

RESIDENTIAL REMODEL/ADDITION

NGAI RESIDENCE

OWNER

GRACE AND LARRY NGAI
2269 MARTINEZ DRIVE
BURLINGAME, CA 94010
LGNGAI@GMAIL.COM
415.309.6768

CONSULTANTS

REVISED

RECEIVED

AUG 30 2022

CITY OF BURLINGAME
CDD-PLANNING DIVISION

PROJECT SCOPE

ADDITION OF DINING ROOM AND MASTER OUT REAR OF HOUSE ALONG WITH REMODEL OF KITCHEN.
NEW CLOSET IN FRONT BEDROOM AND LINEN CLOSET NEXT TO POWDER ROOM. REMODEL EXISTING
DINING ROOM TO DEN.

PROJECT DATA

- APN 025-083-050
- ZONING SFR R-1
- OCCUPANCY: R-3 / U
- CONSTRUCTION TYPE: V-B
- SPRINKLER: YES
- YEAR BUILT 1958

PROJECT SUMMARY TABLE

NET LOT AREA	11,125 SF	TOTAL				
FLOOR AREA	1ST LEVEL	LOWER LEVEL	LIVING	CARAGE	FAR	
EXISTING	1,914	1,332	3,246	624	3,870	
PROPOSED	748	-	748	-	-	
TOTAL SF	2,662	1,332	3,994	624	4,618	

FAR CALCULATION
11,125 SF LOT X .32 FAR = 3,560 + 1,100 = 4,660 SF MAX

LOT COVERAGE
11,125 SF LOT X .40 = 4,450 SF MAX

STANDARDS	REQUIRED (MAX)	PROPOSED
HEIGHT	30'-0"	21'-9"
SETBACKS 1ST FLOOR FRONT	15'-0"	15'-0"
SIDE RIGHT	7'-0"	9'-9"
SIDE LEFT	7'-0"	9'-9 1/2"
REAR	15'-0"	67'-0"

CONSTRUCTION HOURS

WEEKDAYS: 8AM - 7PM
SATURDAYS: 9AM - 6PM
SUNDAYS AND HOLIDAYS: NO WORK ALLOWED
SEE CITY OF BURLINGAME MUNICIPAL CODE, SECTION 18.07.110 FOR DETAILS

CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT-OF-WAY ARE LIMITED TO WEEKDAYS AND
NON-CITY HOLIDAYS BETWEEN 8AM - 5PM
SEE CITY OF BURLINGAME MUNICIPAL CODE, SECTION 13.04.100 FOR DETAILS

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HERS FEATURE SUMMARY

ABBREVIATIONS

A.B.	AGGREGATE BASE	F.O.M.	FACE OF MASONRY	PSI	POUNDS PER SQUARE INCH
A.C.	ASPHALT CONCRETE	F.O.S.	FACE OF STUD	P.T.	PRESSURE TREATED
A/C	AIR CONDITIONING	FTG	FOOTING	Q.T.	QUARRY TILE
ACC	ACCESSIBLE				
A.D.	AREA DRAIN	GA.	GAUGE	RAD	RADIUS
ADJ	ADJUSTABLE	GLV	GALVANIZED	R.D.	ROOF DRAIN
A.F.F.	ABOVE FINISH FLOOR	GLB	GLUE LAMINATED BEAM	REINF	REINFORCE
ALT	ALTERNATE	G.S.M.	GALVANIZED SHEET METAL	REQ'D	REQUIRED
ALUM	ALUMINUM	GWB	GYP SUM WALLBOARD	RM	ROOM
APPROX	APPROXIMATE			R.O.	ROUGH OPENING
A.T.	ACOUSTIC TILE	H.B.	HOSE BIBB	RWD	REDWOOD
		H.C.	HOLLOW CORE	RWL	RAIN WATER LEADER
BLDG	BUILDING	HDWR	HARDWARE	R.H.W.S.	ROUND HEAD WOOD SCREW
BLKG	BLOCKING	HWWD	HARDWOOD		
B.O.	BOTTOM OF	H.M.	HOLLOW METAL	SAF	SELF-ADHERED FLASHING
BOT	BOTTOM	HORIZ	HORIZONTAL	S.C.	SOLID CORE
B.U.R.	BUILT UP ROOFING	HT	HEIGHT	SDE	SIDE DRAINAGE EASEMENT
		I.D.	INSIDE DIAMETER	SHT	SHEET
CAB	CABINET	INSUL	INSULATION	SH	SIMILAR
CB	CALIFORNIA BUILDING CODE	INT	INTERIOR	S.M.S.	SHEET METAL SCREW
C.J.	CONSTRUCTION JOINT	JAN	JANITOR	SPEC	SPECIFICATION
CLG	CEILING	JOINT	JOINT	SQ	SQUARE
CLR	CLEAR			S.S.	STAINLESS STEEL
CMU	CONCRETE MASONRY UNIT	L	LENGTH	STD	STANDARD
C.O.	CLEAN OUT	LAM	LAMINATED	S.T.S.	SELF-TAPPING SCREW
COL	COLUMN	LAV	LAVATORY	STL	STEEL
COMP	COMPOSITION	LB	POUND	STOR	STORAGE
CONT	CONTINUOUS	L.S.	LAG SCREW	STRUCT	STRUCTURAL
CONC	CONCRETE	LT	LIGHT	SUSP	SUSPENDED
CTSK	COUNTERSUNK			SYM	SYMMETRICAL
		MFR	MANUFACTURER	T&G	TONGUE & GROOVE
D	DEPTH	MAX	MAXIMUM	TEL	TELEPHONE
DTL	DETAIL	MECH	MECHANICAL	THK	THICK
D.F.	DRINKING FOUNTAIN	MIN	MINIMUM	T.O.	TOP OF
DIA	DIAMETER	MISC	MISCELLANEOUS	T.O.C.	TOP OF CONCRETE
DIM	DIMENSION	MPE	MULTI-PURPOSE EASEMENT	TYP	TYPICAL
DN	DOWN	M.O.	MASONRY OPENING	U.O.N.	UNLESS OTHERWISE NOTED
DS	DOWNSPOUT	M.R.	MOISTURE RESISTANT	UNREINF	UNREINFORCED
DW	DISHWASHER	(N)	NEW	UR	URINAL
DWG	DRAWING	N.I.C.	NOT IN CONTRACT		
		EA	EACH	NOM	NOMINAL
(E)	EXISTING	OBSC	OBSCURE		
E.A.	EXPANSION JOINT	O.C.	ON CENTER	W	WIDTH
E.L.	ELEVATION	O.D.	OUTSIDE DIAMETER	WC	WATER CLOSET
ELEC	ELECTRICAL	OPP	OPPOSITE	WD	WOOD
ELEV	ELEVATION	OZ	OUNCE	W.H.	WATER HEATER
EQ	EQUAL	O.F.C.I.	OWNER FURNISHED.	WSCOT	WAINSCOT
EQUIP	EQUIPMENT	O.F.O.I.	OWNER FURNISHED, OWNER INSTALLED	WT	WEIGHT
EXT	EXTERIOR	PERF	PERFORATED		
(F)	FUTURE	PL	PLATE		
F.D.	FLOOR DRAIN	PLAS	PLASTIC		
F.E.	FIRE EXTINGUISHER	PLUMB	PLUMBING		
F.E.C.	FIRE EXTINGUISHER CABINET	PLYWD	PLYWOOD		
F.F.E.	FINISH FLOOR ELEVATION	PMF	PRESSED METAL FRAME		
F.G.	FINISH GRADE	PR	PAIR		
F.H.	FIRE HYDRANT				
F.H.W.S.	FLAT HEAD WOOD SCREW				
FIN.	FINISH				
FLR	FLOOR				
FLUOR	FLUORESCENT				
F.O.F.	FACE OF FINISH				

SYMBOLS

W/	WITH	ROOM NAME	ROOM NAME
		100	ROOM NUMBER
		1 2	INTERIOR ELEVATIONS
		3	
		A15.1	DETAIL NUMBER
			SHEET NUMBER
		2	SECTION NUMBER
		A4.1	SHEET NUMBER
		(OR)	
		1	SECTION NUMBER
		A14.1	SHEET NUMBER
		BC24A	KEYNOTE
		100	DOOR NUMBER
		100	WINDOW NUMBER
		46	WALL TYPE / STUD SIZE
		+9'-0"	INDICATES NOMINAL CEILING HEIGHT ABOVE F.F.E. ON REFLECTED CEILING PLAN
		+6'-10" F.F.F.	ELEVATION SYMBOL
		4:12	ROOF PITCH
		2435.12 T.O.P.	NEW GRADE ELEVATION
		2430.18	(E) GRADE ELEVATION
		A	GRID BUBBLE
		A001 RI	SIGN NUMBER
			SIGN TYPE

APPLICABLE CODES

2019 CALIFORNIA CODE OF REGULATIONS (CCR) APPLICABLE CODES EFFECTIVE JAN 1, 2019:

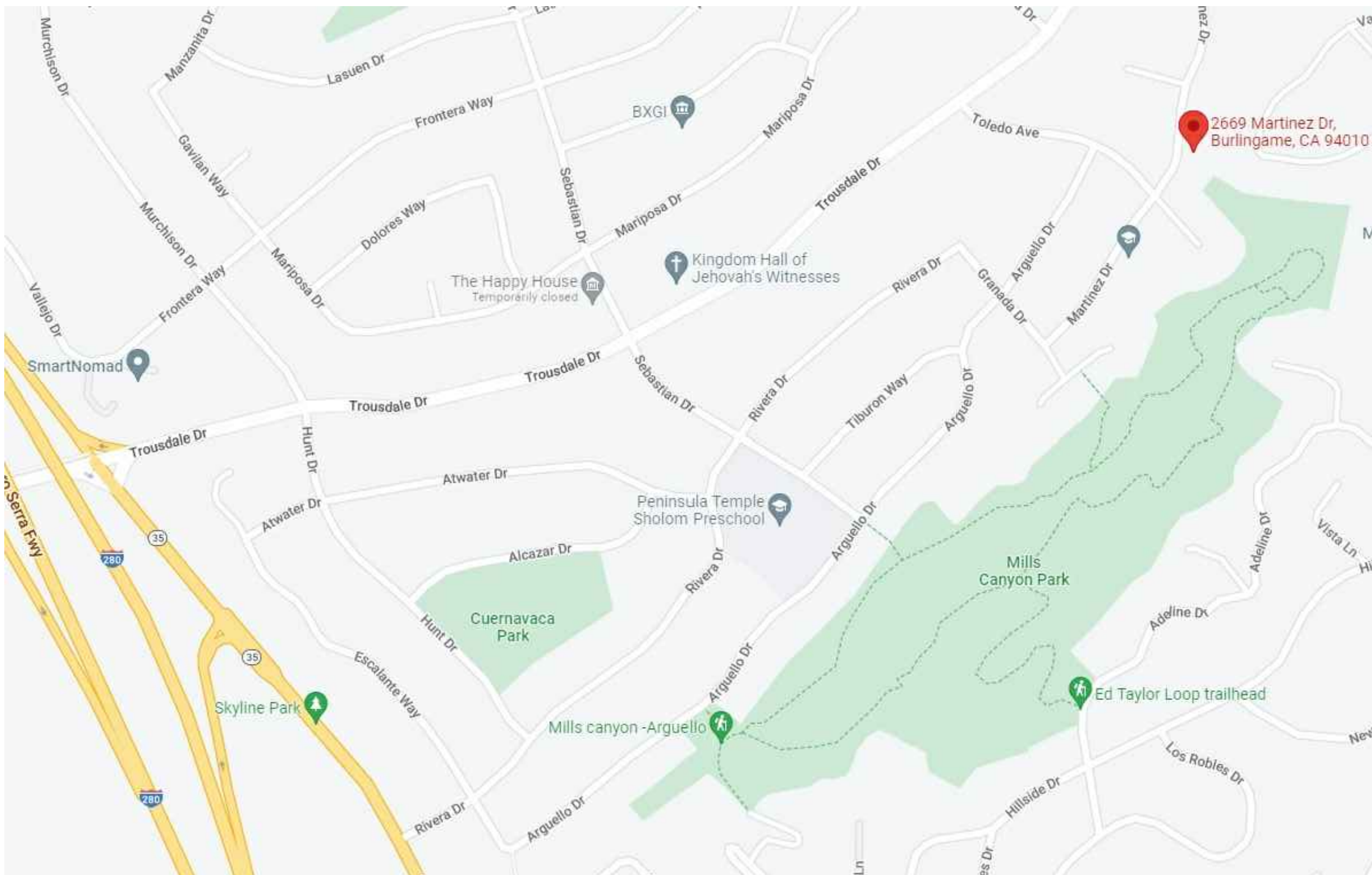
TITLE 19 CCR, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS
TITLE 24 CCR, PART 1 - 2019 BUILDING STANDARDS ADMINISTRATIVE CODE
TITLE 24 CCR, PART 2 - 2019 CALIFORNIA BUILDING CODE, VOL. 1 & 2 (CBC)
TITLE 24 CCR, PART 2.5 - 2019 CALIFORNIA RESIDENTIAL CODE (CRC)
TITLE 24 CCR, PART 3 - 2019 CALIFORNIA ELECTRICAL CODE (CEC)
TITLE 24 CCR, PART 4 - 2019 CALIFORNIA MECHANICAL CODE (CMC)
TITLE 24 CCR, PART 5 - 2019 CALIFORNIA PLUMBING CODE (CPC)
TITLE 24 CCR, PART 6 - 2019 CALIFORNIA ENERGY CODE
TITLE 24 CCR, PART 7 - 2019 CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE
TITLE 24 CCR, PART 8 - 2019 CALIFORNIA HISTORICAL BUILDING CODE
TITLE 24 CCR, PART 9 - 2019 CALIFORNIA FIRE CODE (CFC)
TITLE 24 CCR, PART 10 - 2019 EXISTING BUILDING CODE
TITLE 24 CCR, PART 11 - 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
TITLE 24 CCR, PART 12 - 2019 CALIFORNIA REFERENCED STANDARDS

