

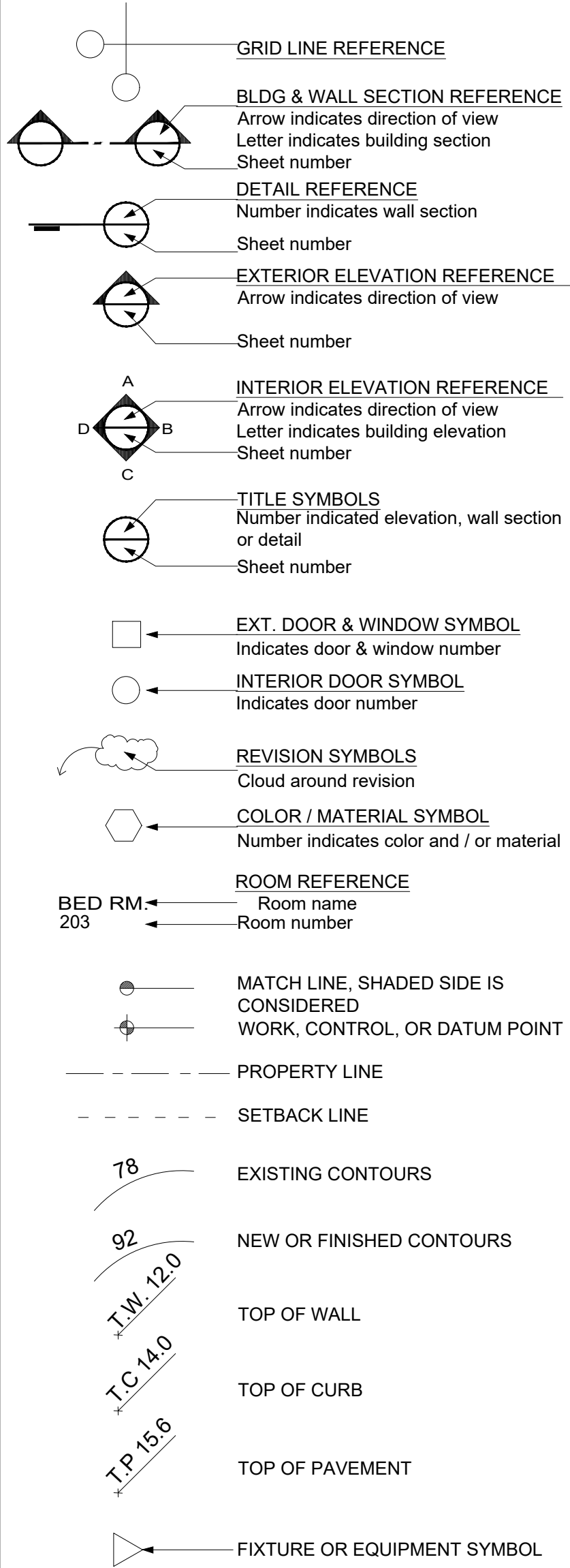
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ROCHE RESIDENCE
1557 NEWLANDS AVE.
BURLINGAME, CA 94010

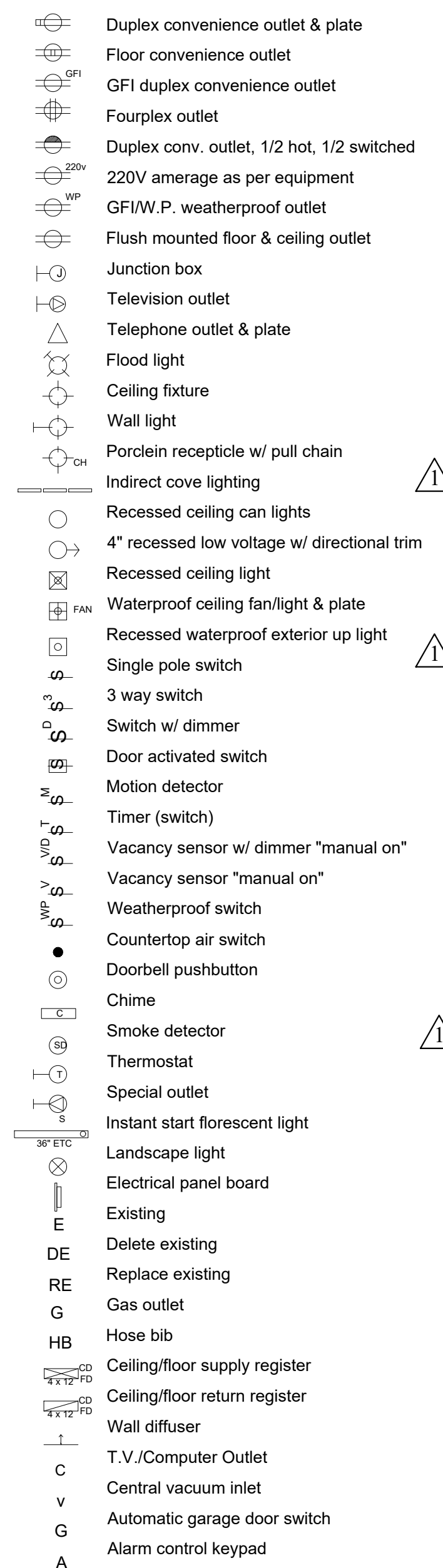
ABBREVIATIONS

& d	And Penny Angle At	EXH EXP EXPO EXT FBO	Exhaust Expansion Exposed Exterior Furnished by Owner	PBD PFB PL PLAS PLYWD PNL PNT PR PRCST PT	Particle Bd. Prefabricate(d) Plate (line) Plaster Plywood Panel(ing) Paint(ed) Pair Pre Cast Pressure Treated
@ C O	Center line Dia. or round Perpendicular	FDN FIN FL	Foundation Finish Floor (line)	QT	Quarry Tile
#	Pound or No.	FLASH FLOUR FLX FOC FOF FOX FO FPL FTG FURR FUR	Flashing Fluorescent Flexible Face of Conc. Face of Fin. Face of Stud Finished Opening Fireplace Footing Furring Future	R RAD REIN RELO REMO REQD RESIL RO RWD	Riser Radius Reinforce Relocate Remove Required Resilient Rough Opeing Redwood
AB ABV AC ACOUS ADH ADJ AGG AL AP	Anchor Bolt Above Asphalt Conc. Acoustical Adhesive Adjustable Aggregate Aluminum Access Panel Approximate	GA GALV GB GI GL GR GYP	Gauge Galvanized Grab Bar Grab Iron Glass/Glazing Grade (Ground) Gypsum	SSD SH SHR SIM SLR SPEC SQ SLD S. STL	See Struct. Dwg. Shelf Sheathing Similar Sealer Specification Square Standard Stainless Steel
CAB CEM CER CI CLG CLKG CLR CMU CNTR COL COMPO CONC CONN CONST CONT CPT	Cabinet Cement Ceramic Cast Iron Ceiling Caulking Clear Conc. Mas. Unit Counter Column Composition Concrete Connect(ion) Construction Continuous Carpet	HBD HD HDR HWD HOR INT INSUL JST JT LAM LT LVR MAS MC MECH MEMB MFR MIR MNT MTL NIC Not in Contract Not to Scale	Hard Board Heavy Duty Header Hardware Horizontal Interior Insulation Joist Joint Laminate Light Louver Masonry Medicine Cabinet Mechanical Membrane Manufacturer Mirror Mount(ed) Metal	T TB TEMP T&G THRU TOS TPD TYP UON UNF VERT VG WB WD WDW WI W/O WP WR WSC	Tread Towel Bar Tempered Tougue & Groove Through Top of Surface Toilet Paper Dispenser Typical Unless Otherwise Noted Unfinished Vertical Vert. Grain White Brothers Wood Window Wrought Iron With (out) Waterproof Water Resistant Wainscot
DBL DEMO DF DIA DIAG DN DR DS DRA	Double Demolish Douglas Fir Diameter Diagonal Down Door Down Spout Drawer	MAS MC MECH MEMB MFR MIR MNT MTL NIC Not in Contract Not to Scale	Masonry Medicine Cabinet Mechanical Membrane Manufacturer Mirror Mount(ed) Metal	WB WD WDW WI W/O WP WR WSC	White Brothers Wood Window Wrought Iron With (out) Waterproof Water Resistant Wainscot
EA EL ELEC ENCL EQ EQPT EW (EX)	Each Elevation Electrical Enclosure Equal Equipment Each Way Existing	NTS O/ OC OPNG OPP P PAR	Not to Scale Over On Center Opening Opposite Plastic Parallel		

REFERENCE SYMBOLS



ELECT/MECH SYMBOLS



BUILDING DATA

APN #:	:028-295-220
LOT AREA:	: 7,500 SQ.FT.
(E) FAR -	
(E) LOWER LEVEL	= 803 SQ.FT.
(E) MAIN LEVEL	=1,057 SQ.FT.
(E) UPPER LEVEL	= 913 SQ.FT.
TOTAL :	= 2,773 SQ.FT.
(N) FAR -	
(E) LOWER LEVEL	= 803 SQ.FT.
(E) MAIN LEVEL	=1,057 SQ.FT.
(E) UPPER LEVEL	= 913 SQ.FT.
(N) ADDITIONS	= 688 SQ.FT.
(N) GARAGE	= 39 SQ.FT.
TOTAL :	= 3,500 SQ.FT.
(E) LOT COVERAGE-	
(E) MAIN FLOOR	=1,050 SQ.FT.
(E) COVERED PORCH	= 100 SQ.FT.
(E) FIREPLACE	= 7 SQ.FT.
TOTAL :	= 1,157 SQ.FT.
(N) LOT COVERAGE -	
(E) MAIN FLOOR	=1,050 SQ.FT.
(E) COVERED PORCH	= 100 SQ.FT.
(E) FIREPLACE	= 7 SQ.FT.
(N) ADDITIONS	= 53 SQ.FT.
(N) GARAGE	= 439 SQ.FT.
TOTAL :	= 1,666 SQ.FT.

USE OF BUILDING: RESIDENTIAL
OCCUPANCY: R3
TYPE OF CONST.: V-B
NUMBER OF (E) STORIES: 2-STORY
(E) NUMBER OF DWELLINGS: 1
PARKING: (N) 2- STALL
SPRINKLERED: NO EXISTING, (N) TO BE INSTALLED
NOT HISTORICAL, PER REVIEW BY PAGE & TURNBULL

CONSULTANTS

DESIGNER FORM + ONE DESIGN CONTACT: TIM RADUENZ 4843 SILVER SPRINGS DRIVE PARK CITY, UT 84098 PHONE: 415-819-0304 TIM@FORMONEDESIGN.COM	HISTORICAL REVIEW PAGE & TURNBULL 170 MAIDEN LANE, 5TH FLOOR SAN FRANCISCO, CA 94108 PHONE: 415-362-5154
OWNERS MR. & MRS. BRIAN ROCHE 1557 NEWLANDS AVE BURLINGAME, CA 94010	LANDSCAPE DESIGNER MUZIK DESIGN STUDIO 1117 WAYNE WAY SAN MATEO, CA 94403 PHONE: 239-410-9251
TITLE 24 RICK ROCKLEWITZ NRG COMPLIANCE INC. PO BOX 3777 SANTA ROSA, CA 95402 PHONE: 707-237-6957	

SURVEY
SAVIOR P. MICALLEF
412 WILDWOOD DRIVE
S SAN FRANCISCO, CA 94080
PHONE: 805-709-2423

EXTERIOR FINISHES

WALL FINISH: (E) STUCCO (PROTECT) REPAIR WHERE NEEDED
ROOF: CLASS A, ARCHITECTURAL ASPHALT SHINGLES
WINDOWS: (E) WOOD CLAD WINDOWS (N) TO MATCH SIERRA PACIFIC OR EQ.

DEFERRED SUBMITALS

1. SPRINKLER PLAN
2. CERTIFICATE OF OCCUPANCY
3. DEMOLITION PERMIT

SHEET INDEX

(*) = FUTURE BUILDING SHEETS

T1.0	TITLE PAGE
GN	GENERAL NOTES
CG	CAL GREEN
SW	CONSTRUCTION BEST MANAGEMENT PRACTICES
SW2	STORMWATER MANAGEMENT DETAILS
FAR	EXISTING FAR
FAR2	PROPOSED FAR
1 OF 1	EXISTING SURVEY
A1.0	PROPOSED SITE PLAN
A1.1	EXISTING STREET SETBACKS

(*) ME2.0	MECHANICAL + ELECTRIC DRAWINGS
(*) ME3.0	MECH. + ELECT. PLANS
(*) ME4.0	MECH. + ELECT. CUTSHEETS
(*) ME4.1	TITLE-24
(*) ME4.1	TITLE-24 CONT.
(*) -	STRUCTURAL DRAWINGS
(*) -	LANDSCAPE DRAWINGS
(*) -	EXISTING AND PROPOSED LANDSCAPE PLAN

A2.0	ARCHITECTURAL DRAWINGS
A2.1	EXISTING/PROPOSED LOWER FLOOR PLAN
A2.2	EXISTING/PROPOSED MAIN FLOOR PLAN
A2.3	EXISTING/PROPOSED UPPER FLOOR PLAN
A3.0	EXISTING/PROPOSED ROOF PLAN
A3.1	EXISTING/ PROPOSED NORTH ELEVATION
A3.2	EXISTING/ PROPOSED SOUTH ELEVATION
A3.3	EXISTING/ PROPOSED EAST ELEVATION
A4.0	EXISTING/ PROPOSED WEST ELEVATION
A5.0	EXISTING/ PROPOSED BUILDING SECTION
G2.0	CONSTRUCTION DETAILS
A9.0	PROPOSED DETACHED GARAGE
A9.0	PROPOSED DOOR & WINDOW SCHEDULE

BUILDING + PUBLIC WORKS NOTES:

1. PUBLIC WORKS REQUIRES A SEWER BACKWATER PROTECTION CERTIFICATE **PRIOR TO PERMIT BEING ISSUED**. PLEASE CONTACT PUBLIC WOKRS @ 650.558.7239
2. STORM WATER CONSTRUCTION POLLUTION PREVENTION PERMIT IS REQUIRED, **NOTE: AN INITIAL FIELD INSPECTION IS REQUIRED PRIOR TO START OF ANY CONSTRUCTION (ON PRIVATE PROPERTY OR IN THE PUBLIC RIGHT-OF-WAY**

SCOPE OF WORK

1. REMODEL OF EXISTING HOME, RAISING OF REAR OF HOME FOR NEW FOUNDATION IN REAR OF HOME (STRUCTURAL UPGRADE)
2. ADDITIONS TO LOWER AND UPPER FLOORS
3. (N) DETACHED GARAGE
4. (N) FALSE DORMER AND (N) COVERED ENTRY

VICINITY MAP



MATERIAL SYMBOLS

Bituminous paving	Metal	Sand/ Mortar/ Plaster
Batt insulation	Metal Lath	Wood frame construction
Brick Veneer	Marble / tile	Existing construction
Stone Veneer	Earth	Existing const. removed
Concrete	Wood	Precast concrete
Concrete Block	Steel	Rigid insulation
Gravel / Rock fill	Plywood	Gypsum board

APPLICABLE CODES

2022 California Building Code
2022 California Residential Code
2022 California Plumbing Code
2022 California Mechanical Code
2022 California Electric Code
2022 California Energy Code
2022 California Fire Code
CITY OF BURLINGAME MUNICIPAL CODE
2022 California Green Building Standards Code
CAL GREEN BUILDING CODE CHECKLIST: Single Family to be attached to jobsite building set

CONSTRUCTION HOURS

1. NO PERSON SHALL ERECT (INCLUDING EXCAVATION AND GRADING), DEMOLISH, ALTER OR REPAIR ANY BUILDING OR STRUCTURE OTHER THAN BETWEEN THE HOURS LISTED BELOW.

CONSTRUCTION HOURS	
WEEKDAYS:	8:00 A.M. - 7:00 P.M.
SATURDAYS:	9:00 A.M. - 6:00 P.M.
SUNDAYS AND HOLIDAYS:	NO WORK ALLOWED

(SEE CITY OF BURLINGAME MUNICIPAL CODE, SECTION 13.04.100 FOR DETAILS)

CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT-OF-WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00 A.M. AND 5:00 P.M.

CAL GREEN BUILDING MEASURE

1. AN AUTOMATIC IRRIGATION SYSTEM CONTROLLER FOR LANDSCAPING WILL BE PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION. 2022 CGC §4.304.1
2. A MINIMUM OF 65% OF THE NON- HAZARDOUS CONSTRUCTION + DEMOLITION WASTER GENERATED AT THE SITE WILL BE DIVERTED TO AN OFFSITE RECYCLE, DIVERSION, OR SALVAGE FACILITY PER CITY OF BURLINGAME ORDINANCE + 2022 CGC §4.408
3. AN OPERATION AND MAINTENANCE MANUAL WILL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER. 2022 CGC §4.410.1
4. UPON REQUEST, VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE BUILDING DIVISION THAT WILL SHOW SUBSTANTIAL CONFORMANCE WITH THE 2022 CODE REQUIREMENT. 2022 CGC §703.1
5. AT TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE, AND UNTIL FINAL STARTUP OF THE HEATING, COOLING & VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENTS OPENINGS WILL BE COVERED W/ TAPE, PLASTIC, SHEET METALS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST, OR DEBRIS THAT MAY ENTER THE SYSTEM. (CGC 4.504.1).

HIDDEN CONDITION NOTES

1. Any hidden conditions that require work to be performed beyond the scope of the building permit issued for these plans may require further City approvals including review by the Planning commission.

Revisions

Rev. #	Description	Date
001	Response to Comments	3/20/23
002		
003		
004		
005		
006		

Contractor:

Owner:
1557 NEWLANDS AVE.
BURLINGAME CA, 94010

Zoning: RL-1-A

APN#: 028-295-220

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Park City, UT 84098
Ph: 415.819.0304
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form + one
DESIGN ■ PLANNING

Title : TITLE PAGE

Project : MR. & MRS. ROCHE
1557 NEWLANDS AVE.
BURLINGAME CA. 94010

Drawn : TIM RADUENZ
Date : 10-22-22

Sheet
Scale: See Details

T1.0

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MECHANICAL NOTES:

1. ALL WORK SHALL COMPLY WITH THE CALIFORNIA MECHANICAL CODE (CMC) AND ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES.
 2. MECHANICAL CONTRACTOR TO ACCEPT SOLE RESPONSIBILITY FOR PROPER DESIGN AND INSTALLATION OF MECHANICAL SYSTEM. SEE MECHANICAL DWGS. BY OTHER FOR SPECIFIC INFORMATION.
 3. MECHANICAL CONTRACTOR TO COORDINATE WITH GENERAL CONTRACTOR TO DESIGN AND INSTALL SUITABLE DISTRIBUTION SYSTEM PER TITLE 24. MECH. CONTRACTOR TO FIELD VERIFY AND DETERMINE SIZE AND CONFIGURATION OF DUCTS AND REGISTER. SEE SHEET INDEX FOR LOCATION OF TITLE 24 CONFORMANCE WORKSHEETS AND ENERGY COMPLIANCE NOTES WITHIN THIS SET. HVAC DUCTS LOCATED IN ATTIC SPACE SHALL BE PLACED AS CLOSE TO PERIMETER AS POSSIBLE SO AS NOT TO INTERFERE WITH USEABLE ATTIC STORAGE SPACE.
 4. MECHANICAL LAYOUT SHOWN IS SCHEMATIC AND IS SHOWN FOR DESIGN INTENT ONLY.
 5. PROVIDE COMBUSTION AIR SUPPLY TO GAS FIRED APPLIANCES BY COMBUSTION AIR DUCTS PER (CMC) & CPC. VERIFY DUCT SIZE WITH MANUFACTURER'S SPECIFICATIONS.
 6. FURNACES OR BOILERS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA MECHANICAL CODE (CMC)
 7. PER CMC, COMBUSTION AIR DUCTS FROM THE ATTIC SHALL BE LOCATED WITHIN THE UPPER AND LOWER 12 INCHES OF THE ENCLOSURE. DUCTS SHALL BE SEPARATE AND SHALL NOT BE OBSTRUCTED
 8. APPLIANCES DESIGNED TO BE FIXED IN POSITION SHALL BE SECURELY FASTENED IN PLACE. SUPPORTS FOR APPLIANCES SHALL BE DESIGNED AND CONSTRUCTED TO SUSTAIN VERTICAL AND HORIZONTAL LOADS AS REQUIRED BY CMC. WATER HEATERS TO BE SECURED WITH A MINIMUM OF 2 STRAPS, ONE EACH TO BE LOCATED IN THE UPPER AND LOWER THIRD OF THE UNIT.
 9. UNDERCUT ALL INTERIOR DOORS (AS APPROPRIATE) FOR AIR RETURN CIRCULATION TO VENTS, TYPICAL OF INTERIOR CONDITIONED SPACES.
 10. VERIFY ALL FIXTURE LOCATIONS WITH OWNER PRIOR TO INSTALLATION.
 11. ALL FIXTURES TO BE SELECTED (OR APPROVED) BY OWNER.
 12. EXHAUST FANS IN LAUNDRY AND BATHROOMS MUST CONNECT DIRECTLY TO THE OUTSIDE AND PROVIDE A MINIMUM OF 5 AIR CHANGES PER HOUR. EXHAUST FAN VENTS MUST TERMINATE A MINIMUM OF 3 FEET FROM ANY OPENINGS INTO THE BUILDING AND BE PROVIDED WITH BACKDRAFT DAMPERS.
 13. AT NEW FORCED AIR FURNACE INSTALLATIONS PROVIDE 3" MIN. WORKING SPACE ALONG EACH SIDE (WITH A TOTAL OF AT LEAST 12" ON BOTH SIDES COMBINED), BACK AND TOP OF FURNACE.
 14. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION.
- PLUMBING NOTES:
1. VERIFY ALL FIXTURE LOCATIONS WITH OWNER PRIOR TO INSTALLATION.
 2. ALL FIXTURES TO BE SELECTED AND (OR APPROVED) BY OWNERS.
 3. ALL NEW WATER CLOSETS SHALL BE 1.28 GALLON/FLUSH MAXIMUM.
 4. NO DISHWASHER MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD DISPOSER WITHOUT THE USE OF AN APPROVED AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHING MACHINE. LISTED AIR-GAPS SHALL BE INSTALLED WITH THE FLOOD LEVEL MARKING AT OR ABOVE FLOOD LEVEL OF SINK OR DRAINBOARD, WHICHEVER IS HIGHER
 5. (E) ON-DEMAND SYSTEM, CONFIRM WITH OWNER, **RECIPROCATING PUMP AS OPTION.**

ELECTRICAL NOTES:

1. ALL WORK SHALL COMPLY WITH THE CALIFORNIA ELECTRIC CODE (CEC) AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND ORDINANCES.
2. PER CEC, ALL ELECTRICAL RECEPTACLES INSTALLED AT CRAWL SPACES AT OR BELOW GRADE, AND OUTDOORS SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER (G.F.C.I.) PROTECTION. ALL RECEPTACLES LOCATED IN BATHROOMS SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER (G.F.C.I.) PROTECTION.
3. SMOKE DETECTORS SHALL BE INSTALLED PER CBC. A DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO ROOMS USED FOR SLEEPING PURPOSES. A DETECTOR SHALL BE INSTALLED ON EACH LEVEL OF A MULTI-STORY DWELLING, INCLUDING BASEMENT LEVELS. IN SPLIT-LEVEL OR MULTI-LEVEL FLOORS, A SMOKE DETECTOR SHALL BE INSTALLED ON THE UPPER LEVEL, OR ON BOTH LEVELS IF THE LOWER LEVEL CONTAINS SLEEPING AREAS. WHERE THE CEILING HEIGHT OF A ROOM OPEN TO THE HALLWAY SERVING THE BEDROOMS EXCEEDS THAT OF THE HALLWAY BY 24 INCHES, SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH APPROVED MANUFACTURER'S INSTRUCTIONS. WHEN THE VALUATION OF AN ADDITION OR REPAIR EXCEEDS \$1,000.00, OR WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN AN EXISTING DWELLING, THE ENTIRE DWELLING SHALL BE PROVIDED WITH SMOKE DETECTORS LOCATED AS REQUIRED FOR NEW DWELLINGS. IN NEW CONSTRUCTION, REQUIRED SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. THE DETECTOR SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. SMOKE DETECTORS MAY BE SOLELY BATTERY OPERATED WHEN INSTALLED IN EXISTING BUILDINGS, OR IN BUILDINGS WITHOUT COMMERCIAL POWER, OR IN BUILDINGS WHICH UNDERGO ALTERATION, REPAIRS, OR ADDITIONS REGULATED AS OUTLINED ABOVE.
4. TELEPHONE OUTLETS TO BE PREWIRED BY SUBCONTRACTOR. CONTRACTOR TO COORDINATE AS REQUIRED. VERIFY LOCATION OF ALL TELEPHONE OUTLETS WITH OWNER PRIOR TO INSTALLATION.
5. ELECTRICAL OPENINGS (SWITCHES, RECEPTACLES, ETC.) ON OPPOSITE SIDES OF FIRE RATED WALLS SHALL BE MAINTAINED AT LEAST 24 INCHES APART.
6. PER CEC, RECEPTACLE SPACING SHALL NOT EXCEED 12 FEET MEASURED HORIZONTALLY ALONG THE WALL.
7. PER CEC, AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM; IN BATHROOMS, HALLWAYS, STAIRWAYS, ATTACHED GARAGES, AND DETACHED GARAGES WITH ELECTRICAL POWER, AND OUTDOOR ENTRANCES OR EXITS.
8. PER CEC, LIGHTING FIXTURES LOCATED WITHIN CLOTHES CLOSETS SHALL BE MOUNTED ON THE WALL ABOVE THE DOOR OR ON THE CEILING. CLEARANCES SHALL BE AS FOLLOWS:
A. SURFACE MOUNTED INCANDESCENT FIXTURES - 12"
B. SURFACE MOUNTED FLUORESCENT FIXTURES - 6" 9.
10. VERIFY ANY AND ALL LANDSCAPE LIGHTING AND SWITCHES WITH OWNER PRIOR TO INSTALLATION OF ROUGH ELECTRICAL.
11. ALL ELECTRICAL HANGING FIXTURES TO BE SELECTED AND PURCHASED BY OWNER. VERIFY EXACT LOCATIONS WITH OWNER PRIOR TO INSTALLATION.

13. ALL INCANDESCENT LIGHTING FIXTURES RECESSED INTO INSULATED AREAS SHALL BE APPROVED FOR ZERO CLEARANCE INSULATION COVER PER **2022** CALIFORNIA ENERGY CODE AND RATED IC OR APPROVED EQUAL MEETING UL RATING OR OTHER TESTING /RATING LABORATORIES RECOGNIZED BY THE ICC.
 14. THIS DRAWING IS FOR LAYOUT PURPOSES ONLY. NEW ELECTRICAL SHALL BE DESIGN-BUILD. NEW ELECTRICAL WORK SHALL BE DESIGNED AND BUILT IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND APPLICABLE CODES, STANDARDS AND REGULATIONS FOR BUILDING LIFE SAFETY, EMERGENCY, EGRESS AND NIGHT LIGHTING. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING SEPARATE PERMIT. ELECTRICAL CONTRACTOR TO PROVIDE COMPLETE DESIGN-BUILD ELECTRICAL SYSTEM AS REQUIRED TO PROVIDE THE (NEW) SERVICE SHOWN (SCHEMATICALLY) ON THE DRAWINGS.
- GENERAL NOTES:
- ALL WORK SHALL COMPLY W/ THE **2022** EDITION OF THE CA. BUILDING CODE AND ALL OTHER CODES AND REQUIREMENTS, IN THEIR MOST RECENT EDITION INCLUDING THE FOLLOWING:
- 2022 CALIFORNIA PLUMBING CODE**
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2. THE INTENTION OF THE CONSTRUCTION DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIAL, EQUIPMENT FACILITIES AND TRANSPORTATION NECESSARY FOR A COMPLETE AND PROPER EXECUTION OF THE WORK IN AN ACCEPTABLE INDUSTRY'S STANDARDS. CONTRACTOR IS TO OBTAIN ANY REQUIRED PERMITS FOR THIS OR HER WORK.
 3. THE MIN. ACCEPTABLE QUALITY OF MATERIALS, WORKMANSHIP, AND METHOD OF INSTALLATION SHALL MEET THE FOLLOWING CRITERION: CONFORM TO THE AMERICAN NATIONAL INSTITUTE STANDARDS WHERE SUCH STANDARDS EXISTS.
 4. CONTRACTOR SHALL PERFORM ALL ADDITIONAL ELECTRICAL, PLUMBING, AND FIRE PROTECTION WORK REQUIRED BY THE BUILDING DEPARTMENT.
 5. CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMISSION OF BID TO REVIEW SCOPE OF WORK, DEMOLITION, ETC.
 6. DO NOT SCALE DRAWINGS, CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO STARTING WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER FOR REVIEW.
 7. DIMENSIONS ARE TO FACE OF FRAMING, UNLESS OTHERWISE NOTED, (U.O.N.)
 8. DIMENSIONS NOTED CLEAR (CLR.) ARE NOT ADJUSTABLE WITHOUT APPROVAL FROM THE DESIGNER.
 9. SAFETY MEASURES: AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF PERSONS AND PROPERTY.
 10. CUTTING AND DEMOLITION SHALL BE DONE BY METHODS, WHICH WILL AND WILL NOT JEOPARDIZE STRUCTURAL INTEGRITY OF EXISTING CONSTRUCTION AND WILL NOT DAMAGE PORTIONS TO REMAIN.
 11. CONTRACTORS SHALL REMOVE, CUT, CAP, AND REPAIR, AS NECESSARY, ANY UTILITES, INCLUDING BUT NOT LIMITED TO: ELECTRICAL, MECHANICAL, PLUMBING, AND FIRE SPRINKLERS, WHERE PARTITIONS ARE SCHEDULED FOR DEMOLITION OR ARE NO LONGER OPERATIONAL OR IN SERVICE. ALL OTHER EXISTING UTILITES ARE TO REMAIN FULLY OPERATIONAL.
 12. IN GENERAL, THE OWNER RESERVES THE RIGHT TO RETAIN ALL MATERIALS AND EQUIPMENT REMOVED FROM THE PROJECT. ANY ITEMS OR MATERIAL NOT DESIRED BY THE OWNER ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.
 13. CONTRACTOR IS TO PROVIDE ALL NECESSARY DUST PROTECTION AND/OR BARRICADING REQUIRED TO PROTECT ADJACENT SPACES AND EXISTING FINISHES. CONTRACTOR OS RESPONSIBLE TO REPAIR ANY DAMAGES CAUSED BY CONTRACTOR OR THEIR SUB-CONTRACTORS.

14. PATCH AND REPAIR ANY DAMAGES TO FLOORS, WALLS, CEILINGS, HARDWARE, FIXTURES, WINDOWS, ETC. AS A RESULT OF THE DEMOLITION PROCESS. MATCH EXISTING ADJACENT FINISHES AS CLOSELY AS POSSIBLE.
15. IF ANY QUESTIONS ARISE TO THE INSTALLATION OF ANY MATERIALS AND/OR EQUIPMENT, OR WITH THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL CLARIFY THE QUESTIONS W/ THE DESIGNER BEFORE PROCEEDING. NO SUBSTITUTIONS SHALL BE MADE W/O THE DESIGNERS AND OR OWNERS APPROVAL.
16. TOTAL THICKNESS OF NEW WALLS SHALLMATCH THAT OF ADJACENT WALLS.
17. THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF WORK THAT MAY BE REQUIRED TO MAKE ITS PARTS FIT TOGETHER PROPERLY AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, EXCAVATION, OR OTHERWISE ALTERING THE TOTAL WORK OR ANY PART OF IT. ALL PATCHING REPAIRING, AND REPLACING OF MATERIALS AND SURFACES, CUT OR DAMAGE IN EXECUTION OF WORK, SHALL BE DONE W/ APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
18. ALL WORK SHALL BE SCHEDULED AND PERFORMED SO AS NOT TO DISTURB ANY OTHER TENANTS IN THE BUILDING. ANY WORK THAT WILL DISTURB ANOTHER TENANT, ABOVE OR BELOW, OR IN THE FLOOR, SHALL BE PERFORMED MOST EXPEDITIOUSLY AND THE DISTURBED TENANT SHALL HAVE FULL USE OF THE PREMISE.
19. ALL TRADES SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS, AND PERFORM ALL NECESSARY, INDICATED, REASONABLY INFERRED OR REQUIRED BY ANY CODE W/ JURISDICTION TO COMPLETE THEIR SCOPE OF WORK FOR A COMPLETE AND PROPER FINISHED JOB. ANY CUSTOMARY AND NECESSARY ITEMS WHICH ARE REASONABLY IMPLIED AND REQUIRED TO COMPLETE PROPERLY THE WORK OUTLINED SHALL BE FURNISHED, EVEN IF NOT SPECIFICALLY SHOWN ON THE DRAWINGS OR MENTIONED IN THE SPECIFICATION.
20. CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION CLEAN-UP, DURING AND FINAL.
21. THE AMERICANS WITH DISABILITIES ART (ADA) IS SUBJECT TO VARIOUS AND POSSIBLY CONTRADICTORY INTERPRETATIONS. THESE PLANS AND ANY ACCOMPANYING SPECIFICATIONS ("PLANS") REPRESENT THE DESIGNER'S OPINION REGARDING ITS INTERPRETATION OF THE ADA AS IT APPLIES TO THE SUBJECT PROJECT. IT IS NOT IN ANY WAY A WARRANTY OR GUARANTEE THAT SAID PLANS COMPLY WITH ANY OR ALL POSSIBLE INTERPRETATIONS OF THE ADA BY OTHERS.

Title : General Notes

Project : MR. & MRS. ROCHE
1557 NEULANDS AVE.
BURLINGAME CA. 94010

Job No. : 22-47 Drawn : TIM RADIENT Date : 10-22-22

Contractor :

Owner :
TBA
1557 NEULANDS AVE.
BURLINGAME CA. 94010

Zoning: RL-A

4943 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM



GN

Sheet
Scale: See Details

BUILDING SET
PLANNING SET

APN#: 028-295-220

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001	Response to Comments	3/20/23
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004		
006		

All drawings & Specifications provided as instruments of service are the property of the Designer whether the project is executed or not. It is unlawful for any person, without the written consent of the Designer, to duplicate or make copies of these documents, partly or in whole, for use for other projects & buildings.

