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Anchor Bolt	FTG.	Footing	S.B.	Solid Blocking	A.C.	Asphalt Concrete	FUT.	Future	S.C.	Solid Core	ADJ.	Adjustable			S.O.V.	Shut Off Valve	ALUM.	Aluminum	C.I.	Galvanized Iron	S.S.	Sewer System	ANCH.	Anchor	GA.	Gauge	SCH.	Schedule	APPROX.	Approximately	GALV.	Galvanized	SEC.	Section	ARCH.	Architectural	GL.	Glass	SHT.	Sheet	ASPH.	Asphalt	GR.	Grade	SHTHG.	Sheathing					SPEC.	Specification	B.U.	Built-Up	H.B.	Hose Bib	SPL.	Splash	B.D.	Board	H.C.	Hollow Core	STA.	Station	BLDG.	Building	H.M.	Hollow Metal	STD.	Standard	BLK.	Block	HR.	Hour	STRUC.	Structural	BLKG.	Blocking	HT.	Height	SUSP.	Suspended	BM.	Beam					BOT.	Bottom	I.D.	Inside Diameter	T.O.C.	Top Of Concrete			I.D.F.	Intermed. Dist. Frame	T.O.P.	Top Of Pavement	C.	Conduit	I.E.	Invert Elevation	T.O.S.	Top Of Sidewalk	C.B.	Catch Basin	INSUL.	Insulation	T.O.W.	Top Of Wall	C.I.	Cast Iron	INT.	Interior			C.J.	Construction Joint	INV.	Invert	U.O.N.	Unless Otherwise Noted	C.O.T.G.	Clean Out To Grade	J.H.	Joist Hanger			CAB.	Cabinet	JAN.	Janitor			CEM.	Cement	JT.	Joint	W	Waste	CLG.	Ceiling			W.C.	Water Closet	CL.O.	Closet	LAM.	Laminate	W/	With	CLR.	Clear	LAV.	Lavatory	W/O	Without	COL.	Column	LT.	Light	WD.	Wood	COMP.	Composition			WP.	Waterproof	CONC.	Concrete	MAX.	Maximum	WT.	Weight	CONST.	Construction	M.D.F.	Main Dist. Frame			CONT.	Continuous	MEMB.	Membrane			CORR.	Corridor	MFR.	Manufacturer			CTR.	Center	MIN.	Minimum			CTSK.	Countersink	MIR.	Mirror			CW	Cold Water	M.O.	Masonry Opening					MTD.	Mounted			D.S.	Downspout	MTL.	Metal			D.S.P.	Dry Standpipe	MUL.	Mullion			DBL.	Double					DEPT.	Department	N	North			DET.	Detail	N.I.C.	Not In Contract			DIA.	Diameter	NOM.	Nominal			DIM.	Dimension	N.T.S.	Not To Scale			DN.	Down					DWG.	Drawing	O.C.	On Center					O.H.	Overhang			E.F.	Exhaust Fan	OPG.	Opening			E.J.	Expansion Joint	OPP.	Opposite			E.P.	Electrical Panel					EA.	Each					ELEC.	Electrical	P.LAM.	Plastic Laminate			ELEV.	Elevation	PL.	Plate			EMER.	Emergency	PLAS.	Plaster			E.N.	End Nailing	PLWD.	Plywood			ENCL.	Enclosure	PR.	Pair			EO.	Equal	PTDF	Pressure Treated Douglas Fir			EQUIP.	Equipment											F.A.	Fire Alarm	R.O.	Rough Opening			F.D.	Floor Drain	R.W.L.	Rain Water Leader			F.E.	Fire Extinguisher	REF.	Refer To:			F.P.	Fireproof	REINF.	Reinforced			FDN.	Foundation	REQD	Required			FIN.	Finish	RESIL.	Resilient			F.O.C.	Face Of Conc	R.M.	Room			F.O.F.	Face Of Finish	RWD.	Redwood			F.O.S.	Face Of Stud					FRMG.	Framing					<p><u>Green Building Mandatory Measures Checklist will be submitted w/ Building Permit submittal.</u></p> <p>Walls with 2x6 and larger framing require R-19 insulation</p> <p>Hot water piping insulation as specified in UPC Section 609.11</p> <p>New Third party HERS verification for ventilation and indoor air quality</p> <p>Water Efficiency and Conservation</p> <p>Plumbing fixtures (water closets and urinals) will comply with the following:</p> <ol style="list-style-type: none">The effective flush volume of all water closets will not exceed 1.28 gal/flush. 2019 CGC 4.303.1.1The effective flush volume of urinals will not exceed 0.5 gal/flush. 2019 CGC 4.303.1.2 <p>The fittings for faucets and showerheads shall meet the following standards: 1.5 GPM for faucets and 2.0 GPM for showers. 2019 CGC 4.303.1.3 and 4.303.1.4</p> <p>Enhanced Durability and Reduced Maintenance: Annular spaces around pipes, electric cables, conduits, or other openings in sole/bottom plates at exterior walls will be rodent-proofed by closing such openings with cement mortar, concrete masonry, or similar method acceptable to enforcing agency. 2019 CGC 4.406.1</p> <p>Construction Waste Reduction, Disposal and Recycling: A minimum of 60% of the non-hazardous construction demolition waste generated at the site will be diverted to an offsite recycle, diversion, or salvage facility per City of Burlingame Ordinance #1704 and 2019 CGC Section 4.408</p> <p>Building Maintenance and Operation: An operation and maintenance manual will be provided to the building occupant or owner. 2019 CGC 4.410.1</p> <p>Fireplaces: Any gas fireplaces will be direct-vent, sealed-combustable type. 2019 CGC 4.503.1</p> <p>Pollutant Control</p> <ol style="list-style-type: none">At the time of rough installation, during storage on the construction site, and until final startup of the heating, cooling and ventilation equipment, all duct and other related air distribution components will be covered w/ tape, plastic, sheet metal, or other methods acceptable to the enforcing agency to reduce the amount of water, dust, or debris that may enter the system. 2019 CGC 4.504.1Adhesives, sealants, and caulks used on the project shall follow local and regional air pollution or air quality management district standards per 2019 CGC 4.504.2.1Paints and coatings will comply with VOC limits per 2019 CGC 4.504.2.2Aerosol paints and coatings will meet the Product-weighted MIR limits for ROC and other requirements. 2019 CGC 4.504.2.3Documentation provided that verifies compliance with VOC finish materials. 2019 CGC 4.504.2.4Carpet system installed in the building interior will meet testing and product requirements found in the 2019 California Green Building Code. 2019 CGC 4.504.2.2Where resilient flooring is installed, at least 80% of the floor area receiving resilient flooring will comply with the California Green Building Code requirements. 2019 CGC 4.504.4Hardwood plywood, particleboard, and medium density fiberboard composite wood products used on the interior and exterior of the building will comply with the low formaldehyde emission standards. 2019 CGC 4.504.5 <p>Interior Moisture Control: A capillary break will be installed if a slab on grade foundation system is used per 2019 CGC 4.502.2. Bldg. materials with the visible signs of water damage will not be installed. Wall and floor framing will not be enclosed when the framing members exceed 19% moisture content. Moisture content will be verified prior to finish material being applied per 2019 CGC 4.505.3.</p> <p>Indoor Air Quality and Exhaust</p> <ol style="list-style-type: none">Exhaust fans that are ENERGY Star-compliant, ducted, and that terminate outside the building will be provided in every bathroom. 2019 CGC 4.506.1Unless functioning as a component of a whole-house ventilation system, fans must be controlled by a humidistat. 2019 CGC 4.506.1 <p>Environmental Comfort</p> <p>The heating and air-conditioning system has been sized, designed, and have their equipment selected using the following methods:</p> <ol style="list-style-type: none">Heat Loss/Heat Gain values in accordance with ANSI/ACCA 2 Manual J-2016 or equivalent;Duct systems are sized according to ANSI/ACCA 1, Manual D-2016 or equivalent;Select heating and cooling equipment in accordance with ANSI/ACCA 3, Manual S-2014 or equivalent. 2019 CGC 4.507 <p>Installer Special Inspector Qualification: HVAC system installers will be trained and certified in the proper installation of HVAC systems and equipment by a recognized training/certification program per 2019 CGC 702.1. When required by the enforcing agency, shall employ Special Inspectors. 2019 CGC 702.2</p> <p>Verification: Upon request, verification of compliance w/ this code may include construction documents, plans, specifications, builder/installer certification, inspection reports, or other methods acceptable to the Building Div that show substantial conformance w/ the 2019 Code requirements. 2019 CGC 703.1</p>	<p>No person shall erect (including excavation and grading), demolish, alter, or repair any building or structure other than between the following hours except in the case of urgent necessity in the interest of public health and safety, and then only with prior written approval from the Building Official, which approval shall be granted for a period not to exceed three days. Holidays are the first day of January, the third Monday of January, the third Monday of February, the last Monday of May, the fourth day of July, the first Monday of September, the second Monday of October, the eleventh day of November, the fourth Thursday in November and the twenty-fifth day of December. If the first day of January, the fourth day of July, the eleventh day of November, or the twenty-fifth day of December falls upon a Sunday, the following Monday is a holiday.</p> <p>Construction hours per the City of Burlingame Municipal Code 17.07.110</p> <p>Monday through Friday: 8AM to 7PM Saturdays: 9AM to 6PM Sundays and Holidays: No work</p> <p>Construction hours in the City Public right-of-way are limited to weekdays and non-City Holidays between 8:00 AM and 5:00 PM.</p>
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CTSK.	Countersink	MIR.	Mirror																																																																																																																																																																																																																																																																																																																																																																																																																															
CW	Cold Water	M.O.	Masonry Opening																																																																																																																																																																																																																																																																																																																																																																																																																															
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D.S.	Downspout	MTL.	Metal																																																																																																																																																																																																																																																																																																																																																																																																																															
D.S.P.	Dry Standpipe	MUL.	Mullion																																																																																																																																																																																																																																																																																																																																																																																																																															
DBL.	Double																																																																																																																																																																																																																																																																																																																																																																																																																																	
DEPT.	Department	N	North																																																																																																																																																																																																																																																																																																																																																																																																																															
DET.	Detail	N.I.C.	Not In Contract																																																																																																																																																																																																																																																																																																																																																																																																																															
DIA.	Diameter	NOM.	Nominal																																																																																																																																																																																																																																																																																																																																																																																																																															
DIM.	Dimension	N.T.S.	Not To Scale																																																																																																																																																																																																																																																																																																																																																																																																																															
DN.	Down																																																																																																																																																																																																																																																																																																																																																																																																																																	
DWG.	Drawing	O.C.	On Center																																																																																																																																																																																																																																																																																																																																																																																																																															
		O.H.	Overhang																																																																																																																																																																																																																																																																																																																																																																																																																															
E.F.	Exhaust Fan	OPG.	Opening																																																																																																																																																																																																																																																																																																																																																																																																																															
E.J.	Expansion Joint	OPP.	Opposite																																																																																																																																																																																																																																																																																																																																																																																																																															
E.P.	Electrical Panel																																																																																																																																																																																																																																																																																																																																																																																																																																	
EA.	Each																																																																																																																																																																																																																																																																																																																																																																																																																																	
ELEC.	Electrical	P.LAM.	Plastic Laminate																																																																																																																																																																																																																																																																																																																																																																																																																															
ELEV.	Elevation	PL.	Plate																																																																																																																																																																																																																																																																																																																																																																																																																															
EMER.	Emergency	PLAS.	Plaster																																																																																																																																																																																																																																																																																																																																																																																																																															