LOCAL MUNICIPAL CODE

DEFERRED SUBMITTALS

SPECIAL INSPECTIONS

PROJECT LOCATION



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SAN JOSE, CA 95117

COVER SHEET

PLANNING REVIEW ONLY

RESIDENTIAL ADDITION FOR:

GRACE AND LARRY NGAI
2669 MARTINEZ DRIVE
BURLINGAME, CA 94010
APN# 025-083-050

DATE: 2022.04.07

SCALE: PER SHEET

DRAWN BY: DAVID

PLAN NO.: 2127

SHEET:

CVR



EXISTING FRONT PHOTO



EXISTING REAR PHOTO



EXISTING LEFT PHOTO



EXISTING RIGHT/REAR PHOTO

REVISIONS	DATE

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PAGE TITLE

EXISTING PHOTOS

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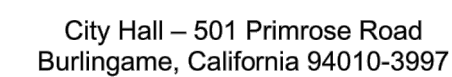
DATE:
2022.04.07

SCALE:
PER SHEET

DRAWN BY:
DAVID

PLAN NO.:
2127

SHEET:
PLN1



Planning Division
PH: (650) 558-7250
FAX: (650) 696-3790

When requested by the Planning Commission, story poles are required to help determine the mass and bulk of the proposed structure and assess potential view impacts by the proposed new structure or addition to neighboring properties.

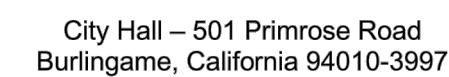
The applicant must prepare a story pole plan and have it approved by the project planner in advance of installation. The proposed story pole plan must be submitted to the project planner three (3) days in advance of installation to allow for adequate time for review.

The story pole plan should be an 8.5" x 11" copy of the roof plan, located on the site plan. The locations and heights of the proposed poles must be clearly indicated. Ridges and perimeters that will be represented with netting should also be shown on the plan. Any roof areas of an existing structure should be included on the plan for reference. See attached sample story pole plan.

The story poles must be installed and certified at least 10 days prior to the Planning Commission meeting at which the application will be considered. The poles must stay up through the appeal period, which is 10 days after the Planning Commission takes action on the project. The story poles must be removed no later than 10 days after the appeal period ends.

1. The proposed building/addition shall be staked with poles that reach from the foundation (or the existing structure, where applicable) to the roof at an adequate number of locations to be able to determine the bulk and mass of the structure. It may be necessary to stake more than just the four corners of the building/addition. Additionally, story poles are to be erected at key roof peak/ridge locations (including the highest), to visually demonstrate the different roof heights, and the maximum roof heights.
2. All story poles shall represent the final height of the building, with grading accounted for in the height of the poles.

Register online for the City of Burlingame list serve at www.burlingame.org



Planning Division
PH: (650) 558-7250
FAX: (650) 696-3790

Date: _____

Project Address: _____

Assessor's Parcel No.: _____

Owner's Name: _____

This is to certify that on _____ (date), the story poles located on the above-referenced site were installed or inspected by the undersigned, and found to be in conformance with the design, height, and location shown on the plans, elevations, and the attached story pole plan.

For additional information, please contact me at _____ (phone no.)

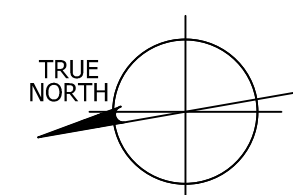
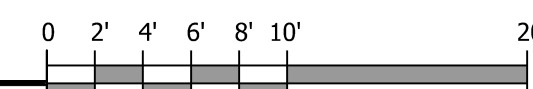
Signature

Name (printed or typed)

Title

Professional License
Stamp Here

Register online for the City of Burlingame list serve at www.burlingame.org


$$1/8'' = 1'-0''$$


■ Register online for the City of Burlingame list serve at www.burlingame.org ■

Failure to install and verify the story poles as required will result in continuance of the hearing to a subsequent Planning Commission meeting.

If you have any questions, call the Planning Division at (650) 558-7250.

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408.357.0818

PAGE TITLE

STORY POLE PLAN

PLANNING REVIEW ONLY

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PER SHEET

DRAWN BY:
DAVID

PLAN NO.: 2127

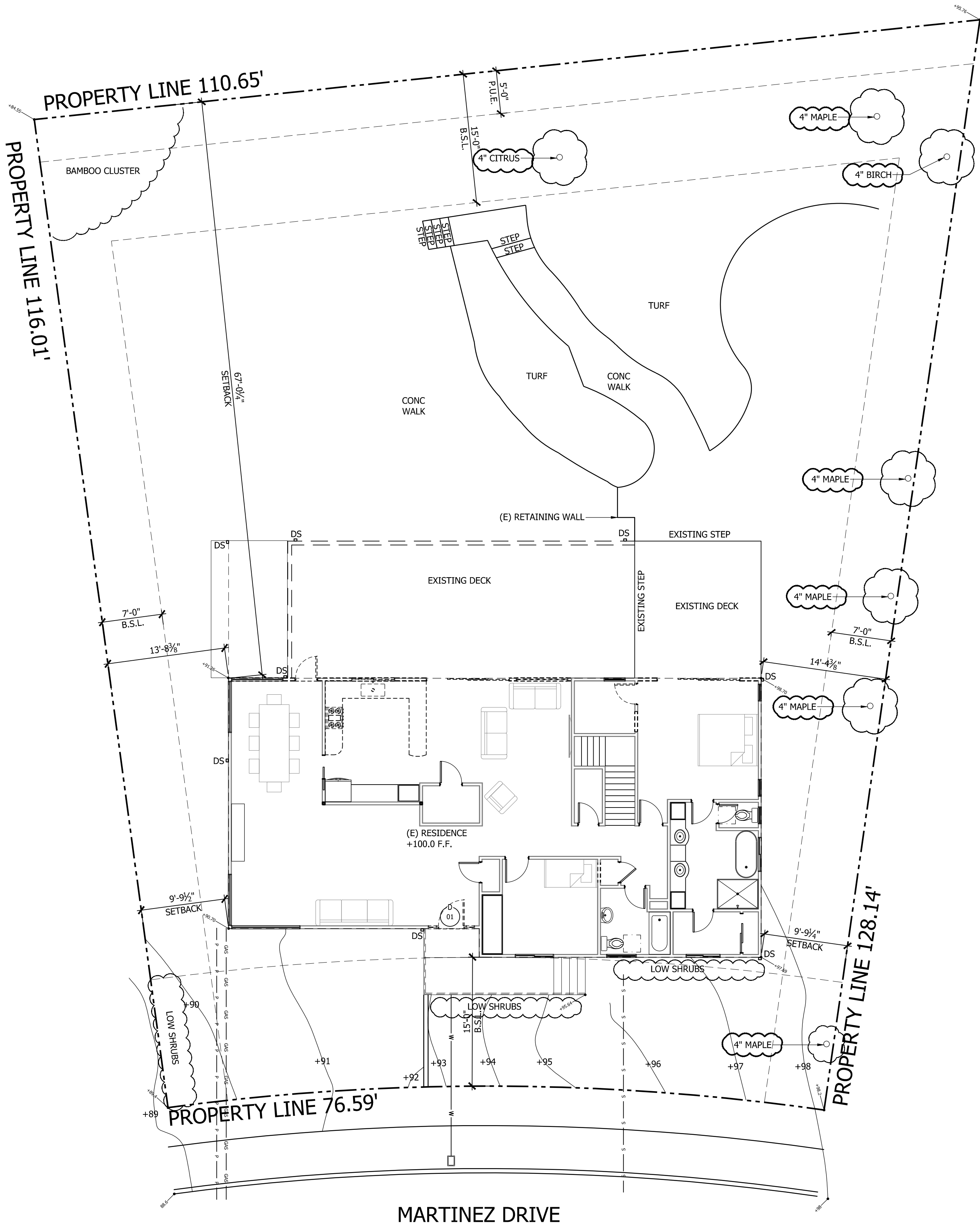
SHEET:

SHEET:
PLN2

FILENAME: E:\EGNYTE\SHARED\ KUOP DESIGN\ PROJECTS\21-027 2669 MARTINEZ DR\ 2669 MARTINEZ\8SHEET\PLN2 8TORY POLE PLAN.DWG

- LEGEND**
- S UNDERGROUND WASTE
 - W UNDERGROUND WATER
 - GAS UNDERGROUND GAS
 - P UNDERGROUND ELEC
 - DS DOWNSPOUT TO EXISTING DRAINAGE SYSTEM

LANDSCAPE TO REMAIN EXISTING



2669 MARTINEZ SITE PLAN EXISTING

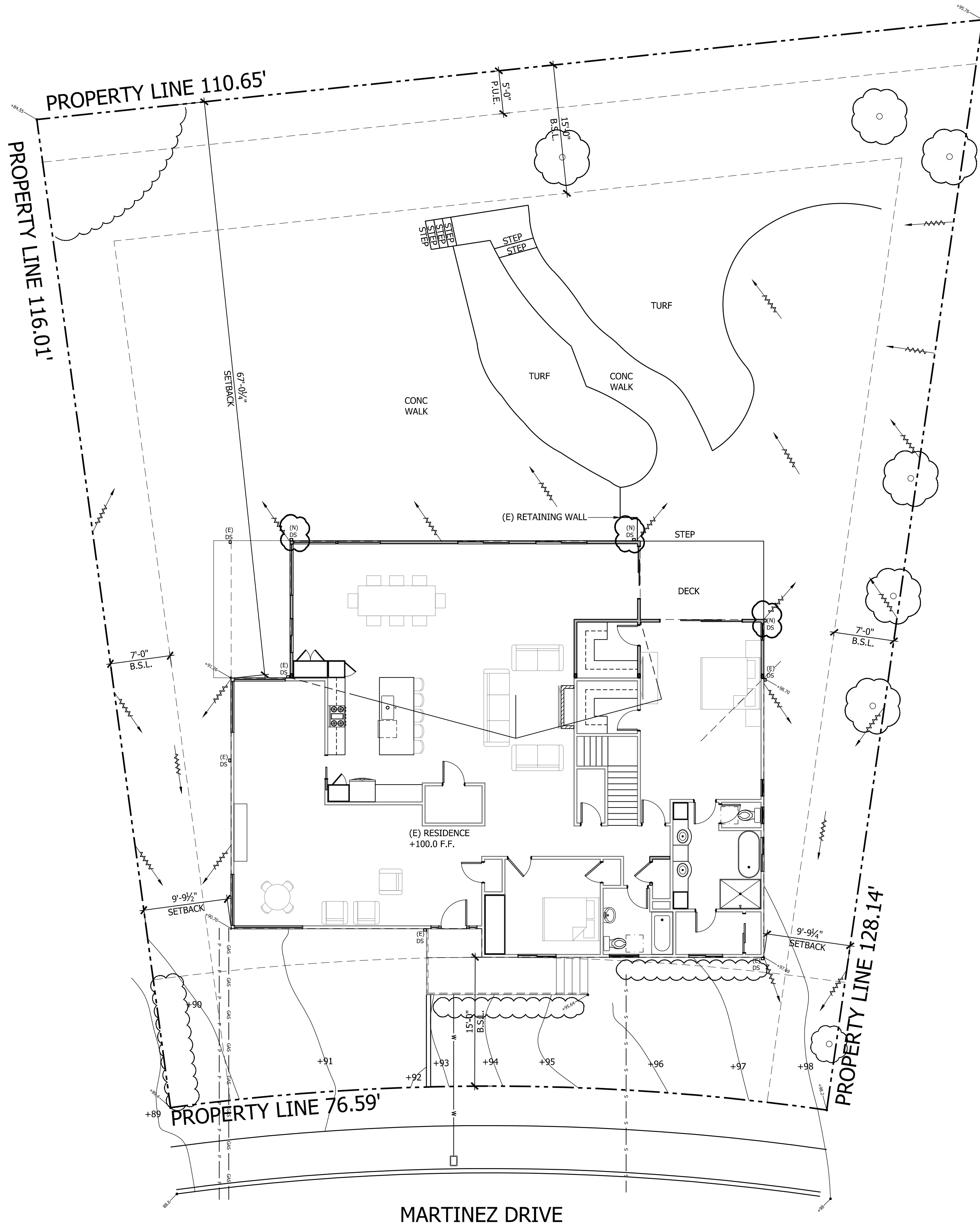
1/8" = 1'-0"