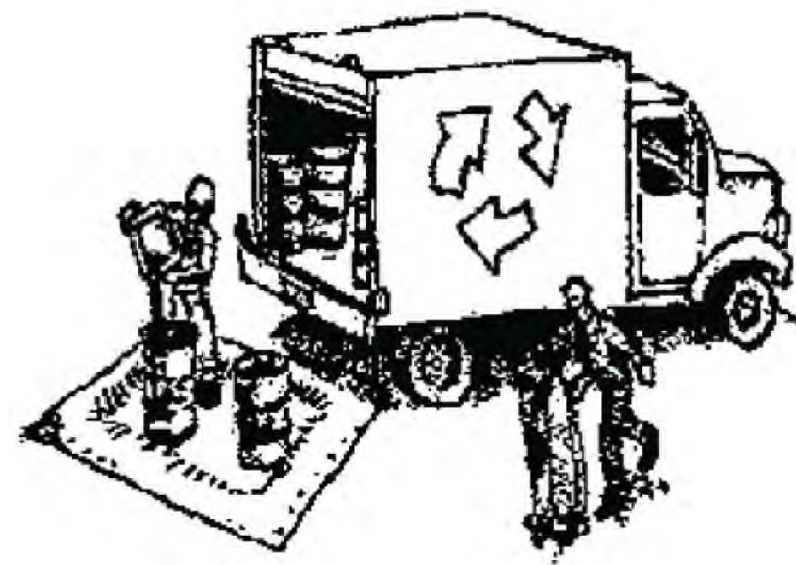


SAN MATEO COUNTYWIDE
**Water Pollution
Prevention Program**
Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



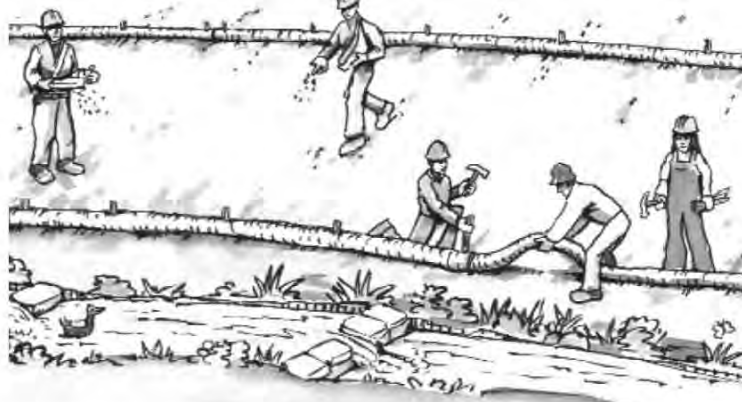
Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number. 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving

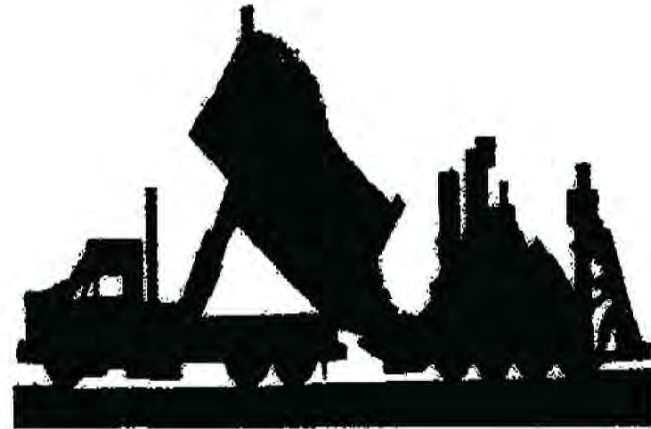


- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



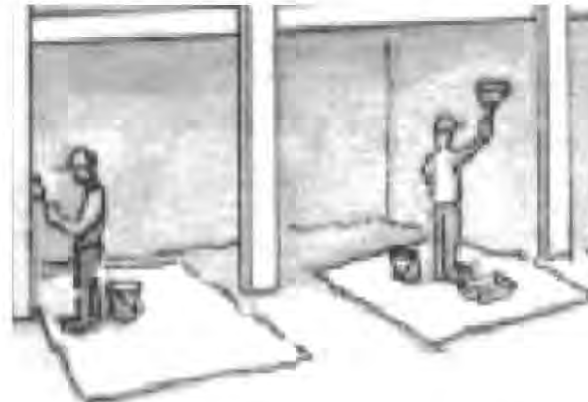
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

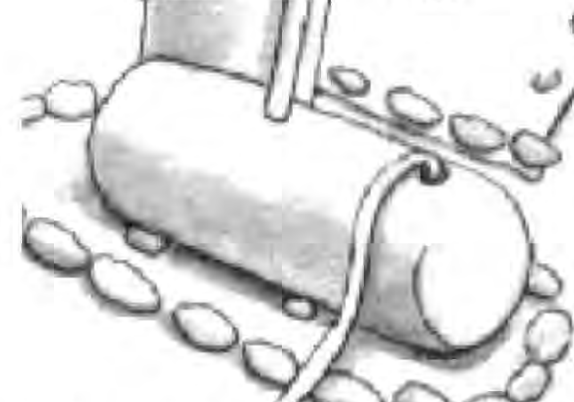
Painting & Paint Removal



Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

Revisions		Contractor :
Rev. :	Description :	Date :
001		
002		
003		
004		
005		
006		

Owner :

4943 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDSIGN.COM

Contractor :

TIM RADIENZ INC.
1557 NEWLANDS AVE.
BURLINGAME CA. 94010

Zoning: RL-A

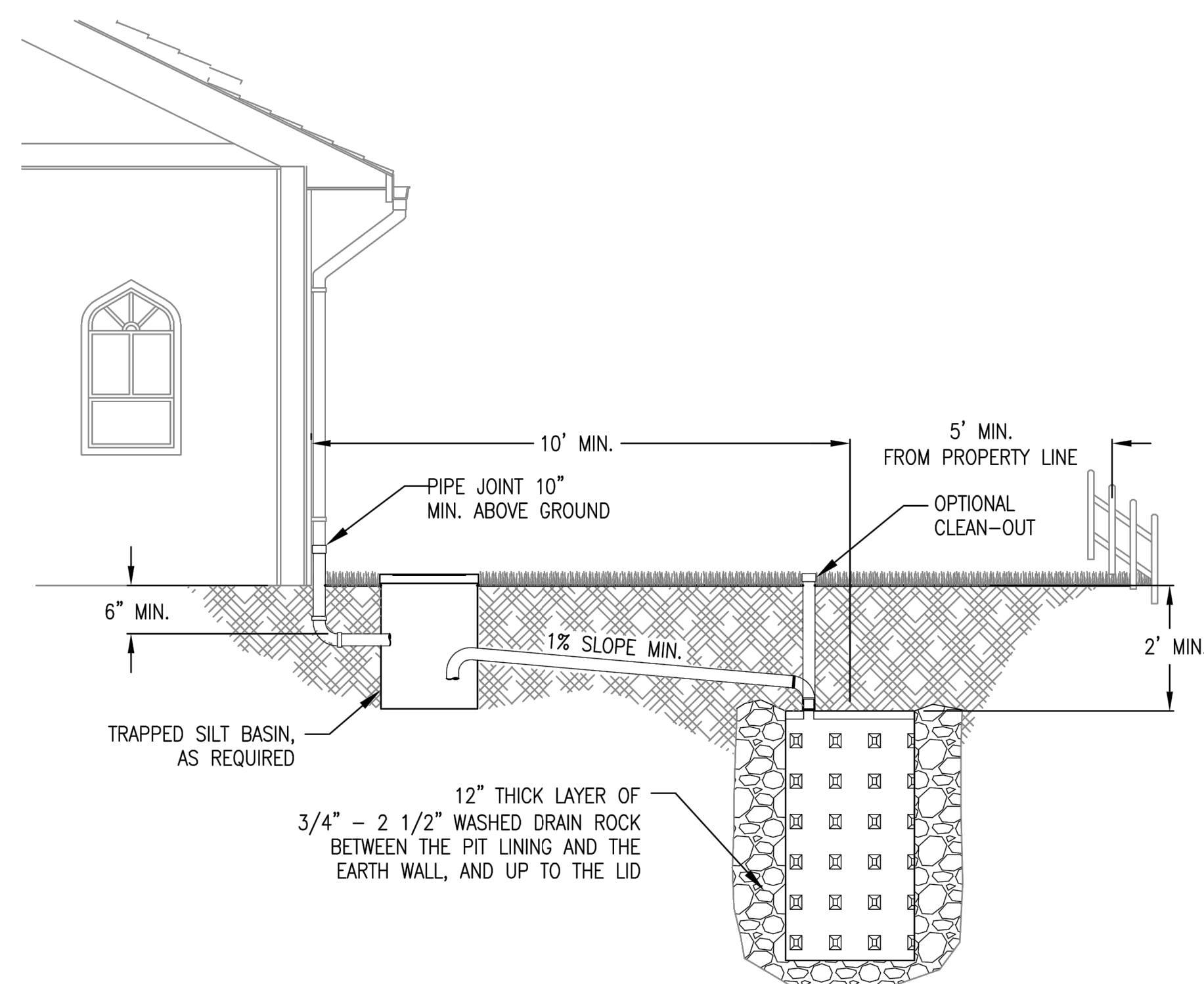
APN#: 028-295-220

BUILDING SET
PLANNING SET

Title : BMPs & Pollution Prevention		Date : 10-22-22	
Project : MR. & MRS. ROCHE 1557 NEWLANDS AVE. BURLINGAME CA. 94010		Drawn : TIM RADIENZ	
Job No. : 22-47		Sheet : 22-22	

SW

Sheet
Scale: See Details



1. Sizing: See adjacent table to size the drywell(s) based on impervious area.
2. Siting Criteria: The base of the drywell must be at least 5' above seasonal high groundwater.
3. Setbacks: Measured from the center, the drywell must be 10' from foundations and 5' from property lines except next to the right-of-way where no setback is required between the edge of the drywell drain rock and the property line. The foundation setback is 8" for plastic mini-drywells.
4. Piping: Conform with Oregon Plumbing Specialty Code (OPSC) requirements.
5. Access: In residential settings, an access cleanout is optional but highly recommended.
6. Pre-Treatment: A trapped silt basin such as a sumped catch basin is required except for drywells managing roof runoff and runoff from pedestrian-only areas.
7. The top of the perforated drywell sections must be lower than neighboring foundations.
8. Inspections: Call BDS IVR inspection line, (503) 823-7000. Request 487.3 inspections required.

Drywell Depth	Maximum Catchment Area Managed by One Drywell	
	28" diameter	48" diameter
5'	1000 sf	2500 sf
10'	2500 sf	4500 sf
15'	3500 sf	5000 sf
2x2 plastic mini-drywell (maximum of 2 drywells per catchment)	500 sf	

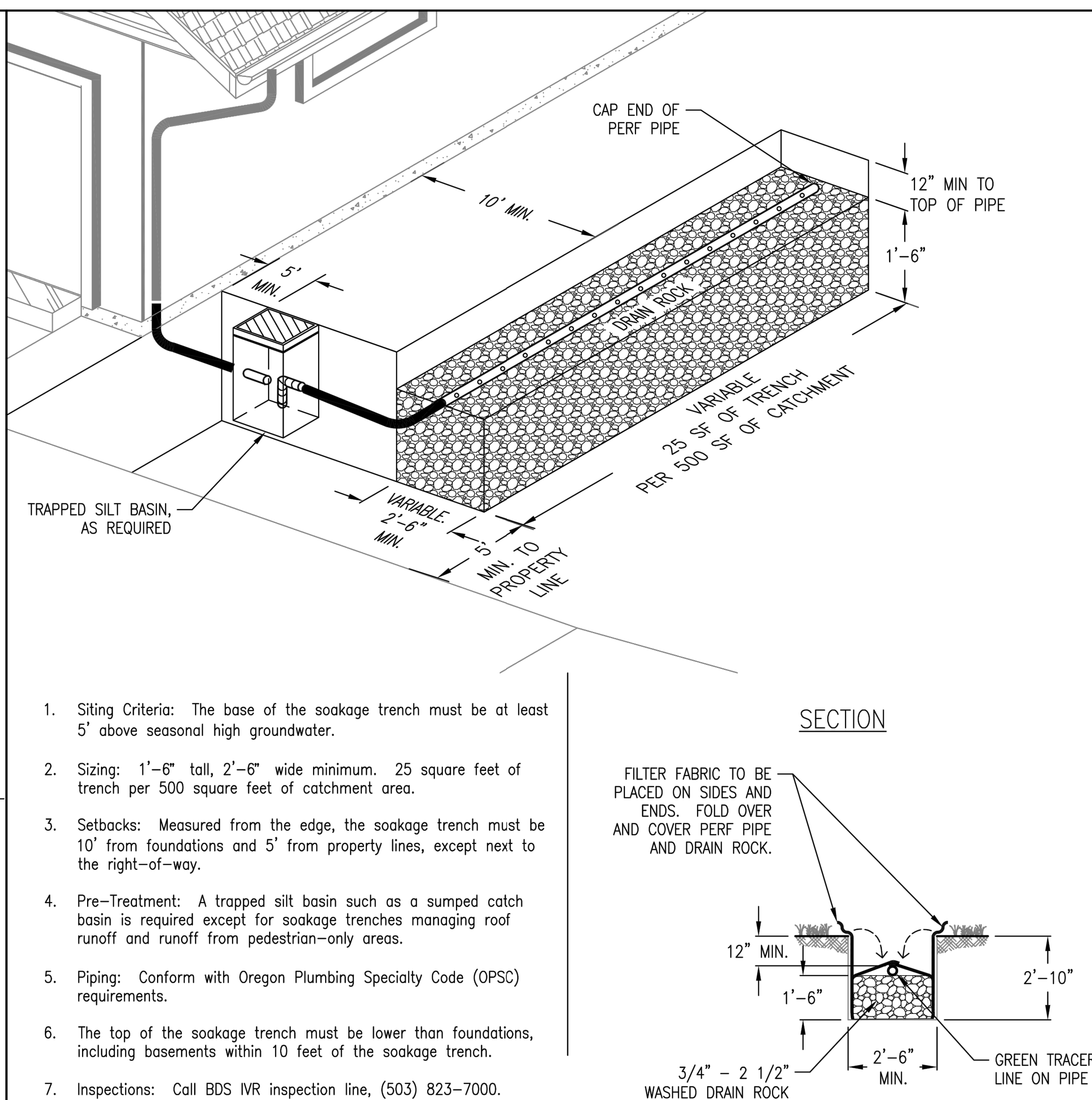
CONSTRUCTION REQUIREMENTS

Smearing the soil surface during excavation can limit infiltration rates. If smooth excavation tools are used, roughen the sides and bottom of the excavation with a sharp pointed tool. Remove loose material from the bottom of the excavation.

1. Siting Criteria: The base of the soakage trench must be at least 5' above seasonal high groundwater.
2. Sizing: 1'-6" tall, 2'-6" wide minimum. 25 square feet of trench per 500 square feet of catchment area.
3. Setbacks: Measured from the edge, the soakage trench must be 10' from foundations and 5' from property lines, except next to the right-of-way.
4. Pre-Treatment: A trapped silt basin such as a sumped catch basin is required except for soakage trenches managing roof runoff and runoff from pedestrian-only areas.
5. Piping: Conform with Oregon Plumbing Specialty Code (OPSC) requirements.
6. The top of the soakage trench must be lower than foundations, including basements within 10 feet of the soakage trench.
7. Inspections: Call BDS IVR inspection line, (503) 823-7000. Request 487.3 inspections required.

CONSTRUCTION REQUIREMENTS

The outline of the facility must be clearly marked before site work begins to avoid soil disturbance. Use of heavy equipment should be minimized within 10 feet of soakage trench areas. The bottom of the soakage trench and the perforated pipe must be level. Clay check dams may be used to prevent water from collecting near the downstream end. Smearing the soil surface during excavation can potentially limit infiltration rates; if smooth excavation tools are used, roughen the sides and bottom of the excavation with a sharp pointed tool. Remove loose material from the bottom of the excavation.



INSTALL STRAW ROLLS IN A TRENCH, 2' TO 4' DEEP, DUG ON LEVEL CONTOURS

IF MORE THAN ONE STRAW ROLL LENGTH IS NEEDED IN A ROW, THE ROLLS SHALL BE OVERLAPPED, NOT ABUTTED

4' MAX

VERTICAL SPACING PER NOTE 2

SEDIMENT AND ORGANIC MATTER ARE CAPTURED BEHIND THE ROLLS

USE $\frac{3}{4}$ " BY $\frac{3}{4}$ " WOOD STAKES MINIMUM 24" LONG

6" DIAMETER MIN. (20" DIAMETER MIN. SHALL BE USED AT TOE OF SLOPES GREATER THAN 5:1)

2' TO 4'

12'

NOTES:

1. INSTALL SUCH THAT RUNOFF WILL NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL. TURN END UP SLOPE TO PREVENT RUNOFF FROM GOING AROUND ROLL.

1. INSTALL SUCH THAT RUNOFF WILL NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL. TURN ENDS UP SLOPE TO PREVENT RUNOFF FROM GOING AROUND ROLL.
2. SPACE STRAW ROLLS AS FOLLOWS:
 - SLOPE OF 4:1 OR FLATTER = 20 FEET APART
 - SLOPE BETWEEN 4:1 AND 2:1 = 15 FEET APART
 - SLOPE OF 2:1 OR GREATER = 10 FEET APART
3. INSPECT AND REPAIR STRAW ROLLS AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE.
4. IN LIEU OF STRAW ROLL INSTALLATION AROUND PROJECT PERIMETER, CONTRACTOR HAS OPTION TO PRESERVE A NATURAL VEGETATED BUFFER 3 FOOT MINIMUM IN WIDTH OR A 6 INCH HIGH BERM.

DRYWELL (RECOMMENDED DETAIL)

Scale: N.A

SOAKAGE TRENCH

Scale: N.A.

STRAW ROLL DETAIL

Scale: N.A.

Revisions		
Rev. :	Description :	Date :
200		
210		
400		
500		
2100		
100		

Contractor :

Owner :
TBA
1557 NEWLANDS AVE.
BURLINGAME CA. 94010

BUILDING SET
PLANNING SET

APN#: 028-295-220

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM



form + one
DESIGN ■ PLANNING

Title : Stormwater Management Details

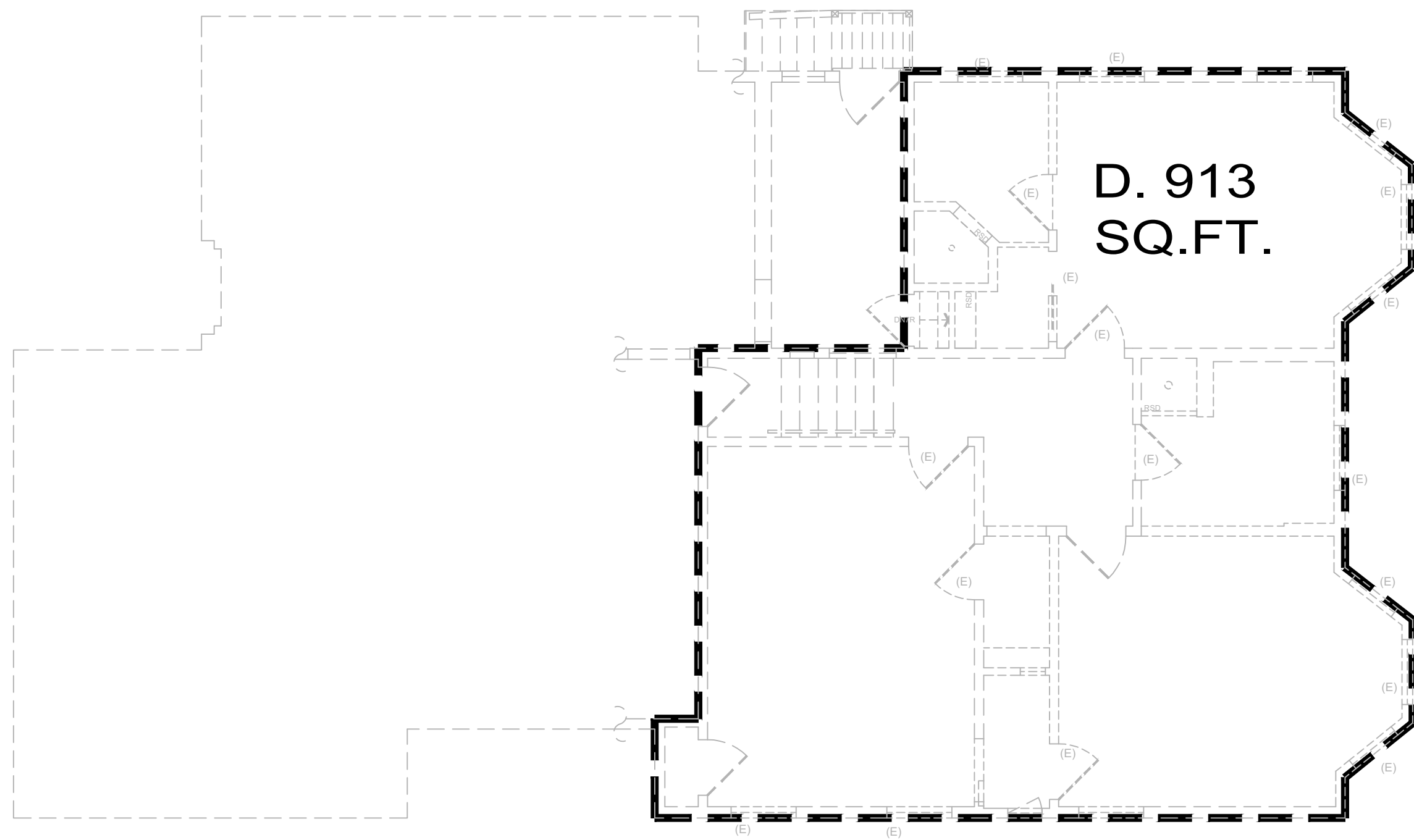
Project : MR. & MRS. ROCHE
1557 NEWLANDS AVE
BURLINGAME CA. 94010

Job No. :	22_45	Drawn : TIM RADUEN2	Date : 10-22-22
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Sheet

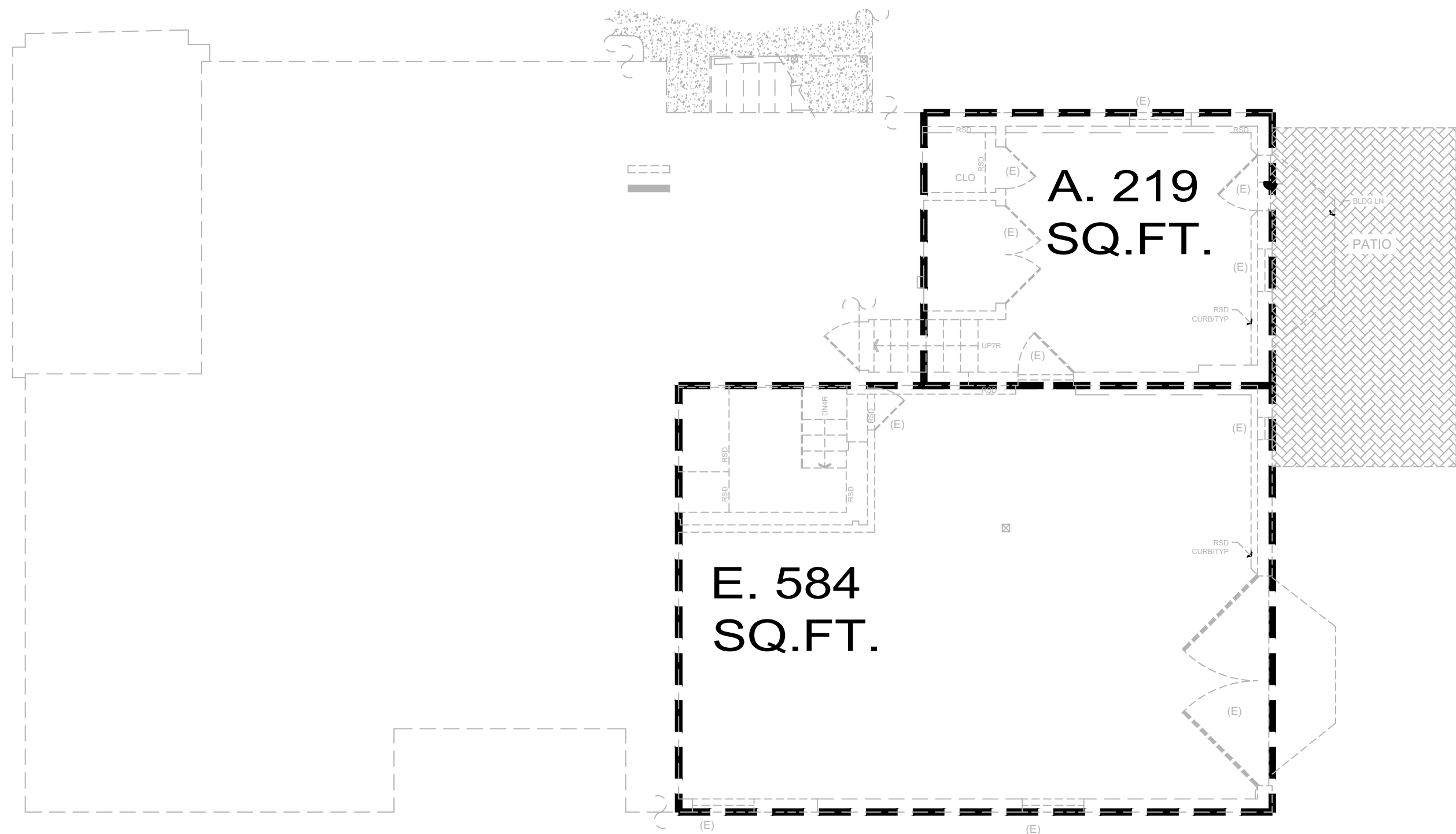
Scale: See Details

SW2



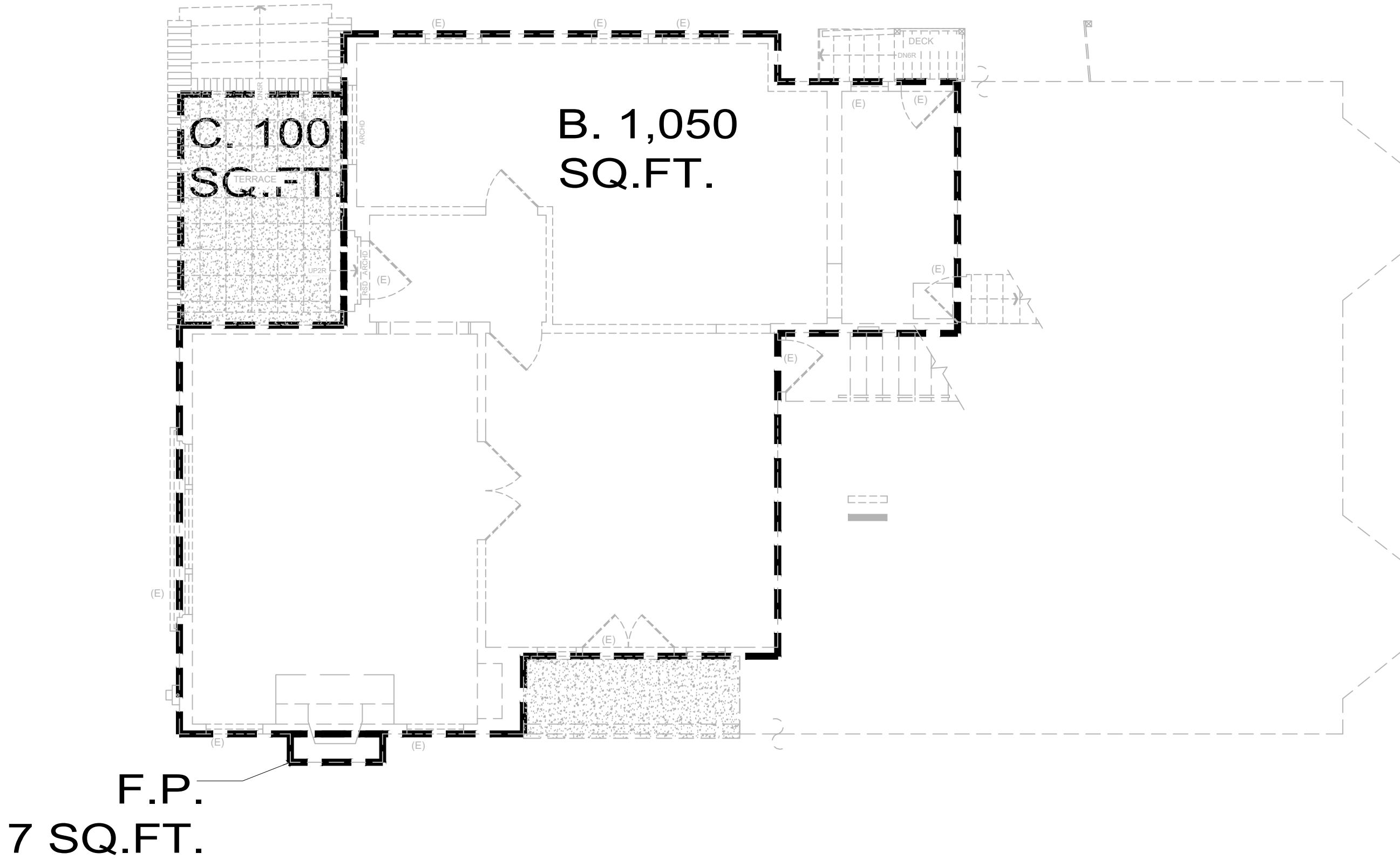
FLOOR AREA CALC. (UPPER LEVEL)

Scale: 3/16" = 1'-0"



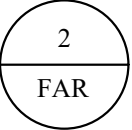
FLOOR AREA CALC. (LOWER LEVEL)

Scale: 3/16" = 1'-0"



FLOOR AREA CALC. (ENTRY LEVEL)

Scale: 3/16" = 1'-0"



COMPLETE FAR				
COVER AREA	LOCATION	FAL	LOT COVERAGE	REMARKS:
		SQ. FT.:	SQ. FT.:	
LOWER LVL	A	219	-	EXISTING
	F	584	-	EXISTING STORAGE
	B	1,050	1,050	EXISTING
	C	-	100	EXISTING COVERED PORCH
ENTRY LVL	FP	7	7	EXISTING
UPPER LVL	D	913	-	EXISTING
TOTAL:		2,773	1,157	MAX FAR = 3,500 SQ.FT.

DETAILS	
APN = 028-295-220	MAX ALLOWABLE LOT COVERAGE
	= LOT SIZE X 40% = ALLOWABLE LOT COVERAGE
LOT SIZE: 7,500 SQ. FT.	7,500 SQ. FT. X 40% = 3,000 SQ. FT.
MAX ALLOWABLE FAR=	
FAR = LOT SIZE X 32% + 1,100 = LIVABLE SQ. FT.	
7,500 SQ. FT. X 32% + 1,100 = 3,500 SQ. FT.	

Revisions

Rev.:	Description :	Date :
001	Response to Comments	3/20/23
002		
003		
004		
005		
006		

Contractor :

Owner :

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.619.0304
E-mail: TIM@FORMONEDESIGN.COM

1557 NEWLANDS AVE.
BURLINGAME CA. 94010

Zoning: R1-A

BUILDING SET
PLANNING SET

APN#: 028-295-220

form+ one
DESIGN ■ PLANNING

Title : Existing Floor Area Calc.

Project : MR. & MRS. ROCHE
1557 NEWLANDS AVE.
BURLINGAME CA. 94010

Job No. : 22_47

Drawn : TIM RADUENZ

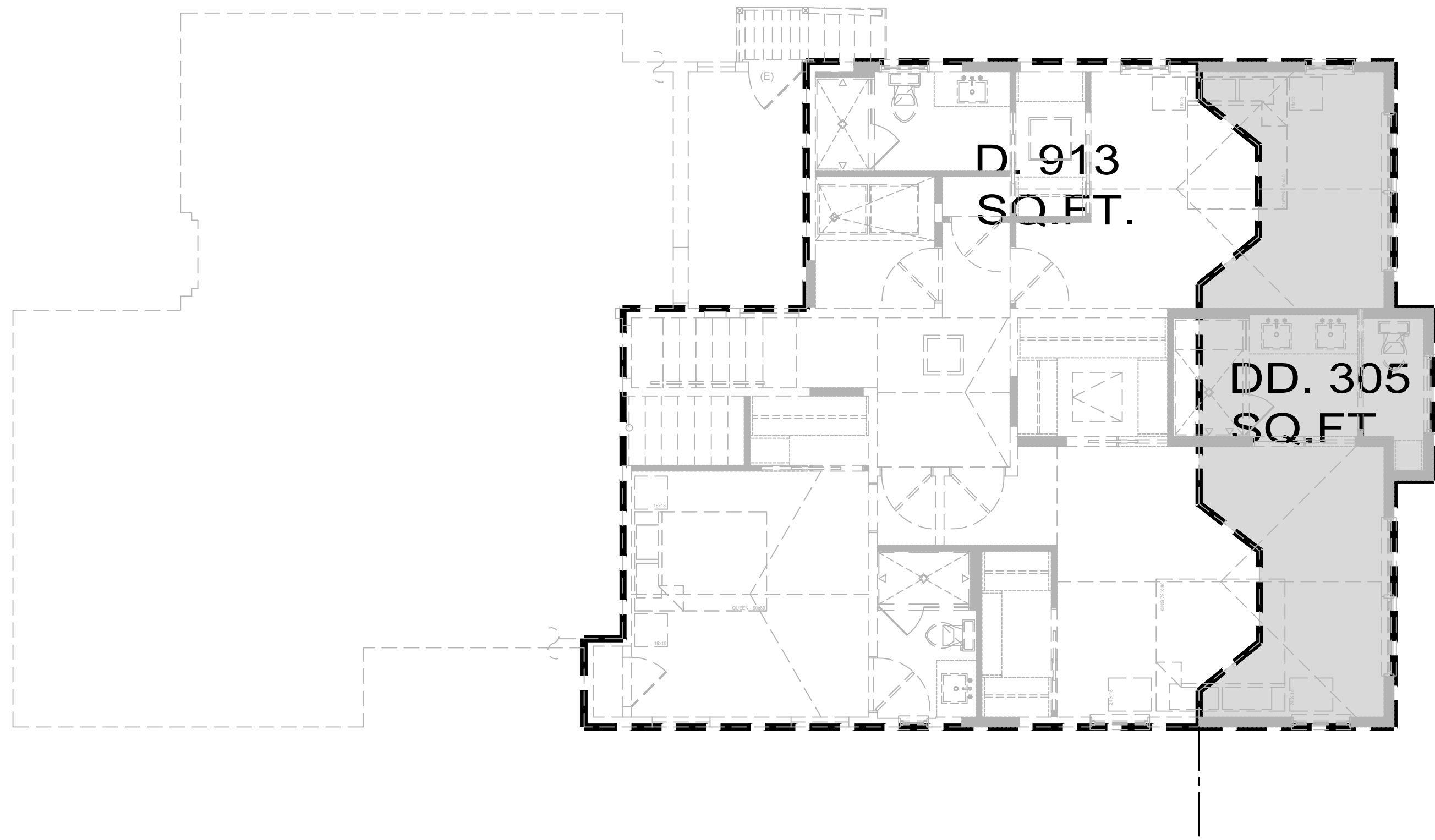
Date : 10-22-22

FAR

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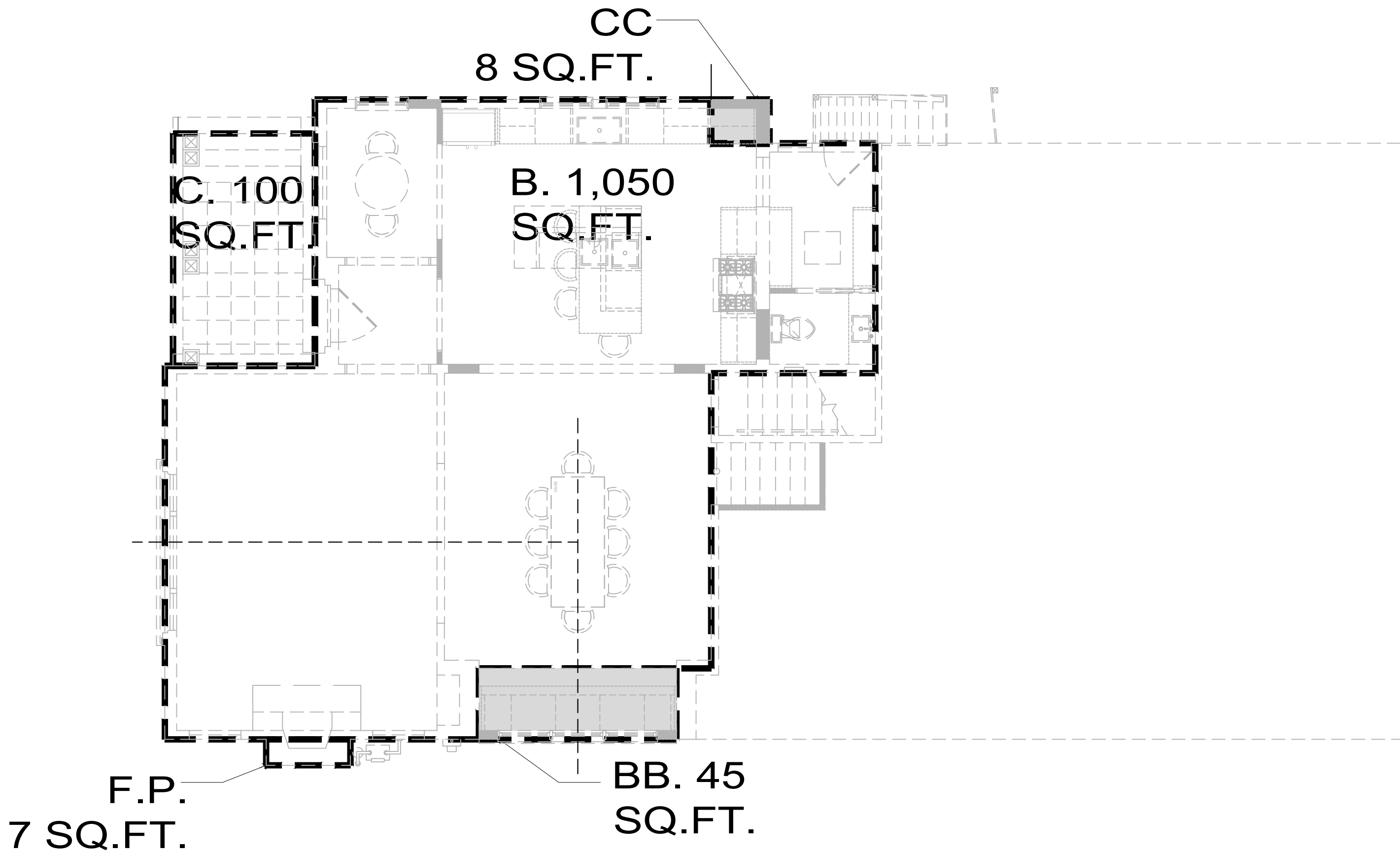
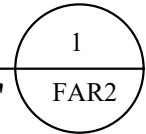
Scale: See Details

