AND FOLLOWING PLANTING.
5. CONTRACTOR TO PROTECT PLANT ROOTS AND TOPS FROM SUN OR DRYING WINDS UNTIL FINAL PLANTING.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFILLING ALL PLANTING AREAS WITH APPROVED PLANTING SOIL MIX. ALL CONSTRUCTION DEBRIS IS TO BE REMOVED FROM THE SITE PRIOR TO COMMENCING WITH PLANTING AND SHALL NOT BE USED AS BACKFILL MATERIAL IN ANY WAY.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING QUANTITIES NOTED ON PLANT LIST.
8. ADD FERTILIZER TABLETS TO EACH PLANTING PIT ON THE FOLLOWING SCHEDULE:
 - a. 6 GALLON= 3 TABLETS
 - b. 5 GALLON= 3 TABLETS
 - c. 15 GALLON= 5 TABLETS
 - d. 24" BOX= 6 TABLETS
 - e. 36" BOX= 8 TABLETS

***ALL PLANTING BEDS TO BE COVERED WITH 2-3" FINELY SHREDDED CEDAR MULCH.

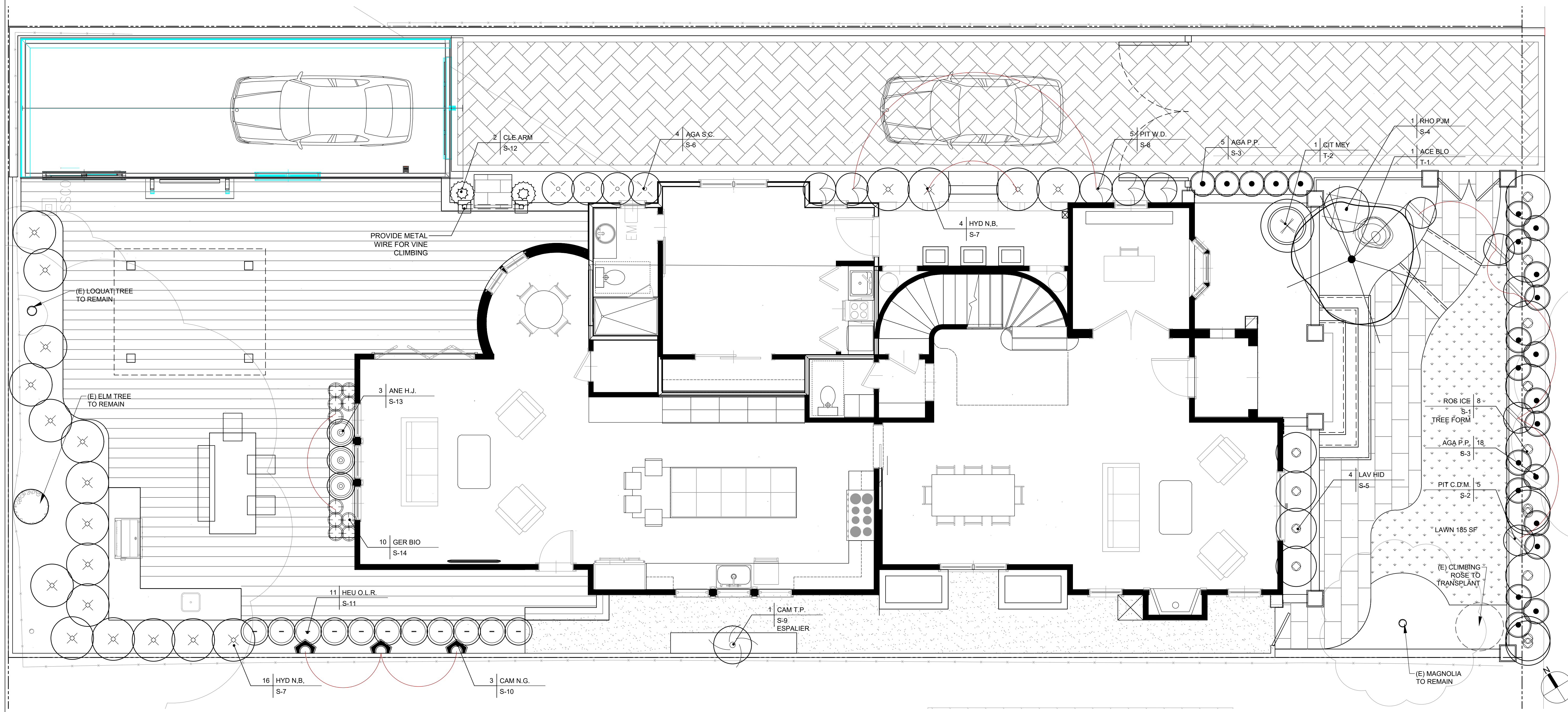
PLANT LIST

KEY	NAME	SIZE	QTY.	GENUS/SPECIES	COMMON NAME
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TREES					
T-1	ACE BLO	24" Box	1	Acer palmatum var. atropurpureum 'Bloodgood'	Bloodgood Japanese Maple
T-2	CIT MEY	15 GAL	1	Citrus limon 'Meyer Improved'	Improved Meyer Lemon

SHRUBS						NOTES
S-1	ROS ICE	15 GAL	8	Rosa spp. 'Iceberg'	White Iceberg Rose	TREE FORM
S-2	PIT C.D.M.	5 GAL	5	Pittosporum tobira 'Shima'	Cream De Mini™ Dwarf Pittosporum	
S-3	AGA P.P.	1 GAL	23	Agapanthus 'Peter Pan'	LILY OF NILE	
S-4	RHO PJM	5 GAL	1	Rhododendron x 'P.J.M.'	P.J.M. Rhododendron	
S-5	LAV HID	5 GAL	4	Lavandula angustifolia 'Hidcote Blue'	Hidcote Blue English Lavender	
S-6	AGA S.C.	5 GAL	4	Agapanthus 'Storm Cloud'	Dark Blue Agapanthus	
S-7	HYD N.B.	15 GAL	20	Hydrangea macrophylla 'Nikko Blue'	Nikko Blue Hydrangea	

S-8	PIT W.D.	5 GAL	5	Pittosporum tobira 'Wheeler's Dwarf'	Wheeler's Dwarf Japanese Pittosporum	
S-9	CAM T.P.	15 GAL	1	Camellia x 'Taylor's Perfection'	Taylor's Perfection Camellia	ESPALIER
S-10	CAM N.C.	15 GAL	3	Camellia japonica 'Nuccio's Gem'	Nuccio's Gem Camellia	
S-11	HEU OLR	1 GAL	11	Heuchera 'Old La Rochette'	Heuchera	
S-12	CLE ARM	5 GAL	2	Clematis armandii	Evergreen Clematis	
S-13	ANE H.J.	1 GAL	3	Anemone x hybrida 'Honorine Jobert'	Honorine Jobert Japanese Anemone	
S-14	GER BIO	1 GAL	10	Geranium x cantabrigiense 'Blokovo'	hardy geranium	



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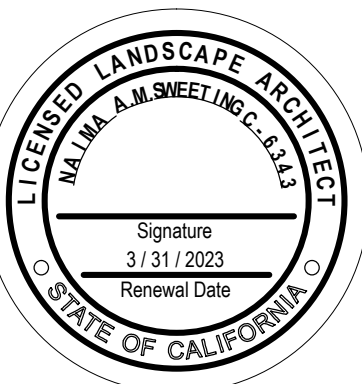
Revisions

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PLANTING PLAN

L4.0