- LEGEND**
- S UNDERGROUND WASTE
 - W UNDERGROUND WATER
 - GAS UNDERGROUND GAS
 - P UNDERGROUND ELEC

SHEET FLOW ALL BUILDING PADS SHALL SLOPE 5% AWAY FROM BUILDING FOR 10 FT AT LANDSCAPE AREAS AND 2% SLOPE DIVERT FLOW AT HARDSCAPE AREAS

DS DOWNSPOUT TO EXISTING DRAINAGE SYSTEM

LANDSCAPE TO REMAIN EXISTING



2669 MARTINEZ SITE PLAN NEW

1/8" = 1'-0"

REVISIONS	DATE

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PAGE TITLE
SITE PLAN

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PLAN NO.: 2127
SHEET: **A0.1**

NON-COMPLIANT PLUMBING FIXTURE REPLACEMENT REQUIREMENTS

1. EFFECTIVE JANUARY 1, 2014 ALL BUILDINGS UNDERGOING PERMIT ALTERATION, ADDITIONS OR IMPROVEMENTS SHALL REPLACE NON-COMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES
- | | |
|------------------|-------------------------------|
| LAVATORY FAUCETS | EXCEED 2.2 GPM |
| KITCHEN FAUCETS | EXCEED 2.2 GPM |
| WATER CLOSETS | EXCEED 1.6 GALLONS/FLUSH |
| SHOWER DEVICES | EXCEED 2.5 GALLONS PER MINUTE |

IF THE EXISTING PLUMBING FIXTURE WATER USAGE/FLOW RATE IS EQUAL TO OR LOWER THAN THE FIGURE SHOWN ABOVE, IT IS NOT REQUIRED TO BE UPGRADED. IF AN UPGRADE IS REQUIRED, PLEASE FOLLOW WATER CONSERVATION NOTES ABOVE.

WATER CONSERVATION NOTES

1. NEW PLUMBING FIXTURES AND PLUMBING FITTINGS SHALL MEET THE FOLLOWING STANDARDS:
- | | | |
|------------------|----------------------|-----------------|
| LAVATORY FAUCETS | 1.2 GPM MAX @ 60 PSI | JULY 1, 2016 |
| KITCHEN FAUCETS | 1.8 GPM MAX | JANUARY 1, 2016 |
| WATER CLOSETS | 1.28 GAL/FLUSH MAX | JANUARY 1, 2016 |
| *SHOWER DEVICES | 1.8 GPM MAX | JULY 1, 2018 |

* "SHOWER DEVICES" INCLUDES SHOWERHEADS, HANDSHOWERS AND BODY SPRAYS/JETS

AIR CONDITIONING UNIT NOTES

1. THE INSTALLATION OF THE AIR CONDITIONING UNIT SHALL FOLLOW THE MANUFACTURER'S INSTALLATION INSTRUCTIONS (CRC R106.1.2)
2. AN ELECTRICAL DISCONNECT FOR THE UNIT SHALL BE PROVIDED WITHIN SIGHT OF THE UNIT AND READILY ACCESSIBLE. THE MAIN ELECTRICAL PANEL SHALL BE LABELED WITH THE CIRCUIT FOR THE NEW EQUIPMENT (CEC 408.4(A), 440.11 AND 440.14)
3. PROVIDE A 15 OR 20 AMP RECEPTACLE OUTLET AT AN ACCESSIBLE LOCATION WITHIN 25 FEET OF THE CONDENSER UNIT. IF LOCATED OUTSIDE, THE RECEPTACLE SHALL BE GFCI PROTECTED, WATER-RESISTANT AND IN A WEATHERPROOF COVER (CEC 210.63, 210.8 AND 406.9)
4. THE CONDENSER UNIT SHALL BE LOCATED AND ANCHORAGE TO A MINIMUM 3 INCH THICK SLAB OR APPROVED PLATFORM (CMC 1105.2)
5. THE CONDENSATE DRAINAGE LINE SHALL DRAIN TO A LANDSCAPED AREA OR TO THE TAIL PIECE OF A SANITARY SEWER LINE (CMC 310.1, 310.5, 310.6, 1105.7)
6. THE REFRIGERANT PORT PROTECTION CIRCUIT ACCESS LOCATED OUTDOOR SHALL BE PROTECTED FROM UNAUTHORIZED ACCESS WITH A LOCK-TYPE TAMPER RESISTANT CAP (CMC 1105.11)
7. CONDENSING UNITS FOR A SINGLE-PACKAGE AIR CONDITIONER UP TO 45,000 Btu/h SHALL HAVE A MINIMUM SEASONAL ENERGY EFFICIENCY RATING OF 14 (SEER) AND AN ENERGY EFFICIENT RATIO OF 12.2 (EER) (2019 BUILDING ENERGY EFFICIENCY STANDARDS)
8. INSULATION ON THE SUCTION LINE (COOLING REFRIGERANT LINE) SHALL BE PROTECTED FROM PHYSICAL DAMAGE OR ULTRAVIOLET DETERIORATION BY AN ALUMINUM OR METAL SHROUD, PAINT, PLASTIC COVER, OR ULTRAVIOLET RESISTANT TAPE (CENERC 150.0(m)9).
9. CLEARANCE TO A CLOTHES DRYER VENT - WHEN LOCATED OUTDOORS, THE CONDENSING UNIT SHALL BE A MINIMUM OF FIVE FEET CLEARANCE FROM THE TERMINATION OF A CLOTHES DRYER VENT (CENERC 150.0(h)3(A)).

ENERGY COMPLIANCE NOTES

1. ALL RESIDENCES SHALL MEET THE REQUIREMENTS OF ANSI/ASHRAE STANDARD 62.2-2007.
2. ENERGY STAR COMPLIANT QUIET (1.0 SONE MAX.) CEILING MOUNTED BATH FAN OR REMOTE-MOUNTED INLINE FAN MEETING THE REQUIRED VENTILATION RATE IS REQUIRED.
3. MANDATORY MIN. VENTILATION RATE FOR BATHROOMS = 50 CFM.
4. MANDATORY MIN. VENTILATION RATE FOR KITCHEN HOODS = 100 CFM.
5. UNLESS FUNCTIONING AS A WHOLE HOUSE VENTILATION SYSTEM, BATHROOM FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT.

FIRE SEPARATION NOTES

1. GARAGE DOOR: DOOR TO LIVING AREA MUST BE 1-3/8" SOLID CORE OR EQUAL. DOORS WILL BE SELF-CLOSING, WEATHER STRIPPED AND HAVE A SELF LATCHING LATCH.
2. DUCTS IN GARAGES: NO NON-APPROVED, NON-METALLIC PENETRATIONS ARE ALLOWED. AIR DUCTS IN GARAGE THAT PASS THROUGH SEPARATION WALL - TO BE MIN. NO. 26 GAGE STEEL.
3. FIRE CAULKING: SHALL BE INSTALLED WITH APPROVED FIRE CAULKING
4. ALL FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R302.11 AND SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
- 4.1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS AS FOLLOWS:
- 4.1.1. VERTICALLY AT THE CEILING AND FLOOR LEVELS
- 4.1.2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET
- 4.2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS
- 4.3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7
- 4.4. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E 136 REQUIREMENTS.
- 4.5. FOR THE FIRE BLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.19.
5. GARAGE BENEATH HABITABLE ROOM(S): COVER GARAGE WALLS AND CEILING WITH (1) 5/8" TYPE 'X' DRYWALL, SUPPORT WALLS, BEAMS & POSTS FOR SECOND FLOOR ARE 1-HR PROTECTED OR HEAVY TIMBER I.E. 8X8 POSTS & 6X10 BEAMS AND GIRDERS
6. STAIR STRINGERS: ALL ENCLOSED SPACES UNDER STAIRS SHALL HAVE A MINIMUM 1/2" DRYWALL PER R302.7

TABLE 501.1 2019 CPC
FIRST HOUR RATING WATER HEATER SIZING

NUMBER OF BATHROOMS NUMBER OF BEDROOMS FIRST HOUR RATING, GAL	1 TO 1.5		2 TO 2.5		3 TO 3.5	
	1	2	3	4	5	6
	42	54	54	67	67	80
				67	80	80
					80	80

FOR SI UNITS: 1 GALLON = 3.785 L

NOTE:

1. THE FIRST HOUR RATING IS FOUND ON THE "ENERGY GUIDE" LABEL.
2. SOLAR WATER HEATERS SHALL BE SIZED TO MEET THE APPROPRIATE FIRST HOUR RATING AS SHOWN IN THE TABLE

GENERAL NOTES

1. CONTRACTOR SHALL VERIFY SITE CONDITIONS AND ALL DIMENSIONS PRIOR TO STARTING WORK, ORDERING MATERIAL, OR BUILDING. NOTIFY OWNER OF ANY DISCREPANCIES.
2. BUILDING INSULATION VALUES:
- | | |
|----------------|-----------|
| EXTERIOR WALLS | R-19 |
| SLAB | NONE |
| ROOF | R-30 BATT |
| FLOOR | R-19 BATT |
3. THE CONTRACTORS SHALL FULLY COORDINATE WITH STRUCTURAL, MECHANICAL, ELECTRICAL AND ARCHITECTURAL COMPONENTS OF THE BUILDING.
4. ALL DOORS AND WINDOWS SHALL BE WEATHER-STRIPPED. ALL JOINTS AND PENETRATIONS SHALL BE CAULKED AND SEALED.
5. ALL EGRESS WINDOWS TO HAVE MAX BOTTOM RAIL HEIGHT OF 44 INCHES. MIN CLEAR WIDTH SHALL BE 20 INCHES. MIN CLEAR HEIGHT SHALL BE 24 INCHES. MIN OPENABLE AREA SHALL BE 5.7 SQ FT.
6. SAFETY GLAZING IS REQUIRED IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
7. ALL EXTERIOR WALLS SHALL 2x DF FRAMING @ 16" O.C. & FINISHED WITH STUCCO SYSTEM (3 COAT, 7/8" STUCCO SYSTEM OVER APPROVED LATH AND 2 LAYERS OF CLASS 'D' BUILDING PAPER), OR HARDIE SIDING PANELS OVER (1) LAYER OF No. 15 ASPHALT FELT. ALL INTERIOR WALLS SHALL BE 2x DF FRAMING @ 16" O.C. & FINISHED WITH 1/2" GYPSUM BOARD. CEILINGS SHALL BE FINISHED WITH 5/8" GYPSUM BOARD.
8. PROVIDE WINDOWS WITH LOW E COATING & DUAL GLAZING. OBSERVE URBAN-WILDLAND INTERFACE REQ'Y.
9. ALL BUILDING PADS SHALL SLOPE 5% AWAY FROM BUILDING FOR 10'. CRC SEC 1803.3.
10. AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER PER CGBC 4.410.1
11. POLLUTANT CONTROL AND EMISSIONS SHALL CONFORM TO CGBC SECTION 4.504
12. MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR SHALL BE CHECKED BEFORE ENCLOSURE, CGBC 4.505.3
13. GUARDRAILS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARDRAIL HEIGHT WHICH ALLOW THE PASSAGE OF A SPHERE 4" IN DIAMETER (4 3/8" AT STAIR RAILS & 6" AT STAIR TREADS.
14. ATTIC ACCESS SHALL BE WEATHER STRIPPED TO PREVENT AIR LEAKAGE AND SHALL HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS
15. EXTERIOR DOORS SHALL HAVE AN EXTERIOR LANDING A MAXIMUM OF 7 3/4" BELOW THRESHOLD IF DOOR SWINGS IN OR SLIDING DOOR AND A MAXIMUM OF 1 1/2" IF DOOR SWINGS OUT
16. BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION THAT IS LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL BE MIN 4" AND CONTRAST WITH THEIR BACKGROUND PER R319.1
17. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD, R302.7