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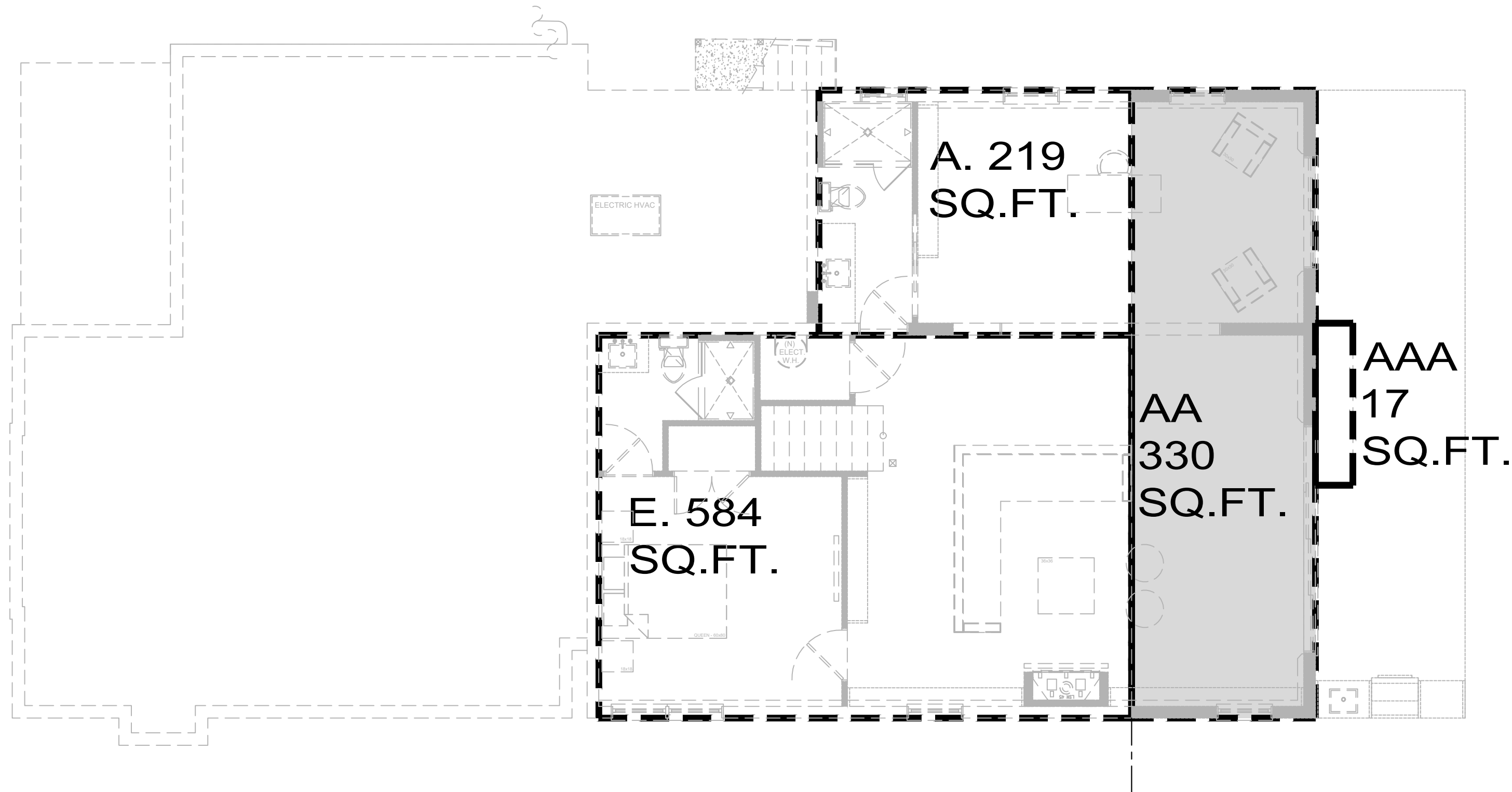
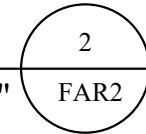
FLOOR AREA CALC. (UPPER LEVEL)

Scale: 3/16" = 1'-0"



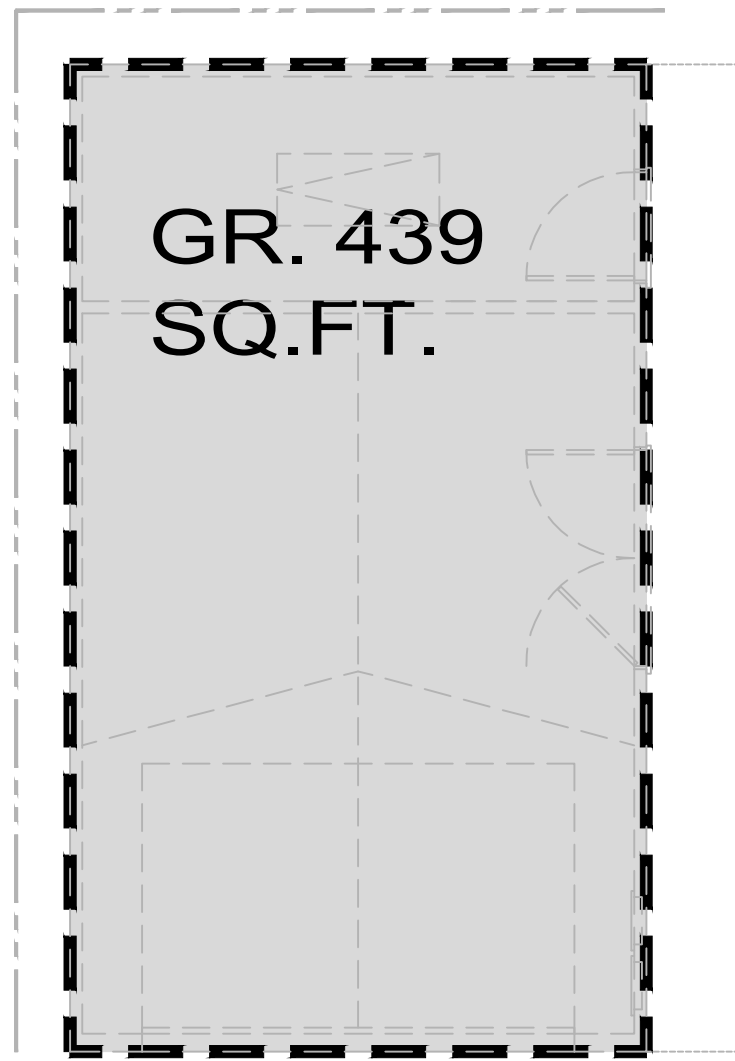
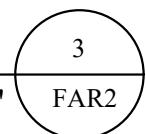
FLOOR AREA CALC. (ENTRY LEVEL)

Scale: 3/16" = 1'-0"



FLOOR AREA CALC. (LOWER LEVEL)

Scale: 3/16" = 1'-0"



FLOOR AREA CALC. (GARAGE)

Scale: 3/16" = 1'-0"



COMPLETE FAR				
COVER LVL AREA	LOCATION	FAL SQ. FT.:	LOT COVERAGE SQ. FT.:	
				REMARKS:
COVER LVL AREA	A	219	-	EXISTING
	E	584	-	EXISTING STORAGE
	AA	330	-	EXISTING STORAGE
	AAA	-	17	PROJECTION OVER 30" FROM ABOVE
ENTRY LVL	B	1,050	1,050	EXISTING
	C	-	100	EXISTING COVERED PORCH
	BB	45	45	ADDITION
	CC	8	8	ADDITION
UPPER LVL	FP	7	7	EXISTING
	D	913	-	EXISTING
	DD	305	-	ADDITION
GARAGE	GR	39	439	(N) DETACHED GARAGE
TOTAL:		3,500	1,666	MAX FAR = 3,500 SQ. FT.

DETAILS	
APN = 028-295-220	MAX ALLOWABLE LOT COVERAGE
	= LOT SIZE X 40% = ALLOWABLE LOT COVERAGE
LOT SIZE: 7,500 SQ. FT.	7,500 SQ. FT. X 40% = 3,000 SQ. FT.
MAX ALLOWABLE FAR=	
FAR = LOT SIZE X 32% + 1,100 = LIVABLE SQ. FT.	
7,500 SQ. FT. X 32% + 1,100 = 3,500 SQ. FT.	

Revisions

Rev.:	Description :	Date :
001	Response to Comments	3/20/23
002		
003		
004		
005		
006		

Contractor :

Owner :

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.619.0304
E-mail: TIM@FORMONEDESIGN.COM

1557 NEWLANDS AVE.
BURLINGAME CA. 94010

Zoning: R1-A

BUILDING SET
PLANNING SET

APN#: 028-295-220

form+ one
DESIGN ■ PLANNING

Title : Proposed Floor Area Calc.

Project : MR. & MRS. ROCHE
1557 NEWLANDS AVE.
BURLINGAME CA. 94010

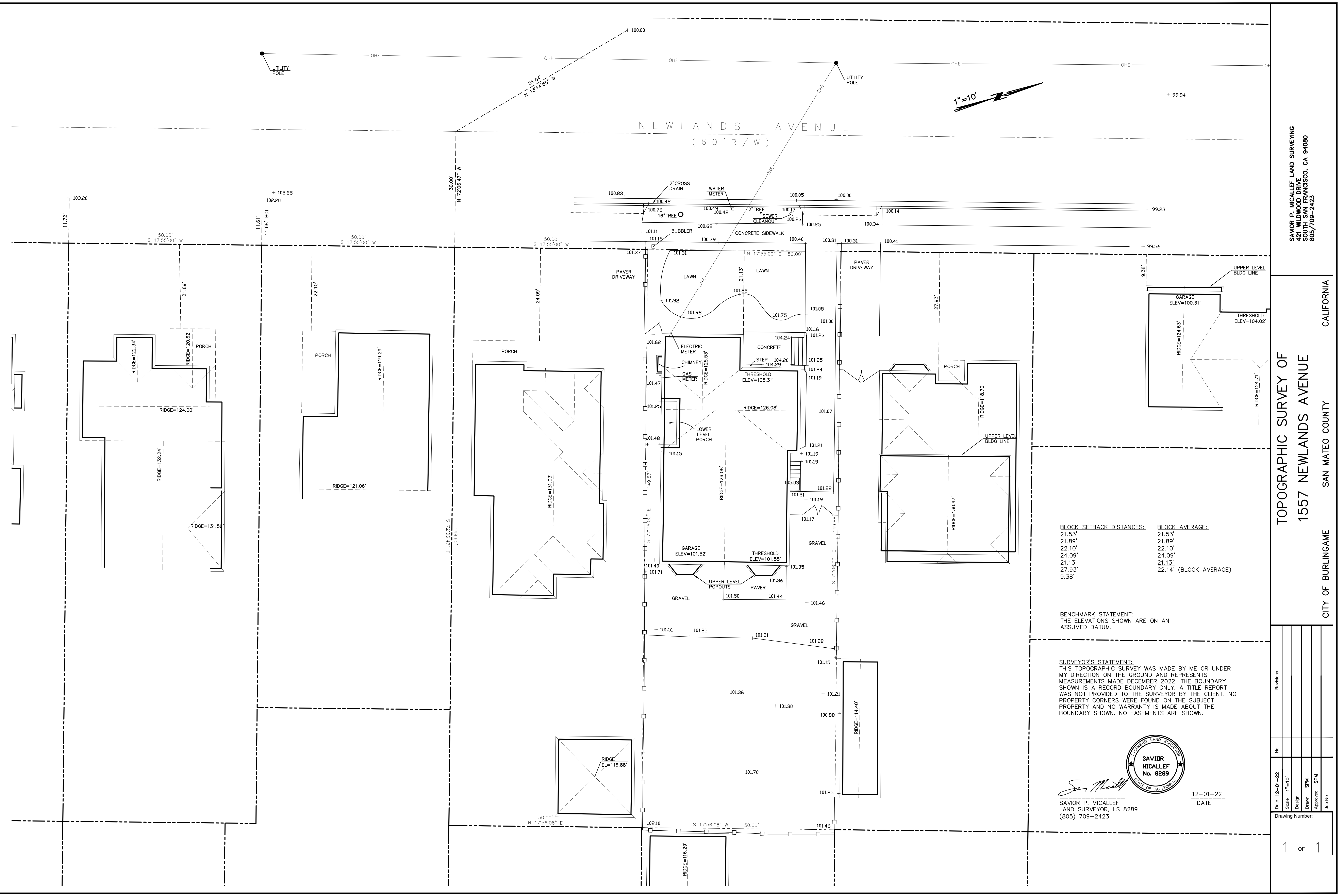
Job No. : 22_47

Drawn : TIM RADUENZ

Date : 10-22-22

FAR2

Sheet
Scale: See Details



SAVOR P. MICALLEF LAND SURVEYING
321 WILLOW DRIVE
SAN FRANCISCO, CA 94080
805/709-2423

TOPOGRAPHIC SURVEY OF
1557 NEWLANDS AVENUE
SAN MATEO COUNTY
CITY OF BURLINGAME
CALIFORNIA

BLOCK SETBACK DISTANCES:	BLOCK AVERAGE:
21.53'	21.53'
21.89'	21.89'
22.10'	22.10'
24.09'	24.09'
21.13'	21.13'
27.93'	22.14' (BLOCK AVERAGE)
9.38'	

BENCHMARK STATEMENT:
THE ELEVATIONS SHOWN ARE ON AN
ASSUMED DATUM.

SURVEYOR'S STATEMENT:
THIS TOPOGRAPHIC SURVEY WAS MADE BY ME OR UNDER
MY DIRECTION ON THE GROUND AND REPRESENTS
MEASUREMENTS MADE DECEMBER 2022. THE BOUNDARY
SHOWN IS A RECORD BOUNDARY ONLY. A TITLE REPORT
WAS NOT PROVIDED TO THE SURVEYOR BY THE CLIENT. NO
PROPERTY CORNERS WERE FOUND ON THE SUBJECT
PROPERTY AND NO WARRANTY IS MADE ABOUT THE
BOUNDARY SHOWN. NO EASEMENTS ARE SHOWN.



Savor P. Micallef
SAVOR P. MICALLEF
LAND SURVEYOR, LS 8289
(805) 709-2423

12-01-22
DATE

Revisions	No.	Date	Scale	Design	Drawn	Approved	Job No.
		12-01-22	1"=10'		SPM	SPM	
Drawing Number:							

1. PROTECT ALL EXISTING LANDSCAPING AND TREES DURING CONSTRUCTION, CONSULT ARBORIST AS REQUIRED.
2. NO EXISTING TREES OVER 48" IN CIRCUMFERENCE AT 54" FROM BASE OF TREE MAY BE REMOVED WITHOUT A PROTECTED TREE PERMIT FROM THE PARKS DIVISION (558-7330) NO TREES ARE TO BE REMOVED FOR THIS PROJECT.
3. WATER CONSERVATION IN LANDSCAPE ORDINANCE NOT REQUIRED SINCE LANDSCAPE WILL NOT BE REHABILITATED AS NOTED ON PLANS.
4. A PLAN HAS BEEN DEVELOPED, AND WILL BE IMPLEMENTED, TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. CGC 4.106.2 & CGC 4.106.3
5. ALL SPRINKLER DRAINAGE SHALL BE PLACED INTO LANDSCAPING AREAS
6. GRADING PERMIT, IF REQUIRED, WILL BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS.
7. THERE WILL BE NO PERMANENT STRUCTURES (RETAINING WALLS, FENCES, COLUMNS, MAILBOX, ETC.) PROPOSED BEYOND THE PROPERTY LINE AND INTO THE PUBLIC RIGHT-OF-WAY
8. NEW A/C UNIT OR MECHANICAL EQUIPMENT IS GOING TO BE INSTALLED ON THE EXTERIOR OF THE BUILDING, THE NEW EQUIPMENT CANNOT EXCEED A MAXIMUM OUTDOOR NOISE LEVEL (dBA) OF SIXTY (60) dBA DAYTIME (7:00 A.M. - 10:00 P.M. OR FIFTY (50) dBA NIGHTTIME (10:00 P.M. - 7:00 A.M.) (AS MEASURED FROM THE PROPERTY LINE. BMC 2006.10.00.050.

1. PROJECTS THAT DISTURB LESS THAN 1 ACRE SHALL DEVELOP AND IMPLEMENT A PLAN TO MANAGE STORM WATER DRAINAGE (DURING CONSTRUCTION). A BMP PAGE IS SUFFICIENT.
2022 CGC 4.106.2
2. PLANS SHALL INDICATE HOW GRADING + PAVING WILL PREVENT SURFACE WATER FLOWS FROM ENTERING BUILDINGS. EXCEPTION: PROJECTS THAT DO NOT ALTER THE DRAINAGE PATH. **2022 CGC 4.106.3**
3. ELECTRICAL VEHICLE (EV) CHARGING, PARKING SPACES: COMPLY W/ RELEVANT SECTIONS
2022 CGC 4.106.4

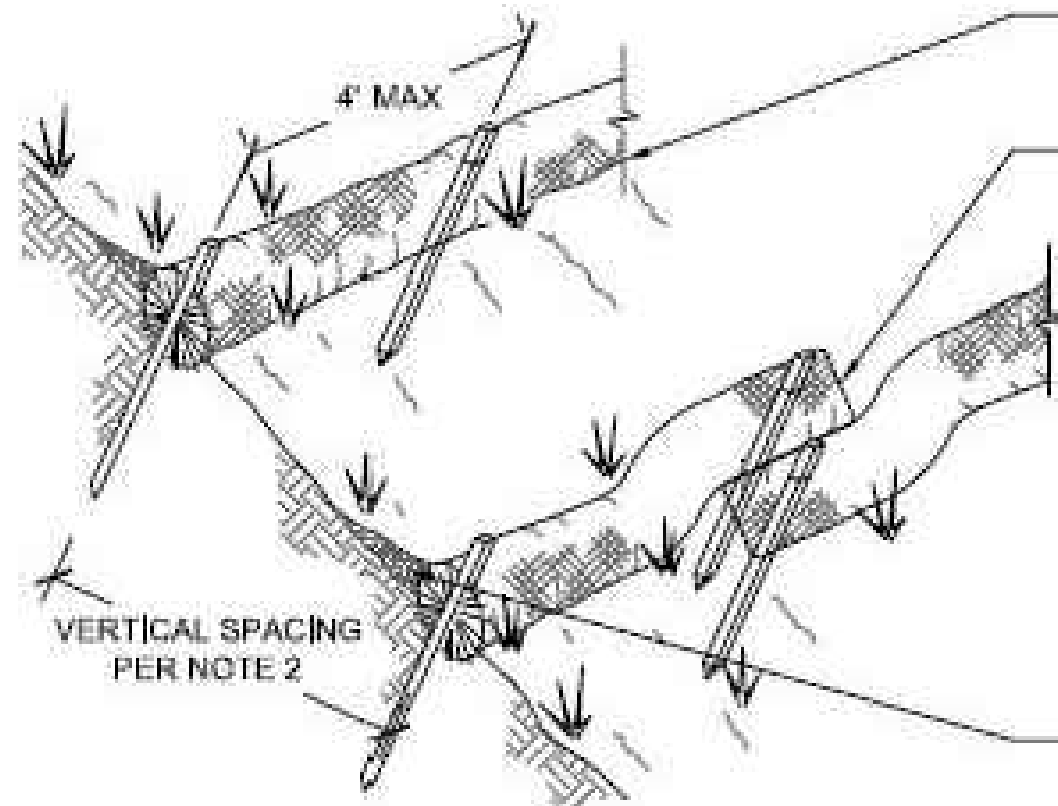
1. A REMOVE/REPLACE UTILITIES ENCROACHMENT PERMIT IS REQUIRED TO (1) REPLACE ALL CURB, GUTTER, DRIVEWAY AND SIDEWALK FRONTING SITE, (2) PLUG ALL EXISTING SANITARY SEWER LATERAL CONNECTIONS AND INSTALL A NEW 4" LATERAL TO CITY'S SEWER CLEANOUT (3) NEW WATER SERVICE TO WATER METER, AND WHEN APPLICABLE, (4) WATER LINES ABOVE 2" AND ALL FIRE SERVICES OF ANY SIZE ARE TO BE INSTALLED BY APPLICANT AND PER CITY STANDARD PROCEDURES AND SPECIFICATIONS.
2. ALL WATER LINES CONNECTIONS TO CITY WATER MAINS FOR SERVICES OR FIRE LINE PROTECTION ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND MATERIAL SPECIFICATIONS. CONTACT THE CITY WATER DEPARTMENT FOR CONNECTION FEES. IF REQUIRED, ALL FIRE SERVICES AND SERVICES 2" AND OVER WILL BE INSTALLED BY BUILDER. ALL UNDERGROUND FIRE SERVICE CONNECTIONS SHALL BE SUBMITTED AS SEPARATE UNDERGROUND FIRE SERVICE PERMIT FOR REVIEW AND APPROVAL.
3. **ADDITIONAL "PUBLIC WORKS NOTES" ADDED TO SHEET GN. WE DO ACKNOWLEDGE AND AGREE TO COMPLY WITH THE REQUIREMENTS.**
4. **THE SANITARY SEWER LATERAL (BUILDING SEWER) SHALL BE TESTED PER ORDINANCE CODE CHAPTER 15.12. AN ENCROACHMENT PERMIT FOR THE SEWER LATERAL TEST IS REQUIRED. A PASSED SEWER LATERAL TEST CERTIFICATE MUST BE IN PLACE PRIOR TO FINAL BUILDING PERMIT.**
5. **DRIVEWAY WIDENING MUST BE APPROVED BY THE CITY ENGINEER. SHOW ON SITE PLAN, DISTANCES BETWEEN THE PROPOSED DRIVEWAY OPENING TO THE CLOSEST ADJUSTED DRIVEWAY.**
6. **NO STRUCTURE SHALL BE BUILT INTO THE CITY'S RIGHT-OF-WAY, SHOWN ON SITE PLAN, DIMENSIONED FROM PROPERTY LINE TO FACE OF CURB, MEASUREMENT ON CABRILLO IS 15'.**
7. **A REEVALUATION OF THE STORM DRAIN FEE MAY BE REQUIRED IF PREVIOUSLY DETERMINED RATIO OF PERVIOUS VERSUS IMPERVIOUS SURFACE ON THE PROPERTY IS SIGNIFICANTLY MODIFIED BY THIS BUILDING PERMIT.**

1. DIRECT ROOF RUNOFF INTO CISTERNS OR RAIN BARRELS AND USE RAINWATER FOR IRRIGATION OR OTHER NON-POTABLE USE.
2. DIRECT RUNOFF FROM SIDEWALKS, WALKWAYS, AND/OR PATIOS ONTO VEGETATED AREAS.
3. DIRECT RUNOFF FROM DRIVEWAYS AND/OR UNCOVERED PARKING LOTS ONTO VEGETATED AREAS.
4. CONSTRUCT SIDEWALKS, WALKWAYS AND/OR PATIOS WITH PERMEABLE SURFACES.
5. USE MICOR-DETENTION, INCLUDING DISTRIBUTED LANDSCAPE-BASED DETENTION.
6. PROTECT SENSITIVE AREAS, INCLUDING WETLAND AND RIPARIAN AREAS, AND MINIMIZE CHANGES TO THE NATURAL TOPOGRAPHY.
7. MARK ON SITE INLETS WITH THE WORDS "NO DUMPING! FLOWS TO BAY" OR EQUIVALENT.
8. (A) RETAIN EXISTING VEGETATION AS PRACTICABLE (B) SELECT DIVERSE SPECIES APPROPRIATE TO THE SITE. INCLUDE PLANTS THAT ARE PEST- AND/OR DISEASE-RESISTANT, DROUGHT-TOLERANT, AND/OR ATTRACT BENEFICIAL INSECTS. (C) MINIMIZE USE OF PESTICIDE AND QUICK-RELEASE FERTILIZERS.
9. DESIGN FOR DISCHARGE OF FIRE SPRINKLERS TEST WATER TO LANDSCAPE OR SANITARY SEWER.
10. TEMPORARY EROSION CONTROLS TO STABILIZE ALL DENUED AREAS UNTIL PERMANENT EROSION CONTROLS ARE ESTABLISHED.
11. DELINEATE WITH FIELD MARKERS THE FOLLOWING AREAS: CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES TO BE PROTECTED AND RETAINED, DRAINAGE COURSES.
12. PROVIDE NOTES, SPECIFICATIONS OR ATTACHEMENTS DESCRIBING THE FOLLOWING: (A) CONSTRUCTION, OPERATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS, INCLUDE INSPECTION FREQUENCY; (B) METHODS AND SCHEDULE FOR GRADING, EXCAVATION, FILLING, CLEARING OF VEGETATION, AND STORAGE AND DISPOSAL OF EXCAVATED OR CLEARED MATERIAL; (C) SPECIFICATIONS FOR VEGETATIVE COVER & MULCH, INCLUDE METHODS AND SCHEDULES FOR PLANTING AND FERTILIZATION (D) PROVISIONS FOR TEMPORARY AND OR PERMANENT IRRIGATION
13. PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER
14. USE SEDIMENT CONTROLS OF FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING AND OBTAIN ALL NECESSARY PERMITS.
15. PROTECT ALL STORM DRAIN INLETS IN VICINITY OF SITE USING SEDIMENT CONTROLS (E.G. BERMS, SOCKS, FIBER ROLLS OR FILTERS)
16. TRAP SEDIMENT ON-SITE, USING BMP'S SUCH AS SEDIMENT BASINS OR TRAPS, EARTHEN DIKES OR BERMS, SILT FENCES, CHECK DAMS, COMPOST BLANKETS OR JUTE MATS, COVERS FOR SOIL STOCK PILES, ETC.
17. DIVERT ON-SITE RUNOFF AROUND EXPOSED AREAS; DIVERT OFF-SITE RUNOFF AROUND THE SITE (E.G. SWALES AND DIKES)
18. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
19. LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS.
20. NO CLEANING, FUELING OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASHWATER IS CONTAINED AND TREATED.
21. STORE, HANDLE AND DISPOSE OF CONSTRUCTION MATERIALS/WASTES PROPERLY TO PREVENT CONTACT WITH STORMWATER.
22. CONTRACTOR SHALL TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES/SUBCONTRACTORS RE: CONSTRUCTION BMP'S.
23. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASHWATER OR SEDIMENTS, RINSE WATER FROM ARCHITECTURAL COPPER, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.

1. 5 (N) 24" BOX TRIDENT MAPLES TO BE PLANTED ON SITE, V.I.F. LOCATIONS.

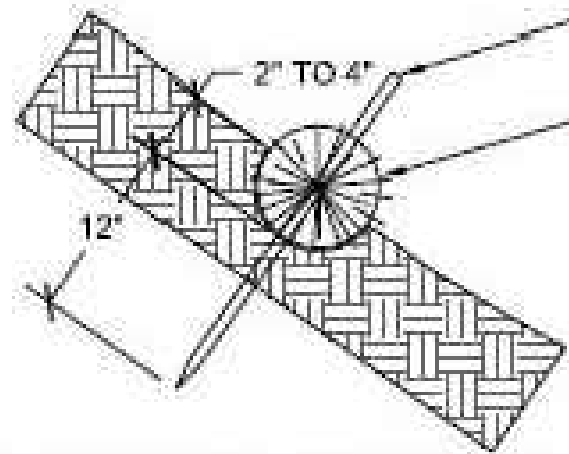
MAX ALLOWABLE LOT COVERAGE
= LOT SIZE X 40% = ALLOWABLE LOT COVERAGE
7,500 SQ. FT. X 40% = 3,000 SQ. FT.

LOT COVERAGE:
HOUSE/GARAGE/COVERED PATIO: 2,913 SQ. FT.
TOTAL LOT COVERAGE: 2,913 SQ. FT.



INSTALL STRAW ROLLS IN A TRENCH, 2' TO 4" DEEP, DUG ON LEVEL CONTOURS

IF MORE THAN ONE STRAW ROLL LENGTH IS NEEDED IN A ROW, THE ROLLS SHALL BE OVERLAPPED, NOT ABUTTED



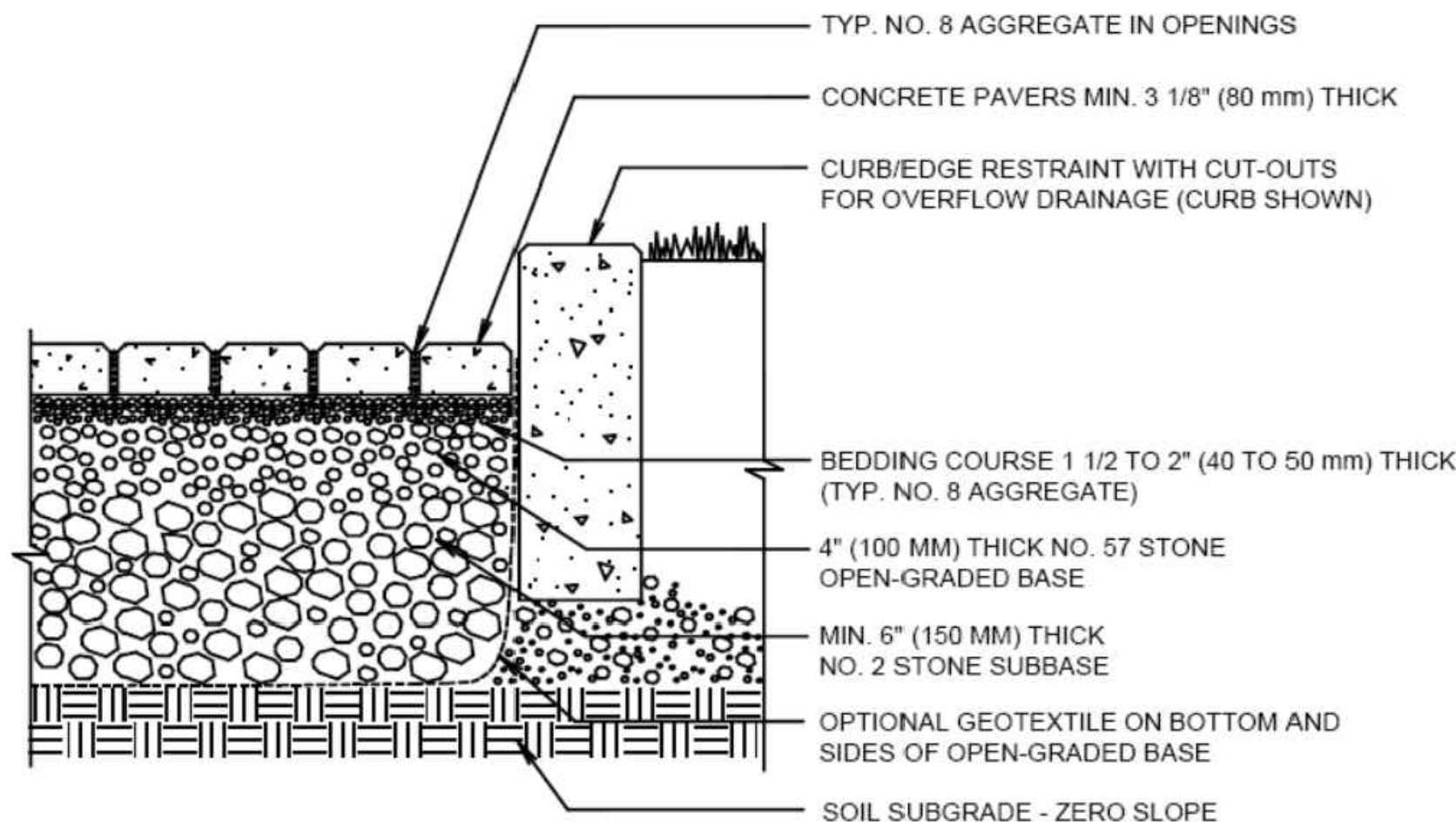
SEDIMENT AND ORGANIC MATTER ARE CAPTURED BEHIND THE ROLLS

USE $\frac{3}{4}$ " BY $\frac{3}{4}$ " WOOD STAKES
MINIMUM 24" LONG

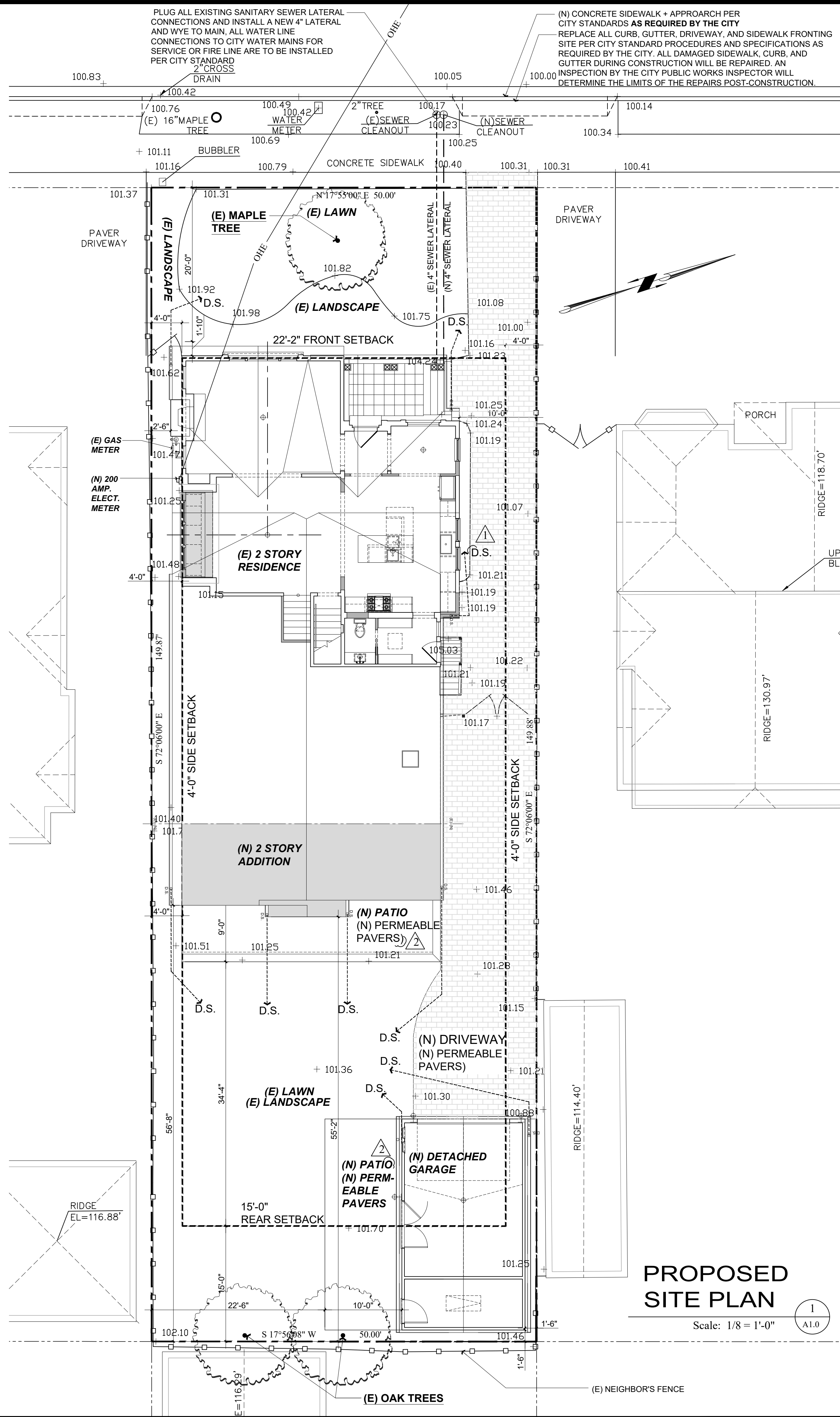
8" DIAMETER MIN. (20"
DIAMETER MIN. SHALL BE
USED AT TOE OF SLOPES
GREATER THAN 5:1)

1. INSTALL SUCH THAT RUNOFF WILL NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL. TURN ENDS UP SLOPE TO PREVENT RUNOFF FROM GOING AROUND ROLL.
2. SPACE STRAW ROLLS AS FOLLOWS:
 - SLOPE OF 4:1 OR FLATTER = 20 FEET APART
 - SLOPE BETWEEN 4:1 AND 2:1 = 15 FEET APART
 - SLOPE OF 2:1 OR GREATER = 10 FEET APART
3. INSPECT AND REPAIR STRAW ROLLS AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE.
4. IN LIEU OF STRAW ROLL INSTALLATION AROUND PROJECT PERIMETER, CONTRACTOR HAS OPTION TO PRESERVE A NATURAL VEGETATED BUFFER 3 FOOT MINIMUM IN WIDTH OR A 6 INCH HIGH BERM.