E.N.	End Nailing	PLWD.	Plywood																																																																																																																																																																																																																																																																																																																																																																																																																															
ENCL.	Enclosure	PR.	Pair																																																																																																																																																																																																																																																																																																																																																																																																																															
EO.	Equal	PTDF	Pressure Treated Douglas Fir																																																																																																																																																																																																																																																																																																																																																																																																																															
EQUIP.	Equipment																																																																																																																																																																																																																																																																																																																																																																																																																																	
F.A.	Fire Alarm	R.O.	Rough Opening																																																																																																																																																																																																																																																																																																																																																																																																																															
F.D.	Floor Drain	R.W.L.	Rain Water Leader																																																																																																																																																																																																																																																																																																																																																																																																																															
F.E.	Fire Extinguisher	REF.	Refer To:																																																																																																																																																																																																																																																																																																																																																																																																																															
F.P.	Fireproof	REINF.	Reinforced																																																																																																																																																																																																																																																																																																																																																																																																																															
FDN.	Foundation	REQD	Required																																																																																																																																																																																																																																																																																																																																																																																																																															
FIN.	Finish	RESIL.	Resilient																																																																																																																																																																																																																																																																																																																																																																																																																															
F.O.C.	Face Of Conc	R.M.	Room																																																																																																																																																																																																																																																																																																																																																																																																																															
F.O.F.	Face Of Finish	RWD.	Redwood																																																																																																																																																																																																																																																																																																																																																																																																																															
F.O.S.	Face Of Stud																																																																																																																																																																																																																																																																																																																																																																																																																																	
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			General Notes						Sheet Index			Project Directory			Scope of Work																																																					
These Drawings and their content are and shall remain the property of Dreiling Terrones Architecture whether the project for which they were prepared is executed or not. They are not to be used by any person other than the Owner or for any other project or extension to this project except by agreement in writing with the Architect. The Architect expressly reserves his common law copyright and other property rights relating to these Drawings and their content. These Drawings are not to be reproduced, altered or otherwise modified in any manner whatsoever except by the Architect. These Drawings and their content may not be assigned to a third party without written consent of the Architect. In the event of unauthorized use of these Drawings by a third party, the third party shall hold harmless and indemnify the Architect. These Drawings are an instrument of services performed by the Architect for the benefit of the Owner. They are intended for use in a negotiated construction contract and, therefore, may not detail or specify all materials, manufacturers or assemblies. Details, assemblies and products commonly known to be industry standard for any given trade may not be fully detailed or specified. Where necessary, the Contractor shall provide samples, data, product literature as required to assist the Owner or the Owner's agent in making selections. For the purpose of estimating items not fully detailed the Contractor shall provide an allowance amount and so condition such estimates. The Owner and/or Contractor shall submit to the Architect, in writing, any requests for modifications to the plans or specifications by means of shop drawings, samples or other means as appropriate. Shop drawings that are submitted to the Architect for review do not constitute "in writing" unless it is brought to the attention of the Architect that specific changes are being suggested. No guarantee for quality of construction is implied or intended by these Documents. The Contractor shall assume full responsibility for any construction deficiencies. The Owner and Contractor shall hold harmless, indemnify and defend the Architect from any action initiated by the initial Owner, or any subsequent owner, for construction deficiencies, modifications, substitutions, maintenance or any such condition which is beyond the control of the Architect. All Contract Documents described in the Construction Contract shall be considered one document and are intended to be used as one document. Contractor and all sub-contractors shall review all documents prior to bidding. Sub-contractors are responsible for any information pertaining to their work no matter where it may occur in these Documents. It is the intent of these Documents to provide for the construction of a moisture proof enclosure of interior space. If the Owner, Contractor or any Sub-contractors become aware of any assembly or condition, either shown in the Drawings or constructed on-site, which does not, in their opinion, satisfy this intent, it is their responsibility to notify the Architect within a reasonable amount of time so that the condition or assembly can be reviewed, and, if necessary, modifications can be made to the Documents or to the Work without impacting the progress of the Work. All information pertaining to the site shall be, and shall remain, the Owner's responsibility. This information shall include legal description, deed restrictions, easements, site survey, topographic survey, location of existing improvements, soils report, and all related data. **Code Compliance** All work shall comply with applicable codes and trade standards including but not limited to the latest adopted edition of the following: 2019 California Building Codes, 2019 Residential Building Code (where applicable), 2019 California Mechanical Code, 2019 California Electrical Code, 2019 California Plumbing Code, including all amendments as adopted in Ordinance 1989, and 2019 California Energy Efficiency Standards (Title 24), including Cool Roof requirements. All applicable state and local codes, ordinances, legislation, as adopted by the City of Burlingame at time of permit application. This includes the 2019 Reach Code Ordinance #1979. It is the Contractors responsibility to identify and familiarize himself with current codes and ordinances including local variations on national or regional codes. Requirements of adopted codes shall supersede any conflicting requirements defined in these Documents. When a conflict is suspected the Contractor shall so advise the Architect in writing within a reasonable time so that the conflict, if it exists, can be resolved without impacting the progress of the Work. Per SB 407 (2009), all non-compliant plumbing fixtures shall be replaced with water conserving fixtures.						The Contractor shall include and implement all pertinent requirements of this project as set forth in any conditions of approval attached to the project by governing agencies. These conditions shall become a part of the Contract Documents. Site Examination The Contractor shall thoroughly examine the site and satisfy himself as to the conditions under which the Work is to be performed. The Contractor shall verify at the site all measurements and conditions affecting his work and shall be responsible for same unless brought to the attention of the Owner or his agent prior to proceeding with the Work. Dimension Control It is the responsibility of the Contractor to check and verify all conditions, dimensions, lines and levels alignments indicated; proper fit and attachment of all parts is required. Should there be any differences between the Documents and the actual conditions, the Contractor shall notify the Owner or his agent in writing for clarification and/or adjustment. In the event of failure to do so, the Contractor shall be responsible for corrections required or subsequent changes occurring as a result of these differences. Note to Subcontractors: Location of many items or assemblies is critical for alignment of other assemblies which may be installed by other trades and which may not be installed at the time of installation of your work. All Sub-contractors shall review the manner in which their work fits, aligns or comes into contact with work of other trades. The Contractor and each Sub-contractor shall review all Documents and will be responsible for information contained at any location within the Documents which pertains to their work. Deficiencies resulting from failure to do so will be removed and corrected at Contractors expense. All dimensions and conditions shall be checked and verified, both in the Documents and on the job, by each Sub-contractor before they proceed with their work. Any errors, omissions, discrepancies or deficiencies shall be brought to the attention of the General Contractor prior to proceeding with the Work. The Contractor shall notify the Owner in writing for resolution. Commencement of work by any Sub-contractor shall indicate a knowledge and acceptance of all conditions described in the Documents or existing on site which could affect their work. All dimensions take precedent over scale. Where dimensions are not entirely clear the Contractor shall notify the Architect and request clarification. DRAWINGS SHALL NOT BE SCALED. Moisture Protection During Construction Should any special situations or climatic conditions occur during construction the Owner, Contractor and Sub-contractors shall so notice and implement any measures required to assure the protection of materials and assemblies. The Contractor shall take all necessary measures to protect new or existing construction and materials from damage due to weather or any other adverse conditions. Any hidden conditions that require work to be performed beyond the scope of the building permit issued for these plans may require further City approvals including review by the Planning Commission No existing tree over 48 inches in circumference at 54 inches from base of tree may be removed without a Protected Tree Permit from the Parks Division. Any recycling containers, debris boxes or dumpsters for the construction project shall be placed upon the private property, if feasible, as determined by the Community Development Director The project shall comply with the Construction and Demolition Debris Recycling Ordinance which requires affected demolition, new construction and alteration projects to submit a Waste Reduction and Recycling plan and meet requirements; any partial or full demolition of a structure, interior or exterior, shall require a demolition permit Prior to scheduling the framing inspection the project architect or residential designer, or another architect or residential design professional, shall provide an architectural certification that the architectural details shown in the approved design which should be evident at framing, such as window locations and bays, are built as shown on the approved plans; architectural certification documenting framing compliance with approved design shall be submitted to the Building Division before the final framing inspection shall be scheduled						Per the Burlingame 2020 Reach Codes, natural gas is not allowed for space heating, space cooling, water heating, or clothes drying and will not be used for these purposes. Survey 1 Topographic Survey Architectural A1.1 Proposed Site Plan A1.2 Site Utility Plan A2.0 Area Calculations A2.1D Upper / Main Floor Demo Plan A2.2D Lower Floor Demo Plan A2.1 Proposed Main / Upper Floor Plan A2.2 Proposed Lower Floor Plan A3.1 Proposed and Existing Roof Plans A4.1 Exterior Elevations: Front A4.2 Exterior Elevations: Right Side (Driveway) A4.3 Exterior Elevations: Rear A4.4 Exterior Elevations: Left Side A5.1 Sections Erosion Control BMP1.1 Best Management Practices						**Owner** **Kate & Joel Rosenquist** 1312 Montero Ave Burlingame, California 94010 Cell: (650) 678-8587 **Architect** Richard Terrones **Dreiling Terrones Architecture Inc.** 1103 Juanita Avenue Burlingame, California 94010 Voice: (650) 696-1200 Cell: (650) 759-1211 Fax: (650) 343-9685 **Structural Engineer** Peter Sung **Sung Engineering** 29300 Kohoutek Way Union City, California 94587 Voice: (510) 475-7900 **General Contractor** 18D						Alterations at Main Level Alterations and addition at Upper Level Alterations and addition at Lower Level																																												
Legend						Vicinity Map																																																														
				-------	-------------------------		#	Grid Number		#	Door Number		#	Keynote		#	Detail		#	Sheet Number		#	Section		#	Sheet Number		#	Interior Elevation		#	Sheet Number						Elevation Indicator		(E)	Wall to remain			New wood / framed wall			Object to be Demolished			Line of object above		x	Fence Line		- - -	Centerline												