MECHANICAL NOTES

1. THE CLOTHES DRYER EXHAUST DUCT IS LIMITED 14' TOTAL LENGTH, INCLUDING ELBOWS, FROM THE CLOTHES DRYER TO THE POINT OF TERMINATION. REDUCE THIS LENGTH BY 2' FOR EVERY ELBOW IN EXCESS OF 2.
2. CLOTHES DRYER EXHAUST SHALL BE A MINIMUM 4 INCHES, TERMINATE TO THE OUTSIDE OF THE BUILDING, SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER AND MEET THE REQUIREMENTS OF CMC 504.3. PROVIDE 100 SQ INCH MINIMUM MAKE-UP AIR OPENING FOR DOMESTIC DRYERS
3. HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.
4. EVERY DWELLING UNIT SHALL BE PROVIDED WITH HEATING FACILITIES CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT A POINT 3 FT ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS.
5. EVAPORATIVE COOLER SHALL BE ISOLATED FROM THE GROUND BY A LEVEL CONCRETE SLAB EXTENDING NOT LESS THAN 3 INCHES ABOVE THE ADJOINING GROUND LEVEL (CMC 935.4.2)
6. GAS VENT TERMINATIONS SHALL MEET THE REQUIREMENTS OF CMC 802.6
7. COMBUSTION AIR SHALL MEET THE REQUIREMENTS OF CMC CHAPTER 7
8. ENVIRONMENTAL AIR DUCTS SHALL TERMINATE 3 FEET FROM THE PROPERTY LINE AND 3 FEET FROM OPENINGS INTO THE BUILDING PER CMC 504.5 AND PROVIDE WITH BACK-DRAFT DAMPERS PER CMC 504.1
9. DOMESTIC RANGE HOOD VENTS SHALL MEET THE REQUIREMENTS OF CMC 504.2 AND COMPLY WITH CMC TABLE 403.7
10. DIRECT VENT APPLIANCES PER CMC 802.2.1 (PER MANUFACTURER'S INSTALLATION INSTRUCTIONS)
11. 26 GAUGE DUCT IN GARAGE
12. SUITABLE COVER SHALL BE INSTALLED OVER EXTERIOR INSULATED PIPES (AC SUCTION, WATER LINES, ETC) EX PAINTED CANVAS, PLASTIC COVER, SHEET METAL, ETC.) CA ENERGY CODE 150.0(j)3
13. ALL NEWLY INSTALLED GAS FIREPLACES SHALL BE DIRECT VENT AND SEALED-COMBUSTION TYPE. CMC 912.2
14. VENTILATION HEATING AND AIR CONDITIONING SYSTEMS SHALL HAVE MERV 13 FILTERS OR BETTER CEC 150.0(M)12B
15. PROVIDE WHOLE HOUSE MECHANICAL VENTILATION, PER CEC 150 (O) AND ASHRAE 62.2. 4,368 SF/100 + (4BED +1) X 7.5 =81.18 CFM WHOLE HOUSE FAN
16. PROVIDE AN ADDITIONAL WATERTIGHT PAN OF CORROSION-RESISTANT MATERIAL, WITH A SEPARATE DRAIN LINE, UNDERNEATH CONDENSATE-PRODUCING MATERIAL, TO CATCH THE OVERFLOW CONDENSATE DUE TO A CLOGGED PRIMARY CONDENSATE DRAIN IN THE SPACE. NOTE THAT THE SECONDARY DRAIN LINE MUST BE LOCATED WHERE IT CAN BE READILY OBSERVED. CMC 310.2(2) AND CPC 814.2

PLUMBING NOTES

1. SHOWER AND/OR TUB-SHOWER COMBINATIONS ARE TO BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. THE WATER TEMPERATURE MAXIMUM IS A SETTING OR 120 F. SHOWER WALLS SHALL BE FINISHED WITH A HARD, NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72" ABOVE THE DRAIN INLET.
2. WATER HEATER TO HAVE SEISMIC BRACING AS PER MANUFACTURERS INSTRUCTIONS OR STATE ARCHITECT OFFICE GUIDELINES. ALL STORAGE TYPE WATER HEATERS NEED A TEMPERATURE/PRESSURE RELIEF VALVE WITHIN A 3/4" HARD PIPE DRAIN WHICH TERMINATES 6" TO 24" ABOVE GRADE AND POINTING DOWNWARD. THE DRAIN PIPE SHALL MAINTAIN A DOWNWARD SLOPE TO THE EXTERIOR. WATER HEATER PAN SHALL BE INSTALLED WITH A 3/4" DRAIN. FIRST 5' HOT AND COLD SHALL BE INSULATED, AND A CATEGORY III OR IV VENT, OR B VENT WITH STRAIGHT PIPE BETWEEN THE OUTSIDE TERMINATION AND THE SPACE WHERE THE WATER HEATER IS INSTALLED AND A CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN THE BASE OF THE INSTALLED WATER HEATER AND ALLOWS NATURAL DRAINING WITHOUT PUMP.
3. FIXTURES ABOVE SHOWERS AND BATHTUB AREAS SHALL BE RATED MOISTURE RESISTIVE.
4. 2X6 WALL REQUIRED WHEN PIPING OUTER DIAMETER IS GREATER THAN 2" PER CRC 602.69.1
5. PROVIDE A MINIMUM 3" SEDIMENT TRAP FOR THE GAS LINE TO THE WATER HEATER AND OR THE FURNACE LOCATED ON THE APPLIANCE SIDE OF THE SHUTOFF FOR THE GAS TO EACH APPLIANCE (CPC 1210.8)
6. PROVIDE 1" INSULATION ON FIRST 5 FT. OF HOT AND COLD WATER PIPES AT THE WATER HEATER, ALL PIPING WITH NOMINAL 3/4"Ø OR LARGER, ALL HOT WATER PIPES FROM THE HEATING SOURCE TO THE KITCHEN (CEC 150 (j))
7. ANTI-SIPHON DEVICES ARE REQUIRED AT ALL HOSE BIBBS. MIN ONE BACK AND ONE FRONT OF STRUCTURE. THIS IS TO PREVENT THE POSSIBLE BACKFLOW OF CONTAMINATED WATER INTO THE POTABLE WATER SYSTEM.
8. ISOLATION WATER VALVES REQUIRED FOR INSTANTANEOUS WATER HEATERS 6.98BTU/HR & ABOVE. VALVES SHALL BE INSTALLED ON BOTH COLD AND HOT WATER LINES. CA ENERGY CODE 110.3(c)7
9. SUITABLE COVER SHALL BE INSTALLED OVER EXTERIOR INSULATED PIPES (AC SUCTION, WATER LINES, ETC) EX PAINTED CANVAS, PLASTIC COVER, SHEET METAL, ETC.) CA ENERGY CODE 150.0(j)3
10. WATER, SOIL AND WASTE PIPES IN ATTICS AND CRAWL SPACES SHALL BE PROVIDED WITH FREEZE PROTECTION. CPC 312.6
11. ABS PIPING SHALL NOT BE EXPOSED TO DIRECT SUNLIGHT UNLESS PROTECTED BY WATER BASED SYNTHETIC LATEX PAINTS. CPC 312.13
12. PVC PIPING SHALL NOT BE EXPOSED TO DIRECT SUNLIGHT UNLESS PROTECTED BY WATER BASED SYNTHETIC LATEX PAINT, .04" THICK WRAP OR OTHERWISE PROTECTED FROM UV DEGRADATION. CPC 312.14
13. THE ADJACENT SPACE NEXT TO SHOWERS WITHOUT THRESHOLDS (CURBLESS) SHALL BE CONSIDERED A "WET LOCATION"
14. DOMESTIC HOT WATER LINES SHALL BE INSULATED. INSULATION SHALL BE THE THICKNESS OF THE PIPE DIAMETER UP TO 2" IN SIZE AND MINIMUM 2" THICKNESS FOR PIPES LARGER THAN 2" IN DIAMETER.
15. UNDERFLOOR CLEANOUTS SHALL NOT BE MORE THAN 5 FEET (OLD CODE WAS 20FT) FROM AN UNDERFLOOR ACCESS, ACCESS DOOR OR TRAP DOOR.
16. 710.1. DRAINAGE PIPING SERVING FIXTURES WHICH HAVE FLOOD LEVEL RIMS LESS THAN TWELVE (12) INCHES (304.8 MM) ABOVE THE ELEVATION OF THE NEXT UPSTREAM MANHOLE AND/OR FLUSHING INLET COVER AT THE PUBLIC OR PRIVATE SEWER SYSTEM SERVING SUCH DRAINAGE PIPING SHALL BE PROTECTED FROM BACKFLOW OF SEWAGE BY INSTALLING AN APPROVED TYPE BACKWATER VALVE. FIXTURES ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE, UNLESS FIRST APPROVED BY THE ADMINISTRATIVE AUTHORITY.
17. NO DOMESTIC DISH WASHING MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD WASTE DISPOSER WITHOUT THE USE OF AN APPROVED DISHWASHING AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHING MACHINE. LISTED AIRGAPS SHALL BE INSTALLED WITH THE FLOOD-LEVEL MARKING AT OR ABOVE THE FLOOR LEVEL OF THE SINK OR DRAINBOARD, WHICHEVER IS HIGHER. CPC 807.3
18. ALL PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN TABLE 1701.1 2019 CPC & CGBC SECTION 4.303.2
19. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR ACCEPTABLE METHODS. CGBC SECTION 4.406.1
1. THE SHOWER COMPARTMENT(S) REGARDLESS OF SHAPE, HAVING A MINIMUM INTERIOR FLOOR AREA OF 1,024 SQ INCHES AND ALSO CAPABLE OF ENCOMPASSING 30" CIRCLE. THE MIN. REQUIRED AREA AND DIMENSIONS SHALL BE MEASURED AT A HEIGHT EQUAL TO THE TOP OF THE THRESHOLD AND AT A POINT TANGENT TO ITS CENTERLINE. THE AREA AND DIMENSION SHALL BE MAINTAINED TO A POINT OF NOT LESS THAN 70 INCHES ABOVE THE SHOWER DRAIN OUTLET. PER 2019 CPC 408.6
2. SHOWERS (AND TUB/SHOWERS) ARE PROVIDED WITH PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE CONTROLS, PER 2019 CPC 408.3 SHOWER (AND TUB/SHOWER) WALLS HAVE A SMOOTH, HARD, NONABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72" ABOVE THE DRAIN INLET PER 2019 CRC 307.2
3. THE FINISHED FLOOR OF THE RECEPTOR SHALL SLOPE UNIFORMLY FROM THE SIDES TOWARD THE DRAIN NOT LESS THAN 1/4" PER FOOT AND NOT MORE THAN 1/2" PER FOOT
4. DOORS AND PANELS OF SHOWER AND BATHTUB ENCLOSURES AND ADJACENT WALL OPENINGS WITHIN 60 INCHES VERTICALLY AND 60" HORIZONTALLY ABOVE THE ADJACENT TO THE STANDING SURFACE AND DRAIN INLET SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC PER 2019 CRC 308.4.5
5. DOOR INTO THE ENCLOSE PROVIDES A MINIMUM 22" CLEAR WIDTH DIMENSION PER 2019 CPC 408.5 DOOR MUST OPEN OUTWARD
6. THE LOCATION OF THE VALVE CONTROLS LOCATED ON THE SIDE WALL OR ARRANGED SO THAT THE SHOWER DOES NOT SPRAY DIRECTLY AT THE ENTRANCE.