Scale: N/A



Scale: N/A 3
A1.0



Revisions		
Rev.:	Description :	Date :
001	Response to Comments	3/20/23
002	Response to Comments	4/25/23
003		
004		
005		
006		

Contractor :

Owner :
TEA
1557 NEWLANDS AVE.
BURLINGAME CA. 94010

Zoning: R1-A

APN#: 028

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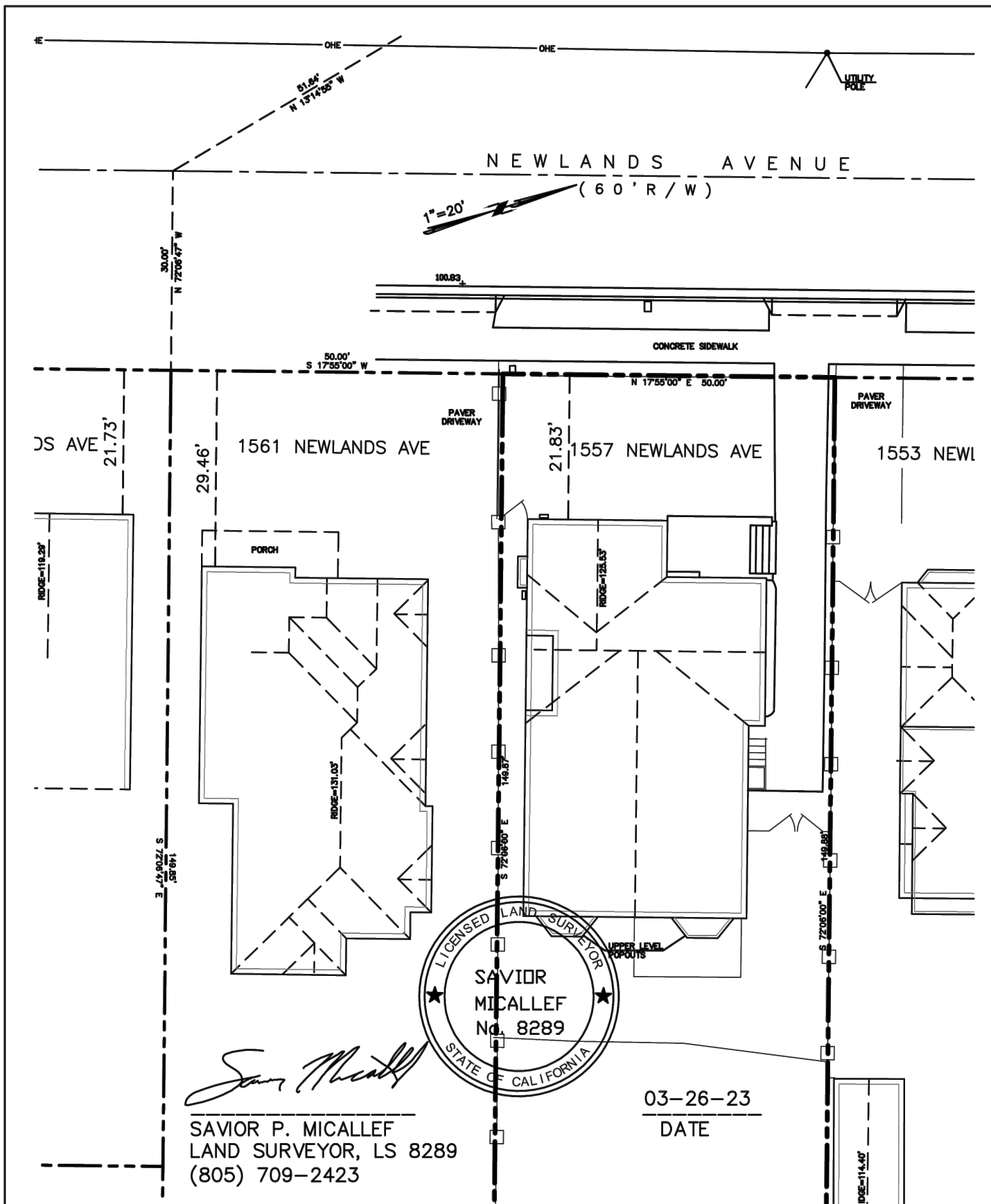
Title : Site Plan	
Project : MR. & MRS. ROCHE 1557 NEWLANDS AVE. BURLINGAME CA. 94010	
Job No. : 22, 47	Drawn : TIM RADENWZ Date : 10-22-22

Sheet

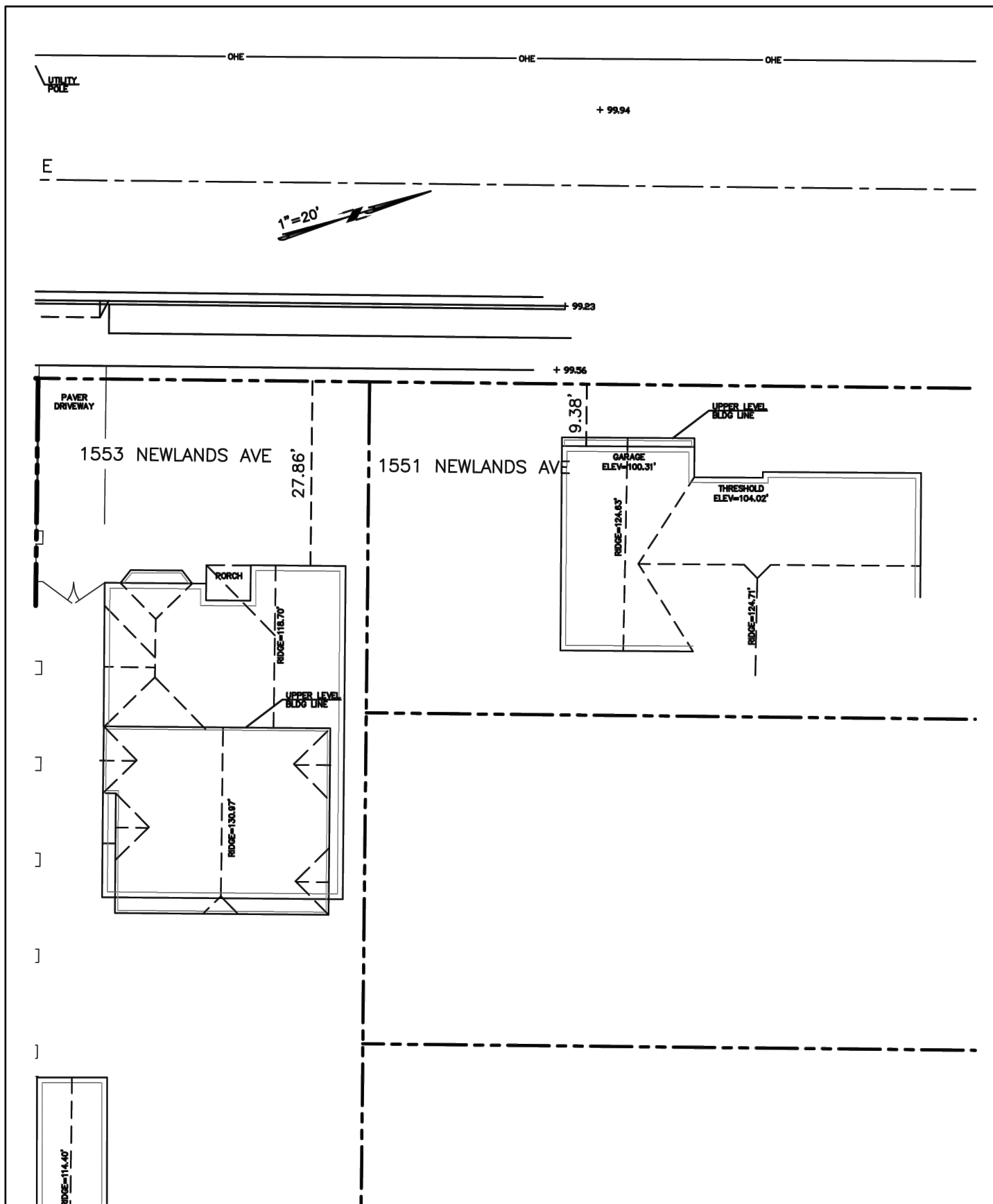
Scale: See Details

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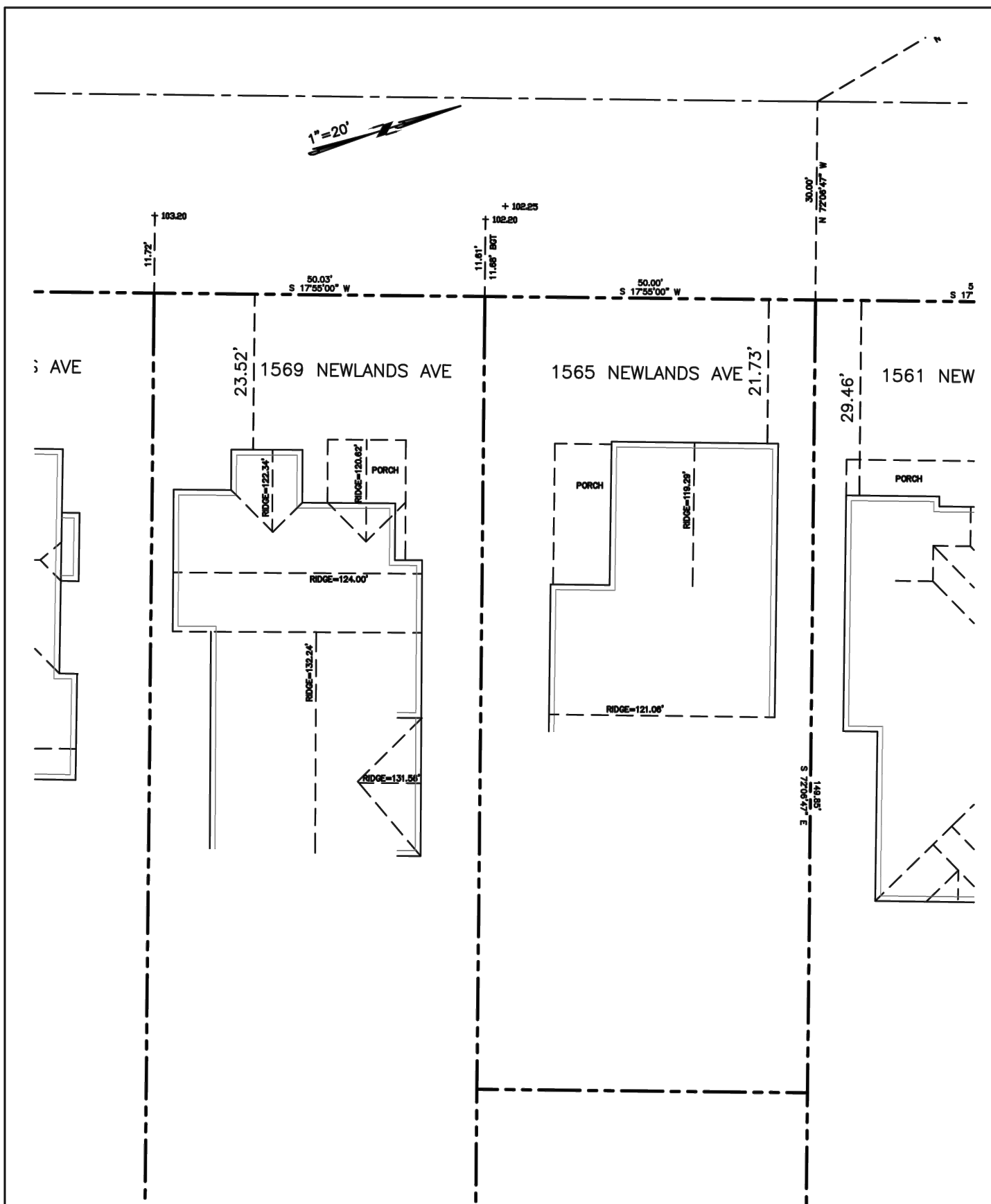
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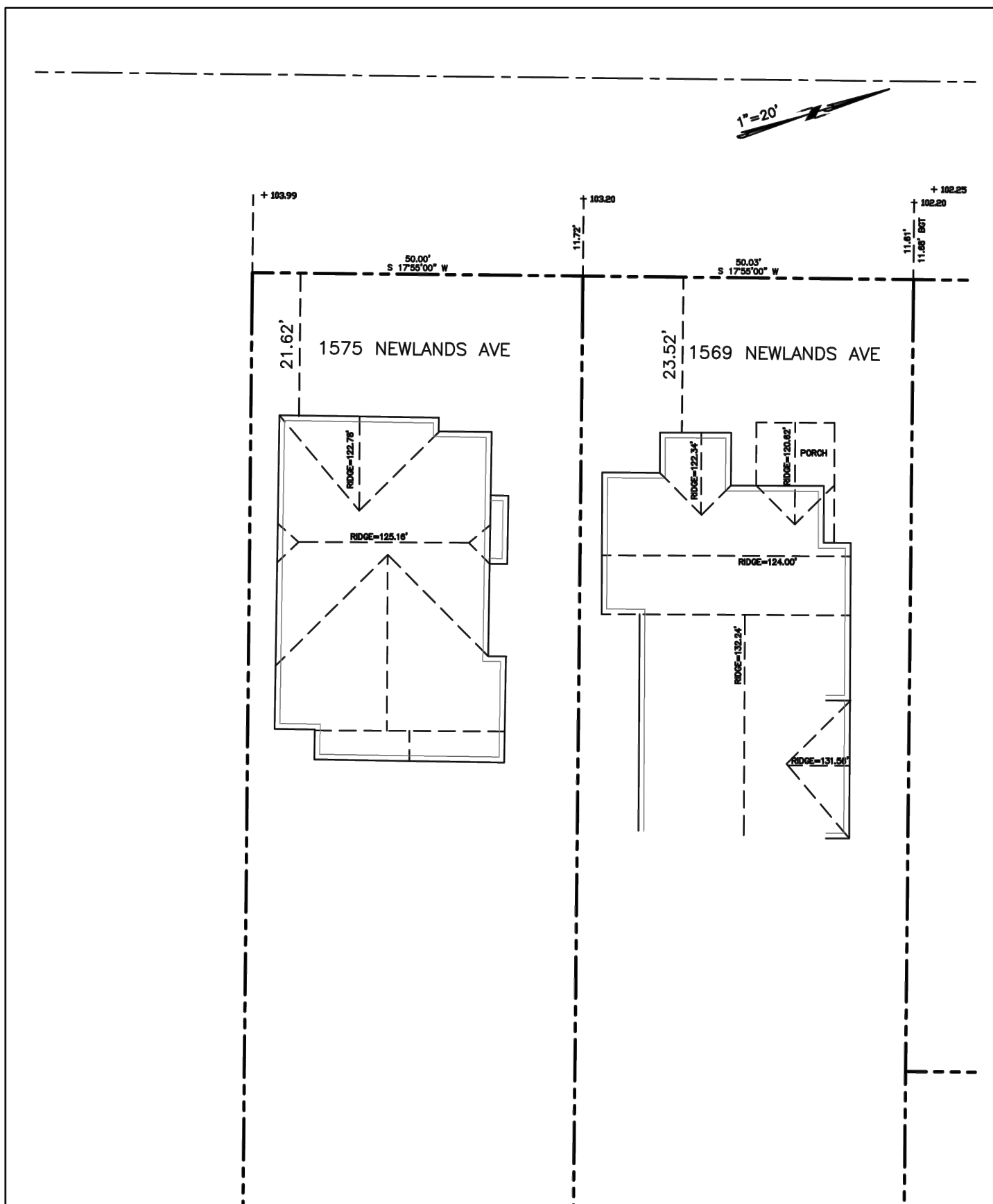
SCALE : 1" = 20' DATE: MARCH 2023 SHEET 1 OF 4	SETBACK SURVEY 1557 NEWLANDS AVE BURLINGAME, CA	SAVIOR MICALLEF, L.S. 8289 421 WILDWOOD DR SO.S.F., CA 94080
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SCALE : 1" = 20' DATE: MARCH 2023 SHEET 2 OF 4	SETBACK SURVEY 1557 NEWLANDS AVE BURLINGAME, CA	SAVIOR MICALLEF, L.S.8289 421 WILDWOOD DR SO.S.F., CA 94080
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SCALE : 1" = 20' DATE: MARCH 2023 SHEET 3 OF 4	SETBACK SURVEY 1557 NEWLANDS AVE BURLINGAME, CA	SAVIOR MICALLEF, L.S. 8289 421 WILDWOOD DR SO.S.F., CA 94080
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SCALE : 1" = 20' DATE: MARCH 2023 SHEET 4 OF 4	SETBACK SURVEY 1557 NEWLANDS AVE BURLINGAME, CA	SAVIOR MICALLEF, L.S. 8289 421 WILDWOOD DR SO.S.F., CA 94080
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Revisions		
Rev.:	Description :	Date :
001	Response to Comments	3/20/23
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006		

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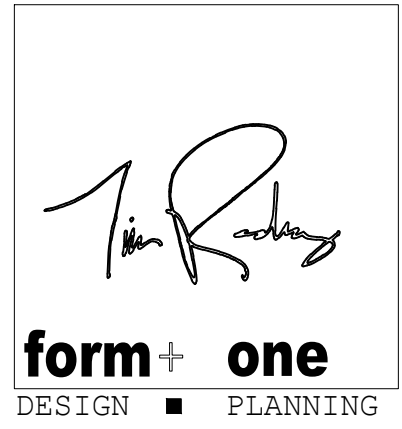
BUILDING SET
PLANNING SET

Owner :
TEA
1557 NEMLANDS AVE.
BORLINGAME CA. 94010

Zoning: R1-A

APN#: 028-295-220

4843 SILVER SPRINGS DRIVE
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Title : Existing Street Setbacks

Project : MR. & MRS. ROCHE
 1557 NEWLANDS AVE.
 BURLINGAME CA. 94010

Job No. : 22_47	Drawn : TIM RAQUELZ	Date :
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A1.1

Sheet

Scale: See Details

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- RELATED CODE REQUIREMENTS: (EGRESS + WINDOWS + DRS.)**
1. EGRESS WINDOWS SHALL HAVE A MIN. NET CLEAR OPERABLE AREA OF 5.7 SQUARE FEET.
 2. THE MINIMUM NET CLEAR WIDTH DIMENSION SHALL BE 20"
 3. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24"
 4. MAX. U-FACTOR (0.58) FOR FENESTRATION + SKYLIGHTS **2022 CEC 150.0 (Q)**
 5. MAX. TOTAL AREA, 20%, NO MAXIMUM FOR WEST FACING AREA TABLE 150.1-A, & B
 6. FENESTRATION MAX. U-FACTOR 0.30. NO SHGC REQUIREMENT TABLE 150.1-A, & B
 7. DOOR MAX. U-FACTOR: 0.20 TABLE 150.1A, & B
- 2022 CODE REQUIREMENTS: (PLUMBING)**
1. REQUIRES NON-COMPLIANT PLUMBING FIXTURES TO BE REPLACED BY WATER-CONSERVING PLUMBING FIXTURES WHEN A PROPERTY IS UNDERGOING ALTERATIONS OR IMPROVEMENTS. THIS LAW APPLIES TO ALL RESIDENTIAL AND COMMERCIAL PROPERTY BUILT PRIOR TO JANUARY 1, 1994. DETAILS CAN BE FOUND AT [HTTP://LEGINFO.CA.GOV/PUB/09-10/BILL/SEN/SB0401-0450/SB407 BILL 20091011 CHAPTERED HTML.](http://leginfo.ca.gov/pub/09-10/bill/sen/sb0401-0450/sb407_bill_20091011_chaptered.html)
 2. PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CAL GREEN SECTION 301.1.FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO A SINGLE FAMILY RESIDENTIAL PROPERTY, EXISTING PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET COMPLIANT FLOW RATES WILL NEED TO BE UPGRADED. WATER CLOSETS WITH A FLOW RATE EXCESS OF **1.6 GPF** WILL NEED TO BE REPLACED WITH W.C. W/ A MAX. FLOW RATE OF **1.28 GPF**. SHOWER HEADS W/ A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED W/ A MAX. **1.8 GPM** SHOWER HEAD. LAVATORY & KITCHEN FAUCETS W/ A FLOW RATE GREATER THAN **1.8 GPM** WILL NEED TO BE REPLACED W/ A FAUCET W/ MAX. FLOW RATE OF 1.5 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS)
- RELATED CODE REQUIREMENTS: (BATHS) (CONT.):**
- PLUMBING:**
- SHOWER MUST BE PROVIDED W/ TEMPERATURE CONTROL (ANIT-SCALD) TYPE VALVE. TOILETS MUST HAVE A MIN. CLEAR SPACE OF 30" WIDE, & 24" CLEAR SPACE IN FRONT. IF NEW, TOILETS MUST BE WATER CONSERVING 1.28 GALLON. SHOWER DOORS SHALL OPEN OUTWARD AND SHALL BE A MIN. 22" WIDE. THE SHOWERHEAD CANNOT DISCHARGE DIRECTLY AT ENTRANCE. ALL SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, MUST BE CAPABLE OF ENCOMPASSING A 30" CIRCLE. JOB-FORMED SHOWER PAN LINER MUST SLOPE $\frac{1}{8}$ " PER FOOT TO WEEP HOLES IN DRAIN, AND BE INSPECTED UNDER TEST PRIOR TO COVERING.
- RELATED CODE REQUIREMENTS: (BATHS) (CONT.):**
- BUILDING:**
- SHOWER WALL SHALL BE FINISHED TO A HEIGHT 72" ABOVE THE DRAIN INLET WITH MATERIAL THAT IS NOT AFFECTED BY MOISTURE. GREEN BD. CANNOT BE USED AS A BACKER FOR MASTIC TILE WHERE IT WILL BE EXPOSED TO SPLASHING WATER AND IS NOT ALLOWED ON CEILINGS.
 - CEMENT BOARD WITH A MOISTURE BARRIER AND CORROSION-RESISTANT FASTENERS IS AN APPROPRIATE BACKING MATERIAL IN WET LOCATIONS. MIN. CEILING HEIGHT FOR ALL BATHROOMS IS 7'-0". SAFETY GLAZING IS REQUIRED FOR WINDOWS IN TUB OR SHOWER LOCATIONS WHERE THE BOTTOM EDGE OF GLASS IS LESS THAN 5'-0" ABOVE THE DRAIN. AS PART OF REMODEL SMOKE DETECTORS WILL BE REQUIRED IN ALL BEDROOMS, ADJOINING HALL, AND AT EACH LEVEL PER THE BUILDING CODE.
- RELATED CODE REQUIREMENTS: (BATHS)(CONT.)**
- ELECTRICAL:**
- IT IS REQUIRED TO HAVE AT LEAST ONE RECEPTACLE WITHIN 3- FEET OF THE OUTSIDE EDGE OF EACH BASIN, THIS RECEPTACLE AND ANY OTHERS LOCATED WITHIN THE BATHROOM MUST BE GFCI PROTECTED.
 - A SEPARATE 20-AMP CIRCUIT IS REQUIRED TO SUPPLY BATHROOM OUTLETS ONLY, OR A SINGLE BATHROOM.
 - LIGHTING WILL BE REQUIRED TO BE HIGH EFFICACY OR CONTROLLED BY A MANUAL ON OCCUPANT SENSOR SWITCH. (TYPICALLY HIGH EFFICACY LIGHT FIXTURES ARE PIN BASE FLUORESCENT WITH ELECTRONIC BALLAST.
- MECHANICAL:**
- A FAN CONNECTED TO THE OUTSIDE CAN BE PROVIDED, FAN EXHAUST SHOULD BE 3- FEET FROM BUILDING OPENINGS AND PROPERTY LINES.
 - BE INSPECTED UNDER TEST PRIOR TO COVERING.

- GENERAL NOTES:**
1. PROVIDE 30" MIN. CLEAR WIDTH, 15" ON BOTH SIDES FROM CENTERLINE OF W.C.) AND 24" CLEARANCE IN FRONT OF THE W.C. PER CPC 402.5
 2. PROVIDE MIN. SHOWER AREA - 1024 SQ. INCHES, CAPABLE OF ENCOMPASSING A 30" CIRCLE. SEE PLANS PER CPC 408.6
 3. TEMPERED GLAZING, TYP. AT ALL DOORS AND REQUIRED BY CODE
 4. PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM THE WASHER & DISHWASHER, ETC., PER CPC
 5. WATER CLOSETS SHALL BE AN ULTRA LOW FLUSH TYPE W/ **1.28 GALLONS MAX.** PER FLUSH, PER CPC & CGC 4.303.1.1
 6. EXHAUST VENT FOR DRYER SHALL TERMINATE TO THE OUTSIDE OF THE BUILDING AND SHALL BE EQUIPPED WITH A DRAFT DAMPER AND SHALL BE RIGID METAL DUCT WITH SMOOTH INTERIOR SURFACES PER CMC SECT. 504.
 7. VERIFY ALL FINISH FLOOR CALL-OUTS W/ OWNERS, TYP.
 8. SUB- PANEL ELECT., VERIFY LOCATION W/ OWNER.
 9. ALL SHOWER HEADS TO HAVE **1.8 GPM @ 60 PSA** FLOW MAX. PER **2022 CPC** SECT. 408.2 & (CGC 4.303.1.2)
 10. ALL SHOWER WALLS TO BE WATERPROOF TO 72" ABOVE DRAIN INLET, WALL FINISHES TO BE OF SMOOTH HARD NONABSORBENT SURFACE, PER CRC R307.2 (CEMENT BASED)
 11. NA
 12. ALL LAVATORY FAUCETS TO HAVE **1.2 GPM**, + KITCHEN FAUCETS TO HAVE **1.8 GPM** FLOW MAX. PER **2022 CPC** SECT. 403.7, & 403.6 (CGC 4.303.1.4.4)
 13. WATER HAMMER ARRESTORS AT ALL APPLIANCES THAT HAVE QUICK-ACTING VALVES (I.E.) DISHWASHERS HOT WATER LINE AND THE HOT/COLD LINES OF THE CLOTHES WASHER) **2022 CPC** 609.10.
 14. CONTROL VALVE FOR SHOWER OR TUB/SHOWER SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE, PER CPC 420.0.
 15. THRESHOLD FOR IN-SWING DOORS SHALL BE 7.75" MAX. AND 7" MAX. FOR OUTSWING DOORS.
 16. (E) GAS METER LOCATION, PG&E, TYPICAL 36" FROM OPERABLE WINDOWS.
 17. (E) ELECTRICAL METER LOCATION **TO BE MOVED PER PLANS.**
 18. MAX. DROP FROM TOP OF THRESHOLD TO THE EXT. LANDING AT ALL SLIDING AND IN-SWINGING DOORS SHALL BE LIMITED TO 7.75", AND NOT MORE THAN 1.5" LOWER THAN THRESHOLD FOR OUTSWING DRS. PER **2022 CRC** R311.3
 19. (N) STAIRS TO HAVE MAX. RISER HEIGHT OF 7.75" AND A MIN. TREAD DEPTH OF 10" PER CRC R311.7.4.
 20. A CAPILLARY BREAK WILL BE INSTALLED IF A SLAB ON GRADE FOUNDATION SYSTEM IS USED. THE USE OF A 4" THICK SLAB OF 1/2" OR LARGER CLEAN AGGREGATE UNDER A 6 MIL VAPOR RETARDER WITH JOINT LAPPED NOT LESS THAN 6" WILL BE PROVIDED UNLESS AND ENGINEERED DESIGN HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING DIVISION . **2022 CGC** §4.505.2 AND CALIFORNIA RESIDENTIAL CODE (CRC) §RS606.2.3
 21. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE WILL NOT BE INSTALLED. WALL AND FLOOR FRAMING WILL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT WILL BE VERIFIED PRIOR TO FINISH MATERIAL BEING APPLIED. **2022 CGC** §4.505.3

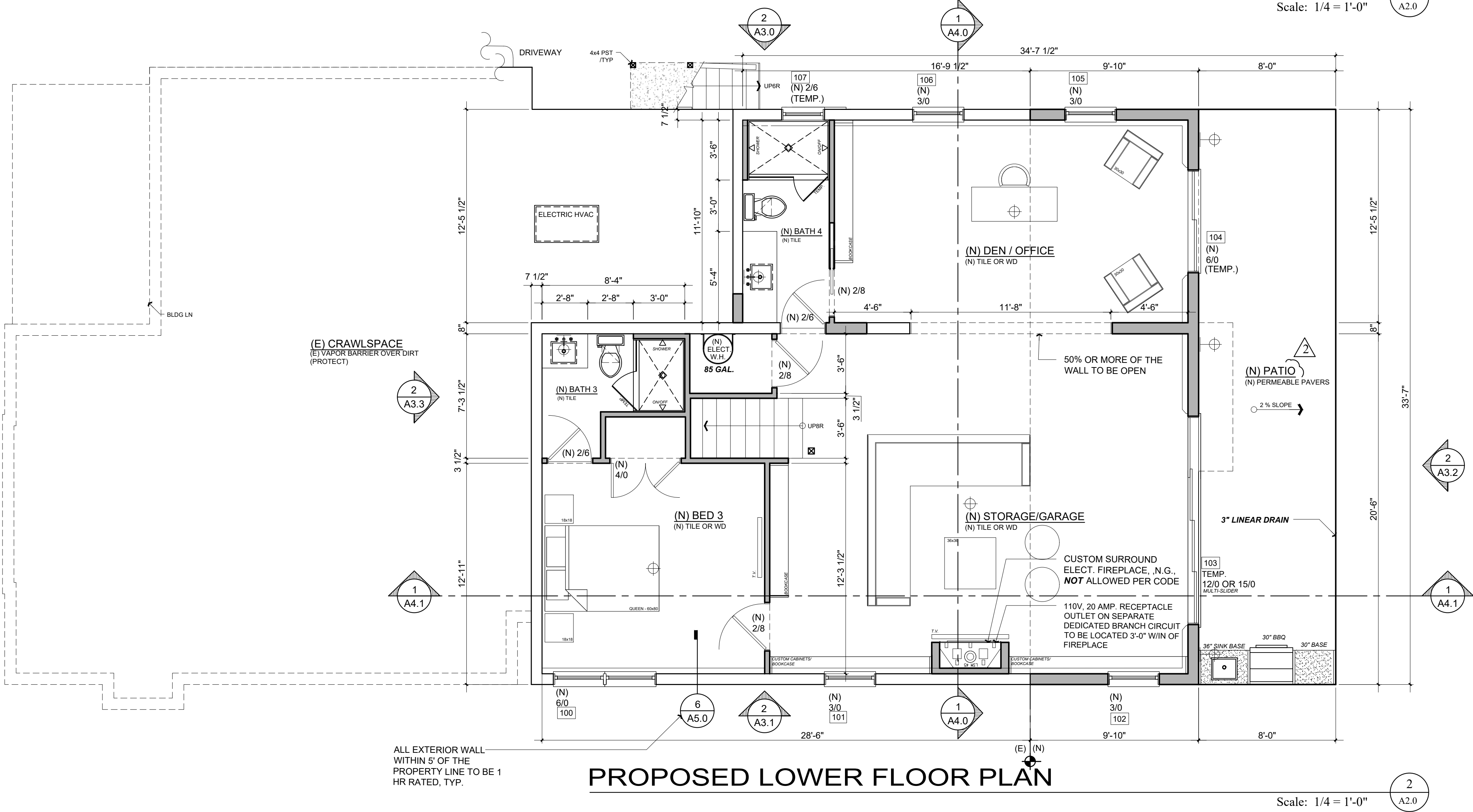
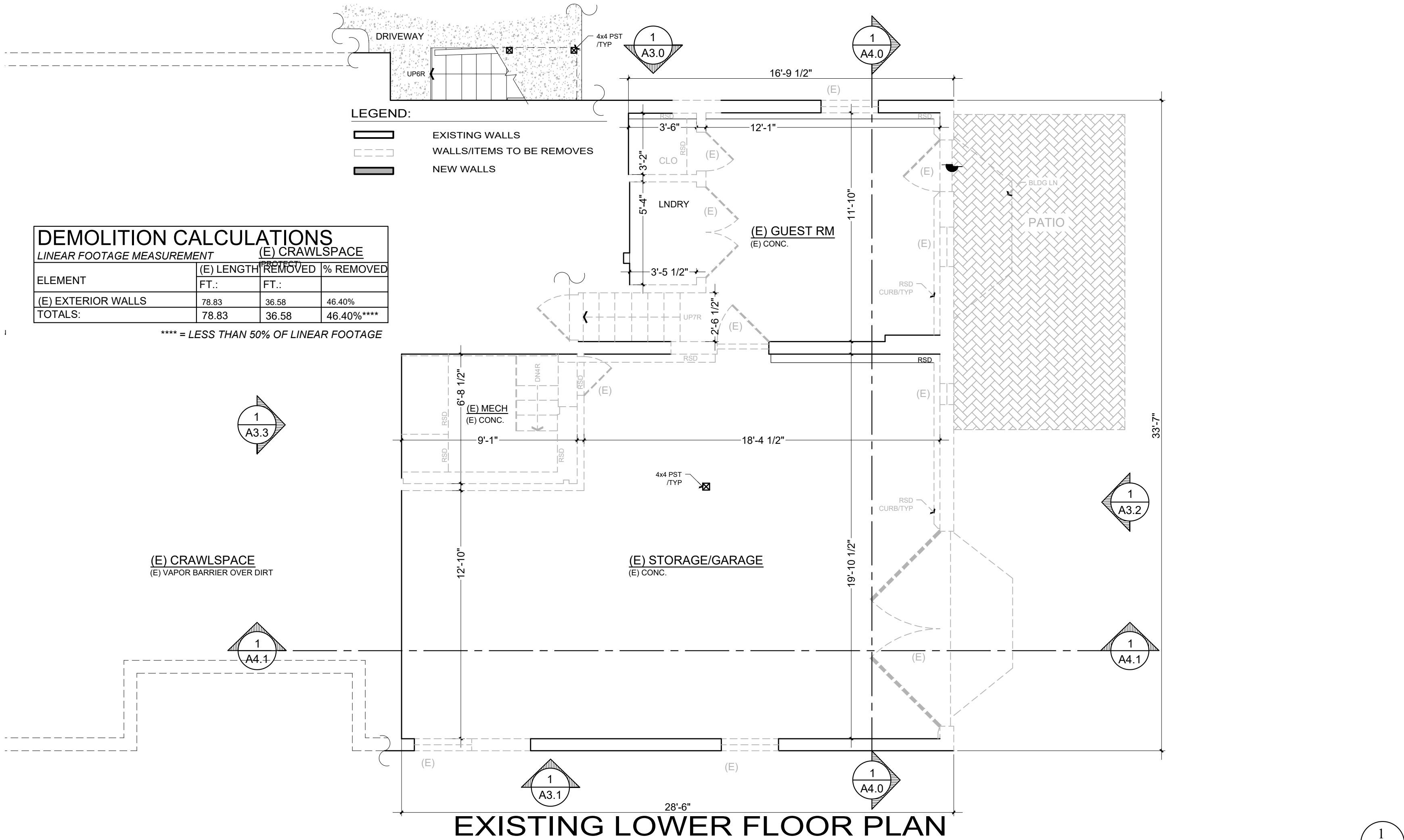
- GENERAL NOTES: (cont.)**
22. FITTINGS (FAUCETS AND SHOWER HEADS) HAVE ALL REQUIRED STANDARDS LISTED ON PLANS AND ARE IN ACCORDANCE TO CGC 4.303.1.3 AND CGC 403.1.4
 23. ANY GAS FIREPLACE SHALL BE DIRECT-VENT SEALED-COMBUSTIBLE TYPE. **2022 CGC** 4.503.1
 24. PROVIDE 36 INCH MIN. DEEP LANDING OUTSIDE ALL EXTERIOR DOORS (NOT MORE THAN 7.75 INCHES LOWER THAN THE THRESHOLD FOR IN-SWINGING DOORS AND SLIDING DOORS, AND NOT MORE THAN 1.5 INCHES LOWER THAN THE THRESHOLD FOR OUT-SWINGING DOORS) **2022 CRC** R311.3
 25. WALLS WITH 2 X 6 AND LARGER FRAMING REQUIRE R-19 INSULATION 150.0(C)2
 26. CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT OF WAY ARE LIMITED TO THE WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00 A.M AND 5:00 P.M.
 27. AS OF JANUARY 1, 2014 SV 407 (2009) REQUIRES NON-COMPLIANT PLUMBING FIXTURES TO BE REPLACED BY WATER-CONSERVING PLUMBING FIXTURES WHEN A PROPERTY IS UNDERGOING ALTERATIONS OR IMPROVEMENTS.