DTA

Dreiling Terrones Architecture Inc.

Architecture
Infrastructure
Environments

1103 Juanita Avenue
Burlingame, California
94010
650.696.1200

314 Center Street #220
Heddingburg, California
95448
707.431.1305

Alterations and Alterations to

Rosenquist Residence

1312 Montero Avenue
Burlingame, CA
APN: 027-192-140

3 May, 2022: Owner Review

18 May, 2022: Schematic Update

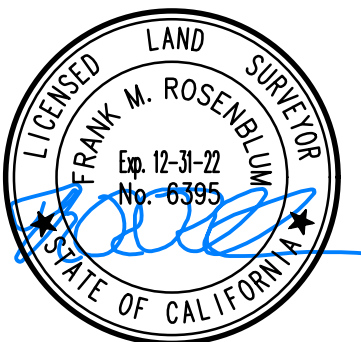
17 June, 2022: Planning Submittal 01


15 August, 2022: Planning Submittal 02

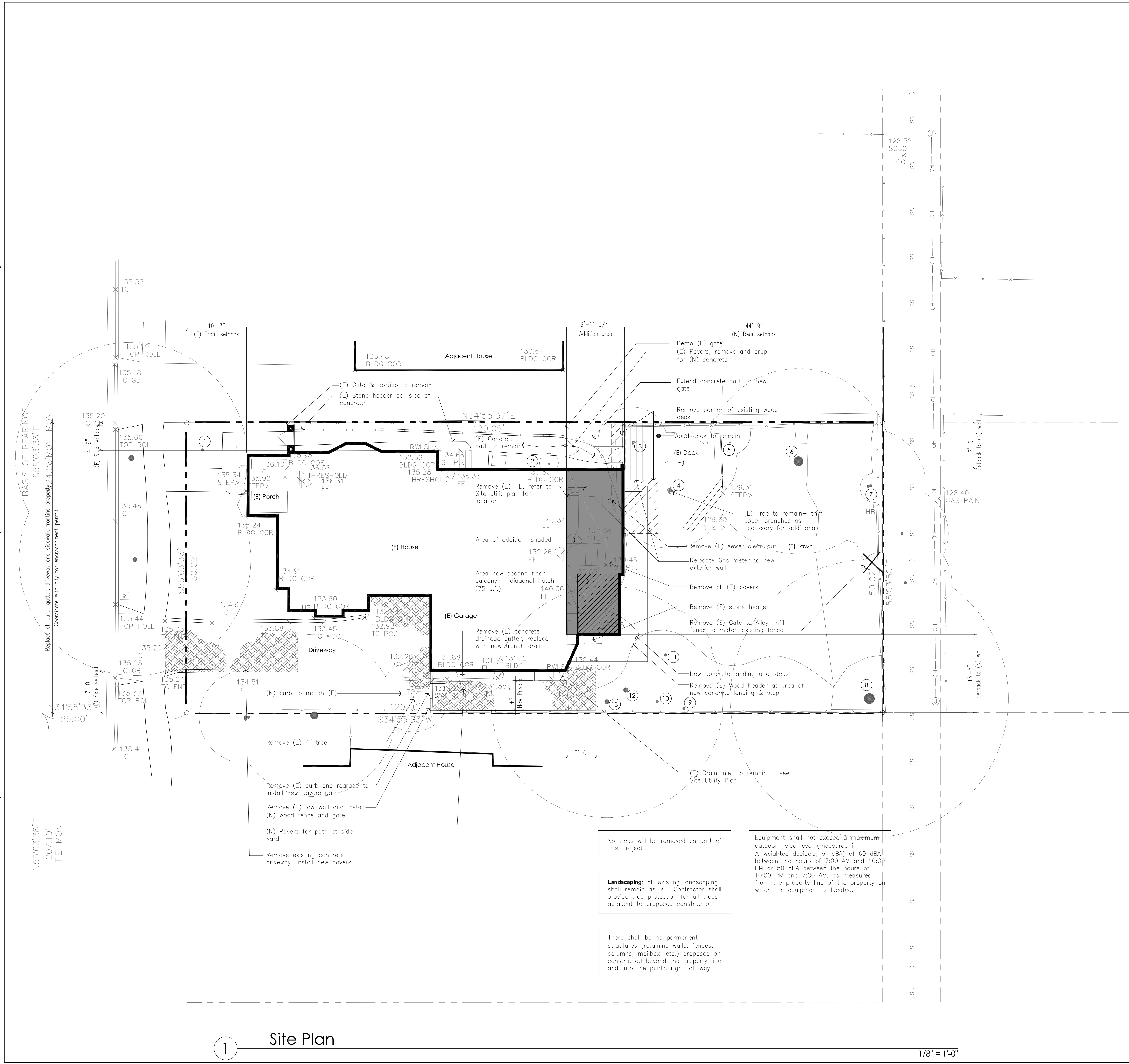
Abbrev., Green Measures
Proj Data, Index, Directory
Legend Vicinity Map

A0.0

2202



TOPOGRAPHIC SURVEY		1312 MONTERO AVE.		BURLINGAME CALIFORNIA		 UNDERWOOD & ROSENBLUM, INC. civil engineers and surveyors 1830 Oakland Road, Suite A114, San Jose, CA 95131 (408) 432-1122 www.usr.com		#	DESC.	REVISIONS	DATE
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Site Notes

- Topographic information used for design and represented in these Documents has been obtained entirely from boundary and topographic survey prepared by others. The Architect bears no responsibility for accuracy of this information.
- Design contours and drainage shown are schematic only and shall not be taken to represent final grading and drainage plans.
- Refer to Floor Plans and Sections for all dimensional information.
- Existing landscaping shall be protected as required to prevent any damage to plants and trees unless specified for removal in plans or by Owner.
- Existing finish grades shall be restored upon completion of construction unless changes are specified in the Drawings.
- The work zone limits are shown on the plans. The Contractor shall confine all operations, including delivery of materials, to the Work Zone unless explicit agreement has been made with the Owner.
- Roadways shall be maintained clear of construction equipment and materials at all times.
- The Contractor shall notify all adjacent tenants and the Property Owner on days when deliveries or other operations may impact areas outside the Work Zone.
- The contractor shall maintain a clean work site. Construction debris and materials to be recycled shall be removed in a timely manner. Construction equipment and materials awaiting installation shall be stored in an orderly manner that reduces both damage to materials and reduces the visual impacts of the work site to the surrounding neighborhood.
- Dust control measures shall be implemented as necessary. Measures may include watering, application of ground treatments, placement of rock and any other measure required to reduce or eliminate excessive dust.
- The minimum front setback requirement is 15'-0" to 1st floor and 20'-0" to 2nd floor, or the block average, whichever is greater.
- Addresses and Numbers shall contrast with their background, shall be min. of 1/2" stroke by 4" high. The power of such illumination shall not be normally switchable. City of Burlingame Municipal Code 18.08.010.
- New HVAC equipment installed at the building exterior cannot exceed a Maximum Outdoor Noise Level (dBA) of sixty (60) dBA Daytime (7am - 10pm) or fifty (50) dBA Nighttime (10pm - 7am) as measured from the property line. City of Burlingame Municipal Code 25.58.050.



Tree Schedule

Mark	Size	Common Name
①	6" DBH	Japanese Maple
②	4" DBH	Pittosporum
③	Multi 3"	Pittosporum
④	Multi 4"	Camellia
⑤	2" DBH	Boxwood
⑥	20" DBH	Japanese Maple
⑦	6" DBH	Japanese Maple
⑧	22" DBH	Japanese Maple
⑨	4" DBH	Japanese Maple
⑩	5" DBH	Australian Tree Fern
⑪	6" DBH	Australian Tree Fern
⑫	10" DBH	Australian Tree Fern
⑬	10" DBH	Japanese Maple



Site Utility Plan

$$1/8'' = 1'-0''$$









Public Work Notes

1. Any work in the City right-of-way, such as street, sidewalk area, public easements, and utility easements, is required to obtain an Encroachment Permit prior to starting work.
2. All work within City right-of-way must comply with City Standards and Details. Standard Details are available at the City of Burlington website.
3. Based on the scope of work, this is a Small Project that requires a Stormwater Construction Pollution Prevention Permit. This permit is required prior to issuance of a Building Permit. An initial field inspection is required prior to the start of any construction (on private property or in the public right-of-way).
4. All damaged and displaced curb, gutter, and/or sidewalk fronting site must be replaced prior to final of Building Permit.
5. Construction hours in the City Public right-of-way are limited to weekdays and non-City Holidays between 8am and 5pm. This includes construction hauling.
6. Pursuant to Municipal Code 18.08.090, no storm water or underground water draining from any lot, building, or paved area shall be allowed to drain to adjacent properties nor shall this water be connected to the City's sanitary sewer system. Regardless of the slope of the source property, such water shall drain to either artificial or natural storm drainage facilities by gravity or pumping.
7. All water line connections to City water mains for services or fire line protection are to be installed per city standard procedures and specifications. Contact City Water Department for connection fees. If required, all fire services and services 2" and over will be installed by builder. All underground fire service connections shall be submitted as separate Underground Fire Service permit for review and approval.
8. No structure shall be built into City's right-of-way. The property line on Easton Drive is approximately twelve feet (12') measured from face of curb.
9. The project shall comply with the City's NPDES permit requirements to prevent storm water pollution.
10. All debris/garbage containers location shall be on property. In a situation where that is not possible, an encroachment permit is required from Public Works Department for placing debris/garbage containers in public right-of-way. No wet garbage fluid shall enter public right-of-way or the storm drain system.
11. It is the responsibility of the owner and/or contractor to notify Underground Service Alert (USA) at least 48 hours before the start of any excavation work.

Impervious Areas

Location	Description	Area
Existing House, Garage, Driveway & Walkways	Footprint, Area	2,590 s.f.
Proposed Addition, Landing, Steps	Footprint, Area	368 s.f.
	Proposed Impervious Areas	2,958 sf (49% of 6,000 sf lot) See Storm Water Mitigation Measures

Legend

	Water Meter
	Backflow Preventer
	Electric meter
	Gas meter
	Cold water line
	Sanitary Sewer line
	Fire line (sprinklers)
	Gas line

Alterations and Alterations to

Rosenquist Residence

11312 Montero Avenue
Burlingame, CA
APN: 027-192-140

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Dreiling Terrones Architecture Inc.

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1103 Juanita Avenue
Burlingame, California