SHOWER NOTES

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ARCHITECTURAL NOTES

RESIDENTIAL ADDITION FOR:

GRACE AND LARRY NGAI
2669 MARTINEZ DRIVE
BURLINGAME, CA 94010
APN# 025-083-050

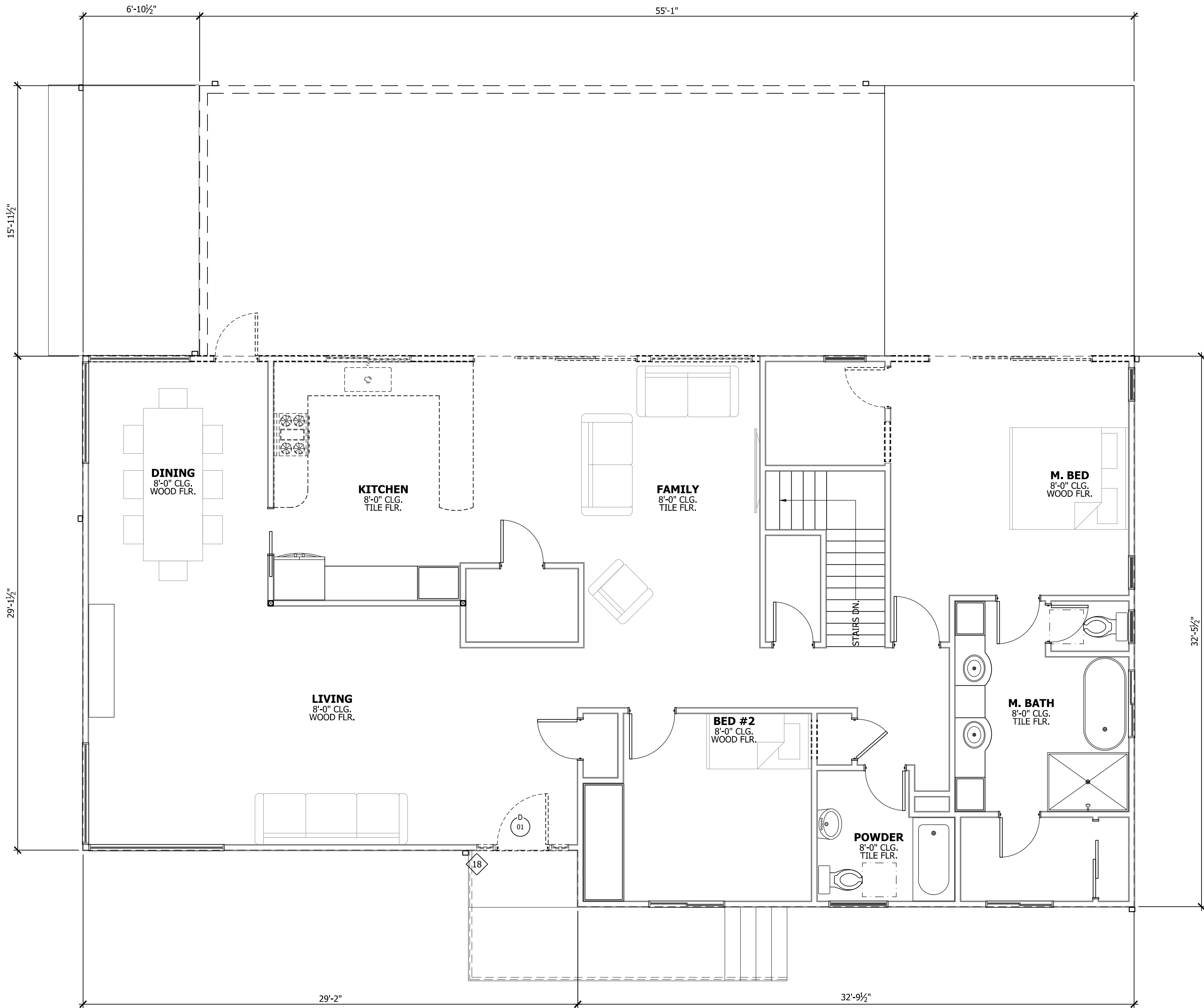
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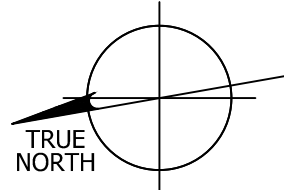
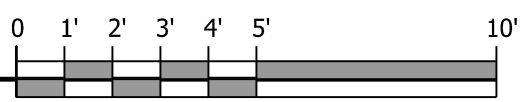
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2669 MARTINEZ 1ST FLOOR PLAN EXISTING

1/4" = 1'-0"



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1ST FLOOR PLAN EXISTING

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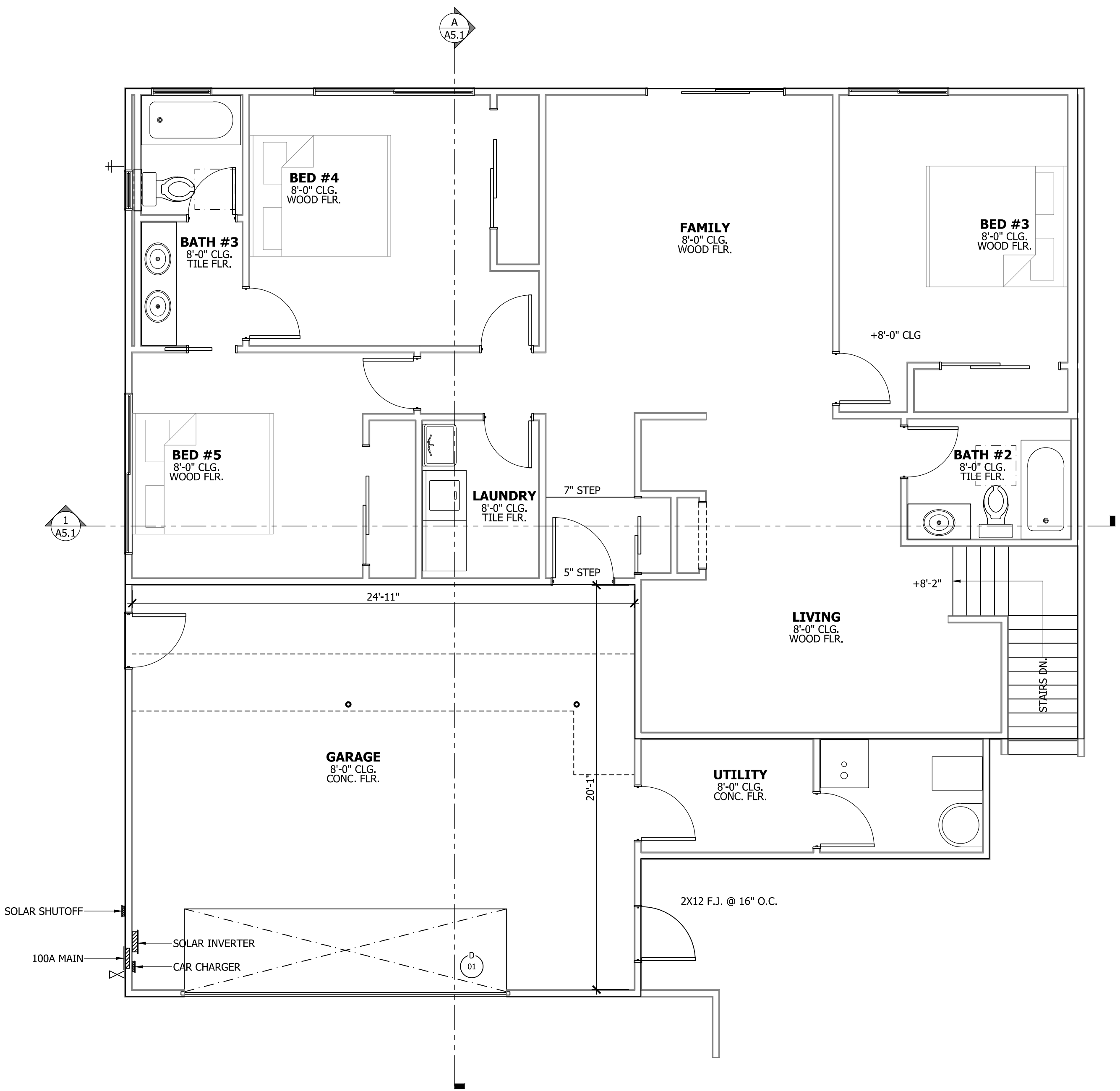
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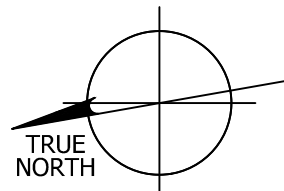
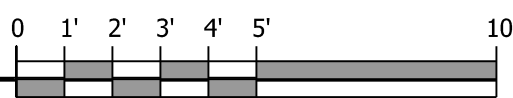
SEE DETAIL 1/A10.0 FOR WINDOW EGRESS

WINDOW SCHEDULE					
NUMBER	SIZE		STYLE	NOTES	Frame Finish
	WIDTH	HEIGHT			
1	8'-0"	4'-0"	SLIDER	EXISTING	VINYL
2	2'-0"	3'-0"	SINGLE HUNG	EXISTING	VINYL
3	3'-0"	2'-0"	SINGLE HUNG	EXISTING	VINYL
4	8'-0"	4'-0"	SLIDER	EXISTING	VINYL
5	5'-0"	4'-0"	SLIDER	EXISTING	VINYL

2669 MARTINEZ LOWER FLOOR PLAN EXISTING

1/4" = 1'-0"

FOR REFERENCE ONLY



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LOWER FLOOR PLAN EXISTING

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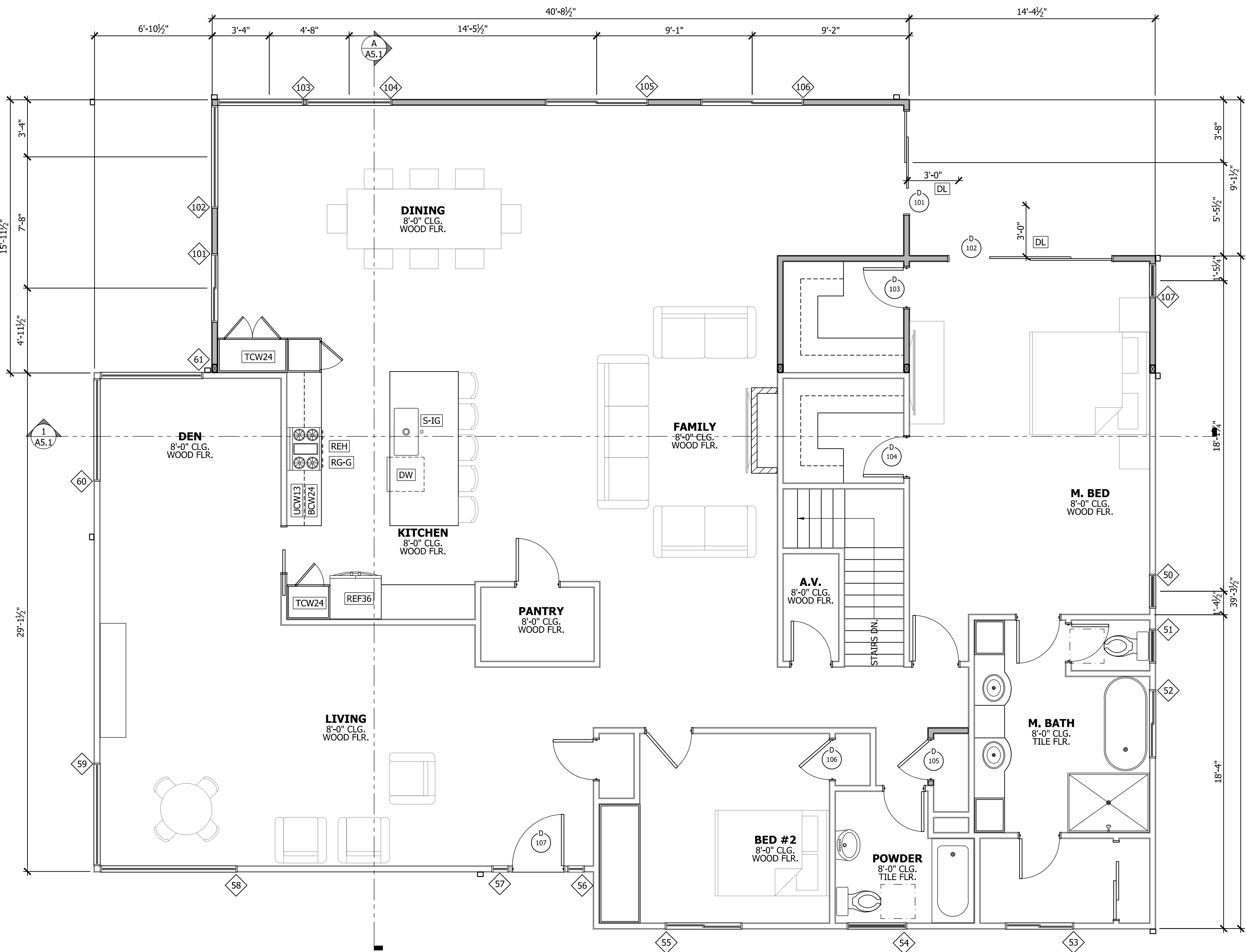
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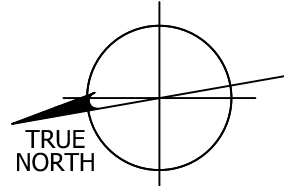
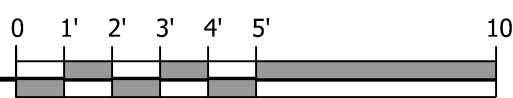
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2669 MARTINEZ 1ST FLOOR PLAN NEW