INSULATION: (See Title-24 For Min.)

1. ALL EXTERIOR 2X6 WALLS: R-21 BATT INSULATION, **OR** MIN. BY TITLE-24
2. ALL EXTERIOR 2X4 WALLS: R-15 BATT INSULATION **OR** MIN. BY TITLE-24
3. ALL CEILINGS TO RECEIVE R-32 MIN. INSULATION **OR** MIN. BY TITLE-24
4. ALL UNDER FLOOR TO RECEIVE R-19 BAT INSULATION
5. ALL BATHROOMS, LAUNDRY ROOMS, TO RECEIVE SOUND BATT, INSULATION, TYPICAL.
6. CEILING INSULATION, MIN. R-30 INSULATION REQUIRED.
7. **BUILDING ENVELOPE INSULATION:** PER CLIMATE ZONE: 3 TABLE 150.1-A, & B
8. **BUILDING ENVELOPE INSULATION:** WALLS, ABOVE OR BELOW GRADE, MEET STANDARDS IN TABLE 150.1-A & B
9. QUALITY INSULATION INSTALLATION INSPECTION (**QII**) IS REQUIRED BY A THIRD PARTY.

POLLUTANT CONTROL NOTES:

1. PAINTS + COATINGS WILL COMPLY WITH VOC LIMITS PER **2022 CGC** §4.504.2.2
2. DOCUMENTATION PROVIDED THAT VERIFIES COMPLIANCE WITH VOC FINISH MATERIALS. **2022 CGC** §4.504.2.4
3. CARPET SYSTEM INSTALLED IN THE BUILDING INTERIOR WILL MEET THE TESTING + PRODUCT REQUIREMENTS FOUND IN THE **2022** CALIFORNIA GREEN BUILDING CODE. **2022 CGC** §4.504.3
4. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80% OF THE FLOOR AREA RECEIVING RESILIENT FLOORING WILL COMPLY WITH THE CALIFORNIA GREEN BUILDING CODE REQUIREMENTS. **2022 CGC** §4.504.4
5. HARDWOOD PLYWOOD, PARTICLEBOARD, + MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR AND EXTERIOR OF THE BUILDING WILL COMPLY WITH THE LOW FORMALDEHYDE EMISSION STANDARDS. **2022 CGC** §4.504.5
6. AEROSOL PAINTS + COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC AND COMPLY W/ PERCENT VOC BY WEIGHT OF PRODUCT LIMITS, REGULATION 8, RULE 49. PER **2022 CGC** 4.504.2.3
7. ADHESIVES, SEALANTS, + CAULKS USED ON THE PROJECT SHALL FOLLOW LOCAL + REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT STANDARDS **2022 CGC** §4.504.2.1



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Owner :
MR. & MRS. ROCHE
1557 NEULANDS AVE.
BURLINGAME CA. 94010
Zoning: RL-A

APN#: 028-295-220

Building SET
Planning SET

form+one
DESIGN ■ PLANNING

Tim Roche

Title : As Built + Proposed Floor Plan

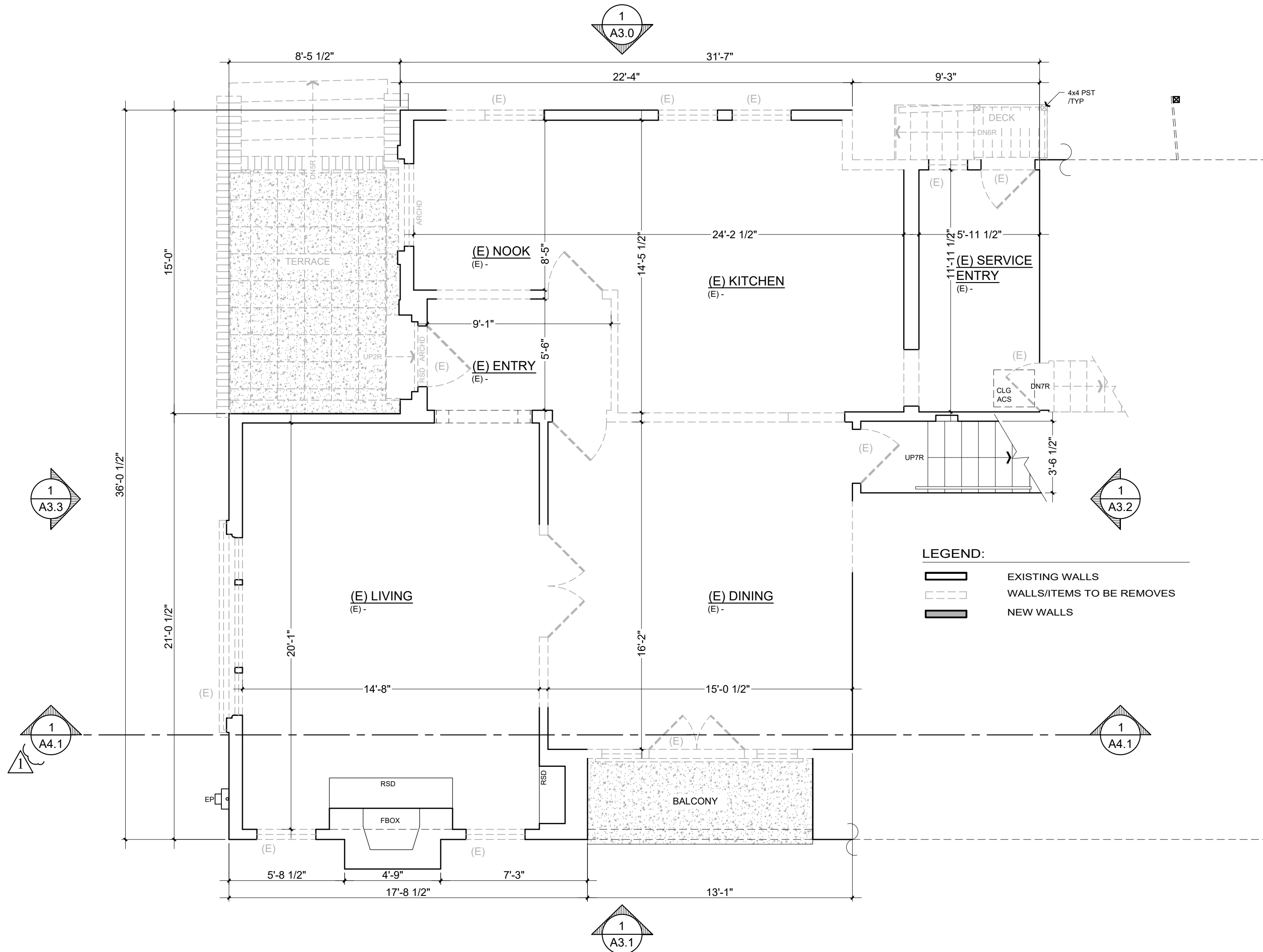
Project : MR. & MRS. ROCHE
1557 NEULANDS AVE.
BURLINGAME CA. 94010

Job No. : 22-47

Drawn : TIM RADZIEW

Date : 10-22-22

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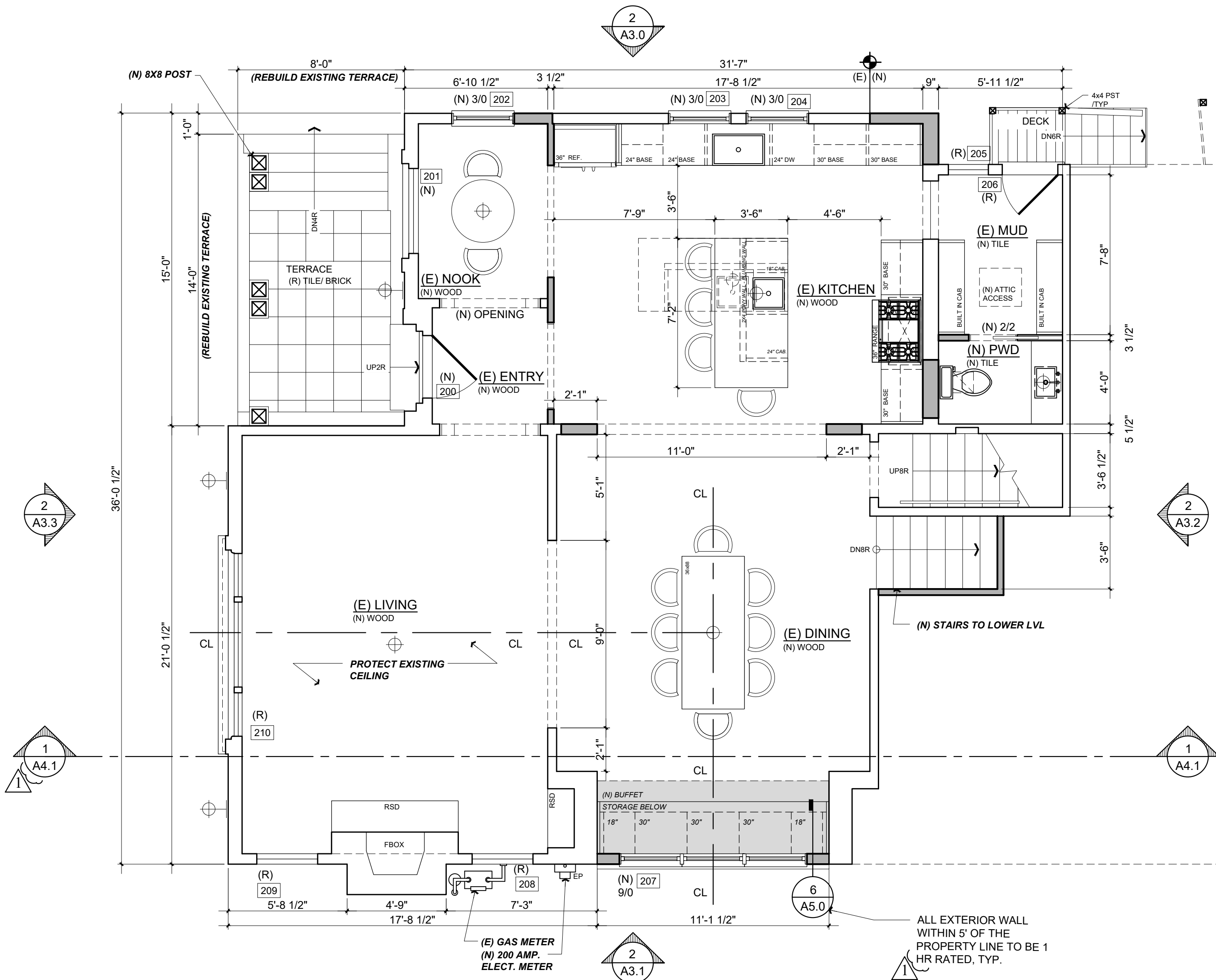
EXISTING ENTRY LEVEL FLOOR PLAN

Scale: 1/4" = 1'-0"

1
A2.1

DEMOLITION CALCULATIONS			
LINEAR FOOTAGE MEASUREMENT			
ELEMENT	(E) LENGTH	REMOVED	% REMOVED
	FT.:	FT.:	
(E) EXTERIOR WALLS	124	53.27	42.96%
TOTALS:	124	53.27	42.96%****

**** = LESS THAN 50% OF LINEAR FOOTAGE



PROPOSED ENTRY LEVEL FLOOR PLAN

Scale: 1/4" = 1'-0"

2
A2.1

Revisions

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001	Response to Comments	3/20/23
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003		
004		
005		
006		

Contractor:

Owner:

4943 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDSIGN.COM

1557 NEWLANDS AVE.
BURLINGAME CA. 94010
Zoning: RL-A

APN#: 028-295-220

BUILDING SET
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form+one
DESIGN ■ PLANNING

Tim Radienz

Title: As Built + Proposed Floor Plan

Project: MR. & MRS. ROCHE
1557 NEWLANDS AVE.
BURLINGAME CA. 94010

Job No.: 22-47
Drawn: TIM RADIENTZ
Date: 10-22-22

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Scale: 1/4" = 1'-0"



Scale: 1/4" = 1'-0"

Sheet

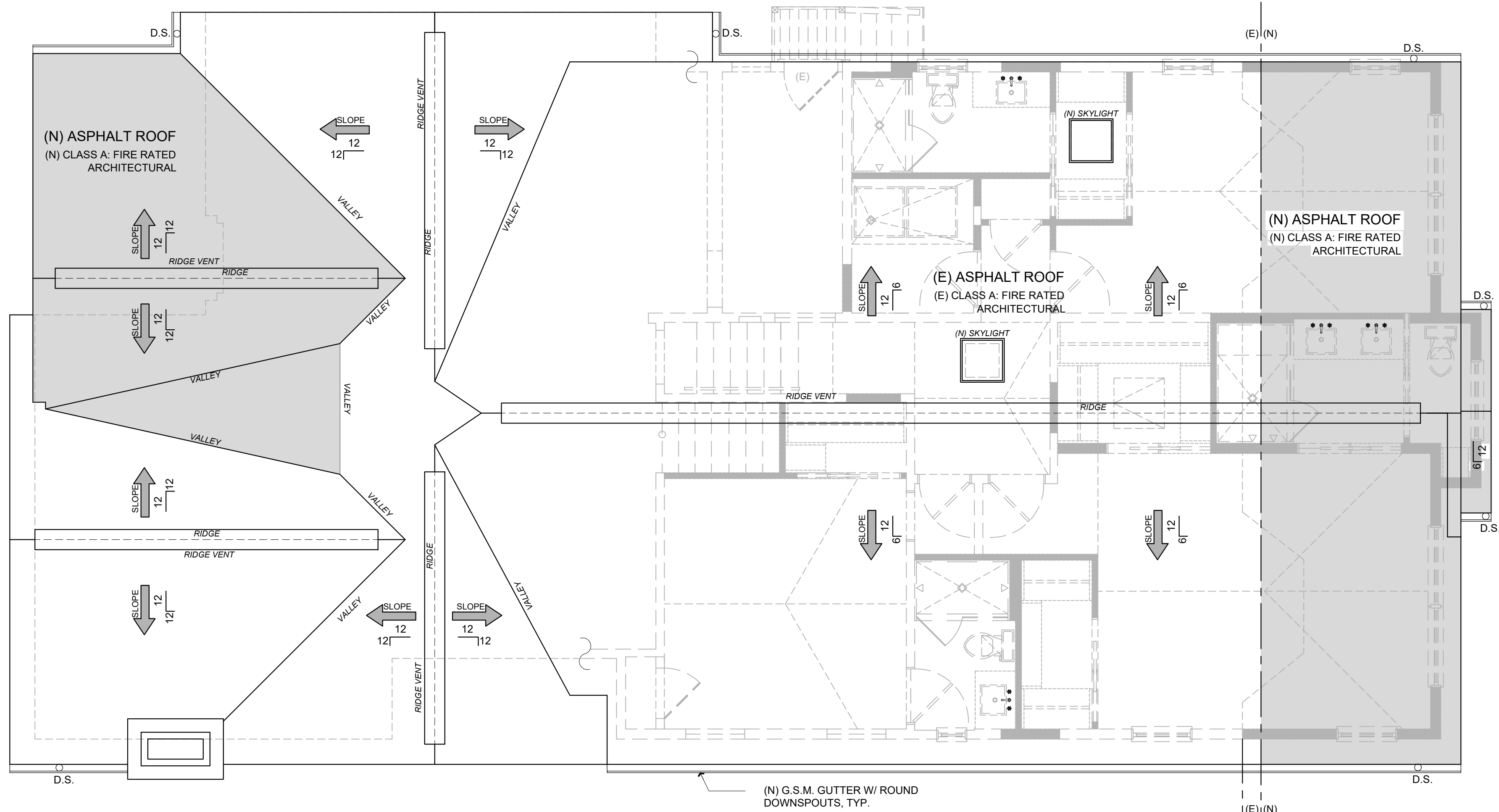
Scale: See Details

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VENTILATION CALC (HOUSE):
SQ. FT. OF (E/N) ROOF: 2,620 SQ. FT.
(N/E) 2,620/150 = 17.46 SQ. FT. OF VENTILATION IN EXISTING ROOF
(N) ROOF RIDGE VENTS = 106 SQ. FT.
TOTAL VENTILATION INSTALLED = 106 SQ. FT.

VENTILATION CALC (GARAGE):
SQ. FT. OF (N) ROOF: 468 SQ. FT.
(N) 468/150 = 3.12 SQ. FT. OF VENTILATION IN EXISTING ROOF
(N) ROOF RIDGE VENTS = 26 SQ. FT.
TOTAL VENTILATION INSTALLED = 26 SQ. FT.

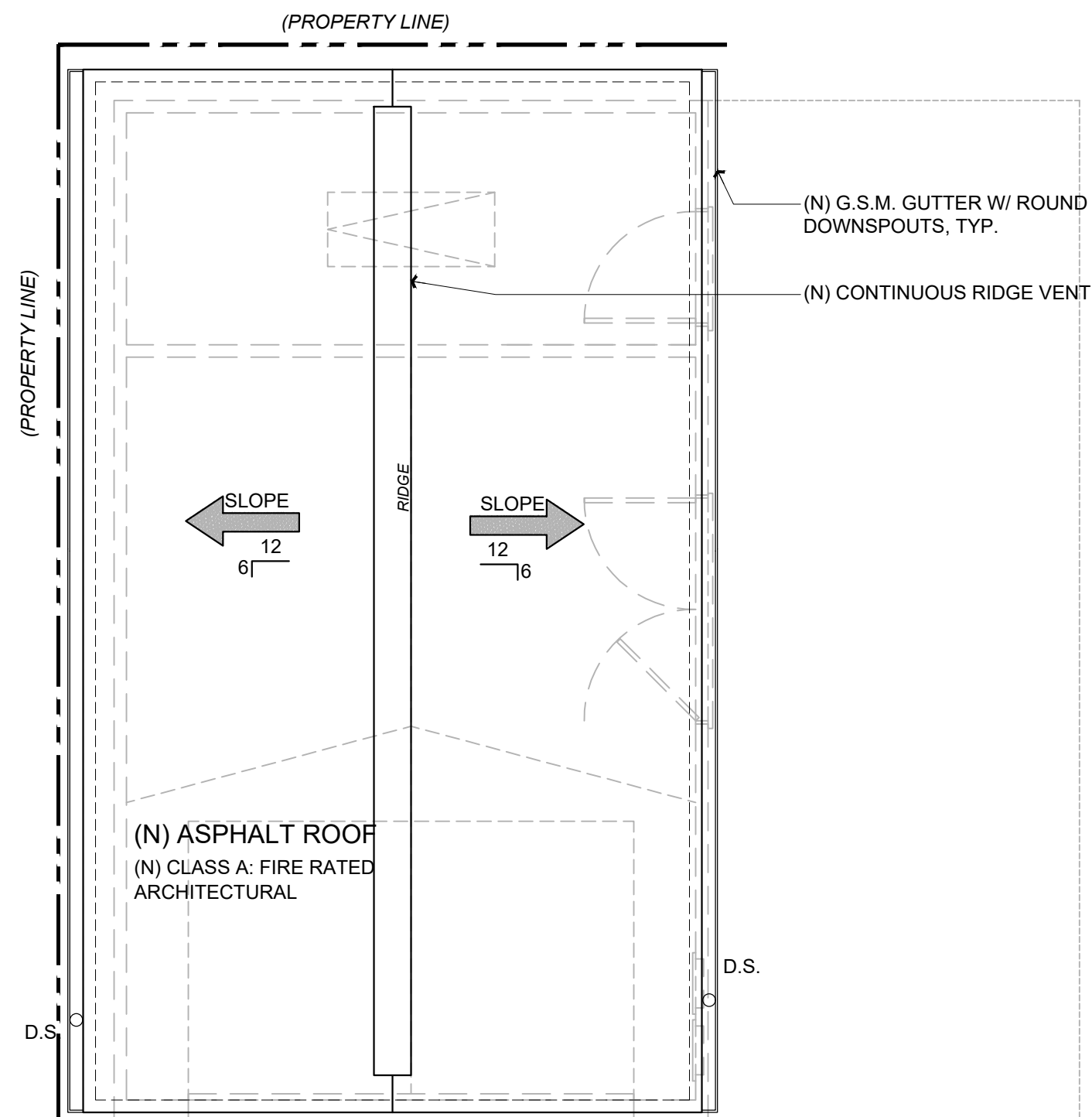
- PLUMBING & HVAC NOTE:
1. GROUP ALL EXHAUST FLUES TOGETHER WHEN POSSIBLE & LOCATE ON ROOFS SLOPING TO THE REAR OF HOUSE TYP. VERIFY LOCATION W/ DESIGNER.
- NOTES:
1. (OSOE OR HALF ROUND) G.S.M. GUTTERS, & (3" GSM) DOWNSPOUTS (MATCH EXISTING AS REQUIRED), LINE ALL VALLEYS WITH GSM, AT LEAST 20" WIDE WITH WITH 1/4" EDGE TURNED OVER AND FASTENED WITH CLEATS. LAP JOINTS AT LEAST 4", BUT DO NOT SOLDER.
2. N/A
3. WHEN INSULATION IS INSTALLED IN ENCLOSED RAFTER SPACES WHERE CEILINGS ARE APPLIED DIRECT TO THE UNDERSIDE OF ROOF RAFTERS, A MINIMUM AIR SPACE OF 1 INCH MUST BE PROVIDED. INSULATION BAFFLE NEEDED.
4. FLASHINGS AND COUNTER FLASHINGS SHALL NOT BE LESS THAN 0.016-INCH (28-GAGE) CORROSION RESISTANT METAL, AND VALLEY FLASHING
5. AT THE JUNCTURE OF THE ROOF & VERTICAL SURFACES, FLASHING & COUNTERFLASHINGS SHALL NOT BE LESS THAN 0.019-INCH (26 GAUGE)
6. NA
7. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MIN. OF 3'-0" FROM PROPERTY LINES OR ANY OPENING INTO THE BUILDING (I.E. DRYERS, BATH & UTILITY FANS, ETC., MUST BE 3'-0" AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS, PER CODE
8. N/A
9. N/A
10. ATTIC VENTILATION AT CALIFORNIA FRAMING TO RECEIVE LOW PROFILE VENTS OR OPENING IN THE ROOF SHEATHING BELOW
11. (AS REQUIRED) ALL TRUSS/RAFTER BLOCKING TO RECEIVE 2" DIA HOLES IN EVERY BLOCK TYPICAL FOR EVEN DISTRIBUTION OF AIR FLOW.



PROPOSED ROOF PLAN

Scale: 1/4" = 1'-0"

1
A2.3



PROPOSED GARAGE ROOF PLAN

Scale: 1/4" = 1'-0"

2
A2.3



	SIZE	EXPOSURE	APPROX. WEIGHT PER SQUARE (PSF)	APPROX. WEIGHT PER SQUARE (LBS)	WARRANTY	PAKET (SQ. FT.) (MINIMUM)	COLORS
PARAMOUNT ADVANTAGE [®] Limited Lifetime Warranty 110/100 MPH Limited Wind Warranty [†]	12-1/2" x 40"	4-1/2"	5.87	80	400 lbs.	Bundle 20 Squares 10 Weight 2200 lbs.	Antique Black [*] Black Forest [*] Darkwood [*] Darkwood [*] Darkwood [*] Darkwood [*] Darkwood [*] Darkwood [*]
PARAMOUNT [®] Limited Lifetime Warranty 110/100 MPH Limited Wind Warranty [†]	12-1/2" x 40"	4-1/2"	5	80	300 lbs.	Bundle 20 Squares 10 Weight 2100 lbs.	Antique Black [*] Black Forest [*] Darkwood [*] Darkwood [*] Darkwood [*] Darkwood [*] Darkwood [*] Darkwood [*]
CASCADE [®] Limited Lifetime Warranty 110/100 MPH Limited Wind Warranty [†]	12-1/2" x 40"	4-1/2"	5	80	300 lbs.	Bundle 20 Squares 10 Weight 2100 lbs.	Antique Black [*] Black Forest [*] Darkwood [*] Darkwood [*] Darkwood [*] Darkwood [*] Darkwood [*] Darkwood [*]
PREMIER ADVANTAGE [®] Limited Lifetime Warranty 110/100 MPH Limited Wind Warranty [†] Class 3 Impact Rated	12-1/2" x 40"	5-5/8"	6.33	84	400 lbs.	Bundle 20 Squares 10 Weight 4400 lbs.	Dark Wood [*] Dark Wood [*] Dark Wood [*] Dark Wood [*] Dark Wood [*] Dark Wood [*] Dark Wood [*] Dark Wood [*]
PREMIER RADIANCE [®] ELITE Limited Lifetime Warranty 110/100 MPH Limited Wind Warranty [†] Class 3 Impact Rated	12-1/2" x 40"	5-5/8"	4	84	300 lbs.	Bundle 20 Squares 10 Weight 4400 lbs.	Antique Black [*] Black Forest [*] Darkwood [*] Darkwood [*] Darkwood [*] Darkwood [*] Darkwood [*] Darkwood [*]
PABCO PREMIER [®] ELITE Limited Lifetime Warranty 110/100 MPH Limited Wind Warranty [†] Class 3 Impact Rated	12-1/2" x 40"	5-5/8"	4	84	300 lbs.	Bundle 20 Squares 10 Weight 4400 lbs.	Antique Black [*] Black Forest [*] Darkwood [*] Darkwood [*] Darkwood [*] Darkwood [*] Darkwood [*] Darkwood [*]
PABCO PREMIER [®] PROFESSIONAL Limited Lifetime Warranty 110/100 MPH Limited Wind Warranty [†]	12-1/2" x 40"	5-5/8"	4	84	200 lbs.	Bundle 20 Squares 10 Weight 4400 lbs.	Antique Black [*] Black Forest [*] Darkwood [*] Darkwood [*] Darkwood [*] Darkwood [*] Darkwood [*] Darkwood [*]

[†] See the PABCO[®] Limited Shingle Warranty for details, limits, and conditions.
^{*} See the PABCO[®] Asphalt Roofing System and Asphalt Roofing (AR) Shingles are not available in all markets.

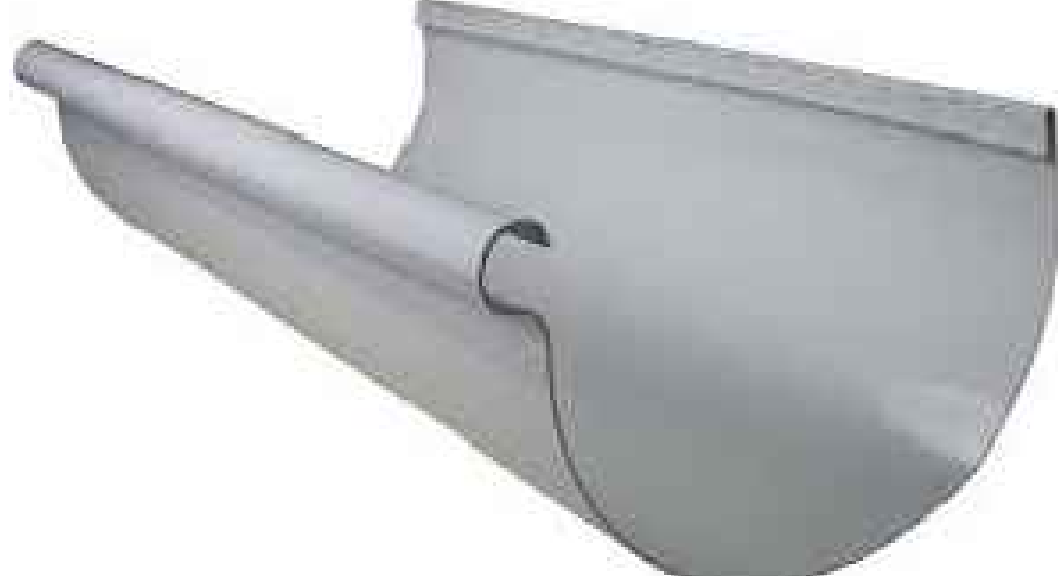
www.pabcoroofing.com



SPECS FOR ROOFING

Scale: N.A.

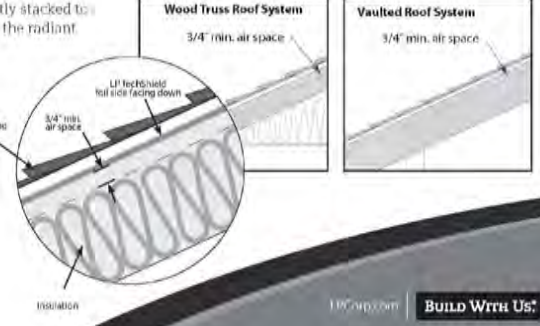
3
A2.3



Installation Instructions

LP[®] TechShield[®]
Radiant Barrier Sheathing

- Basic Uses**
LP[®] TechShield[®] Radiant Barrier Sheathing installs just like regular roof sheathing as there are no additional labor costs. The radiant barrier sheathing, LP[®] TechShield[®] sheathing features a thick, durable layer of aluminum laminated to our OSB roof sheathing. This creates a highly effective radiant barrier because it helps block radiant heat from entering a home. LP[®] TechShield[®] Radiant Barrier Sheathing can reduce moisture air conditioning bills by up to 10%. This holds in savings that are immediately and will last for years to come.
- Climate Considerations**
The benefits of radiant barrier sheathing will vary by climate and will have the most impact in cooling cooling costs when used in warm climate regions that have significant solar radiation.
- Condensation**
Under certain conditions, moisture may condense on the underside of roof sheathing. In most circumstances, any condensation that forms will evaporate as the attic warms during extended cold weather. To ensure condensation may form as frost and could accumulate. To minimize this, radiant barrier sheathing should be installed in homes with well-ventilated attics that have been properly air sealed to prevent transfer of moist heated air from the living space to the attic.
- Storage and Handling**
Store LP[®] TechShield[®] panels in a cool, dry area. Do not store in direct contact with the ground. Protect from moisture prior to and during installation. Careful storage. If necessary, require panels to be covered with plastic sheets or tarping with the same, loosely covered to provide adequate air ventilation.
- Handle LP[®] TechShield[®] panels as you would other AIA rated LP[®] sheathing products. Be careful not to step on corners or small panel edges. Keep panels well supported and neatly stacked to prevent warping. Use caution to avoid damage to the radiant barrier foil surface.