650 696 1200

314 Center Street #220
Healdsburg, California

707 431 1305

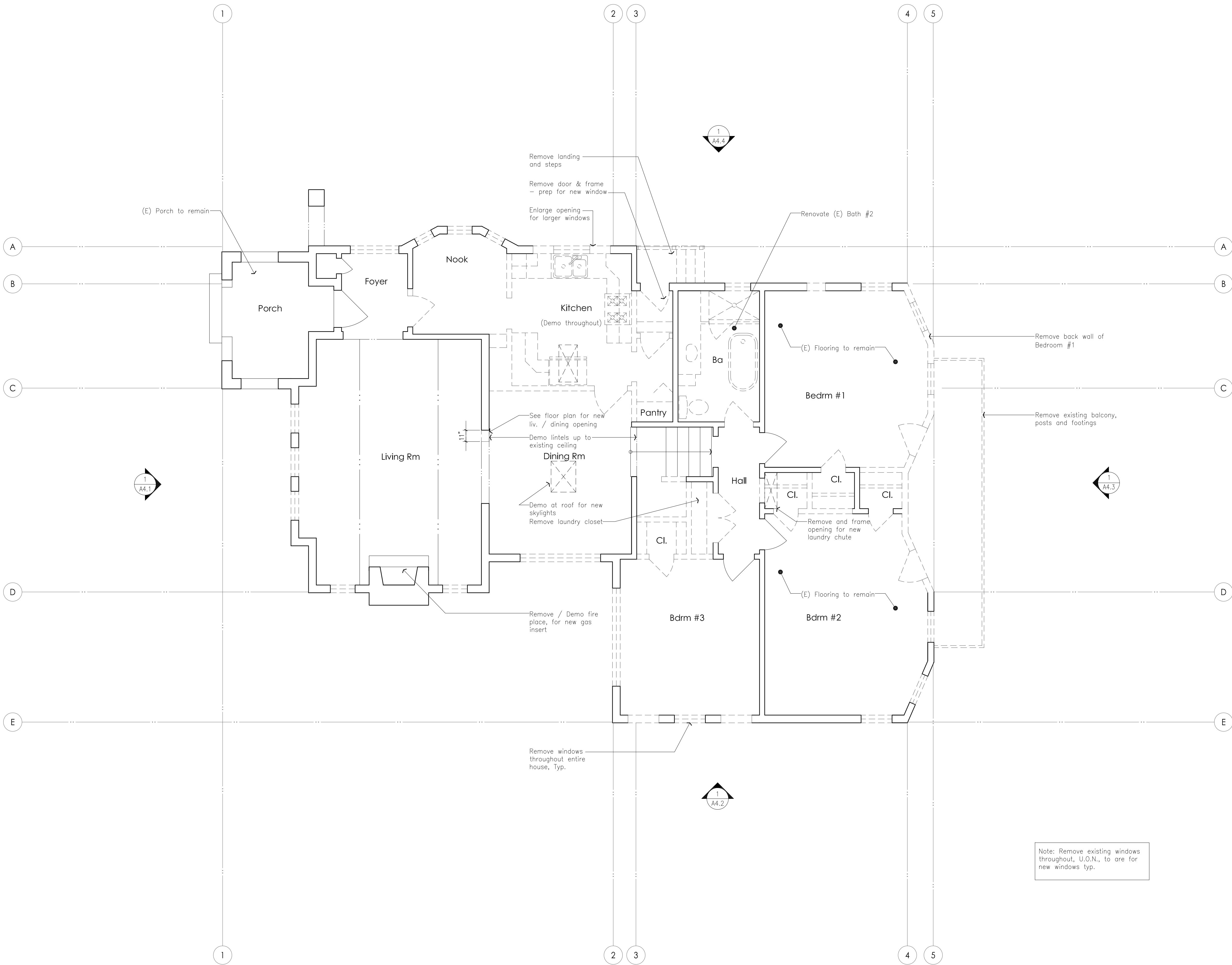
Site Utility Plan

A1.2

2202



	Total	2894 sf
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1 Demo Floor Plan - Main Level / Upper Level

1/4" = 1'-0"

Demolition Floor Plan Notes

Contractor shall provide dust control as required to isolate work zone from public and staff areas.

Contractor is responsible for quality and performance of all existing materials and equipment to be relocated or re-used.

Contractor shall coordinate all system shutdowns or alterations with Owner. Owner shall be given adequate notice so that alternate systems can be established.

Remove portions of existing interior finishes as indicated. Where finishes are to be demolished, include removal of finish paneling and adjacent trims.

Remove all of existing cabinets and fixtures as indicated.

Existing finishes and trim at exterior walls shall remain. Protect from damage. Coordinate in field with Architect during construction.

Removal of existing mechanical, plumbing, and electrical is not shown. Mechanical, plumbing, and electrical demolition shall be coordinated by contractor in conjunction with new mechanical, plumbing, and electrical drawings. Contractor shall fully drain all plumbing systems prior to demolition or alteration.

Refer to Floor Plan for dimensions of new openings and wall locations.

Note that some items that are not necessarily included in the demolition, are indicated on this sheet for convenience. It is the General Contractor's responsibility to coordinate these items.

Refer to sheet AR1.0 for tree protection specification written by independent arborist.

Legend

- Existing wall to remain
- Existing wall, or item, to be removed





Refer to sheet AR1.0 for tree protection specification written by independent arborist.

_____ Existing wall to remain

_____ Existing wall, or item, to be removed

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Lower Floor Demo Plan

A2.2D

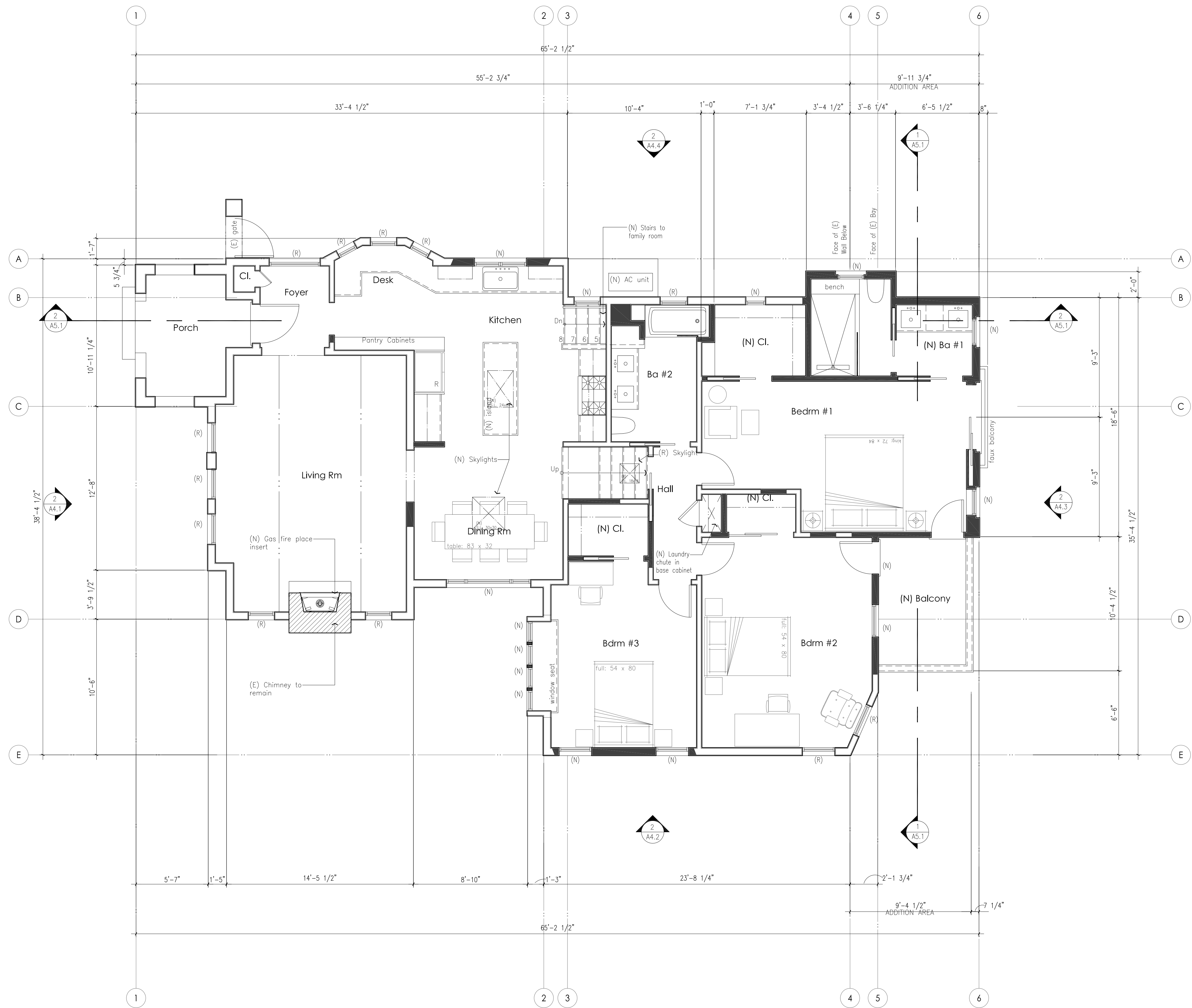
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1 Floor Plan - Main Level / Upper Level
1/4" = 1'-0"

Floor Plan Notes

Coordinate in Field w/ Architect for all trims, fixtures & accessories not shown, and for critical alignments of openings, trims and millwork.

All dimensions given take precedence over scale. Contractor shall not scale drawings to determine dimensions without consulting with the Architect. Incorrect dimensions and resulting construction deficiencies due to scaling of Documents by the Contractor are the Contractor's responsibility and required corrections will be performed at the Contractor's expense.

Critical alignments may occur between items installed by different trades. Contractor to note all such items and notify affected trades. Subcontractors shall review Documents and identify all such items that affect their work in any way. Contractor shall review all dimensions for accuracy prior to construction.

Dimensions given are to face of stud unless otherwise noted.

Variations include:
C : Centerline
FOF: Face of Finish

Contractor to coordinate framing to accommodate recessed fixtures and other items with critical locations.

Repeating items or assemblies may not be noted or dimensioned at all locations where repetition is obvious.

Refer structural details for location of special floor and wall framing, special connections.

Adhesives, sealants, and caulks used on the project shall follow local and regional air pollution or air quality management district standards. 2019 CGC sec 4.504.2.1

Exterior bearing walls less than five feet from the property line will be built of one-hour fire-rated construction. 2019 CRC Table R302.1(1) § or 2019 CBC, Table 602)

Provide positive drainage for all roof surfaces. Provision shall be tested by application of water at all areas.

Roof shall be installed per Roof Manufacturer's standards such that all warranties are maintained. Contractor shall note any conflicts between Roof manufacturer's instructions and requirements of these drawings.

Roofing substrate, base sheets and any installed components shall be fully protected from subsequent construction activities until completion of project. Contractor shall provide temporary protection for all roof components where subsequent work may occur.

Contractor shall protect all roof components from exposure to sunlight where such exposure may damage materials. Installation of felts or base sheets shall be covered immediately by either subsequent roof layers or protective materials to avoid exposure to sun or general drying of materials.

Contractor shall fully seal all roof penetrations per roof manufacturer's specifications. Provide flashing, counter flashing, coping and reglets as necessary to ensure positive drainage across all surfaces. Gutters shall be fully soldered.

Fire sprinkler plans shall be submitted under separate permit through the fire department for approval prior to installation.