1/4" = 1'-0"



SEE DETAIL 1/A10.0 FOR WINDOW EGRESS

WINDOW SCHEDULE						
NUMBER	SIZE		STYLE	NOTES	Frame Finish	
	WIDTH	HEIGHT				
50	2'-0"	3'-6"	SINGLE HUNG	EXISTING	VINYL	
51	2'-0"	3'-0"	SINGLE HUNG	EXISTING	VINYL	
52	4'-0"	3'-0"	SLIDER	EXISTING	VINYL	
53	4'-0"	4'-6"	SLIDER	EXISTING	VINYL	
54	3'-6"	3'-0"	SINGLE HUNG	EXISTING	VINYL	
55	4'-6"	4'-6"	SLIDER	EXISTING	VINYL	
56	1'-0"	6'-8"	PICTURE	EXISTING	WOOD	
57	1'-0"	6'-8"	PICTURE	EXISTING	WOOD	
58	8'-0"	5'-0"	PICTURE	EXISTING	VINYL	
59	6'-0"	5'-0"	PICTURE	EXISTING	VINYL	
60	6'-0"	6'-0"	PICTURE	EXISTING	VINYL	
61	6'-0"	6'-0"	PICTURE	EXISTING	VINYL	
101	4'-0"	4'-0"	SLIDER	--	VINYL	
102	6'-0"	4'-0"	PICTURE	RE-USE	VINYL	
103	5'-0"	6'-0"	PICTURE	--	VINYL	
104	5'-0"	6'-0"	PICTURE	--	VINYL	
105	6'-0"	6'-0"	SLIDER	--	VINYL	
106	6'-0"	6'-0"	SLIDER	--	VINYL	
107	2'-0"	3'-6"	SINGLE HUNG	RE-USE	VINYL	

DOOR AND FRAME SCHEDULE						
Number	SIZE		STYLE	NOTES	Frame Finish	
101	PR 3'-0"	x 6'-8"	x 1-1/4"	SLIDING - EXTERIOR	--	VINYL
102	PR 4'-9"	x 6'-8"	x 1-1/4"	SLIDING - EXTERIOR	--	VINYL
103	2'-4"	x 6'-8"	x 1-3/4"	SINGLE - INTERIOR	--	--
104	2'-4"	x 6'-8"	x 1-3/4"	SINGLE - INTERIOR	--	--
105	2'-4"	x 6'-8"	x 1-3/4"	SINGLE - INTERIOR	--	--
106	2'-4"	x 6'-8"	x 1-3/4"	SINGLE - INTERIOR	--	--
107	3'-0"	x 6'-8"	x 1-3/4"	SINGLE - EXTERIOR	--	WOOD

REFERENCE KEYNOTES	
DIVISION 06 - WOOD AND PLASTICS	
CABINETRY -	
BCW24	- BASE CABINET, WOOD, 24" DEEP, W/ ADJUSTABLE SHELVES
TCW24	- TALL CABINET, WOOD, 24" DEEP, W/ ADJUSTABLE SHELVES
UCW13	- UPPER CABINET, WOOD, 13" DEEP W/ ADJUSTABLE SHELVES
DIVISION 08 - DOORS AND WINDOWS	
DL	- LANDINGS MAX OF 7 3/4" DOWN FROM SLIDERS AND IN SWINGING DOORS OR MAX 1 1/2" DOWN FROM OUT SWINGING DOORS
DIVISION 11 - EQUIPMENT	
DW	- DISHWASHER
REF36	- 36" WIDE REFRIGERATOR, PROVIDE PLUMBING FOR ICE MAKER
REH	- RANGE EXHAUST HOOD, VENTED, SEE ENERGY COMPLIANCE NOTES #4 SHEET A1.1
RG-G	- RANGE; GAS
DIVISION 22 - PLUMBING	
S-IG	- ISLAND SINK W/ GARBAGE DISPOSAL, SEE DETAIL 5/A10.0

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1ST FLOOR PLAN NEW

PLANNING REVIEW ONLY

RESIDENTIAL ADDITION FOR:

GRACE AND LARRY NGAI
2669 MARTINEZ DRIVE
BURLINGAME, CA 94010
APN# 025-083-050

DATE:

2022.04.07

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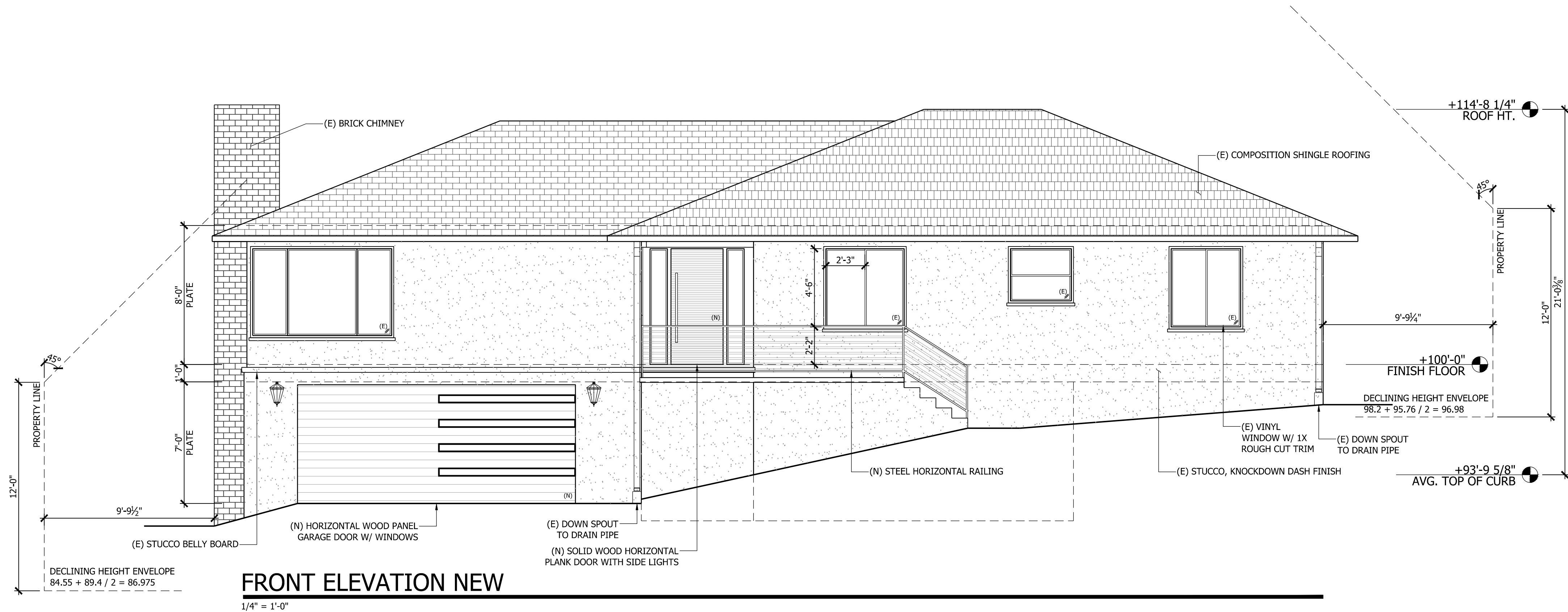
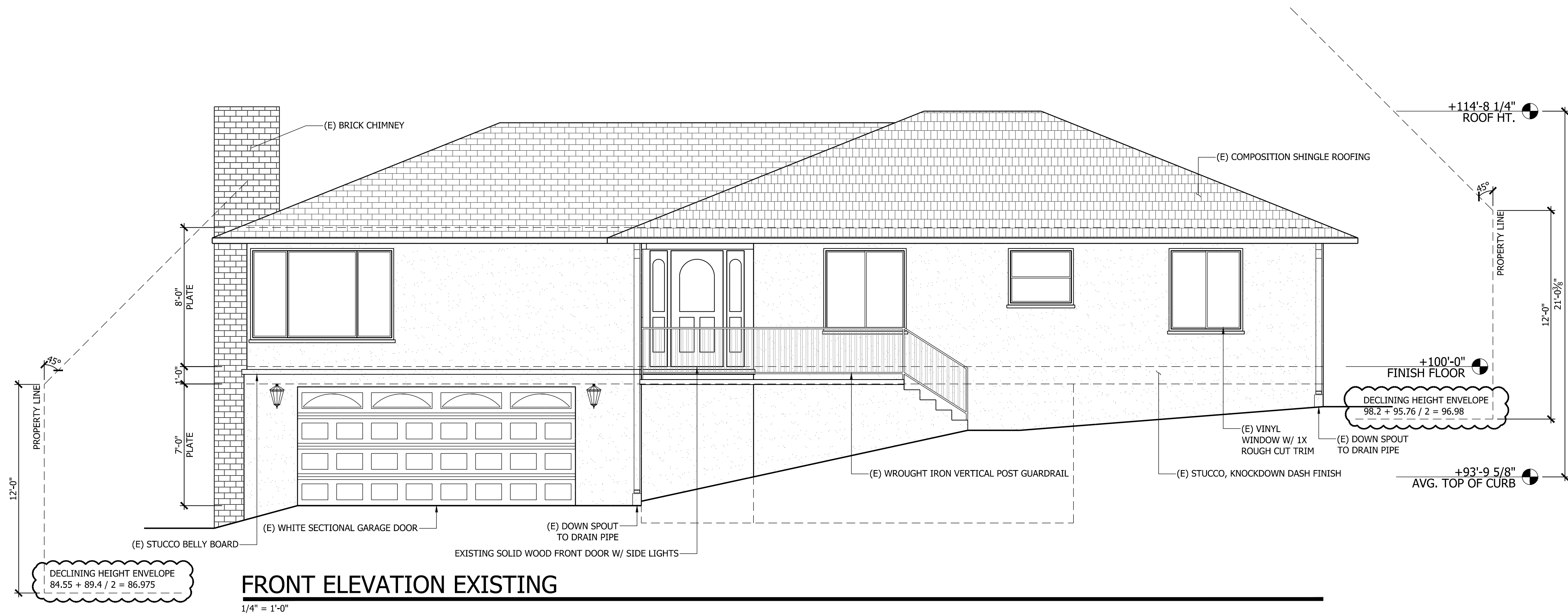
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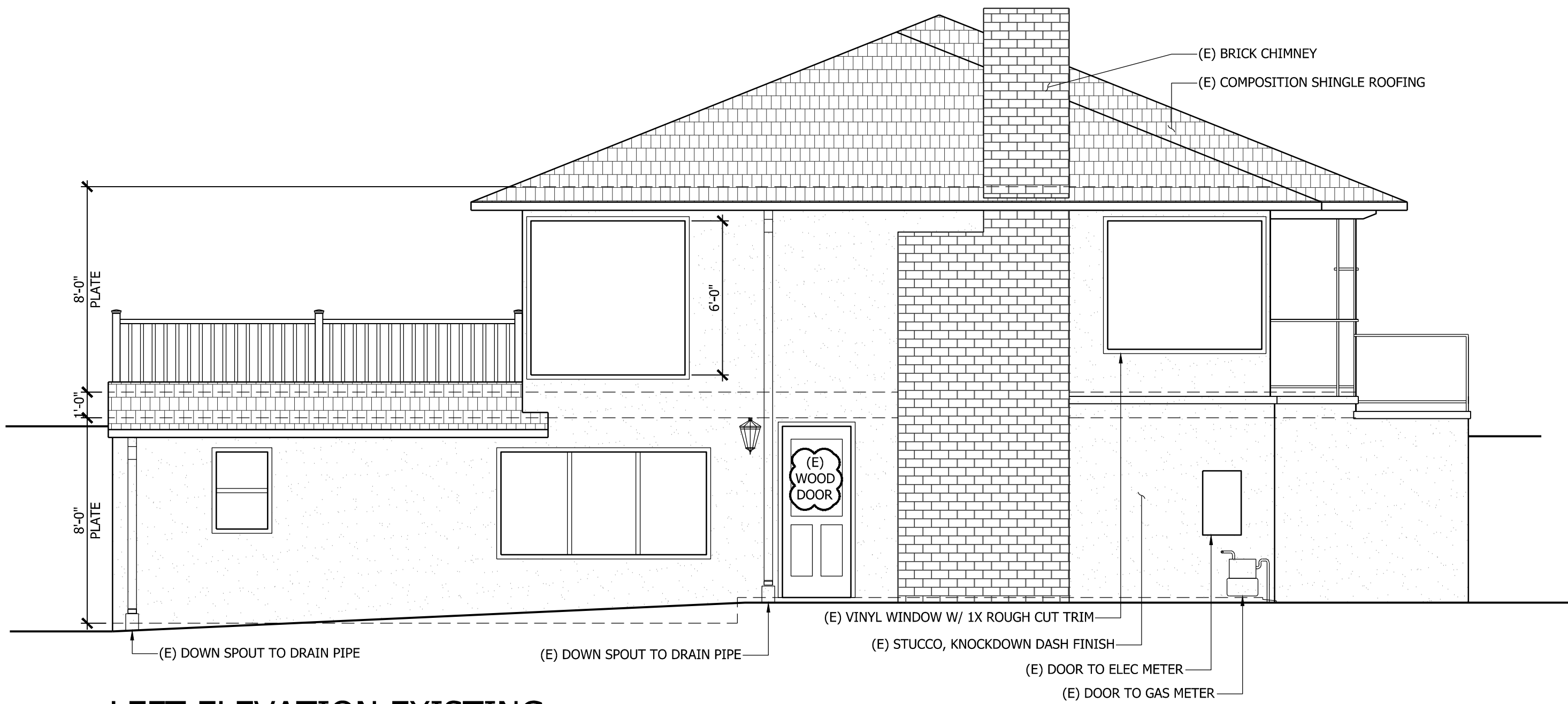
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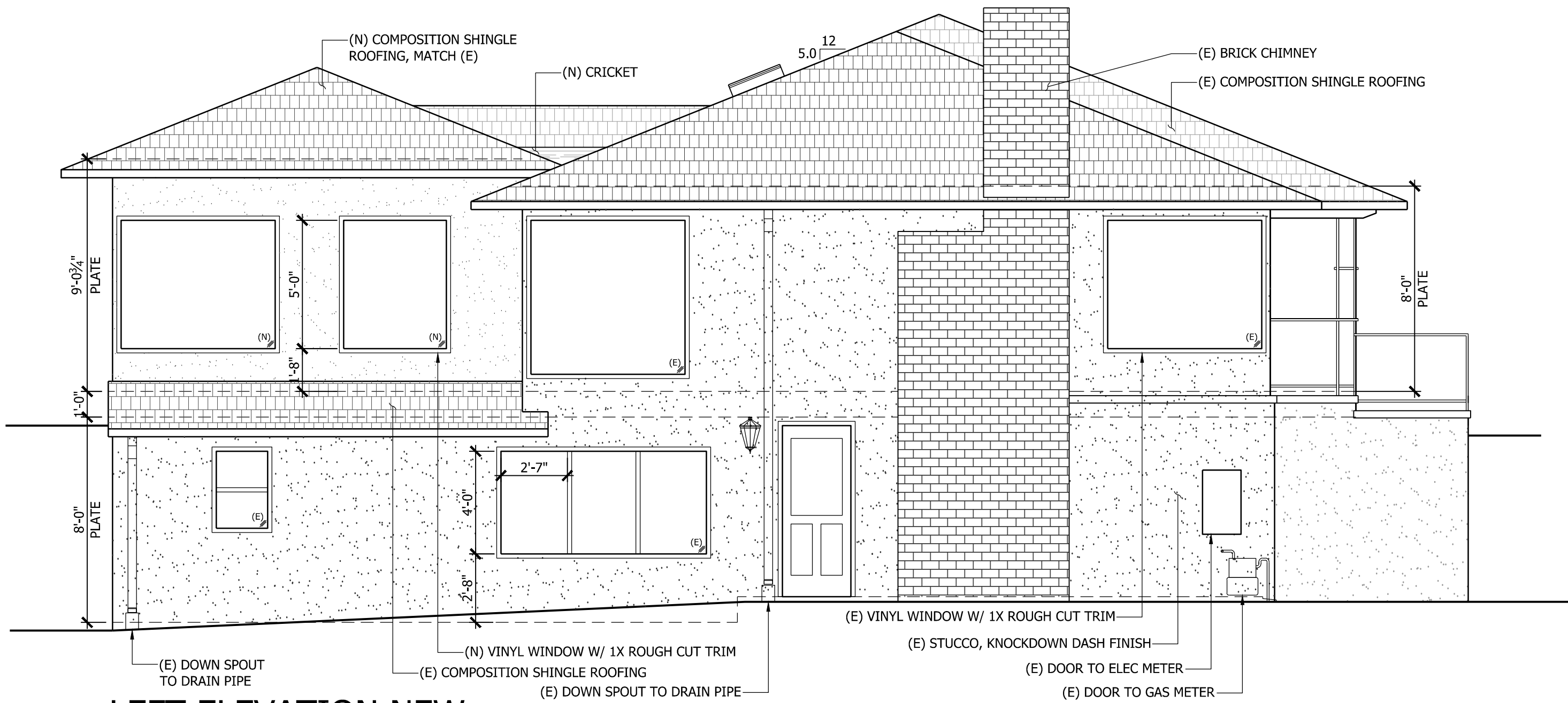
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LEFT ELEVATION EXISTING