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Contractor :
Owner :
Title :
Project :
Job No. :
Date :
Revisions

4943 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDSIGN.COM
Zoning: R1-A
APN#: 028-295-220
BUILDING SET
PLANNING SET

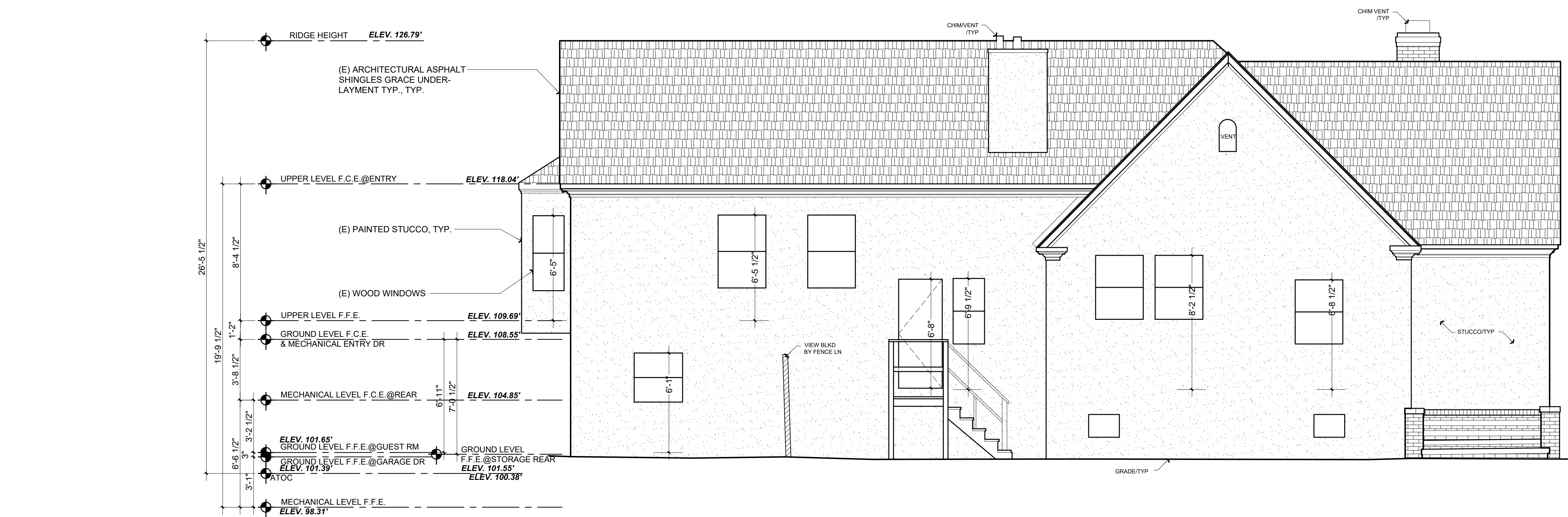
form+one
DESIGN ■ PLANNING

Title : Proposed Roof Plan
Project : MR. & MRS. ROCHE
1557 NEWLANDS AVE.
BURLINGAME CA. 94010
Job No. : 22-47
Date : 10-22-22
Drawn : TIM RADIENTZ

A2.3

Sheet
Scale: See Details

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EXISTING NORTH ELEVATION

Scale: 1/4" = 1'-0"

1
A3.0



PROPOSED NORTH ELEVATION

Scale: 1/4" = 1'-0"

2
A3.0

Revisions		
Rev.:	Description:	Date:
001	Response to Comments	3/20/23
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005		
006		


Contractor :
TBA NEWLANDS AVE.
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Ph: 415.819.0304
E-mail: TIM@FORMONEDSIGN.COM

Zoning: RI-A

APN#: 028-295-220

BUILDING SET
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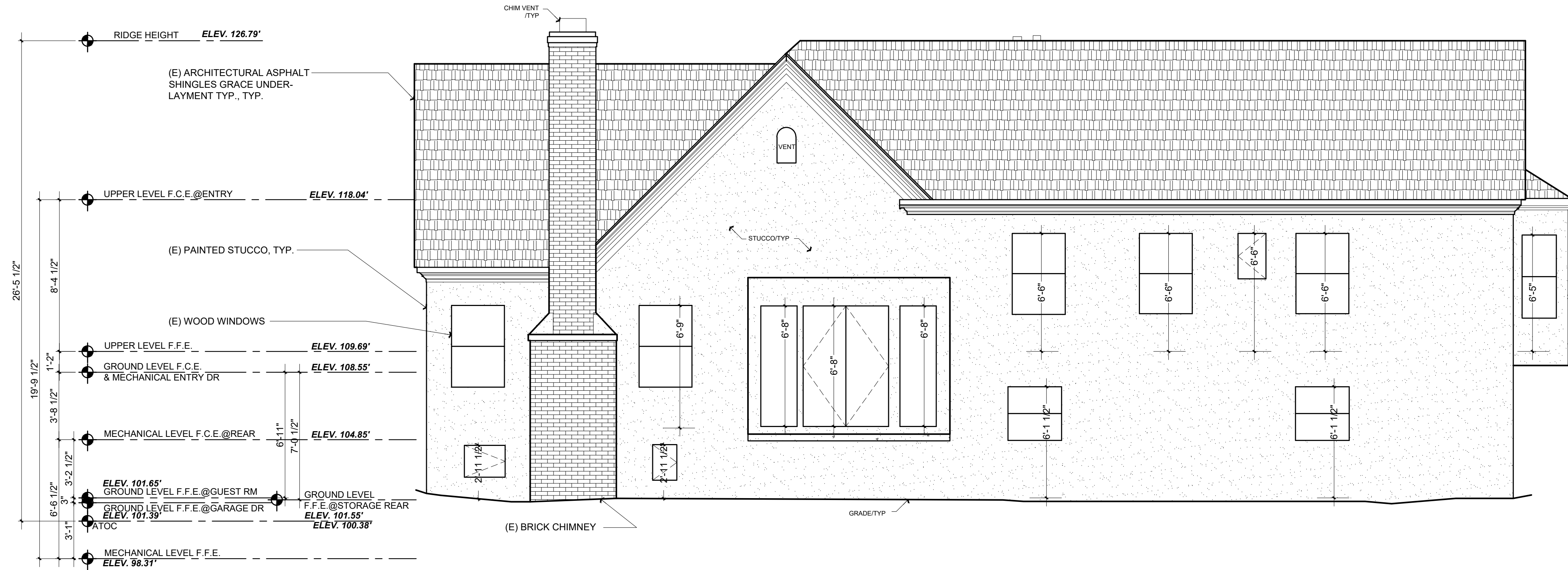
form + one
DESIGN ■ PLANNING

Title : Proposed Elevations

Project : MR. & MRS. ROCHE
1557 NEWLANDS AVE.
BURLINGAME CA. 94010

Job No. : 22-47
Drawn : TIM RADENZ
Date : 10-22-22

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EXISTING SOUTH ELEVATION

Scale: 1/4" = 1'-0"

1
A3.1



PROPOSED SOUTH ELEVATION

Scale: 1/4" = 1'-0"

2
A3.1

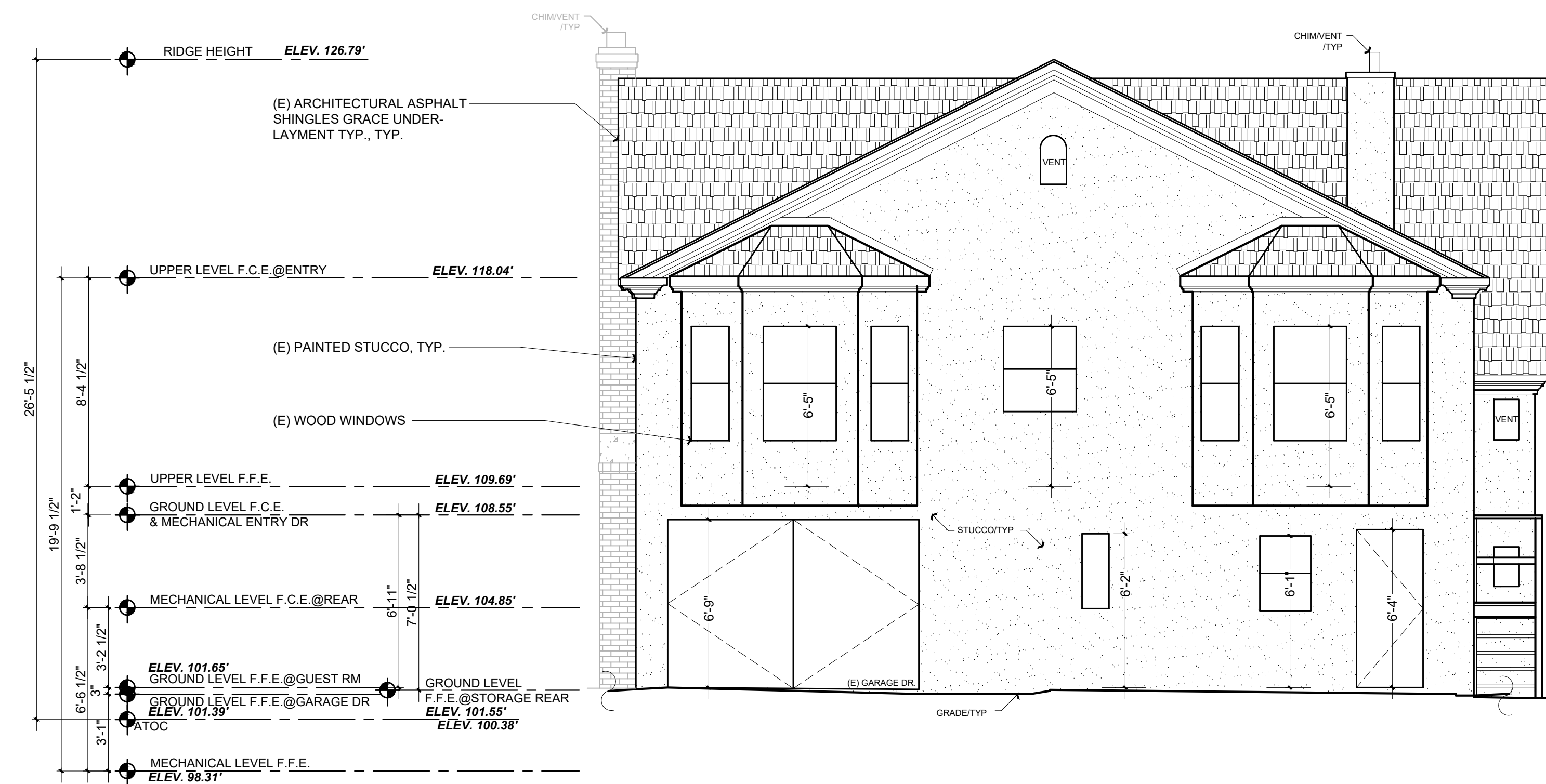
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Contractor:		BURLINGAME CA. 94010	
Owner:		Zoning: RL-A	
4943 SILVER SPRINGS DRIVE		APN#: 028-295-220	
Park City, UT 84098		BUILDING SET	
Ph: 415.819.0304		PLANNING SET	
E-mail: TIM@FORMONEDSIGN.COM			

form+one
DESIGN ■ PLANNING

Title: Proposed Elevations		Date: 10-22-22	
Project: MR. & MRS. ROCHE		Drawn: TIM RADJENZ	
1557 NEWLANDS AVE.		Job No.: 22_47	
BURLINGAME CA. 94010			

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EXISTING EAST ELEVATION

Scale: 1/4" = 1'-0"



PROPOSED EAST ELEVATION

Scale: 1/4" = 1'-0"

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Rev. :	Description :	Date :
001	Response To Comments	3/26/23
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003	Response to Comments	5/03/23
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005		
006		

Contractor :

Owner :
TBA
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BURLINGAME CA. 94010

Zoning: R1-A

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Ph: 415.819.0304
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DESIGN ■ PLANNING

Title : Proposed Elevations

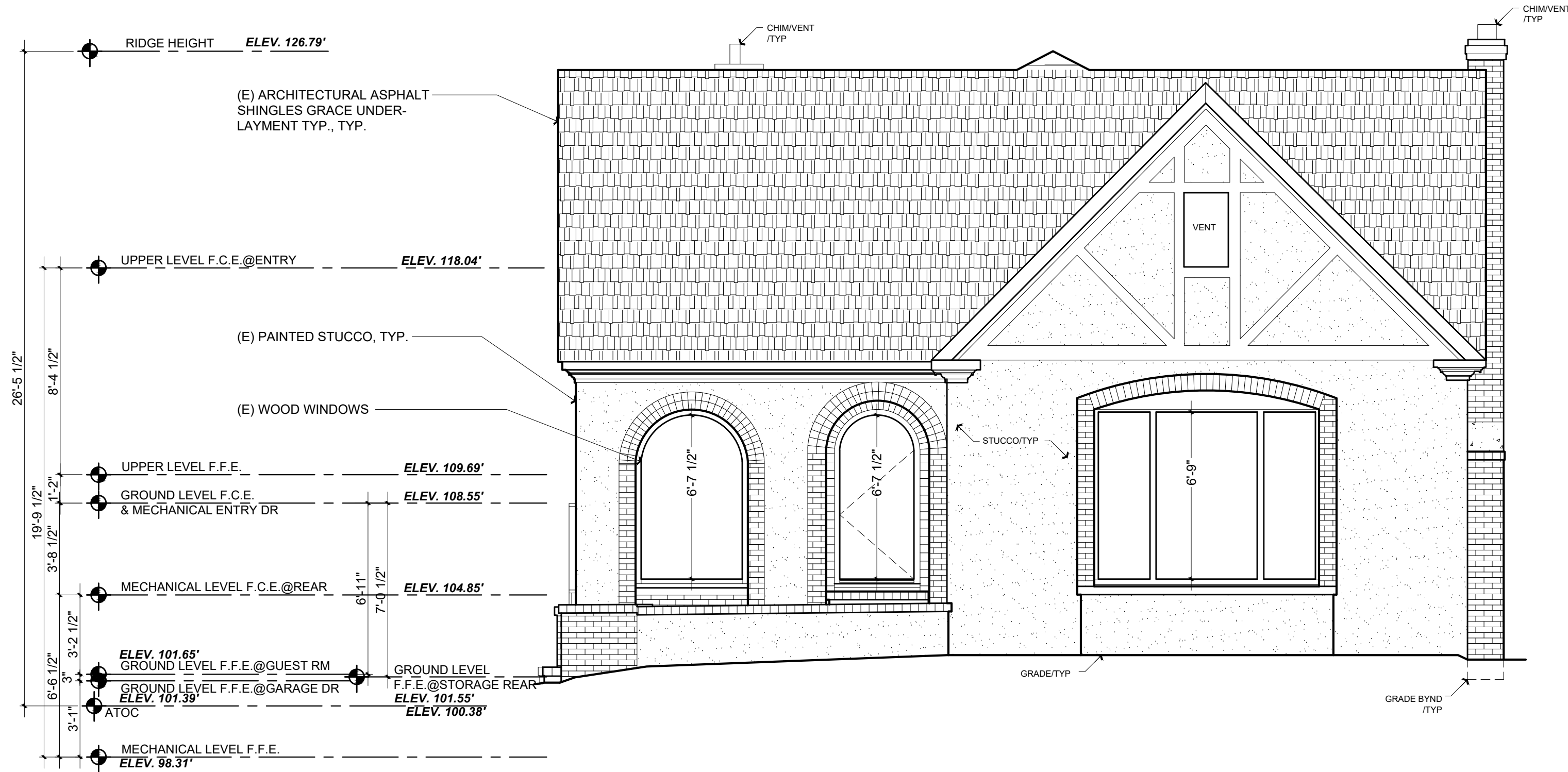
Project : MR. & MRS. ROCHE
 1557 NEWLANDS AVE..
 BURLINGAME CA. 940

Job No. :	22_47	Drawn : TIM RADUENZ	Date : 10-22-22
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Sheet
Scale: See Details

A3.2

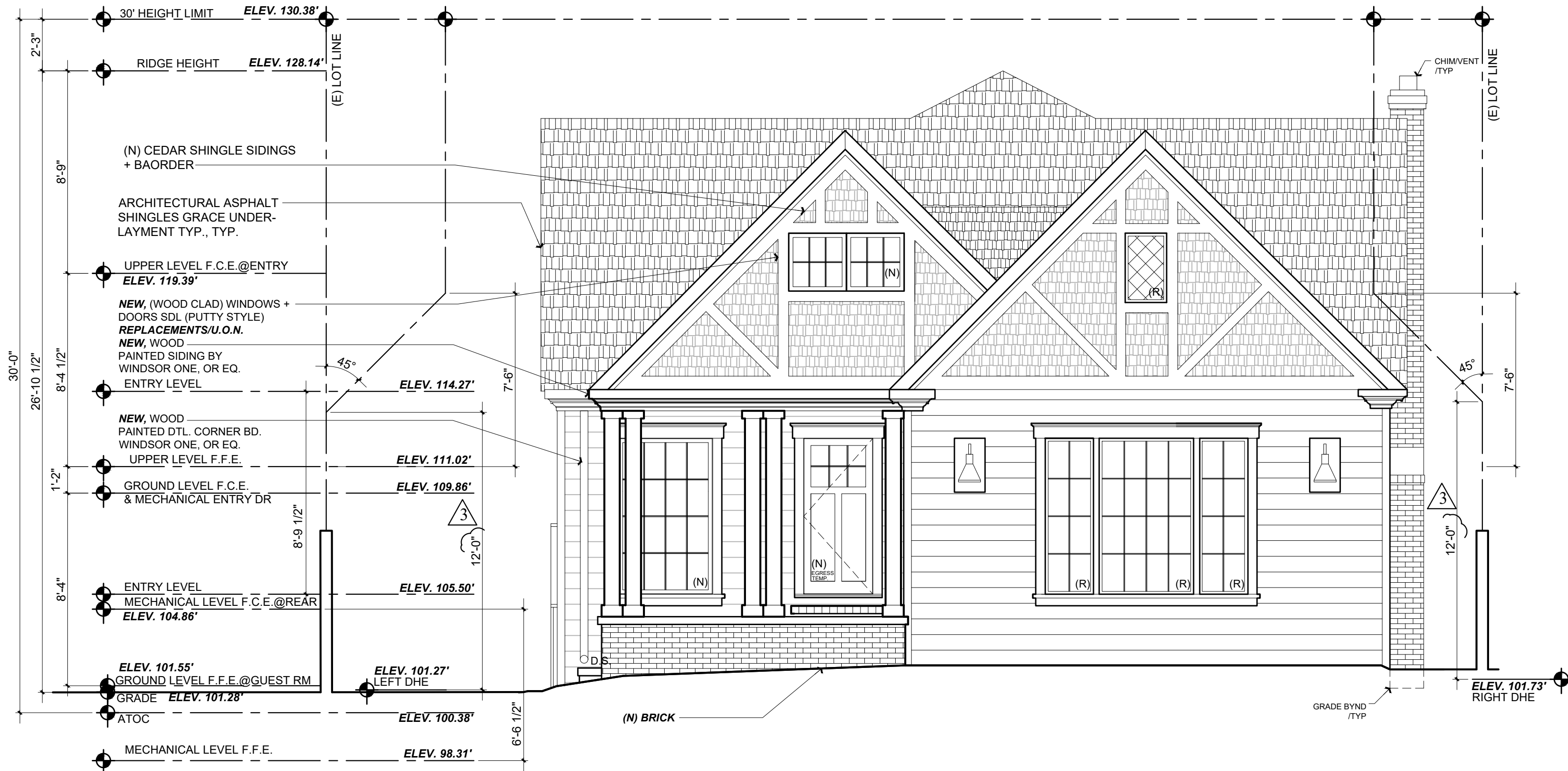
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EXISTING WEST ELEVATION

Scale: 1/4" = 1'-0"

1
A3.3



PROPOSED WEST ELEVATION

Scale: 1/4" = 1'-0"

2
A3.3

Title : Proposed Elevations

Project : MR. & MRS. ROCHE
1557 NEWLANDS AVE.
BURLINGAME CA. 94010

Job No. : 22_47 Drawn : TIM RADIENTZ Date : 10-22-22

Owner :
TBA
1557 NEWLANDS AVE.
BURLINGAME CA. 94010

Zoning: R1-A

APN#: 028-295-220

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DESIGN ■ PLANNING

Sheet
Scale: See Details

A3.3

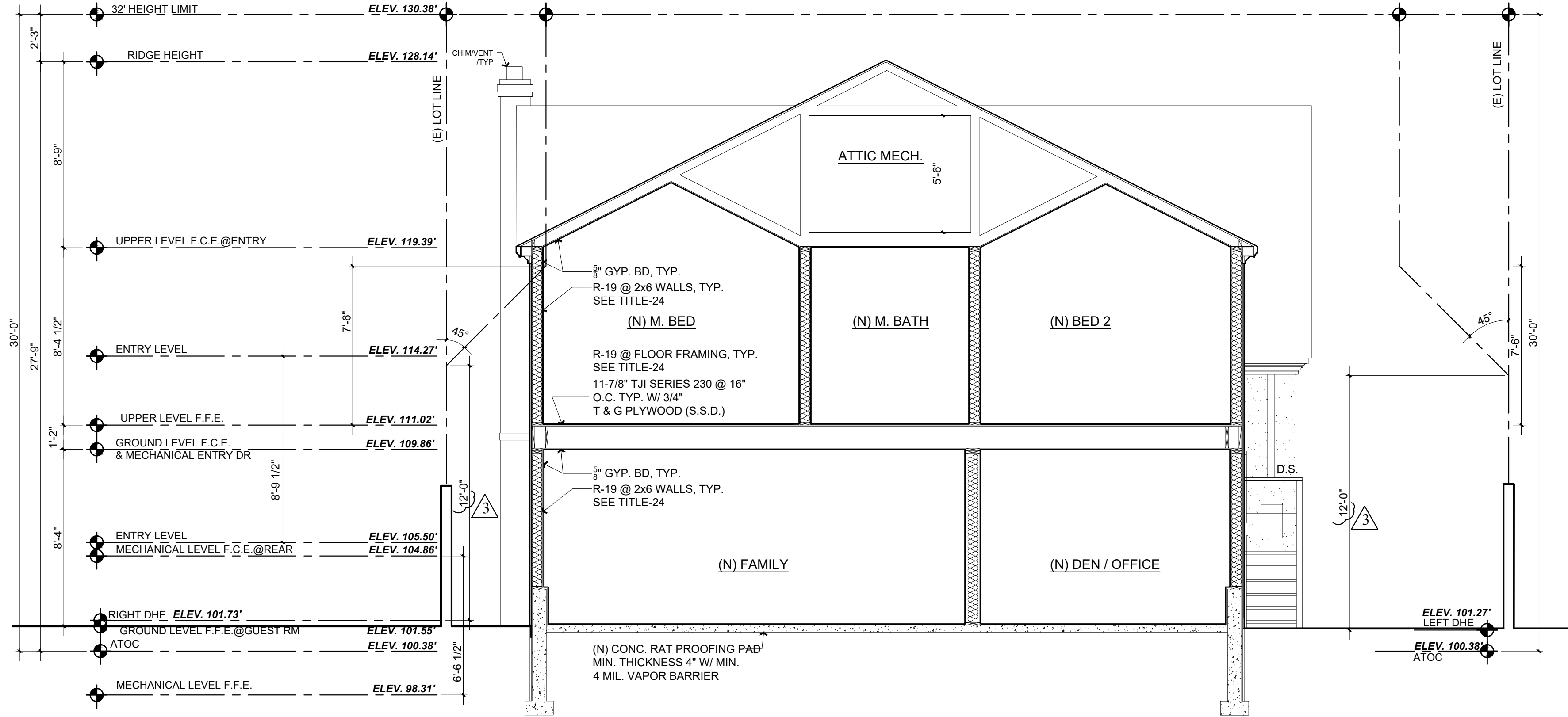
BUILDING SET
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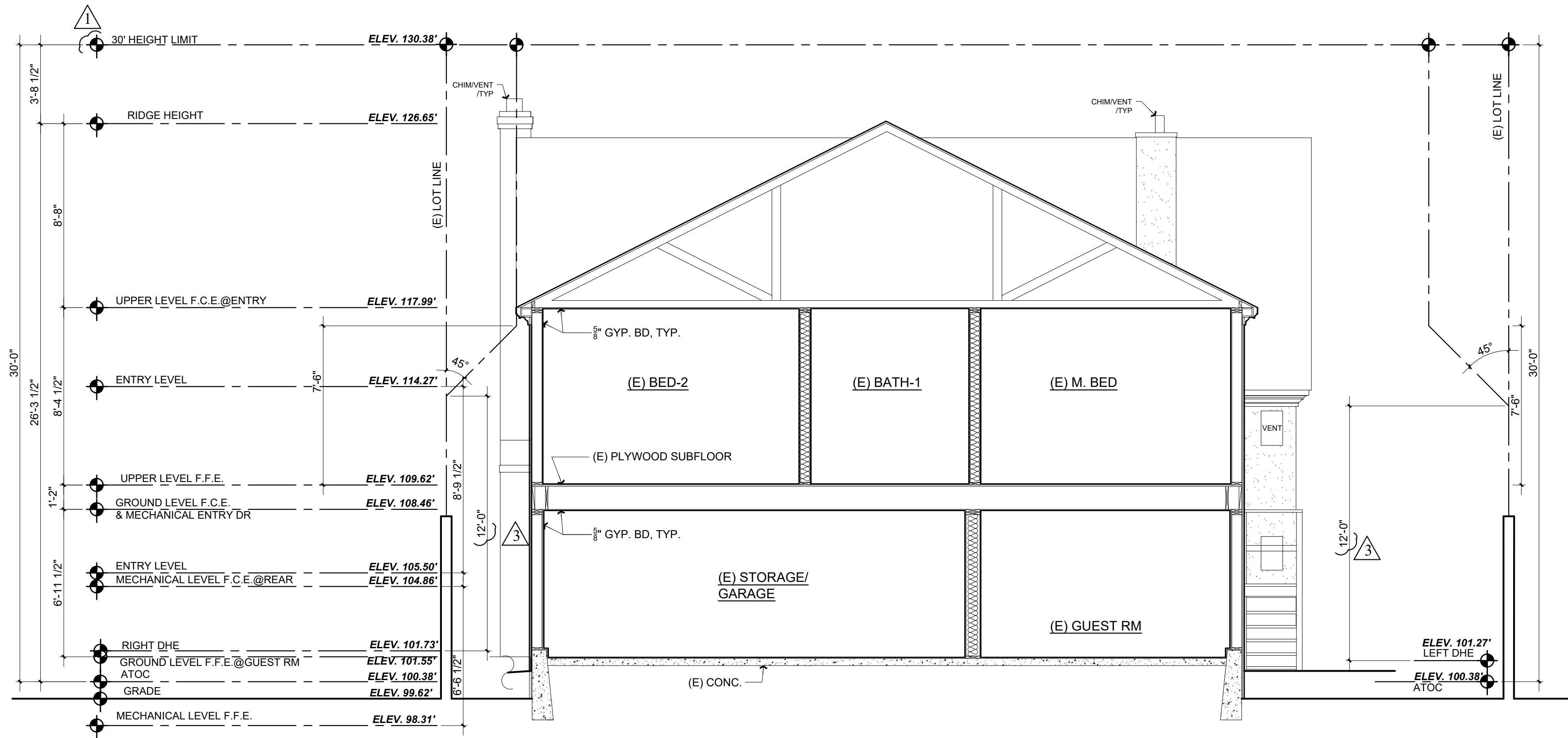
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PROPOSED BUILDING SECTION

Scale: 1/4" = 1'-0"



EXISTING BUILDING SECTION

Scale: 1/4" = 1'-0"

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001	Response to Comments	3/20/23
002	Response to Comments	4/25/23
003	Response to Comments	5/03/23
004		
005		
006		

Contractor :

Owner :
TBA NEWLANDS AVE.
BURLINGAME CA. 94010
Zoning: RL-A

4943 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDSIGN.COM



Title : Proposed Building Section	Job No. : 22-47	Drawn : TIM RADEZ	Date : 10-22-22
Project : MR. & MRS. ROCHE 1557 NEWLANDS AVE. BURLINGAME CA. 94010			

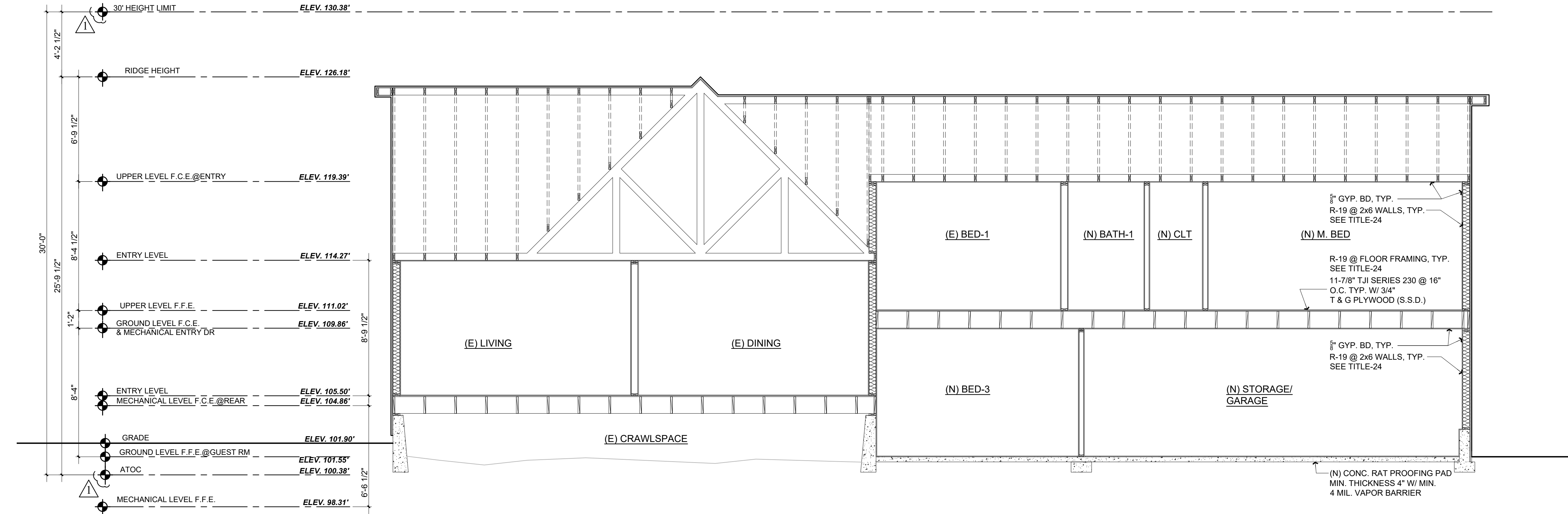
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Scale: See Details

APN#: 028-295-220

BUILDING SET
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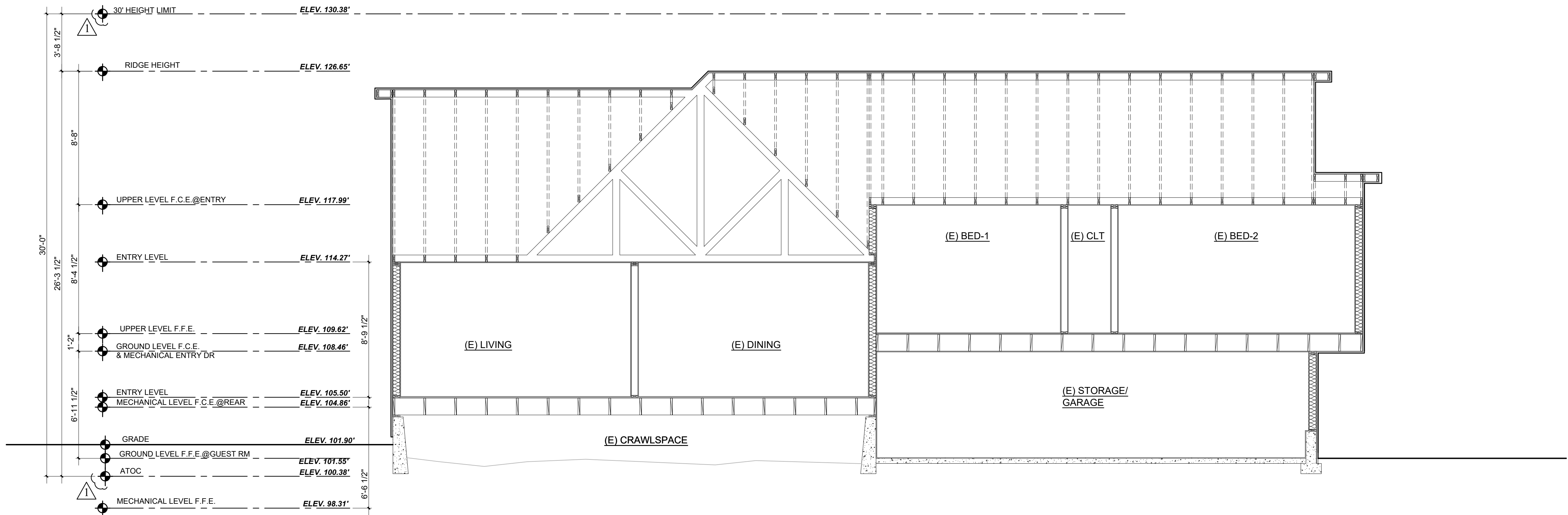
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PROPOSED BUILDING SECTION

Scale: 1/4 = 1'-0"

1
A4.1



EXISTING BUILDING SECTION

Scale: 1/4 = 1'-0"

2
A4.1

Revisions		
Rev.:	Description:	Date:
001	Response to Comments	3/20/23
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Contractor :
TBA NEWLANDS AVE.
BURLINGAME CA. 94010

Owner :
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APN#: 028-295-220

BUILDING SET
PLANNING SET

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DESIGN ■ PLANNING

Tim Radienz

Title : Proposed Building Section

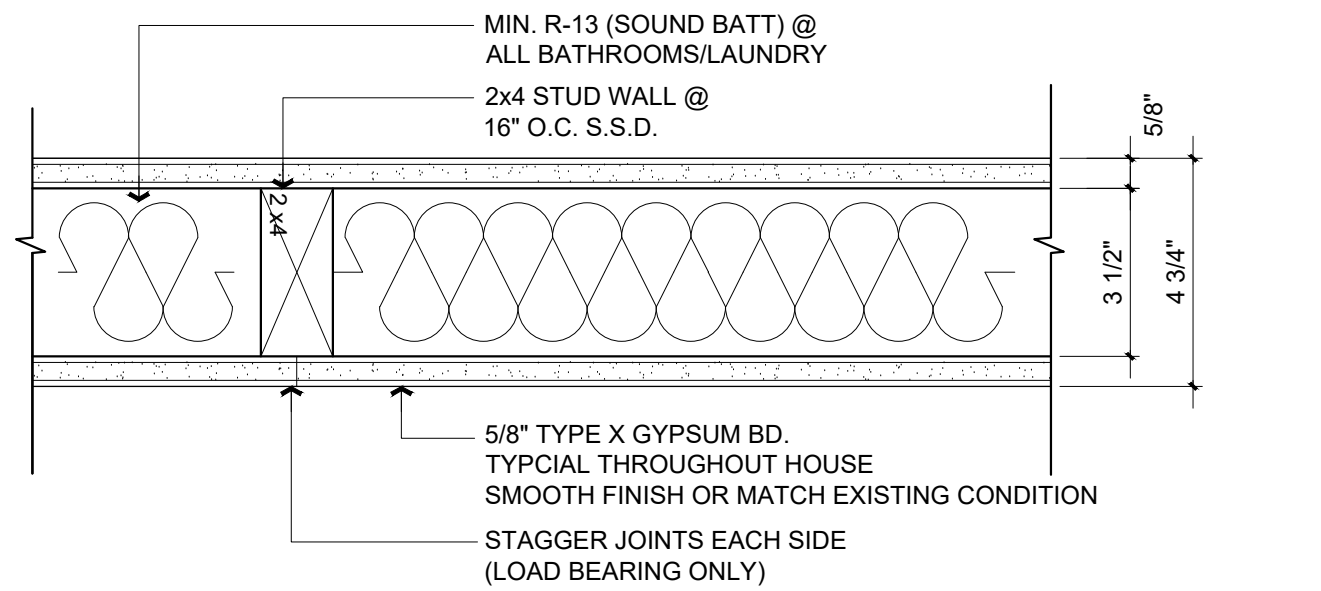
Project : MR. & MRS. ROCHE
1557 NEWLANDS AVE.
BURLINGAME CA. 94010

Job No. : 22-47

Drawn : TIM RADIENTZ

Date : 10-22-22

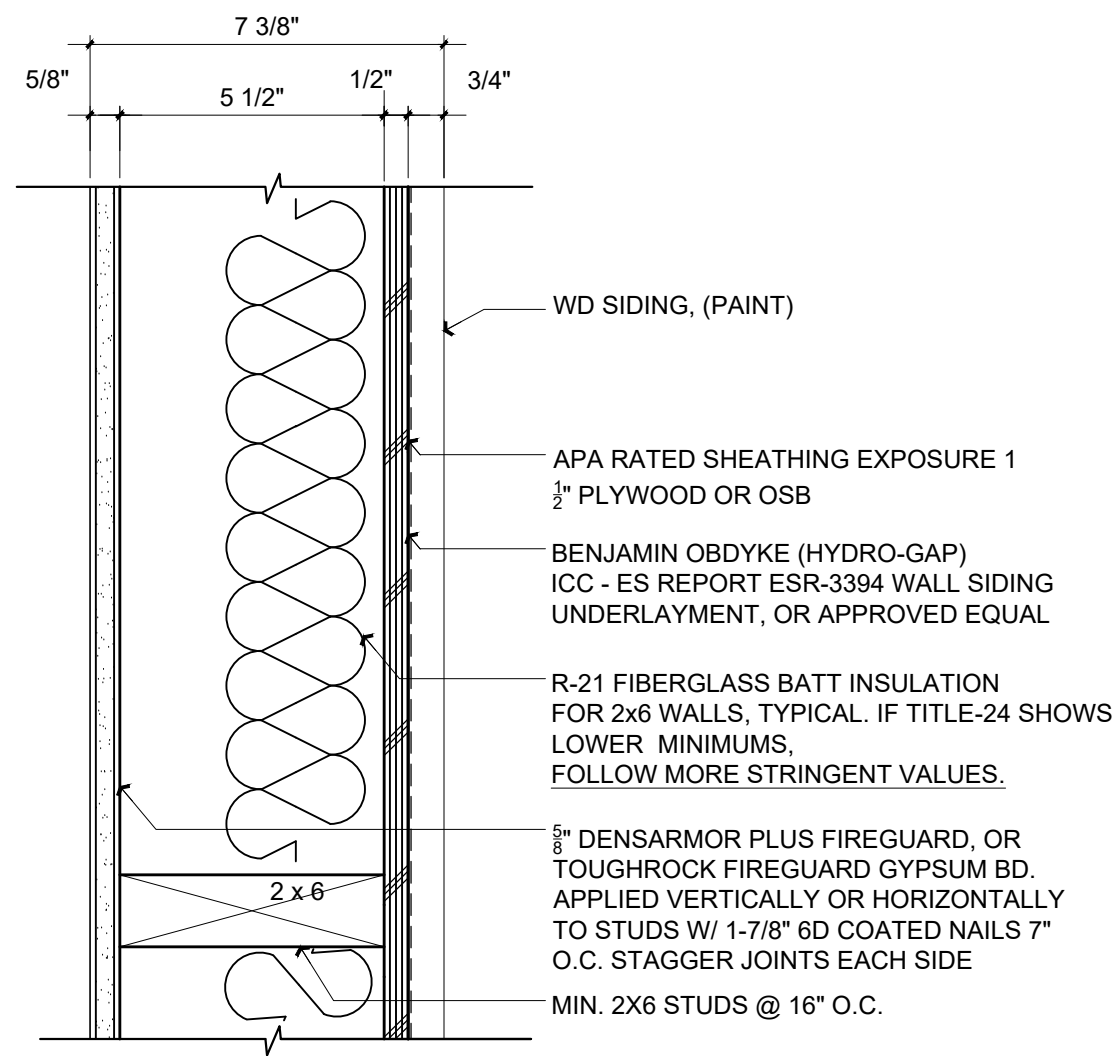
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INTERIOR WALL DTLS.