Legend

- Existing wall to remain
- New wood / framed wall (2x4 or 2x6, match existing adjacent)
- (R) = Remove and replace
- (E) = Existing
- (N) = New

Alterations and Alterations to
Rosenquist Residence

1312 Montero Avenue
Burlingame, CA
APN: 027-192-140

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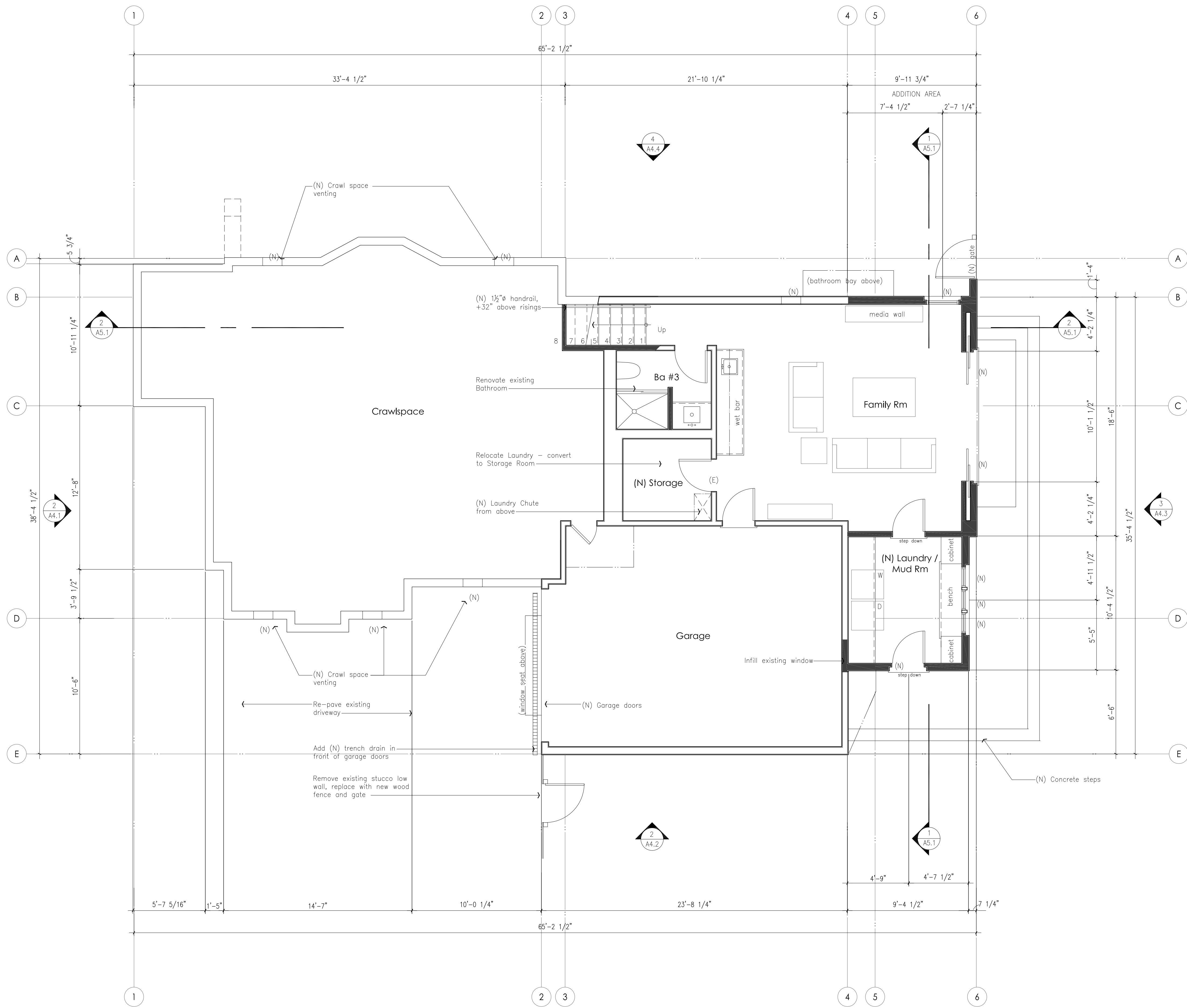


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3 May, 2022: Owner Review
18 May, 2022: Schematic Update
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Proposed
Main / Upper Floor Plan

A2.1



1 Floor Plan - Lower Level

1/4" = 1'-0"

Floor Plan Notes

Coordinate in Field w/ Architect for all trims, fixtures & accessories not shown, and for critical alignments of openings, trims and millwork.

All dimensions given take precedence over scale. Contractor shall not scale drawings to determine dimensions without consulting with the Architect. Incorrect dimensions and resulting construction deficiencies due to scaling of Documents by the Contractor are the Contractor's responsibility and required corrections will be performed at the Contractor's expense.

Critical alignments may occur between items installed by different trades. Contractor to note all such items and notify affected trades. Subcontractors shall review Documents and identify all such items that affect their work in any way. Contractor shall review all dimensions for accuracy prior to construction.

Dimensions given are to face of stud unless otherwise noted.
Variations include:
C : Centerline
FOF: Face of Finish

Contractor to coordinate framing to accommodate recessed fixtures and other items with critical locations.

Repeating items or assemblies may not be noted or dimensioned at all locations where repetition is obvious.

Refer structural details for location of special floor and wall framing, special connections.

Adhesives, sealants, and caulks used on the project shall follow local and regional air pollution or air quality management district standards. 2019 CGC sec 4.504.2.1

Exterior bearing walls less than five feet from the property line will be built of one-hour fire-rated construction. 2019 CRC Table R302.1(1) § or 2019 CBC, Table 602)

Provide positive drainage for all roof surfaces. Provision shall be tested by application of water at all areas.

Roof shall be installed per Roof Manufacturer's standards such that all warranties are maintained. Contractor shall note any conflicts between Roof manufacturer's instructions and requirements of these drawings.

Roofing substrate, base sheets and any installed components shall be fully protected from subsequent construction activities until completion of project. Contractor shall provide temporary protection for all roof components where subsequent work may occur.

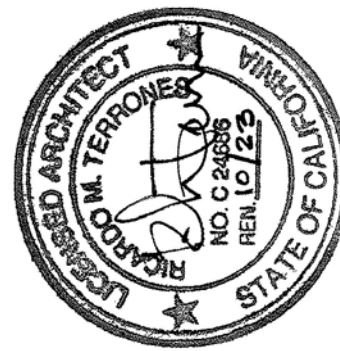
Contractor shall protect all roof components from exposure to sunlight where such exposure may damage materials. Installation of felts or base sheets shall be covered immediately by either subsequent roof layers or protective materials to avoid exposure to sun or general drying of materials.

Contractor shall fully seal all roof penetrations per roof manufacturer's specifications. Provide flashing, counter flashing, coping and reglets as necessary to ensure positive drainage across all surfaces. Gutters shall be fully soldered.

Fire sprinkler plans shall be submitted under separate permit through the fire department for approval prior to installation.

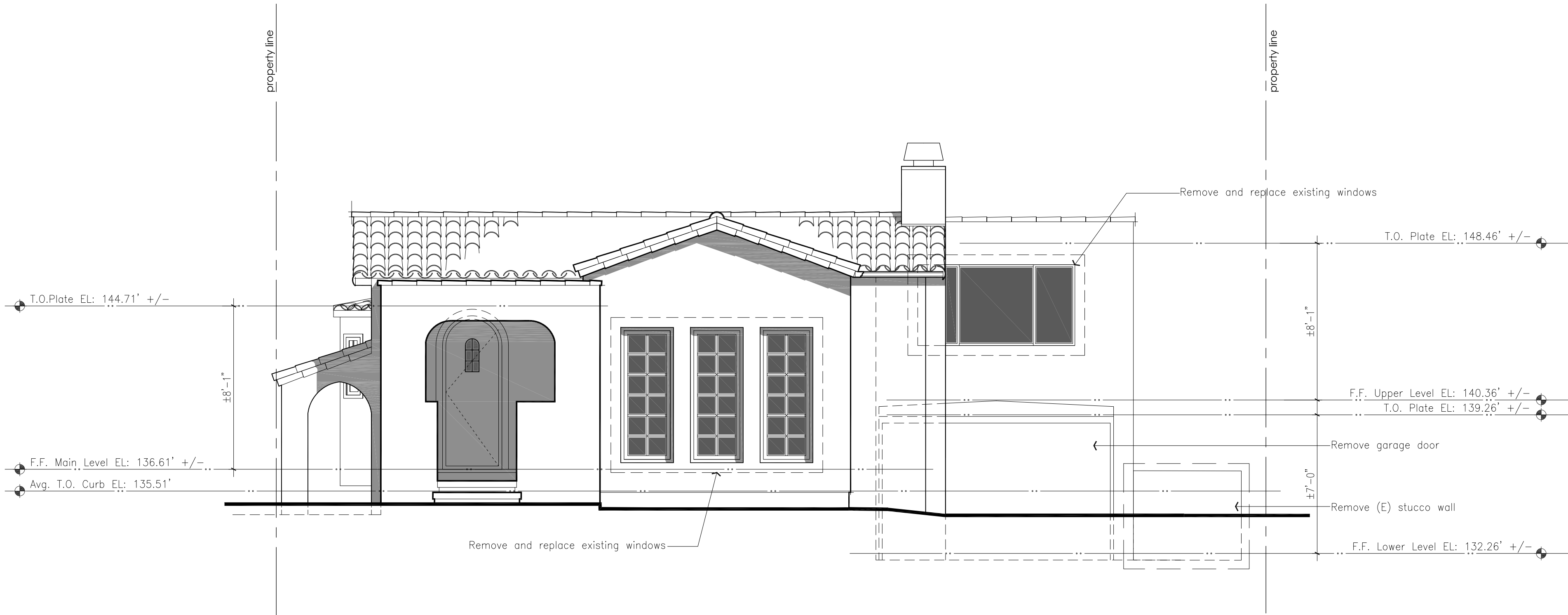
Legend

- Existing wall to remain
- New wood / framed wall
- (R) = Remove and replace
- (E) = Existing
- (N) = New



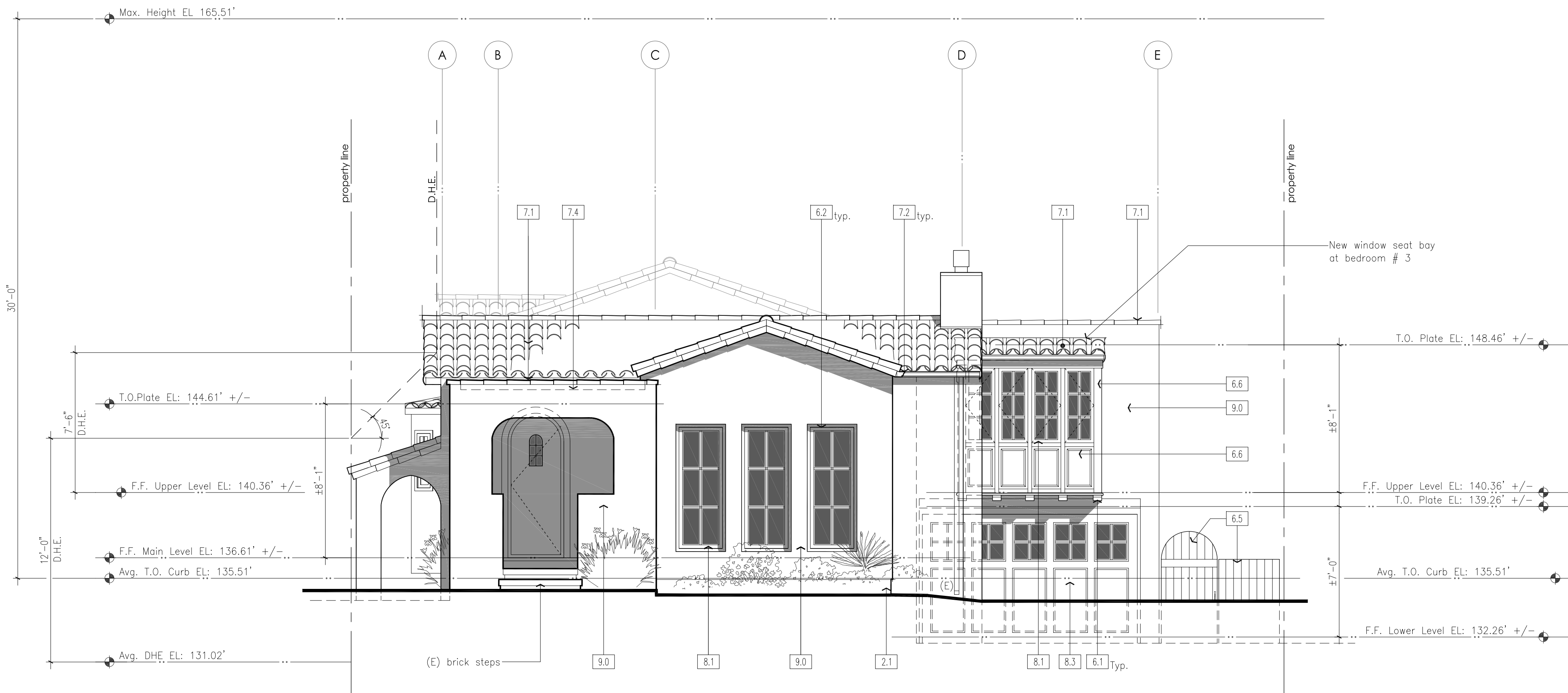


Roofs shall have a roofing assembly installed in accordance with its listing and the manufacture's installation instructions.