1/4" = 1'-0"



LEFT ELEVATION NEW

1/4" = 1'-0"

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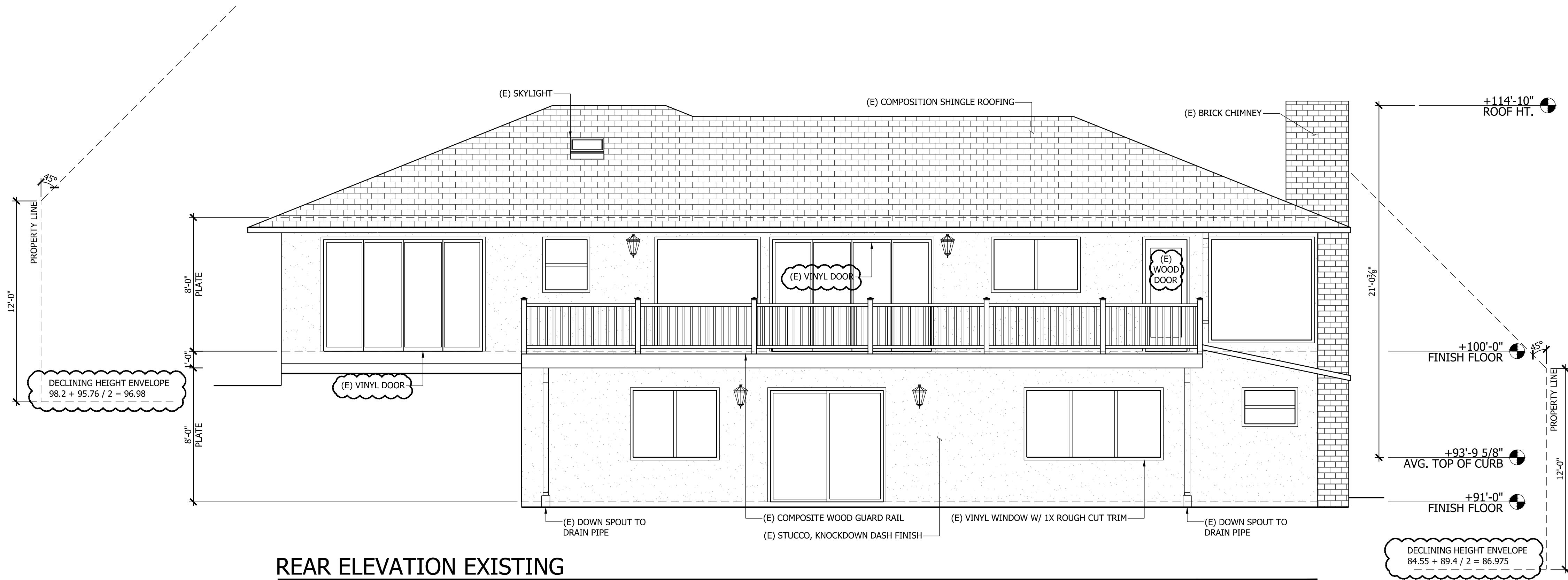
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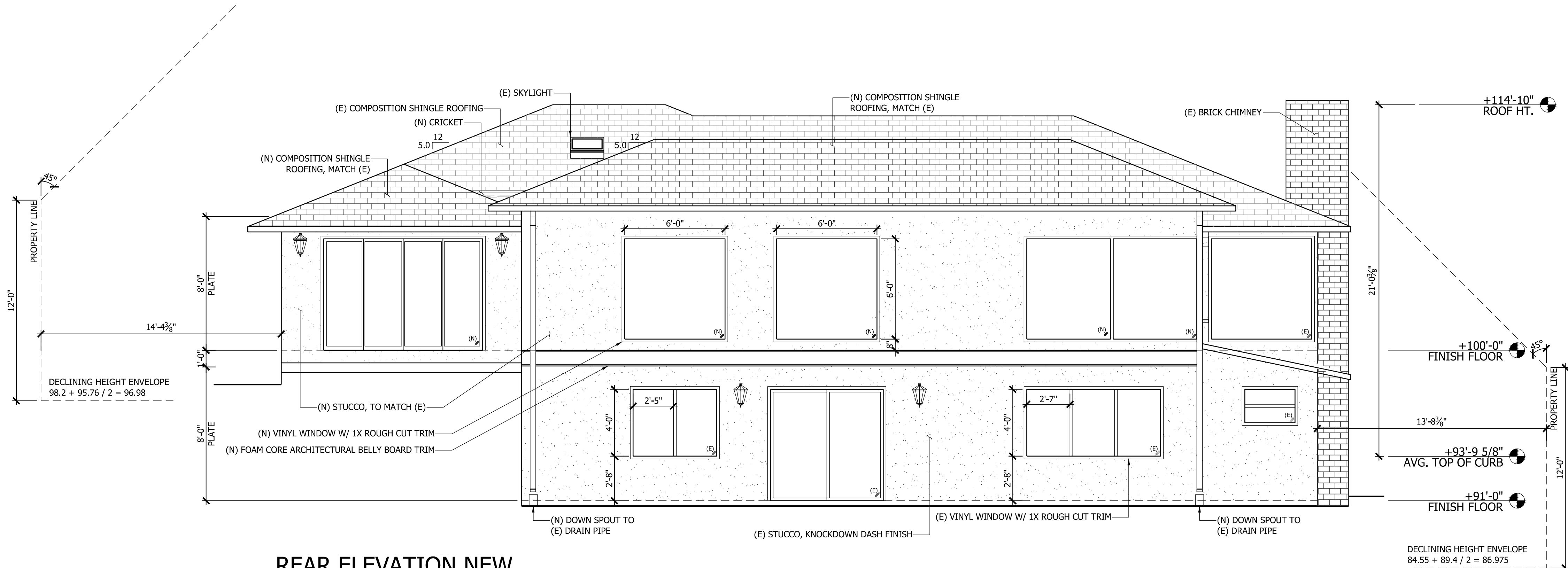
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GRACE AND LARRY NGAI
2669 MARTINEZ DRIVE
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REAR ELEVATION EXISTING

1/4" = 1'-0"