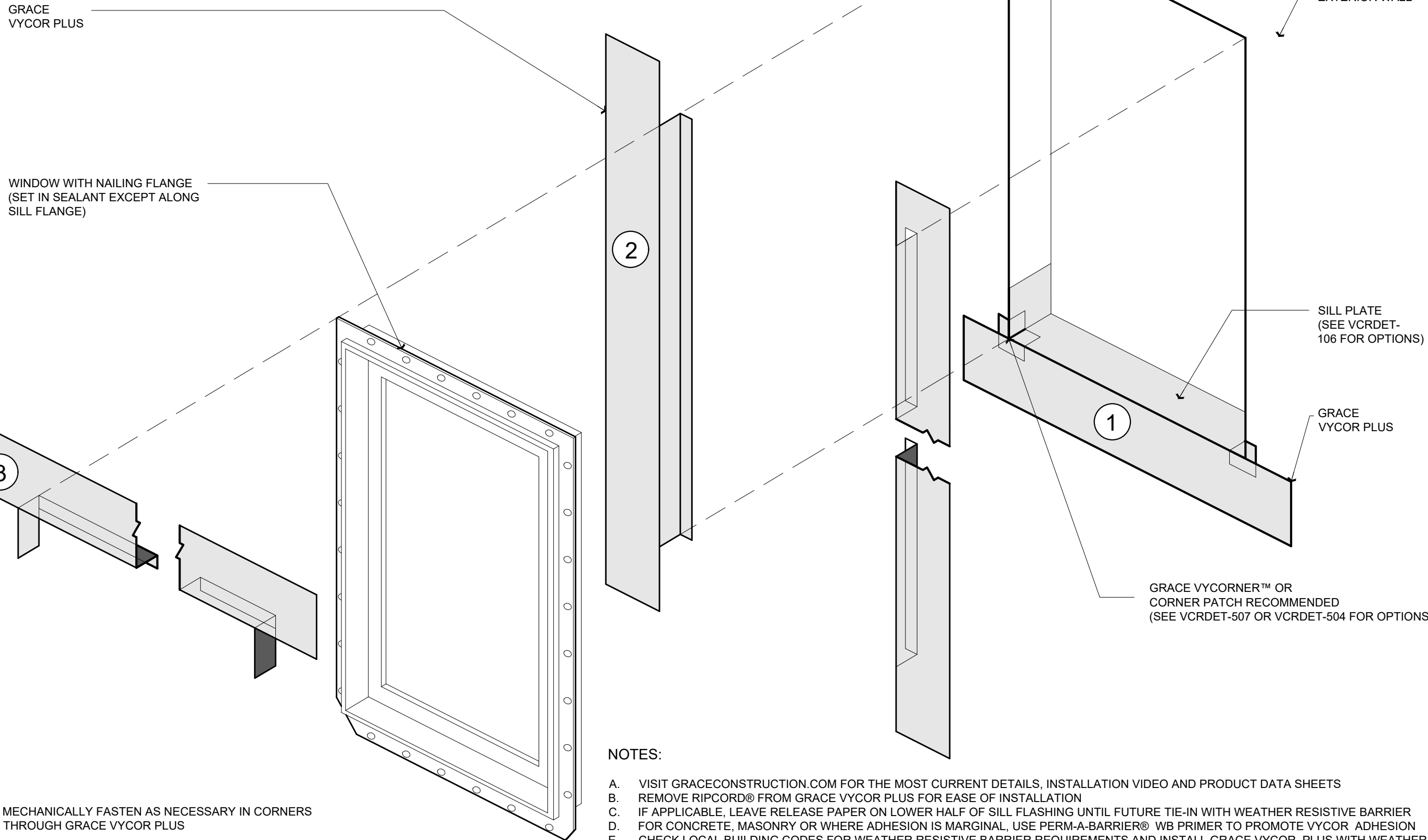
Scale: 3" = 1'-0"

1
A5.0



EXT. WALL DTLS.

2
A5.0



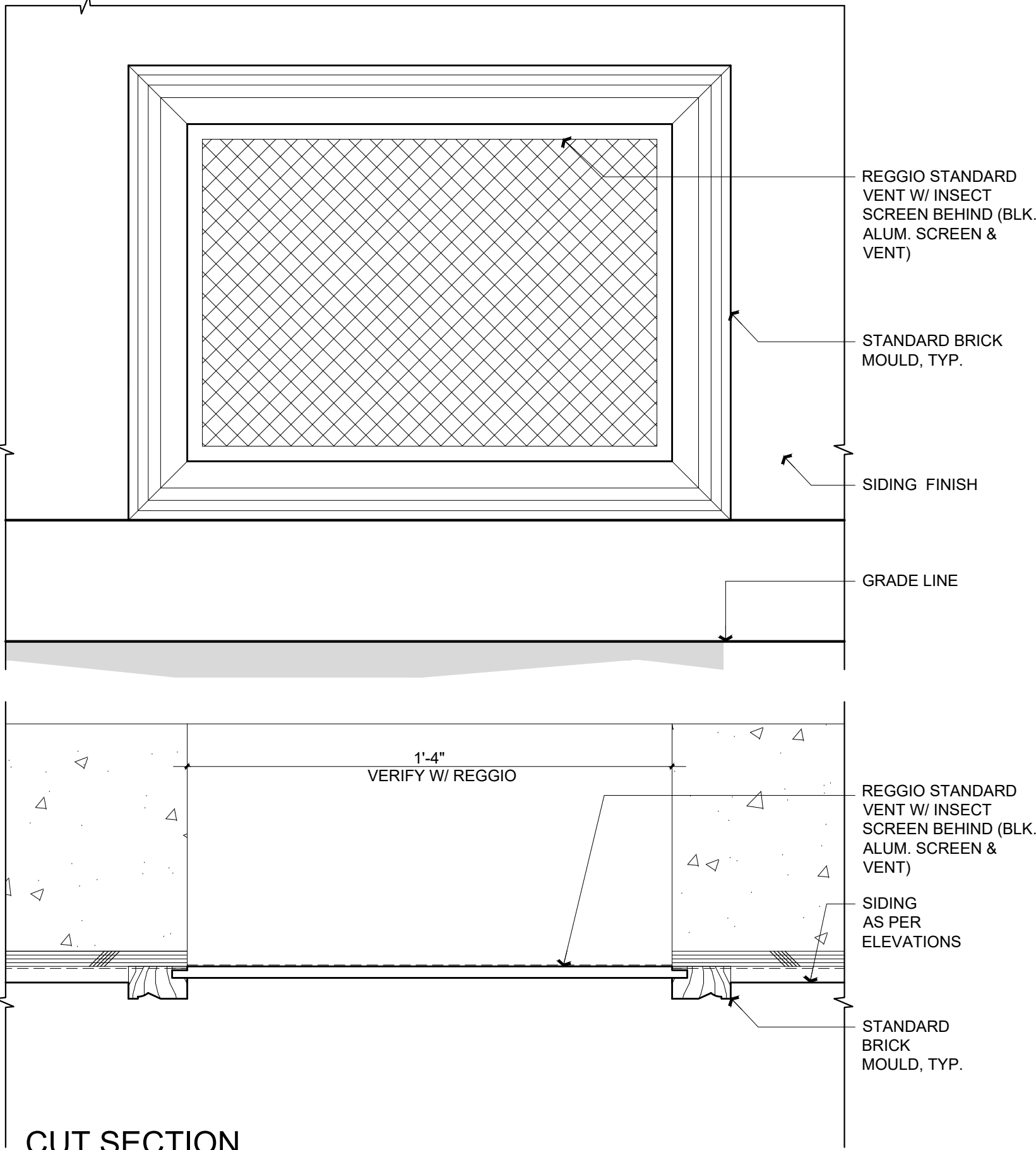
WINDOW FLASHING DTLS.

- NOTES:
- VISIT GRACECONSTRUCTION.COM FOR THE MOST CURRENT DETAILS, INSTALLATION VIDEO AND PRODUCT DATA SHEETS
 - REMOVE RIPCORDE® FROM GRACE VYCOR PLUS FOR EASE OF INSTALLATION
 - IF APPLICABLE, LEAVE RELEASE PAPER ON LOWER HALF OF SILL FLASHING UNTIL FUTURE TIE-IN WITH WEATHER RESISTIVE BARRIER
 - FOR CONCRETE, MASONRY OR WHERE ADHESION IS MARGINAL, USE PERMA-BARRIER® WB PRIMER TO PROMOTE VYCOR ADHESION
 - CHECK LOCAL BUILDING CODES FOR WEATHER RESISTIVE BARRIER REQUIREMENTS AND INSTALL GRACE VYCOR PLUS WITH WEATHER RESISTIVE BARRIER TO FORM WATER-SHEDDING LAPS
 - INSTALL WINDOW PER MANUFACTURER'S RECOMMENDATION AND USE APPROPRIATE SEALANT FOR WINDOW AND WOOD BUCK
 - DETAIL ALSO RELEVANT FOR GRACE VYCOR V40 AND VYCOR BUTYL

Scale: N.A.

3
A5.0

ELEVATION

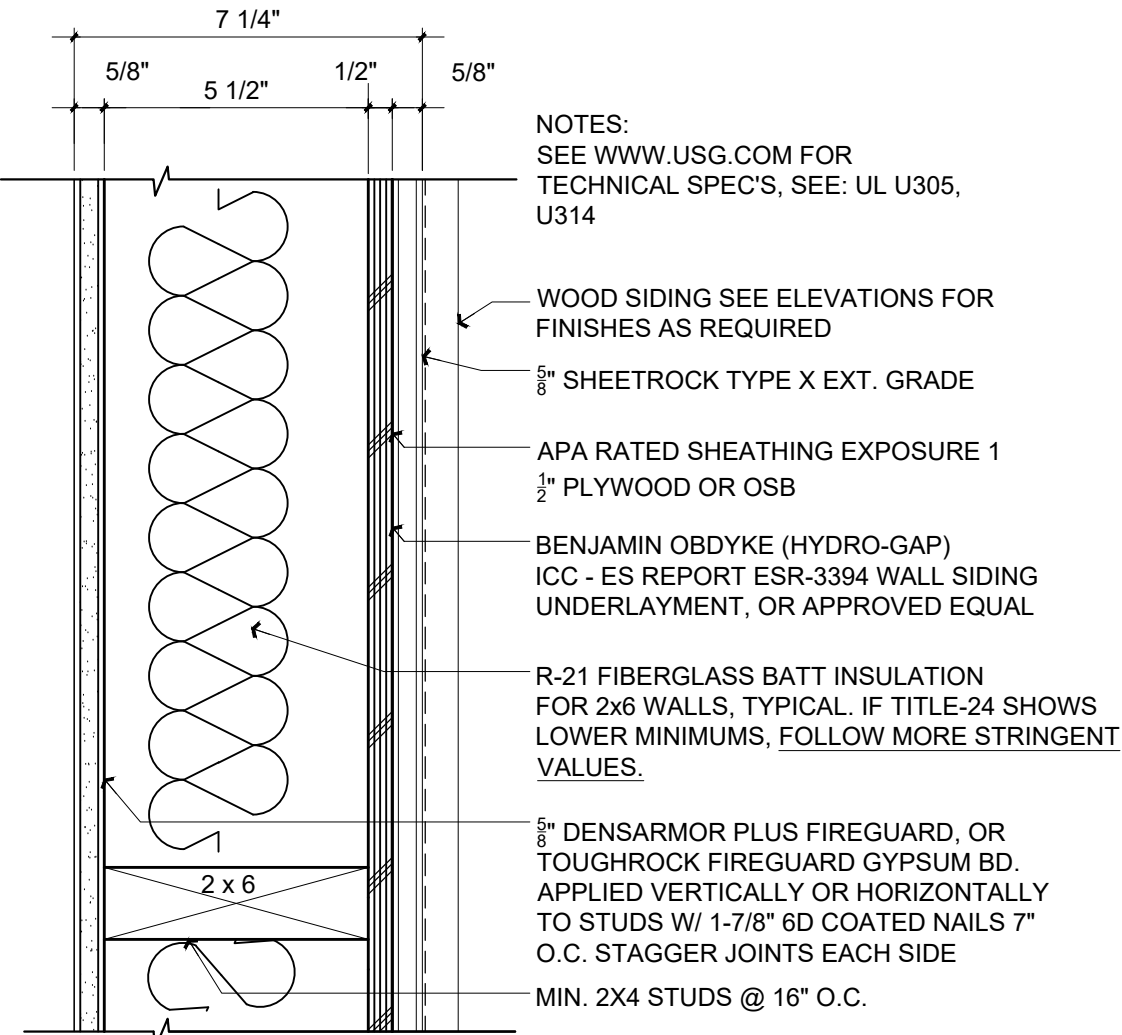


CUT SECTION

(N) EXT. WALL VENT DTLS.

Scale: 3" = 1'-0"

4
A5.0

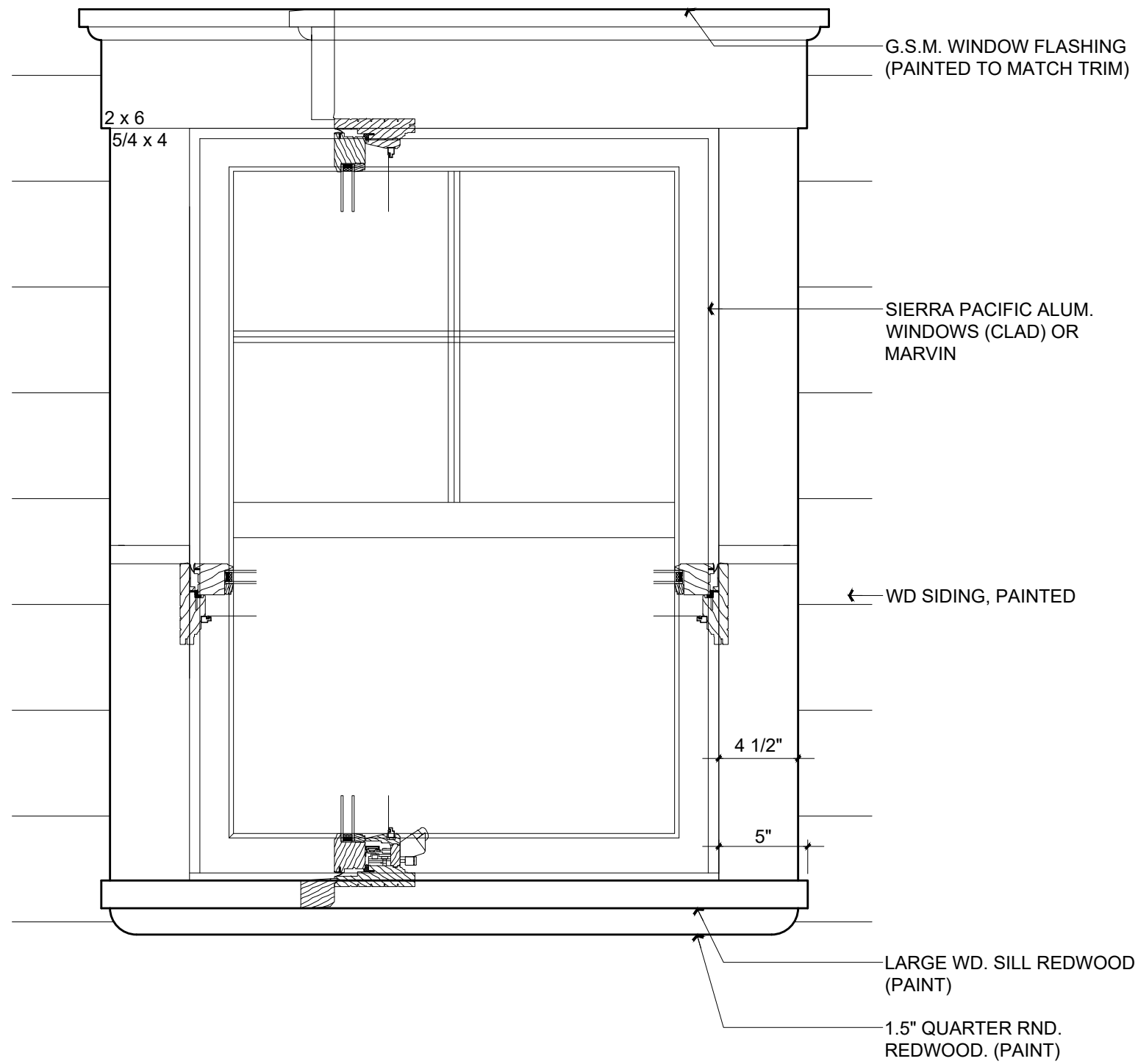


1-HR RATED EXT. WALL

GA FILE NO. WP 8105

Scale: 3" = 1'-0"

6
A5.0



TYPICAL WINDOW DETAIL

Sierra Pacific or Marvin or Equal

Scale: 3" = 1'-0"

5
A5.0

Title : Building Details

Project : MR. & MRS. ROCHE
1557 NEWLANDS AVE.
BURLINGAME CA. 94010

Job No. : 22-47 Drawn : TIM RADENZ Date : 10-22-22

Owner :
TBA NEWLANDS AVE.
BURLINGAME CA. 94010
Zoning: RL-A

Contractor :
4943 SILVER SPRINGS DRIVE
Park City, UT 84098
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E-mail: TIMEFORMONEDSIGN.COM

BUILDING SET
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A5.0

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SURVEYOR NOTES:

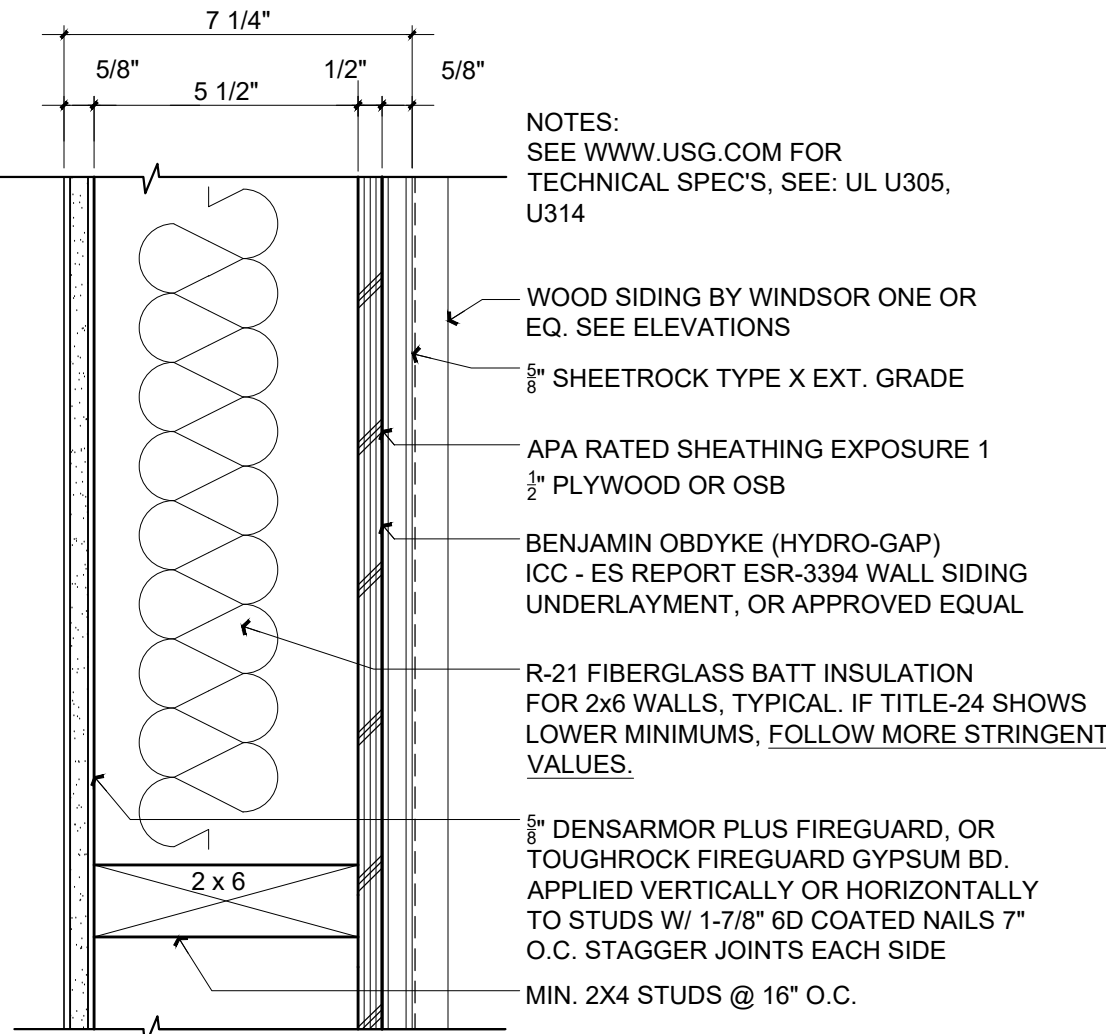
1. AT THE TIME OF THE INSPECTION FOR THE FORM AND STEEL WORK FOR THE FOUNDATION OF THE NEW DETACHED GARAGE, THE LICENSED SURVEYORS HUBS / STAKES WITH THEIR LICENSE NUMBER WILL BE IN PLACE WITH THE STRING LINE SET UP FROM BATTER BOARD TO BATTER BOARD.

EV CHARGERS

1. SINCE THERE ARE TWO PARKING SPACES, TWO EV CHARGERS ARE REQUIRED. ONE IS A LEVEL 2 EV READY CIRCUIT. ADD THE FOLLOWING TO THE PLANS: EV LEVEL 2 READY CIRCUIT EQUIPPED WITH RACEWAY, WIRING, RECEPTACLE AND ELECTRICAL CAPACITY. WITH A MINIMUM 208/240V, 40 AMP CIRCUIT WITH A RECEPTACLE LABELED "EV VEHICLE OUTLET," OR, WITH ELECTRICAL VEHICLE SUPPLY EQUIPMENT WITH A MINIMUM OUTPUT OF 30 AMPS. THEN, FOR THE LEVEL 1 READY SPACE, ADD THE FOLLOWING: PARKING SPACE SHALL BE EQUIPPED WITH RACEWAY, WIRING, RECEPTACLE AND ELECTRICAL CAPACITY TO THE EV CHARGING STATION. A MINIMUM 110V, 20 AMP CIRCUIT WITH A RECEPTACLE LABELED "EV VEHICLE OUTLET," OR, ELECTRIC VEHICLE SUPPLY EQUIPMENT. ALSO, PLEASE NOTE, A SECOND LEVEL 2 CHARGER CAN BE PROVIDED IN LIEU OF THE LEVEL 1 CHARGER.

FIRE RATING NOTES:

1. EXTERIOR BEARING WALLS LESS THAN 5' FEET FROM THE PROPERTY LINE WILL BE BUILT OF ONE-HOUR FIRE RATED CONSTRUCTION, 2022 CRC TABLE R302.1(1) OR 2022 CBC, TABLE 602.2. ROOF EAVES WILL NOT PROJECT WITHIN 2' FT. OF PROPERTY LINE 2022 CRC TABLE R302.1 OR 2022 CBC TABLE 705.2



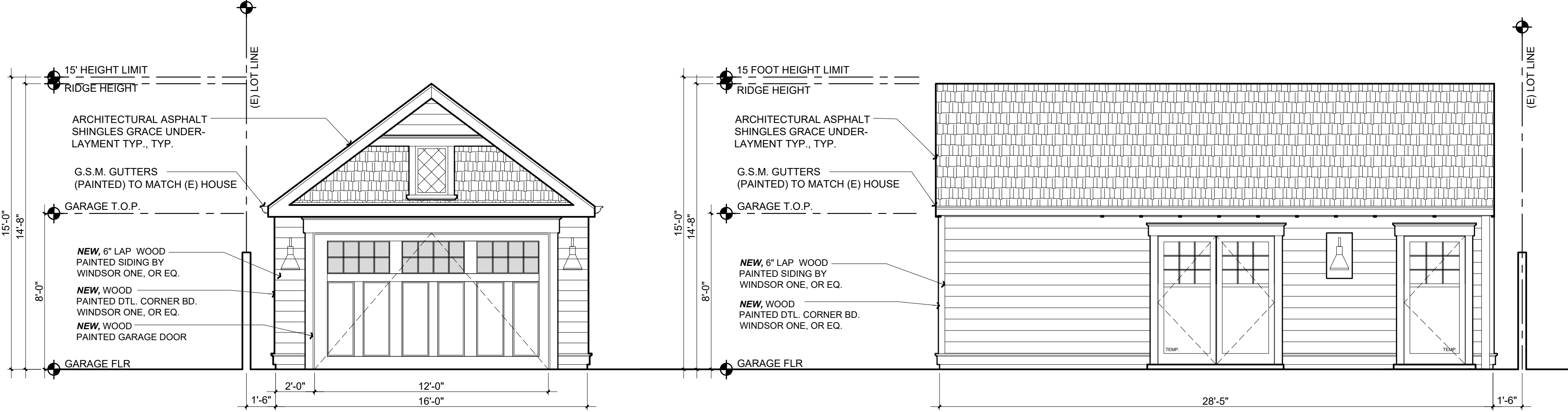
1-HR RATED EXT. WALL

UL DES. U305, U314 (WWW.USG.COM)
PER 2022 CRC SECTION R302, TABLES R302.1 (1) + (2)

(1 HR RATED)

Scale: 3" = 1'-0"

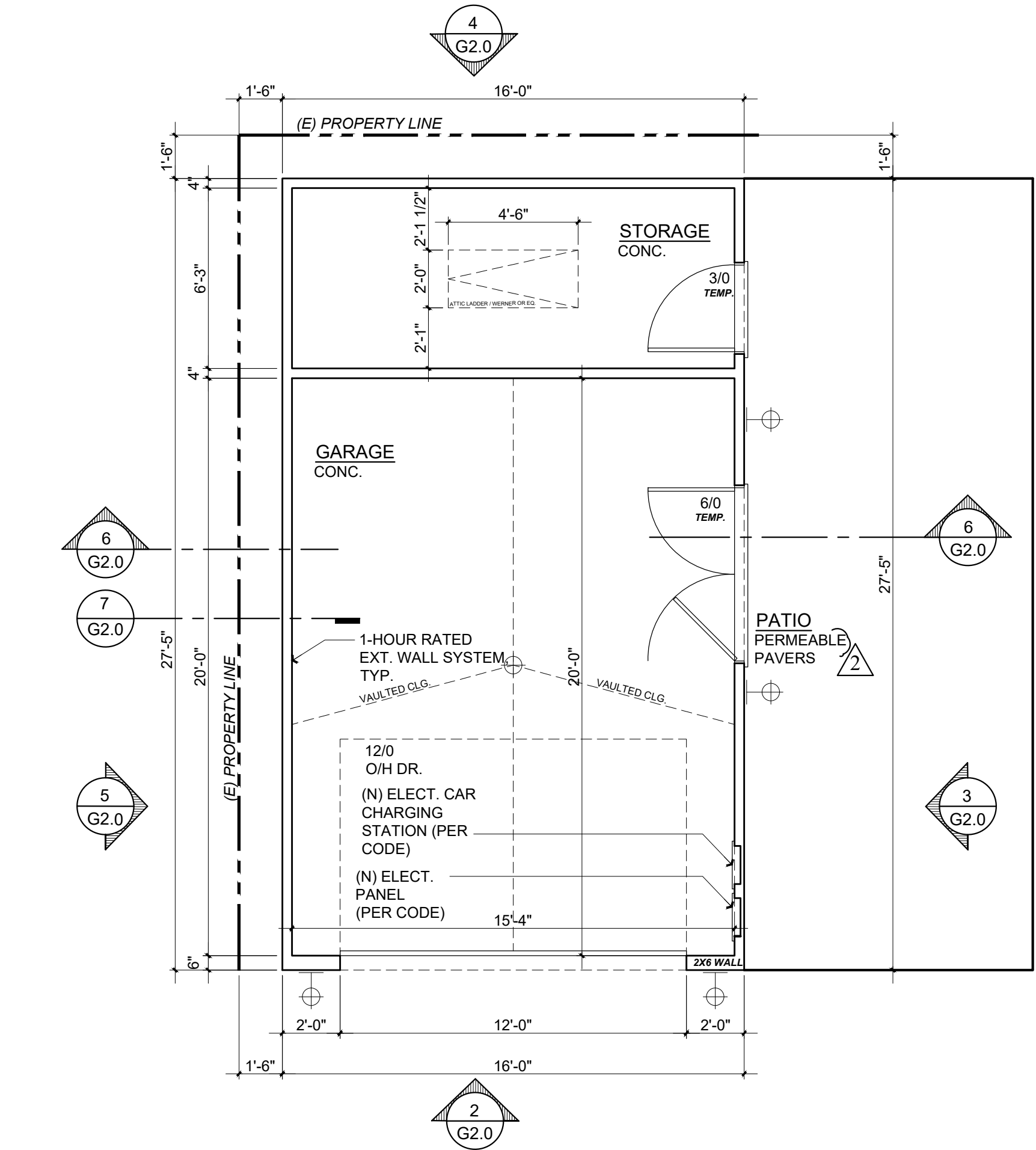
7
G2.0



PROPOSED GARAGE FLOORPLAN

Scale: 1/4 = 1'-0"

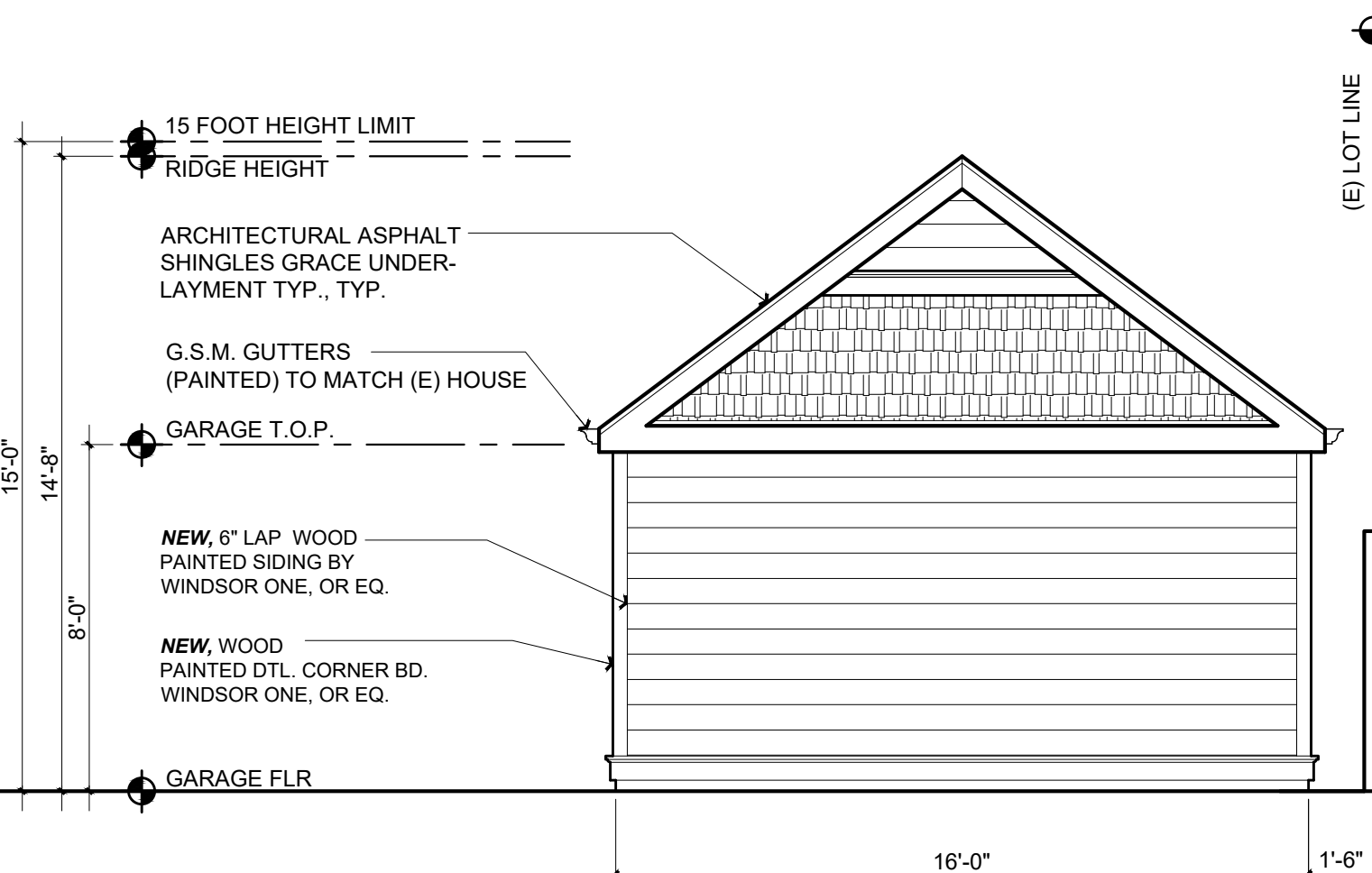
1
G2.0



PROPOSED FRONT ELEVATION

Scale: 1/4 = 1'-0"

2
G2.0



PROPOSED REAR ELEVATION

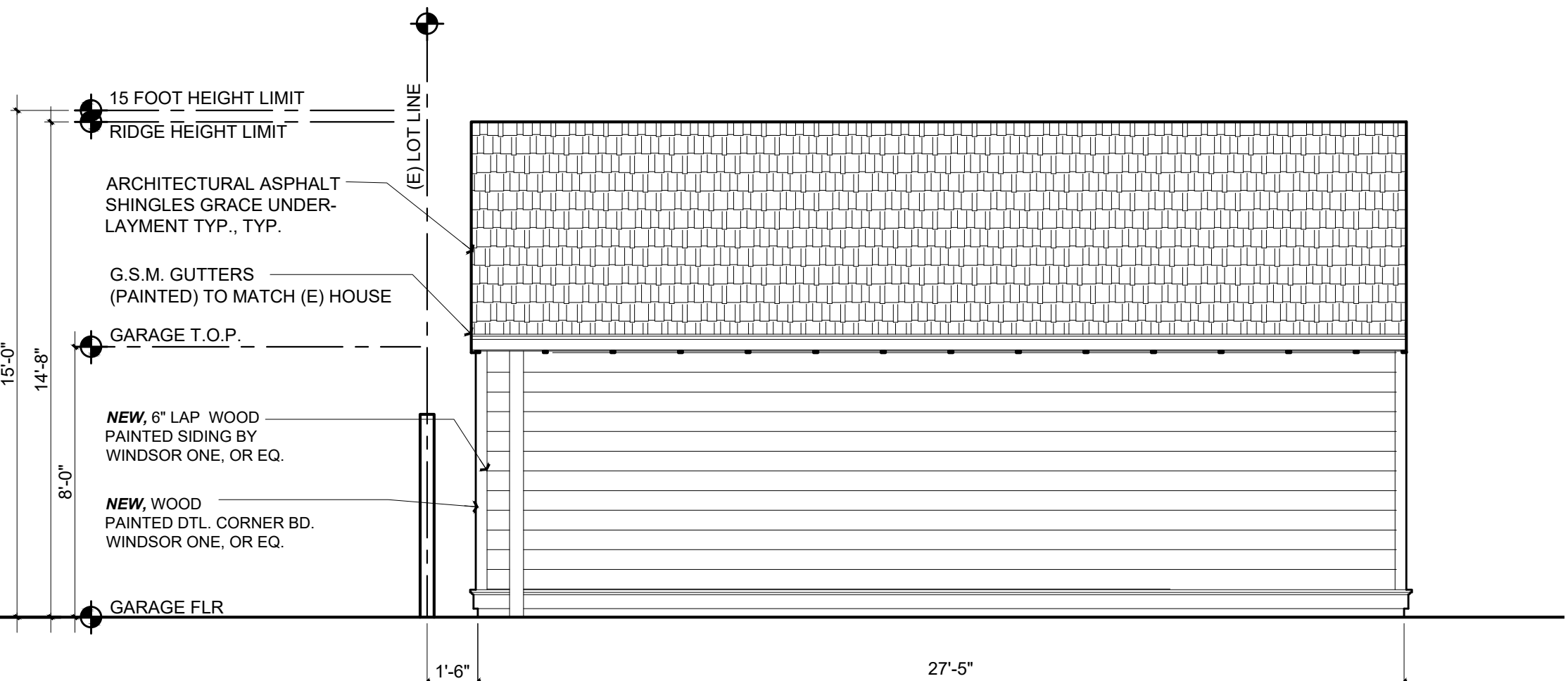
Scale: 1/4 = 1'-0"