1 Exterior Elevation - Front

1/4" = 1'-0"



2 Exterior Elevation - Front Proposed

1/4" = 1'-0"

Exterior Elevation Notes

Refer floor plans for additional detail references.
Refer roof plans for roof detail callouts.
Refer site plan/civil drawings for grading, drainage.
Coordinate location of all items shown on these elevations via the floor plans to ensure proper alignments. Many items are not dimensioned but occur in explicit relationship to other items (such as alignment of centerlines or grid lines.)
The contractor shall become fully familiar with the overall plans to ensure that items shown on the exterior elevations can occur where intended.
Coordination may require early consideration of exterior elements long before work on the exterior portions of the building occurs. Removal or repair of any items not properly coordinated shall be performed at no expense to the Owner.
Coordinate locations of all exterior hardware and appurtenances such as hold-opens, signage, exterior switches / power, security devices.
Coordinate locations of all light fixtures, electrical equipment, plumbing equipment not shown on these elevations.
All pre-manufactured equipment may vary from these elevations based on changes in product design or manufacturing. Should such variations occur the Contractor shall notify the Architect within a reasonable time to allow for a timely resolution.
All exterior surfaces shall be cleaned and painted.

Maintenance Notes: Exterior finishes shall be cleaned and/or replaced regularly by Owner. Paint shall not be allowed to crack, peel or otherwise fail in any way without immediate replacement.
Windows shall be cleaned and maintained by Owner per mfr.'s recommendations.
Insect debris (spider webs, etc.) shall be removed regularly.
Landscape irrigation shall not be allowed to spray on any portion of structure.
Downspouts and splash blocks shall be adjusted so that no water splashes onto structure.
Slope all finish grades away from structure at 2% for min. 18" to swale.

Keynotes

Mark	Description
Division 1: General	
1.0	Align as indicated
Division 2: Site Work	
2.1	Existing finished grade
Division 3: Concrete	
3.1	New concrete steps
Division 5: Metals	
5.1	New wrought iron faux balcony (for charm & character)
Division 6: Wood, Plastics	
6.1	New 4x6 wood corbel, painted or stained
6.2	New painted wood Casing Trim at windows
6.3	New 2x painted wood fascia
6.4	New wood picket guard rail, 4" O.C
6.5	New wood fence / gate, stained
6.6	New wood trim, painted or stained
6.7	New wood timber header
Division 7: Thermal, Moisture	
7.1	New ceramic "S" tile: Sloped roofing or parapet cap
7.2	New CSM pre-finished gutter, painted
7.3	New CSM Downspout, painted
7.4	Existing built-up roof
Division 8: Doors, Windows	
8.1	New Aluminum clad wood Windows w/ sim. true divided lites
8.2	New Aluminum clad wood Doors
8.3	New stained wood garage door
Division 9: Finishes	
9.0	Existing exterior cement plaster, painted
9.1	New 3-coat, Exterior Cement Plaster (stucco), painted
Division 16: Electrical	
16.1	New light-max. 40w equiv. downcast w/ shade to prevent light spill (something nice)

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REGISTERED ARCHITECT
STATE OF CALIFORNIA
NO. C 24885
RENEWED 12/25

RODRIGO M. TERRONES

Alterations and Alterations to

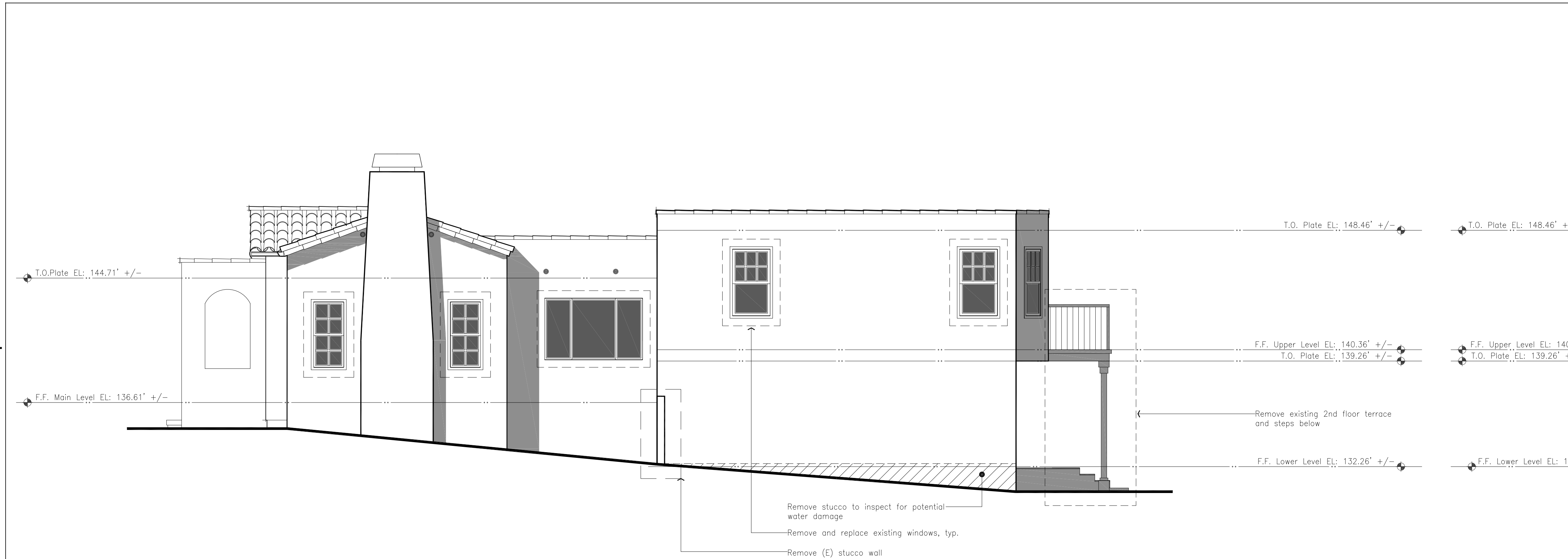
Rosenquist Residence

1312 Montero Avenue
Burlingame, CA
APN: 027-192-140

- 3 May, 2022: Owner Review
- 18 May, 2022: Schematic Update
- 17 June, 2022: Planning Submittal 01
- 15 August, 2022: Planning Submittal 02

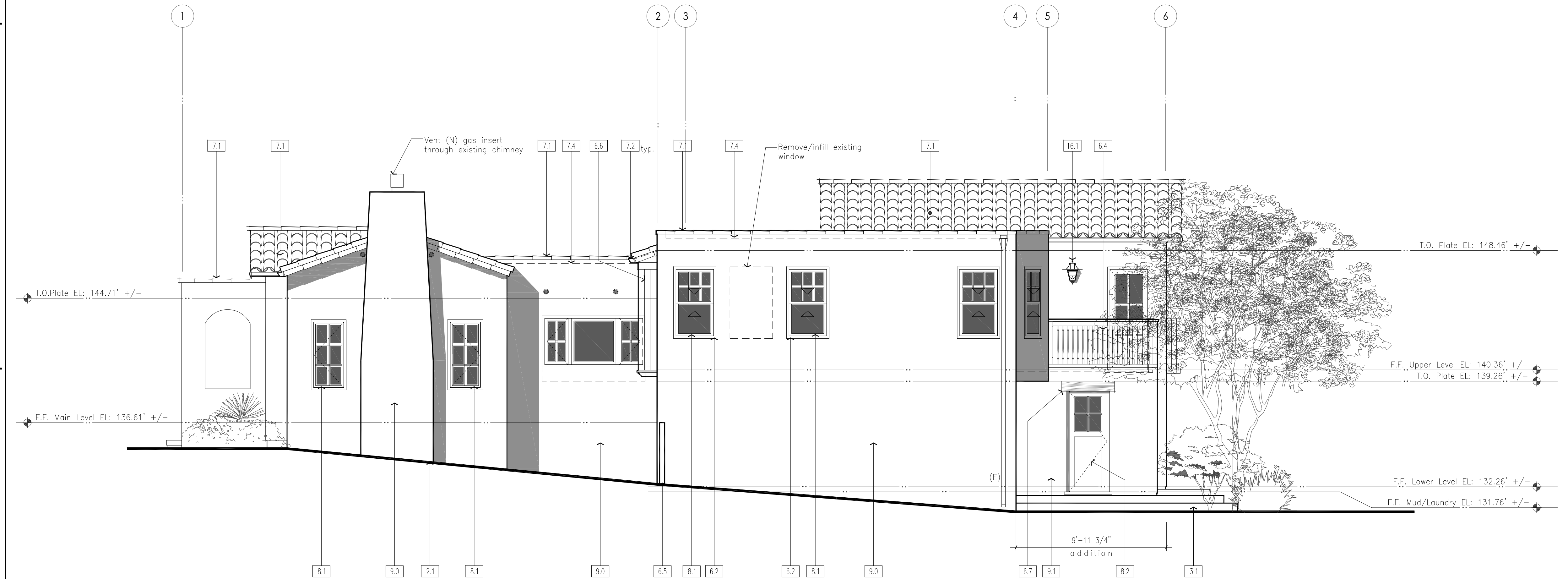
Exterior Elevations
Front

A4.1



1 Exterior Elevation - Right Side Existing

1/4" = 1'-0"



2 Exterior Elevation - Right Side Proposed

1/4" = 1'-0"

Exterior Elevation Notes

Refer floor plans for additional detail references.
Refer roof plans for roof detail callouts.
Refer site plan/civil drawings for grading, drainage.
Coordinate location of all items shown on these elevations via the floor plans to ensure proper alignments. Many items are not dimensioned but occur in explicit relationship to other items (such as alignment of centerlines or grid lines.)
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Coordinate locations of all light fixtures, electrical equipment, plumbing equipment not shown on these elevations.
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Windows shall be cleaned and maintained by Owner per mfr.'s recommendations.
Insect debris (spider webs, etc.) shall be removed regularly.
Landscape irrigation shall not be allowed to spray on any portion of structure.
Downspouts and splash blocks shall be adjusted so that no water splashes onto structure.
Slope all finish grades away from structure at 2% for min. 18" to swale.