REAR ELEVATION NEW

1/4" = 1'-0"

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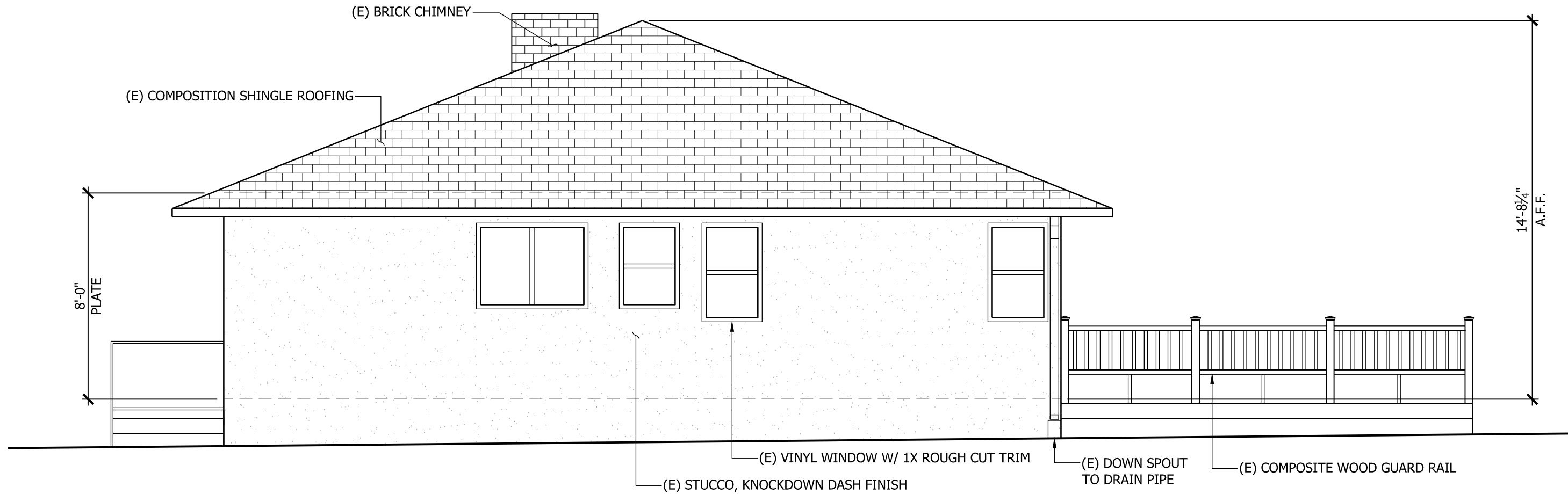
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PAGE TITLE
ELEVATIONS

PLANNING REVIEW ONLY
RESIDENTIAL ADDITION FOR:
GRACE AND LARRY NGAI
2669 MARTINEZ DRIVE
BURLINGAME, CA 94010
APN# 025-083-050

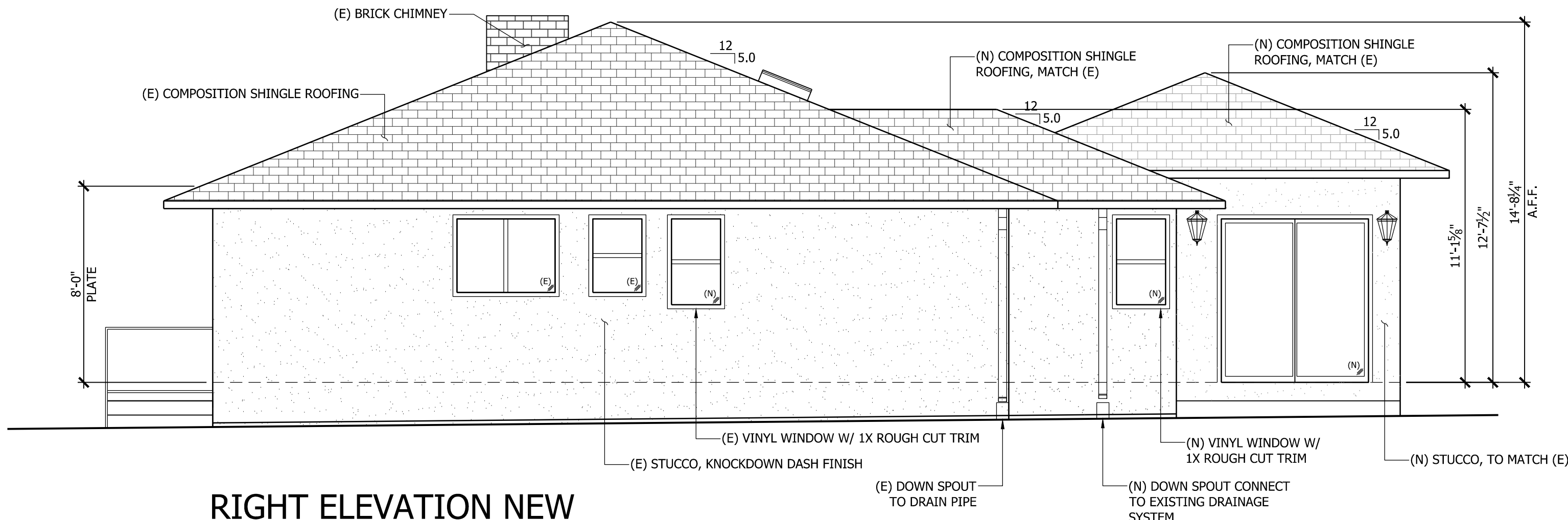
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SCALE: PER SHEET
DRAWN BY: DAVID
PLAN NO.: 2127

SHEET:
A3.3



RIGHT ELEVATION EXISTING

1/4" = 1'-0"



RIGHT ELEVATION NEW

1/4" = 1'-0"

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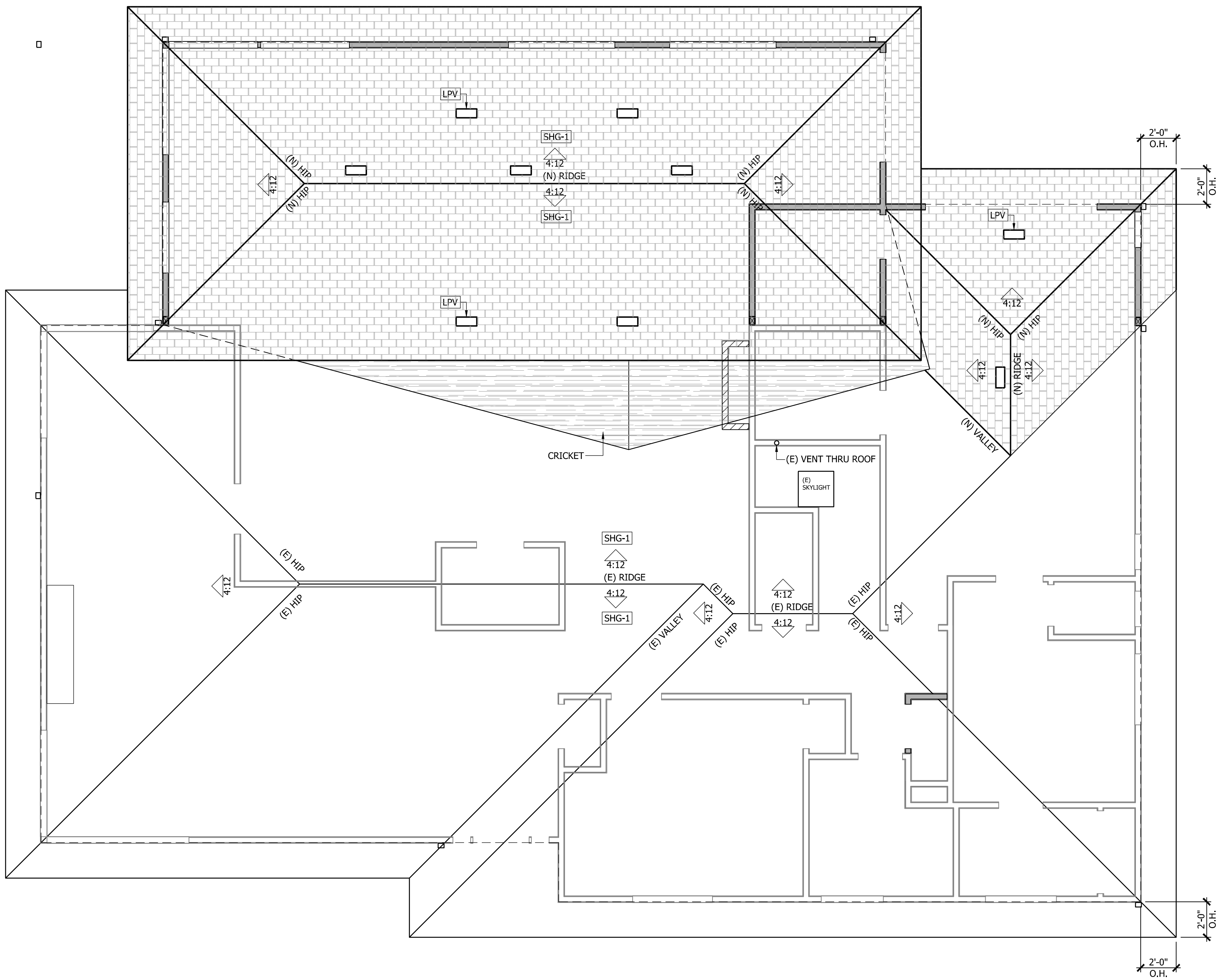
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2022.04.07

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PER SHEET

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DAVID

PLAN NO.:
2127

SHEET:
A3.4



ATTIC VENTILATION CALCULATIONS
1ST FLOOR ROOF:

748 SF ATTIC/300 EQUAL TOTAL 2.5 SF

NEED 40%-50% TOTAL REQUIRED SF HIGH VENT
(4) LOW PRO VENTS @ .3 SF EACH 1.2 SF

NEED 2.8 SF LOW VENT
(5) LOW PRO VENTS @ .3 SF EACH 1.5 SF

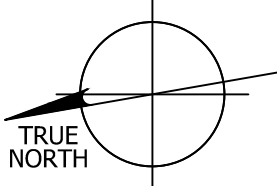
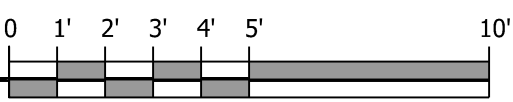
TOTAL
TO BE INSTALLED 2.7 SF

REFERENCE KEYNOTES	
DIVISION 07 - THERMAL AND MOISTURE PROTECTION	
ROOFING AND SIDING -	
BUR	- BUILT-UP ASPHALT ROOF SYSTEM
LPV	- LOW PROFILE ROOF VENT, PREFINISHED TO MATCH ROOFING.
SHG-1	- (E) COMPOSITION SHINGLE ROOFING

ROOF NOTES:

- PLYWOOD FOR ANY SURFACE OR EDGE EXPOSED TO WEATHER MUST BE BONDED WITH EXTERIOR GLUE.
- EXPOSED GLU-LAMS SHALL BE PRESERVATIVE TREATED, APPLIED BY THE MANUFACTURER, OR MADE FROM NATURALLY DURABLE WOOD.
- ALL FASTENERS USED FOR ATTACHMENT OF SIDING SHALL BE CORROSION-RESISTANT (R703.4)
- NEW ROOF SHEATHING TO BE MINIMUM 15/32"CDX/OSB APA RATED FOR 24" O.C. FRAMING, RADIANT BARRIER NAIL WITH 8d AT 6" O.C. EDGE, 12 O.C. FIELD. INSTALL WITH FACE GRAIN PERPENDICULAR TO FRAMING, STAGGER END JOINTS.
- CORROSION RESISTANT FLASHING SHALL BE PROVIDED AT OPENINGS AND INTERSECTIONS/ATTACHMENTS. (R703.8)
- FIRE BLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS; VERTICALLY AT FLOOR AND CEILING LEVELS, HORIZONTALLY AT INTERVALS NOT TO EXCEED 10' (R302.11)
- FASTENERS FOR PRESERVATIVE-TREATED AND FIRE-RETARDANT-TREATED WOOD SHALL BE OF HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER.
- MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR SHALL BE CHECKED BEFORE ENCLOSURE, CBC 4.505.3

2669 MARTINEZ 1ST FLOOR PLAN NEW
1/4" = 1'-0"



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ROOF PLAN

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SCALE: PER SHEET
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