4
G2.0

PROPOSED RIGHT ELEVATION

Scale: 1/4 = 1'-0"

3
G2.0



PROPOSED LEFT ELEVATION

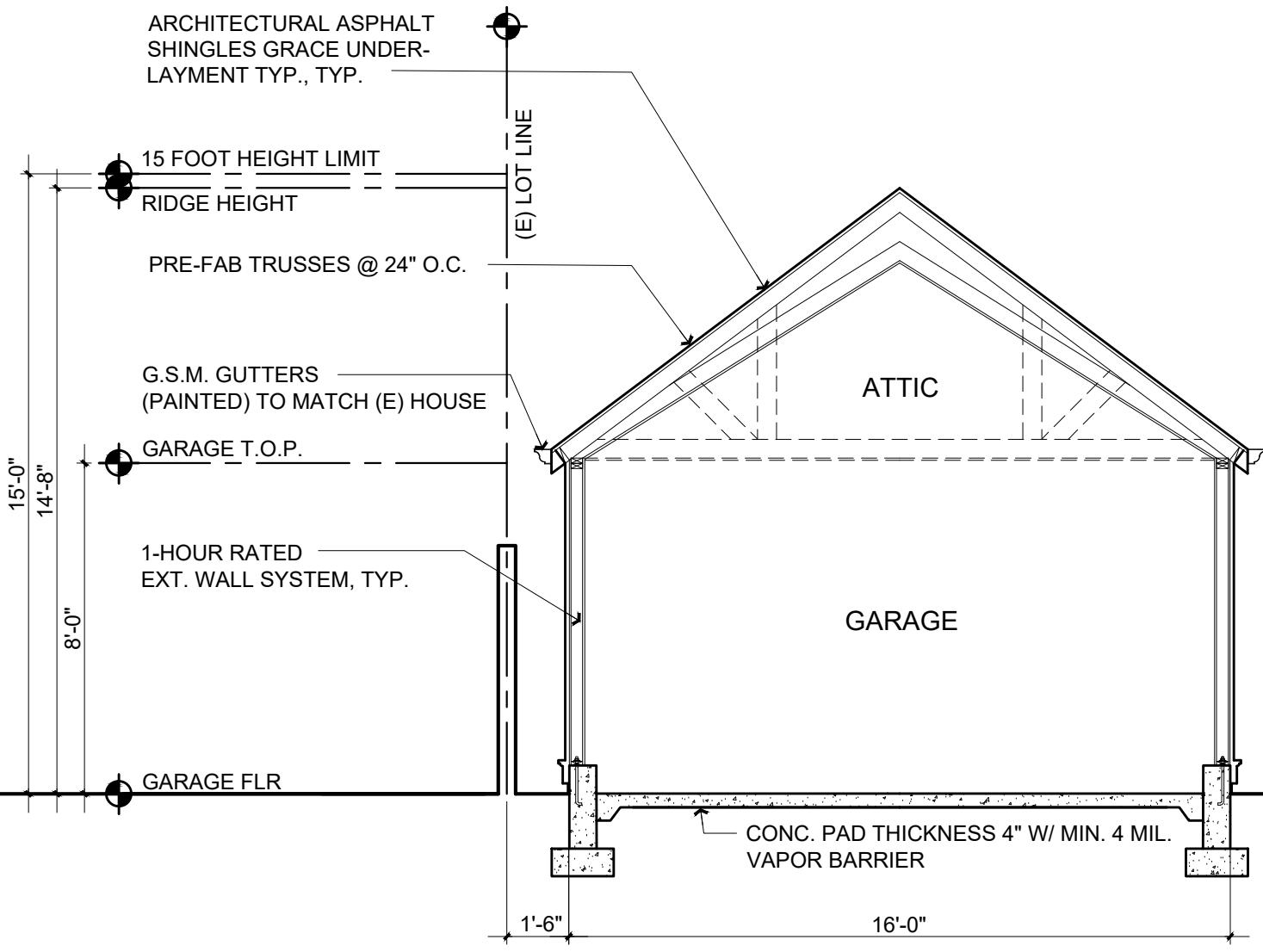
Scale: 1/4 = 1'-0"

5
G2.0

PROPOSED BLDG SECTION

Scale: 1/4 = 1'-0"

6
G2.0



Rev. #	Description	Date
001	Response to Comments	3/20/23
002	Response to Comments	4/25/23
003		
004		
005		
006		

Contractor :

Owner :

4943 SILVER SPRINGS DRIVE
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1557 NEWLANDS AVE.
BURLINGAME CA. 94010

Zoning: RL-A

APN#: 028-295-220

BUILDING SET
PLANNING SET

Title : Proposed Garage Plans

Project : MR. & MRS. ROCHE
1557 NEWLANDS AVE.
BURLINGAME CA. 94010

Job No. : 22-47

Drawn : TIM RADIENZ

Date : 10-22-22

form+one
DESIGN ■ PLANNING

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ROOM FINISH SCHEDULE

	ROOM	FLOORING	PAINT				REMARKS	PAINT SPECS.
			WALLS	CEILING	MILLWORK	CROWN		
LOWER LEVEL	STORAGE/GARAGE	WD OR TILE	TBS	TBS	PAINT (TBS)	TBS		INTERIORS: MAIN ROOMS: AURA, NATURA(GREEN OPTION), REGAL SELECT, OR APPROVED EQUIVALENT CEILINGS: WATERBORNE CEILING PAINT, OR APPROVED EQUIVALENT BATHROOMS: AURA BATH AND SPA, OR APPROVED EQUIVALENT EXTERIORS: HOUSE: AURA, REGAL SELECT, OR APPROVED EQUIVALENT CAL GREEN NOTES: 1. PAINTS AND COATINGS WILL COMPLY WITH VOC LIMITS PER CGC §4.504.2.2 2. DOCUMENTATION PROVIDED THAT VERIFIES COMPLIANCE WITH VOC FINISH MATERIALS. 2022 CGC §4.504.2.4 3. CARPET SYSTEM INSTALLED IN THE BUILDING INTERIOR WILL MEET THE TESTING AND PRODUCT REQUIREMENTS FOUND IN THE 2022 CALIFORNIA GREEN BUILDING CODE. 2022 CGC §4.504.3 4. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80% OF THE FLOOR AREA RECEIVING RESILIENT FLOORING WILL COMPLY WITH THE CALIFORNIA GREEN BUILDING CODE REQUIREMENTS. 2022 CGC §4.504.4 5. HARDWOOD PL WOOD, PARTICLEBOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR AND EXTERIOR OF THE BUILDING WILL COMPLY WITH THE LOW FORMALDEHYDE EMISSION STANDARDS. 2022 CGC §4.504.5 6. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC AND OTHER REQUIREMENTS PER CGC 4.504.2.3 7. ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL FOLLOW LOCAL AND REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT STANDARDS 2022 CGC §4.504.2.1 8. NEW MANDATORY U-FACTOR (0.58) FOR FENESTRATION + SKYLIGHTS §150.0 (q) 9. REDUCED U-FACTOR (0.30) FOR HIGH PERFORMANCE WINDOWS 2022 CAL ENERGY CODE §150.1 (c)3 A 10. MAX. TOTAL AREA, 20%, NO MAX. FOR WEST FACING AREA, TABLE 150.1-A, AND B 11. DOOR MAX. U-FACTOR 0.20, TABLE 150.1-A, AND B
	DEN/OFFICE	WD OR TILE	TBS	TBS	PAINT (TBS)	TBS		
	BED 3	WD OR TILE	TBS	TBS	PAINT (TBS)	TBS		
	BATH 3	TILE	TBS	TBS	PAINT (TBS)	TBS		
	BATH 4	TILE	TBS	TBS	PAINT (TBS)	TBS		
ENTRY LEVEL	PATIO	STONE	TBS	TBS	PAINT (TBS)	TBS		
	TERRACE	TILE / BRICK	TBS	TBS	PAINT (TBS)	TBS		
	ENTRY	WOOD	TBS	TBS	PAINT (TBS)	TBS		
	NOOK	WOOD	TBS	TBS	PAINT (TBS)	TBS		
	LIVING	WOOD	TBS	TBS	PAINT (TBS)	TBS		
UPPER LEVEL	DINING	WOOD	TBS	TBS	PAINT (TBS)	TBS		
	KITCHEN	WOOD	TBS	TBS	PAINT (TBS)	TBS		
	PWD	TILE	TBS	TBS	PAINT (TBS)	TBS		
	MUD	TILE	TBS	TBS	PAINT (TBS)	TBS		
	HALL	WOOD	TBS	TBS	PAINT (TBS)	TBS		
	BED 2	WOOD	TBS	TBS	PAINT (TBS)	TBS		
	BATH-2	TILE	TBS	TBS	PAINT (TBS)	TBS		
	BED-3	WOOD	TBS	TBS	PAINT (TBS)	TBS		
	BATH-3	TILE	TBS	TBS	PAINT (TBS)	TBS		
	LAUNDRY	TILE	TBS	TBS	PAINT (TBS)	TBS		
	M. BED	WOOD	TBS	TBS	PAINT (TBS)	TBS		
	M. BATH	TILE	TBS	TBS	PAINT (TBS)	TBS		

ROOM FINISH SCHEDULE

Scale: NA

1
A9.0

EXTERIOR DOORS & WINDOWS

		LOCATION		DOORS				MATERIALS				DETAILS				HDWR.		REMARKS		NOTES
				DOOR SIZE WxH	TYPE	SYM.		CORE	EXT. FIN.	INT. FIN.	GLASS	HEAD	JAMB	SILL	TRIM	TYPE	FIN.			
GARAGE	001	GARAGE		**SEE PLANS**	GARAGE DR.	P		D.F.	CEDAR/PRT	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 7		1. WOOD/CLAD KOLBE ULTRA WINDOWS + DOORS, WITH S.D.L 3/4" MUNTIN BARS 2. EGRESS PER CODE 3. DOOR BY SIMPSON OR EQUAL, VERIFY DESIGN WITH OWNER & DESIGNER 4. VERIFY OPENING SIZE W/ CONTRACTOR 5. PRIVACY GLASS, OPTION BY LOCAL ARTISAN 6. DOOR BY SIMPSON FIBERGLASS DOOR OR EQ. 7. OVERHEAD DOOR (SHOP DRAWING REQUIRED, VERIFY SIDE MOUNT MOTOR IN FIELD 8. TRANSOM ABOVE UNIT TO BE LEADED WINDOW MADE BY LOCAL ARTISAN. 9. NA 10. NA 11. (*) FIELD MEASURE
	002	GARAGE		**SEE PLANS**	FRENCH DR.	Q		D.F.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1		
	100	BED 3		**SEE PLANS**		D.H.	A	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1		
	101	STORAGE/GARAGE		**SEE PLANS**		D.H.	B	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1		
	102	STORAGE/GARAGE		**SEE PLANS**		D.H.	B	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1		
LOWER LEVEL	103	STORAGE/GARAGE		**SEE PLANS**	MULTI SLIDER	C		PINE	D.F. / P.T.	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1,2		HARDWARE FINISH SPECIFICATION: ENTRY DOOR. HARDWARE: (BY OWNER) AND INSTALLED BY CONTRACTOR WINDOW HARDWARE: WHITE, TYP. (VERIFY W/ OWNER) CAL. GREEN REQUIREMENTS 1. SEE CAL GREEN REQUIREMENTS IN ROOM SCHEDULE SAFETY GLAZING NOTES (CRC R308.4) A. ALL SLIDING + SWINGING GLASS DOORS TO HAVE SAFETY GLAZING. B. GLAZING IN SHOWERTUB/SAUNA ROOMS LESS THAN 60" ABOVE THE STANDING SURFACE AND LESS THAN 60" MEASURED HORIZONTALLY FROM THE WATERS EDGE OF A BATHTUB, HOT TUB, SPA, WHIRLPOOL OR SWIMMING POOL. C. GLAZING WITHIN A 24" ARC OF A DOOR THAT IS LESS THAN 60" ABOVE THE FLOOR. D. GLAZING WHERE THE EXPOSED AREA IS GREATER THAN 9 SQ. FT., BOTTOM IS LESS THAN 18" AND AT LEAST 36" ABOVE THE FLOOR, AND ADJACENT TO WALKING SURFACES. E. WITHIN 60" OF THE BOTTOM TREAD OF A STAIRWAY AND LESS THAN 36" ABOVE THE FLOOR. F. GLAZING IN GUARDS & RAILINGS. G. GLAZING ADJACENT TO STAIRWAYS, LANDINGS, AND RAMPS WITHIN 36" HORIZONTALLY OF THE WALKING SURFACE LESS THAN 36" ABOVE FINISH FLOOR.
	104	DEN / OFFICE		**SEE PLANS**	MULTI SLIDER	D		PINE	D.F. / P.T.	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1,2		
	105	DEN / OFFICE		**SEE PLANS**		D.H.	B	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1		
	106	DEN / OFFICE		**SEE PLANS**		D.H.	B	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1		
	107	BATH 4		**SEE PLANS**	AWN.	E		PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1		
ENTRY LEVEL	200	ENTRY		**SEE PLANS**	ENTRY DR.	F		PINE	D.F. / P.T.	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1,2		HARDWARE FINISH SPECIFICATION: ENTRY DOOR. HARDWARE: (BY OWNER) AND INSTALLED BY CONTRACTOR WINDOW HARDWARE: WHITE, TYP. (VERIFY W/ OWNER) CAL. GREEN REQUIREMENTS 1. SEE CAL GREEN REQUIREMENTS IN ROOM SCHEDULE SAFETY GLAZING NOTES (CRC R308.4) A. ALL SLIDING + SWINGING GLASS DOORS TO HAVE SAFETY GLAZING. B. GLAZING IN SHOWERTUB/SAUNA ROOMS LESS THAN 60" ABOVE THE STANDING SURFACE AND LESS THAN 60" MEASURED HORIZONTALLY FROM THE WATERS EDGE OF A BATHTUB, HOT TUB, SPA, WHIRLPOOL OR SWIMMING POOL. C. GLAZING WITHIN A 24" ARC OF A DOOR THAT IS LESS THAN 60" ABOVE THE FLOOR. D. GLAZING WHERE THE EXPOSED AREA IS GREATER THAN 9 SQ. FT., BOTTOM IS LESS THAN 18" AND AT LEAST 36" ABOVE THE FLOOR, AND ADJACENT TO WALKING SURFACES. E. WITHIN 60" OF THE BOTTOM TREAD OF A STAIRWAY AND LESS THAN 36" ABOVE THE FLOOR. F. GLAZING IN GUARDS & RAILINGS. G. GLAZING ADJACENT TO STAIRWAYS, LANDINGS, AND RAMPS WITHIN 36" HORIZONTALLY OF THE WALKING SURFACE LESS THAN 36" ABOVE FINISH FLOOR.
	201	NOOK		**SEE PLANS**	CASE/FIXED	G		PINE	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1, 2		
	202	NOOK		**SEE PLANS**		D.H.	B	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1		
	203	KITCHEN		**SEE PLANS**		D.H.	B	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1		
	204	KITCHEN		**SEE PLANS**		D.H.	B	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1		
	205	MUD		**SEE PLANS**		D.H.	H	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1		
	206	MUD		**SEE PLANS**	SERVICE DR.	I		PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1		
	207	DINING		**SEE PLANS**		D.H.	J	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1		
	208	LIVING		**SEE PLANS**		D.H.	B	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1		
	209	LIVING		**SEE PLANS**		D.H.	B	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1		
UPPER LEVEL	300	HALL		**SEE PLANS**		D.H.	B	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1		
	301	BATH 2		**SEE PLANS**		D.H.	L	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1		
	302	BED 2		**SEE PLANS**		D.H.	L	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1		
	303	BED 2		**SEE PLANS**		D.H.	L	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1		
	304	BED 2		**SEE PLANS**		D.H.	N	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1		
	305	M. BATH		**SEE PLANS**		D.H.	O	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1		
	306	M. BED		**SEE PLANS**		D.H.	N	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1		
	307	M. BED		**SEE PLANS**		D.H.	B	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1		
	308	M. BED		**SEE PLANS**		D.H.	B	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1		
	309	BATH 1		**SEE PLANS**	CASE	M		PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1		
	310	BED 1		**SEE PLANS**		D.H.	B	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1		
	311	BED 1		**SEE PLANS**		D.H.	B	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1		

EXT. DOORS & WINDOWS SCHEDULE

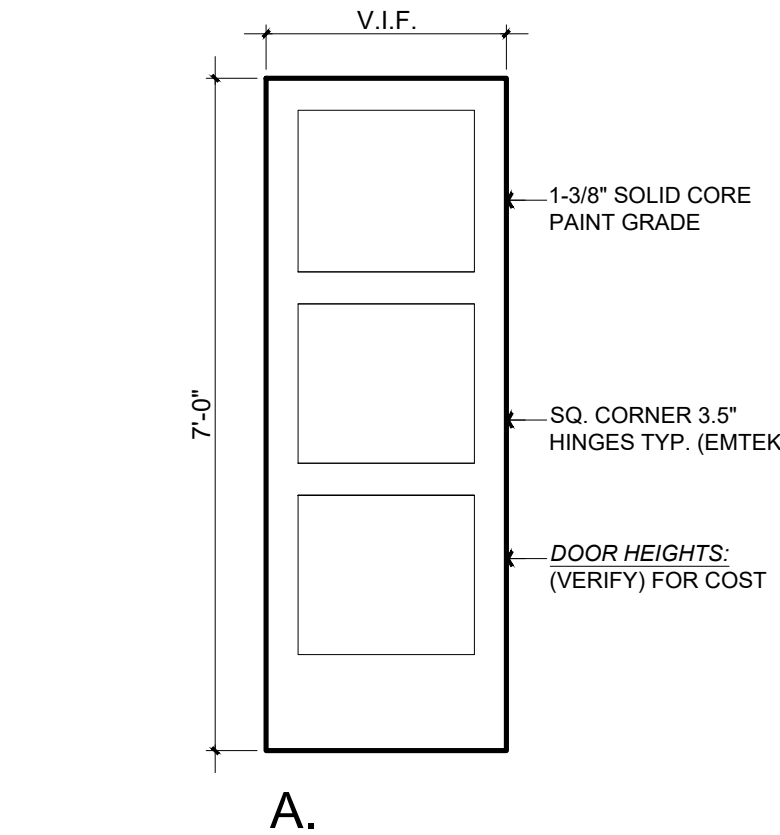
Scale: NA

2
A9.0

EXT. DOORS & WINDOWS ELEVATIONS

Scale: 1/4" = 1'-0"

4
A9.0



INT. DOORS ELEVATIONS

Scale: 1/2" = 1'-0"

5
A9.0

APPLIANCE SCHEDULE

NOTE: ALLOWANCE AND INSTALLED BY ALLOWANCE, CONTRACTOR TO INCLUDE BLOCKING / ROUGH-IN AS NEEDED PER SPEC. SHEETS

	ROOM	APPLIANCE TYPE	MANUF.	FINISH	MODEL #	REMARKS
FIRST FLOOR	KITCHEN	(N) RANGE	T.B.D.	T.B.D.	T.B.D.	T.B.D., TYPICAL DUAL FUEL
		(N) VENT HOOD	T.B.D.	T.B.D.	T.B.D.	T.B.D., MIN. 100 CFM, VENT TO EXTERIOR PER CODE
		(N) REFRIGERATOR	T.B.D.	T.B.D.	T.B.D.	T.B.D., INCLUDE WATER LINE TO REAR OF UNIT
		(N) DISHWASHER	T.B.D.	T.B.D.	T.B.D.	T.B.D.
		(N) DISPOSAL	T.B.D.	T.B.D.	T.B.D.	T.B.D.
		(N) MICROWAVE	T.B.D.	T.B.D.	T.B.D.	T.B.D., TYPICAL DRAWER STYLE
	MUD	(N) WASHER (N) DRYER (ELECT.)	T.B.D.	T.B.D.	T.B.D.	T.B.D. T.B.D., VENT TO EXTERIOR PER CODE
SECOND FLOOR	LAUNDRY	(N) WASHER (N) DRYER (ELECT.)	T.B.D.	T.B.D.	T.B.D.	T.B.D. T.B.D., VENT TO EXTERIOR PER CODE

APPLIANCE SCHEDULE

Scale: NA

6
A9.0

Title : Proposed Finish Schedule

Project : MR. & MRS. ROCHE
1557 NEWLANDS AVE.
BURLINGAME CA. 94010

Job No. : 22-47
Drawn : TIM RADIENZ
Date : 10-22-22

Contractor :

Owner :
TBA
1557 NEWLANDS AVE.
BURLINGAME CA. 94010

Zoning: R1-A

4943 SILVER SPRINGS DRIVE
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Revisions

Rev. : Description : Date :

001 Response to Comments
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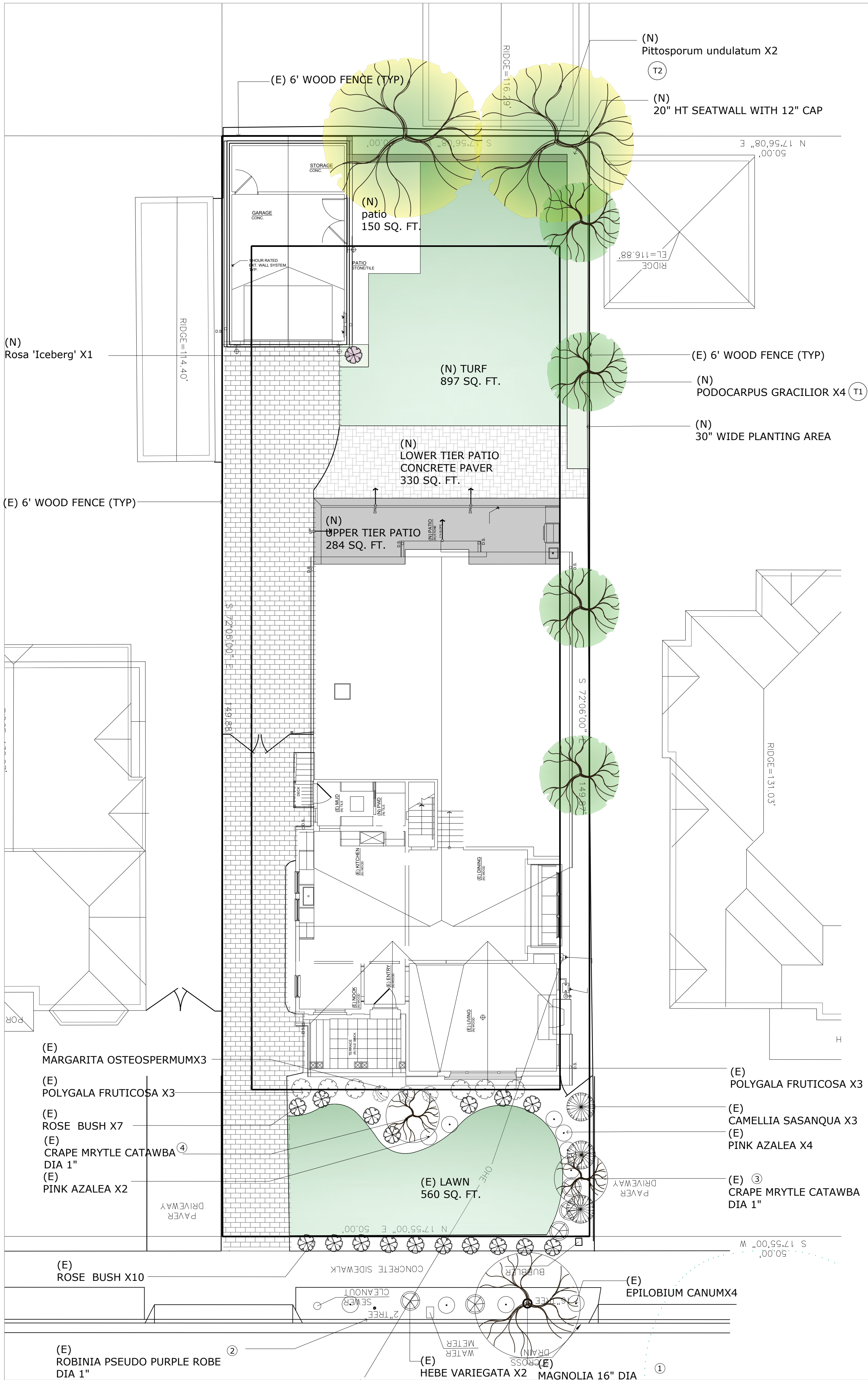
3/20/23

BUILDING SET
PLANNING SET

APN#: 028-295-220

A9.0

Sheet
Scale: See Details



Scope

Propose new landscape in the backyard to provide outdoor living space and screening plants along property line. All landscape at front yard is remained as is, including trees, shrubs and lawn. Tree protection to street trees during construction

Landscape Area Data (sq. ft.)

Site		
Front yard landscape (all existing remain as is)	Existing Planting area	187
	Existing Lawn	682
	Total	922
Backyard landscape	Patios	489
	Seatwall/planter	77
	planting area	178
	New turf	897
Total		1641

Tree List

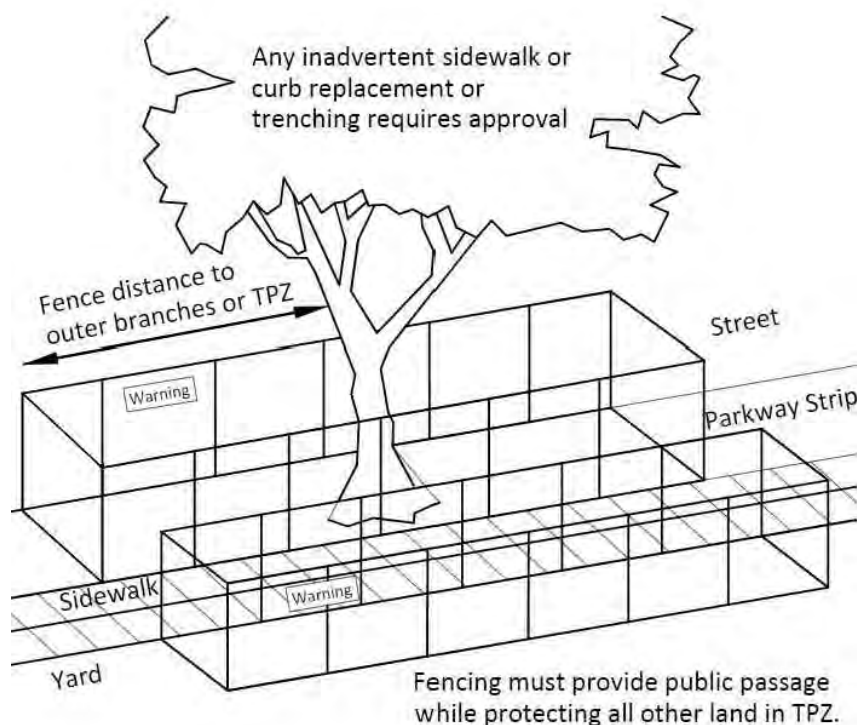
Symbol	#	Botanical Name	Common Name	Tree size (dia.) at DBH	Protected tree	Tree removal	Location	Notes
Existing Tree								
1		Magnolia grandiflora	Southern magnolia	16"	Yes	No	Street tree on Newlands Ave	Type II Tree Protection
2		Robinia pseudo purple robe	Purple Robe	1"	Yes	No	Street tree on Newlands Ave	Type II Tree Protection
3		Lagerstroemia indica 'Catawba'	Catawba Crape Myrtle	1"	No	No	Front yard	
4		Lagerstroemia indica 'Catawba'	Catawba Crape Myrtle	1"	No	No	Front yard	
New tree								
T1	4	Podocarpus gracilior	Fern Pine				side yard by fences	24" box, single trunk, min 8' in ht.
T2	2	Pittosporum undulatum	victoria box tree				Backyard yard by fences	24" box, min 8' in ht.

Tree Protection

1. TREE PROTECTION ZONES SHALL BE INSTALLED AND MAINTAINED THROUGHTOUT THE ENTIRE LENGTH OF THE THE PROJECT. PRIOR TO THE COMMENCEMENT OF ANY DEVELOPMENT PROJECT, A CHAIN LINK FENCE SHALL BE INSTALLED AT ABOUT THE DRIP LINE (WHERE POSSIBLE) OF ANY PROTECTED TREE WHICH WILL OR WILL NOT BE AFFECTED BY THE CONSTRUCTION.
2. THE DRIP LINE SHALL NOT BE ALTERED IN ANY WAY SO AS TO INCREASE THE ENCORACHMENT OF THE CONSTRUCTION. FENCING FOR THE PROTECTION ZONES SHOULD BE 5 FOOT TALL METAL CHAIN LINK TYPE SUPPORTED BY 2 INCH METAL POLES POUNDED INTO THE GROUND BY NO LESS THAN 2 FEET. THE SUPPORT POLES SHOULD BE SPAED NO MORE THAN 10 FEET APART ON CENTER.
3. SIGNS SHOULD BE PLACED ON FENCING SIGNIFYING "TREE PROTECTION ZONE - KEEP OUT". NO MATERIALS OR EQUIPMENT SHOULD BE STORED OR CLEANED INSIDE THE TREE PROTECTION ZONES. EXCAVATION, GRADING, SOIL DEPOSITS, DRAINAGE AND LEVELING ARE PROHIBITED WITHIN THE TREE PROTECTION ZONES.
4. NO WIRES, SIGNS, OR ROPES SHALL BE ATTACHED TO THE PROTECTED TREES ON SITE. UTILITY SERVICES AND IRRIGATION LINES SHALL ALL BE PLACED OUTSIDE OF THE TREE PROTECTION ZONES.
5. ANY PRUNING AND MAINTENANCE OF THE PROTECTED TREE SHALL BE CARRIED OUT BEFORE CONSTRUCTION BEGINS. THIS SHOULD ALLOW FOR ANY CLEARANCE REQUIREMENTS FOR BOTH THE NEW STRUCTURE AND ANY CONSTRUCTION MACHINERY. THIS WILL ELIMINATE THE POSSIBILITY OF DAMAGE DURING CONSTRUCTION. THE PRUNING SHOULD BE CARRIED OUT BY AN ARBORIST, NOT BY CONSTRUCTION PERSONNEL. NO LIMBS GREATER THAN 4" IN DIAMETER SHALL BE REMOVED.
6. ANY EXCAVATION IN GROUND WHERE THERE IS A POTENTIAL TO DAMAGE ROOTS OF 1" OR MORE IN DIAMETER SHOULD BE CAREFULLY HAND DUG. WHERE POSSIBLE, ROOTS SHOULD BE DUG AROUND RATHER THAN CUT.
7. IF ROOTS ARE BROKEN, EVERY EFFORT SHOULD BE MADE TO REMOVE THE DAMAGED AREA AND CUT IT BACK TO ITS CLOSEST LATERAL ROOT. A CLEAN CUT SHOULD BE MADE WITH A SAW OR PRUNERS. THIS WILL PREVENT ANY INFECTION FROM DAMAGED ROOTS SPREADING THROUGHOUT THE ROOT SYSTEM AND INTO THE TREE.

Landscape General Notes

1. VERIFY LOCATION OF ALL BUILDINGS, WALLS, ROADS AND CURBS AFFECTING LANDSCAPE SCOPE OF WORK WITH RELEVANT ARCHITECTURAL AND ENGINEERING DRAWINGS PRIOR TO COMMENCING SITE WORK.
2. VERIFY LOCATION OF ALL VAULTS, ELECTRICAL DUCT BANKS, MANHOLES, CONDUIT AND PIPING, DRAINAGE STRUCTURES, LIGHTING AND OTHER UTILITIES WITH THE APPROPRIATE ENGINEER'S DRAWINGS.
3. WHERE NOT SHOWN ON LANDSCAPE DRAWINGS, SEE CIVIL ENGINEERING DRAWINGS FOR ROADWAY CENTERLINE, STATION POINTS, BENCH MARKS AND BUILDING SETBACKS.
4. TAKE ALL DIMENSIONS FROM CENTER OF CURB, WALL OR BUILDING, OR TO CENTERLINE OF BUILDING COLUMNS OR TREES UNLESS OTHERWISE NOTED.
5. ALL ITEMS DESIGNATED AS "SIMILAR" OR "TYPICAL" (TYP) SHALL BE CONSTRUCTED IN THE MANNER OF THE DETAIL REFERENCED, WITH MINOR ADJUSTMENT FOR SPECIFIC CONDITION.
6. SITE DESIGN BASED ON TOPOGRAPHIC INFORMATION FROM ARCHITECT. ALL GRADES TO BE VERIFIED IN FIELD.
7. SPECIFICATIONS FOR CONSTRUCTION METHODS AND MATERIALS NOT LISTED.
8. SHOULD CONFLICTS ARISE BETWEEN DRAWINGS AND SPECIFICATIONS, DRAWINGS SHALL GOVERN DIMENSIONS AND QUANTITY, SPECIFICATIONS SHALL GOVERN MATERIALS AND FINISHES.
9. ALL ELECTRICAL WORK TO COMPLY WITH CITY OF SUNNYVALE SPECIFICATIONS AND UNDERWRITERS LABORATORIES (UL) SPECIFICATIONS.
10. PLANT PROTECTION: ALL WORK PERFORMED WITHIN THE DRIP LINE OF TREES DESIGNATED "EXISTING TREES TO REMAIN" SHALL BE HAND LABOR. SEE LANDSCAPE PLAN FOR RESTRICTIONS.
11. CONTRACTOR IS RESPONSIBLE FOR PHOTO DOCUMENTATION OF ALL CLOSED IN WORK.
12. ALL EARTHWORK, INCLUDING SITE CLEARING, PIER DRILLING AND SPREAD FOOT EXCAVATION, PREPARATION OF SUBGRADE AND SELECT FILL BENEATH SLABS-ON-GRADE AND OTHER FLATWORK, PLACEMENT AND COMPACTION OF ENGINEERED FILL, AND SURFACE AND SUBSURFACE DRAINAGE SHOULD BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS BY STRUCTURAL ENGINEER. STRUCTURAL ENGINEER SHOULD BE PROVIDED AT LEAST 48 HOURS ADVANCED NOTIFICATION OF ANY EARTHWORK OPERATIONS AND SHOULD BE PRESENT TO OBSERVE AND/OR TEST OF NECESSARY TO EARTHWORK AND FOUNDATION INSTALLATION PHASES OF THE PROJECT.
13. PROPERTY LINES ARE SHOWN FOR REFERENCE ONLY AND ADDED PER CITY/TOWN ASSESSOR'S PARCEL MAP. IF A DISCREPANCY ARISES, A BOUNDARY SURVEY SHALL BE COMPLETED BY A LICENSED SURVEYOR TO RESOLVE THE ISSUE.
14. CONTRACTOR TO VISIT SITE TO CONFIRM EXISTING CONDITIONS PRIOR TO SUBMITTING BID. CONTRACTOR TO EXAMINE AND NOTE ALL EXISTING CONDITIONS AS THE CHARACTER AND EXTENT OF WORK INVOLVED.
15. CONTRACTOR TO REMOVE ALL OBSTRUCTIONS BOTH BELOW AND ABOVE GROUND, AS NECESSARY FOR CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
16. BID IS TO BE SUBMITTED ON A LINE ITEM BASIS WITH UNIT PRICING WHERE APPLICABLE.



1557
NEWLANDS AVE

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DESIGN STUDIO
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RESIDENTIAL
LANDSCAPE
PLAN

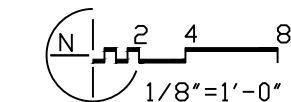
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Drawing Title

EXISTING AND
PROPOSED
LANDSCAPE
PLAN

Drawing Scale



Sheet Title

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