Keynotes

Mark	Description
Division 1: General	
1.0	Align as Indicated
Division 2: Site Work	
2.1	Existing finished grade
Division 3: Concrete	
3.1	New concrete steps
Division 5: Metals	
5.1	New wrought iron faux balcony (for charm & character)
Division 6: Wood, Plastics	
6.1	New 4x6 wood corbel, painted or stained
6.2	New painted wood Casing Trim at windows
6.3	New 2x painted wood fascia
6.4	New wood picket guard rail, 4" O.C
6.5	New wood fence / gate, stained
6.6	New wood trim, painted or stained
6.7	New wood timber header
Division 7: Thermal, Moisture	
7.1	New ceramic "S" tile: Sloped roofing or parapet cap
7.2	New CSM pre-finished gutter, painted
7.3	New CSM Downspout, painted
7.4	Existing built-up roof
Division 8: Doors, Windows	
8.1	New Aluminum clad wood Windows w/ sim. true divided lites
8.2	New Aluminum clad wood Doors
8.3	New stained wood garage door
Division 9: Finishes	
9.0	Existing exterior cement plaster, painted
9.1	New 3-coat, Exterior Cement Plaster (stucco), painted
Division 16: Electrical	
16.1	New light-max. 40w equiv. downcast w/ shade to prevent light spill (something nice)

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ALTERNATE ARCHITECT
ROSENQUIST RESIDENCE
NO. C-24283
REV. 10/25
STATE OF CALIFORNIA

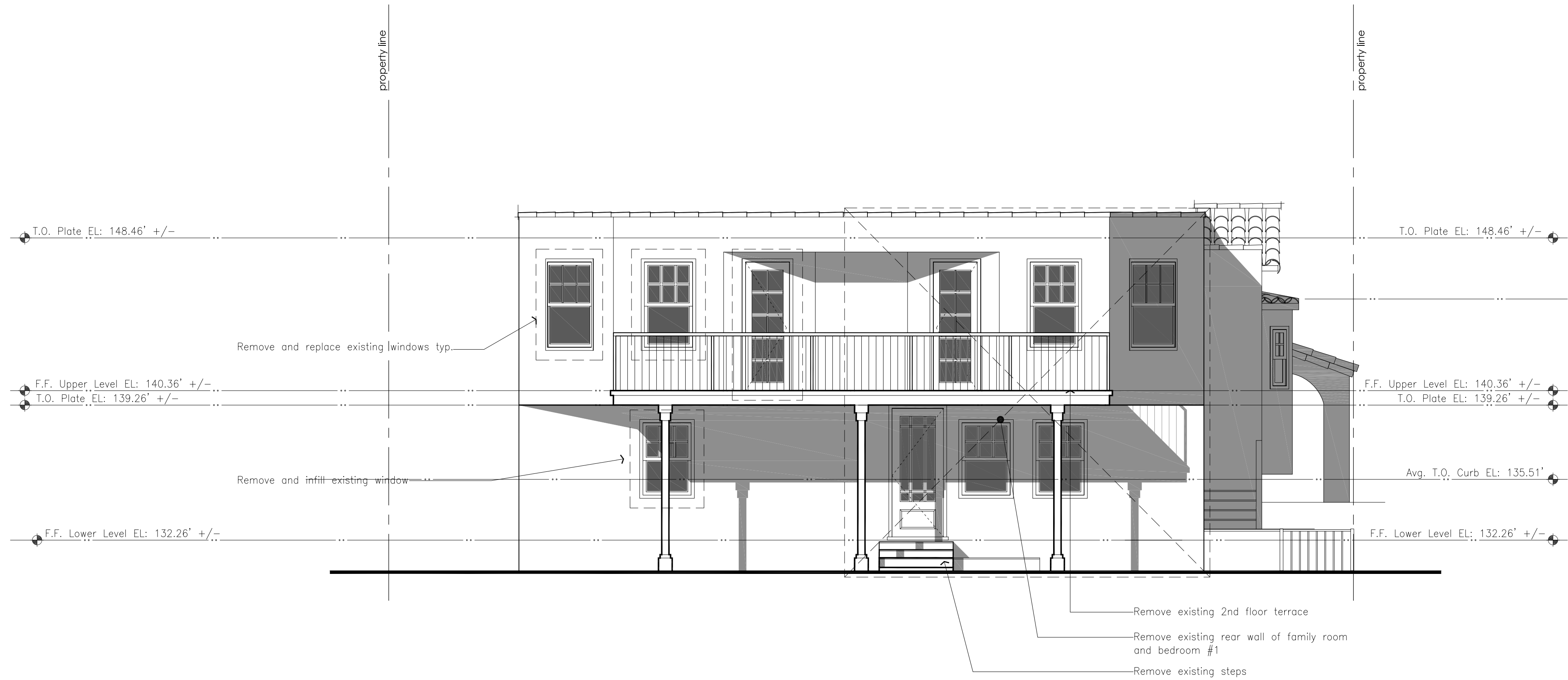
Alterations and Alterations to
Rosenquist Residence
1312 Montero Avenue
Burlingame, CA
APN: 027-192-140

3 May, 2022: Owner Review
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Exterior Elevations
Right Side (Driveway)

A4.2

2202



1 Exterior Elevation - Rear Existing

1/4" = 1'-0"



2 Exterior Elevation - Rear Proposed

1/4" = 1'-0"

Exterior Elevation Notes

Refer floor plans for additional detail references.
Refer roof plans for roof detail callouts.
Refer site plan/civil drawings for grading, drainage.
Coordinate location of all items shown on these elevations via the floor plans to ensure proper alignments. Many items are not dimensioned but occur in explicit relationship to other items (such as alignment of centerlines or grid lines.)
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Coordinate locations of all exterior hardware and appurtenances such as hold-opens, signage, exterior switches / power, security devices.
Coordinate locations of all light fixtures, electrical equipment, plumbing equipment not shown on these elevations.
All pre-manufactured equipment may vary from these elevations based on changes in product design or manufacturing. Should such variations occur the Contractor shall notify the Architect within a reasonable time to allow for a timely resolution.
All exterior surfaces shall be cleaned and painted.

Maintenance Notes: Exterior finishes shall be cleaned and/or replaced regularly by Owner. Paint shall not be allowed to crack, peel or otherwise fail in any way without immediate replacement.
Windows shall be cleaned and maintained by Owner per mfr.'s recommendations.
Insect debris (spider webs, etc.) shall be removed regularly.
Landscape irrigation shall not be allowed to spray on any portion of structure.
Downspouts and splash blocks shall be adjusted so that no water splashes onto structure.
Slope all finish grades away from structure at 2% for min. 18" to swale.

Keynotes

Mark	Description
Division 1: General	
1.0	Align as indicated
Division 2: Site Work	
2.1	Existing finished grade
Division 3: Concrete	
3.1	New concrete steps
Division 5: Metals	
5.1	New wrought iron faux balcony (for charm & character)
Division 6: Wood, Plastics	
6.1	New 4x6 wood corbel, painted or stained
6.2	New painted wood Casing Trim at windows
6.3	New 2x painted wood fascia
6.4	New wood picket guard rail, 4" O.C
6.5	New wood fence / gate, stained
6.6	New wood trim, painted or stained
6.7	New wood timber header
Division 7: Thermal, Moisture	
7.1	New ceramic "S" tile: Sloped roofing or parapet cap
7.2	New CSM pre-finished gutter, painted
7.3	New CSM Downspout, painted
7.4	Existing built-up roof
Division 8: Doors, Windows	
8.1	New Aluminum clad wood Windows w/ sim. true divided lites
8.2	New Aluminum clad wood Doors
8.3	New stained wood garage door
Division 9: Finishes	
9.0	Existing exterior cement plaster, painted
9.1	New 3-coat, Exterior Cement Plaster (stucco), painted
Division 16: Electrical	
16.1	New light-max. 40w equiv. downcast w/ shade to prevent light spill (something nice)

Alterations and Alterations to

Rosenquist Residence

1312 Montero Avenue
Burlingame, CA
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Exterior Elevations
Rear

A4.3

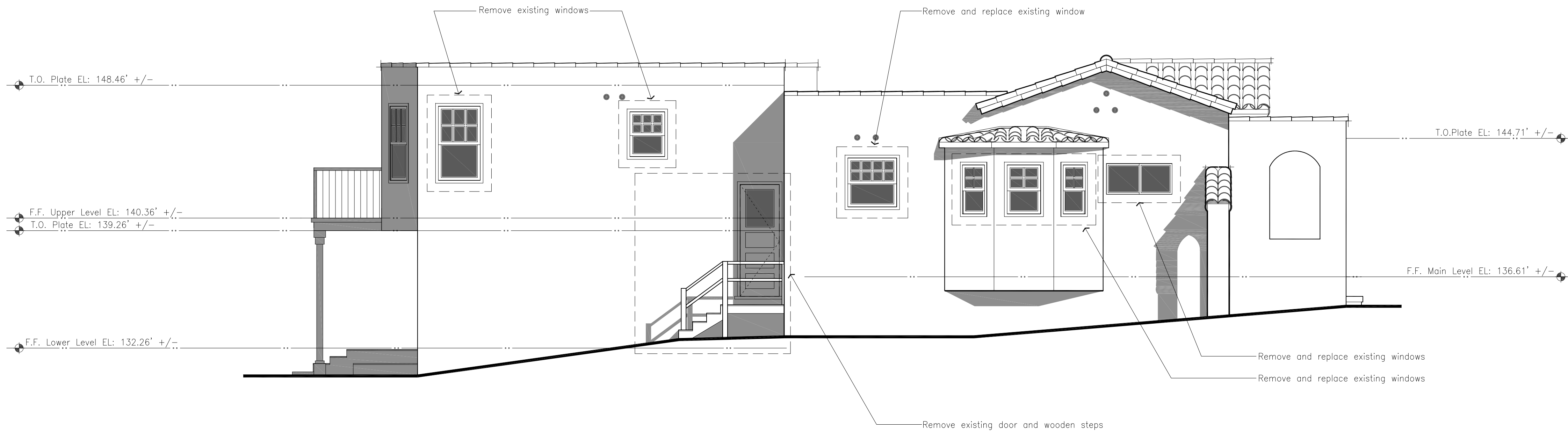
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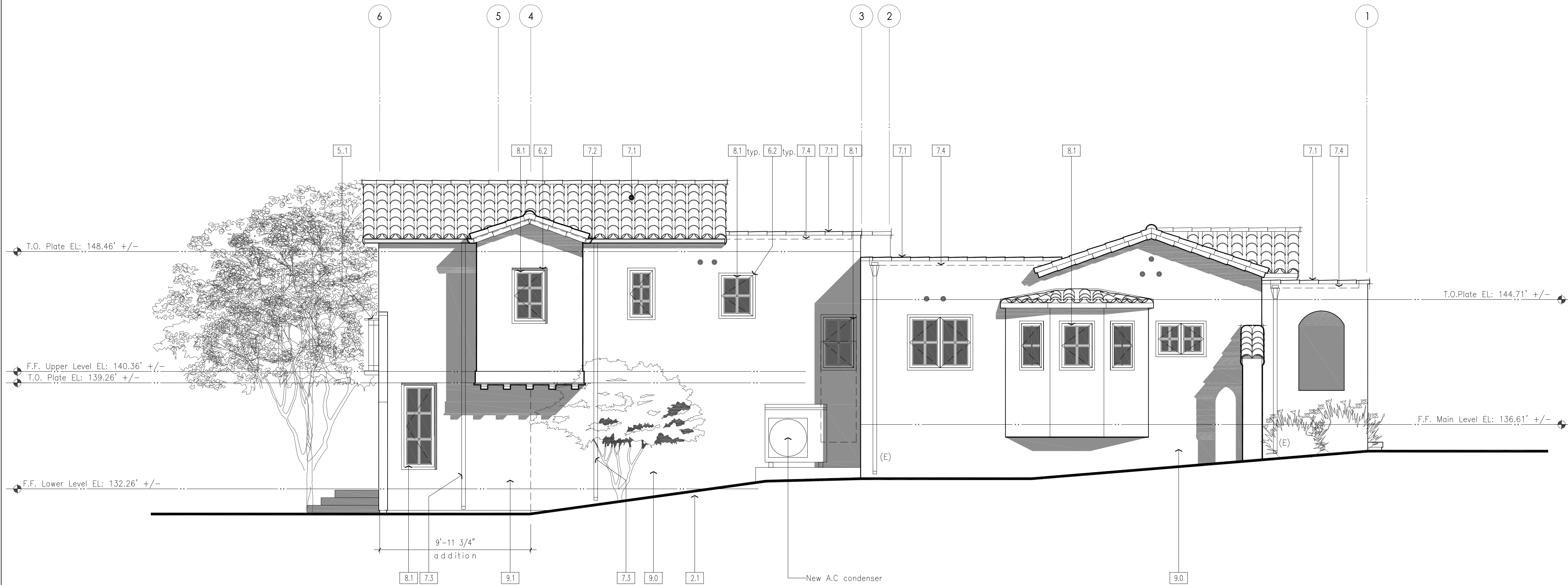
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1 Exterior Elevation - Left Side Existing 1/4" = 1'-0"



2 Exterior Elevation - Left Side Proposed 1/4" = 1'-0"

Exterior Elevation Notes

Refer floor plans for additional detail references.
Refer roof plans for roof detail callouts.
Refer site plan/civil drawings for grading, drainage.
Coordinate location of all items shown on these elevations via the floor plans to ensure proper alignments. Many items are not dimensioned but occur in explicit relationship to other items (such as alignment of centerlines or grid lines.)
The contractor shall become fully familiar with the overall plans to ensure that items shown on the exterior elevations can occur where intended.
Coordination may require early consideration of exterior elements long before work on the exterior portions of the building occurs. Removal or repair of any items not properly coordinated shall be performed at no expense to the Owner.
Coordinate locations of all exterior hardware and appurtenances such as hold-opens, signage, exterior switches / power, security devices.
Coordinate locations of all light fixtures, electrical equipment, plumbing equipment not shown on these elevations.
All pre-manufactured equipment may vary from these elevations based on changes in product design or manufacturing. Should such variations occur the Contractor shall notify the Architect within a reasonable time to allow for a timely resolution.
All exterior surfaces shall be cleaned and painted.

Maintenance Notes: Exterior finishes shall be cleaned and/or replaced regularly by Owner. Paint shall not be allowed to crack, peel or otherwise fail in any way without immediate replacement. Windows shall be cleaned and maintained by Owner per mfr.'s recommendations.
Insect debris (spider webs, etc.) shall be removed regularly.
Landscape irrigation shall not be allowed to spray on any portion of structure.
Downspouts and splash blocks shall be adjusted so that no water splashes onto structure.
Slope all finish grades away from structure at 2% for min. 18" to swale.

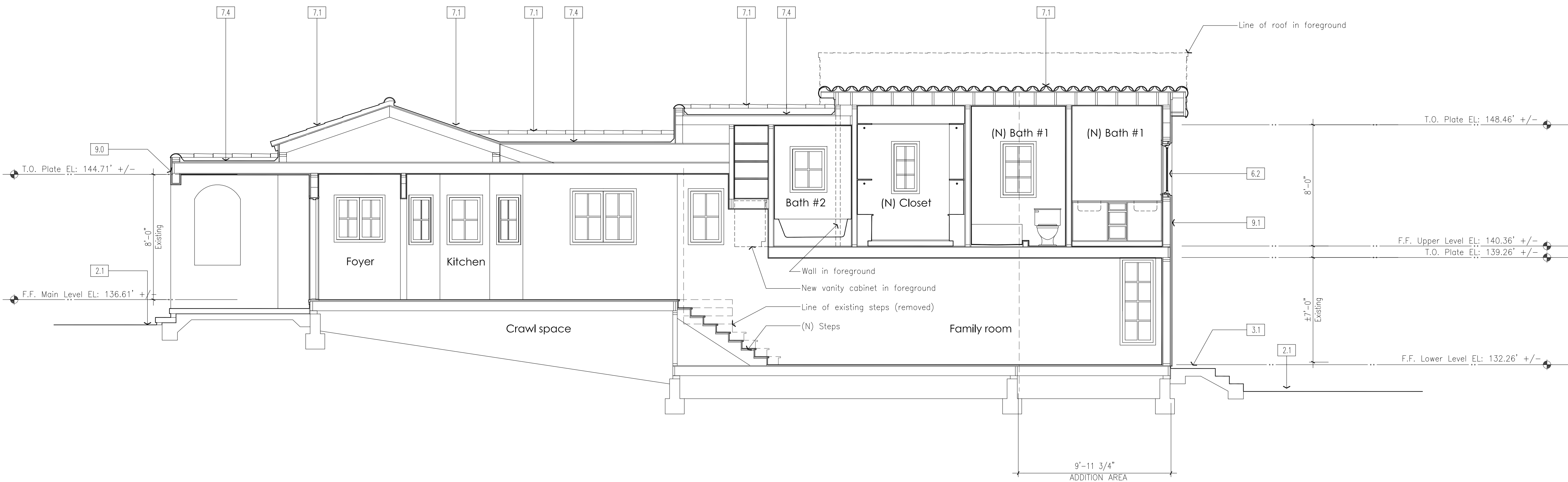
Keynotes

Mark	Description
Division 1: General	
1.0	Align as Indicated
Division 2: Site Work	
2.1	Existing finished grade
Division 3: Concrete	
3.1	New concrete steps
Division 5: Metals	
5.1	New wrought iron faux balcony (for charm & character)
Division 6: Wood, Plastics	
6.1	New 4x6 wood corbel, painted or stained
6.2	New painted wood Casing Trim at windows
6.3	New 2x painted wood fascia
6.4	New wood picket guard rail, 4" O.C
6.5	New wood fence / gate, stained
6.6	New wood trim, painted or stained
6.7	New wood timber header
Division 7: Thermal, Moisture	
7.1	New ceramic "S" tile: Sloped roofing or parapet cap
7.2	New CSM pre-finished gutter, painted
7.3	New CSM Downspout, painted
7.4	Existing built-up roof
Division 8: Doors, Windows	
8.1	New Aluminum clad wood Windows w/ sim. true divided lites
8.2	New Aluminum clad wood Doors
8.3	New stained wood garage door
Division 9: Finishes	
9.0	Existing exterior cement plaster, painted
9.1	New 3-coat, Exterior Cement Plaster (stucco), painted
Division 16: Electrical	
16.1	New light-max. 40w equiv. downcast w/ shade to prevent light spill (something nice)



1 Lateral Section

1/4" = 1'-0"



2 Longitudinal Section

1/4" = 1'-0"

Section Notes

These drawings are intended to represent the basic configuration of the new construction as well as the existing construction. Sections include standard framing methods and circumstances but may not include all structural members or represent all special situations. Refer to noted details for all special construction.

Refer structural drawings for all framing sizes not shown.

Refer structural drawings for actual footing profiles. Profiles shown here are schematic only.

Interior elevations shown here are for reference only and shall not take precedence over interior elevation sheets.

Insulation, gaskets, sealants, barriers shall be installed in compliance with CAC Title 24 as represented in Title 24 compliance forms included as part of these Documents (under separate cover).

Contractor to provide required insulation certification.

Keynotes

Mark	Description
Division 1: General	
1.0	Align as indicated
Division 2: Site Work	
2.1	Existing finished grade
Division 3: Concrete	
3.1	New concrete steps
Division 5: Metals	
5.1	New wrought iron faux balcony (for charm & character)
Division 6: Wood, Plastics	
6.1	New 4x6 wood corbel, painted or stained
6.2	New painted wood Casing Trim at windows
6.3	New 2x painted wood fascia
6.4	New wood picket guard rail, 4" O.C
6.5	New wood fence / gate, stained
6.6	New wood trim, painted or stained
6.7	New wood timber header
Division 7: Thermal, Moisture	
7.1	New ceramic "S" tile: Sloped roofing or parapet cap
7.2	New GSM pre-finished gutter, painted
7.3	New GSM Downspout, painted
7.4	Existing built-up roof
Division 8: Doors, Windows	
8.1	New Aluminum clad wood Windows w/ sim. true divided lites
8.2	New Aluminum clad wood Doors
8.3	New stained wood garage door
Division 9: Finishes	
9.0	Existing exterior cement plaster, painted
9.1	New 3-coat, Exterior Cement Plaster (stucco), painted
Division 16: Electrical	
16.1	New light-max. 40w equiv. downcast w/ shade to prevent light spill (something nice)

DTA Dreiling Terrones Architecture Inc.

Architecture
Infrastructure
Environments



1103 Juanita Avenue
Burlingame, California
94010
650.696.1200

314 Center Street #220
Headlands, California
95448
707.431.1305

Alterations and Alterations to
Rosenquist Residence

1312 Montero Avenue
Burlingame, CA
APN: 027-192-140

3 May, 2022: Owner Review
18 May, 2022: Schematic Update
17 June, 2022: Planning Submittal 01
15 August, 2022: Planning Submittal 02

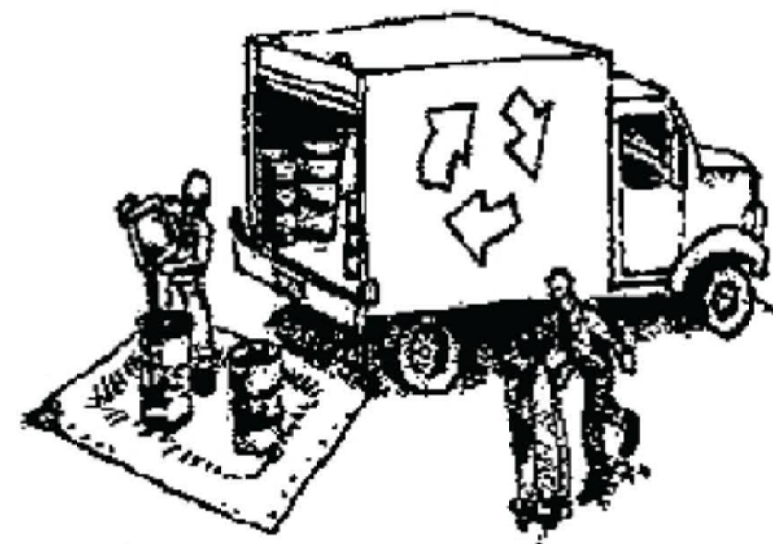
Proposed
Sections

A5.1

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



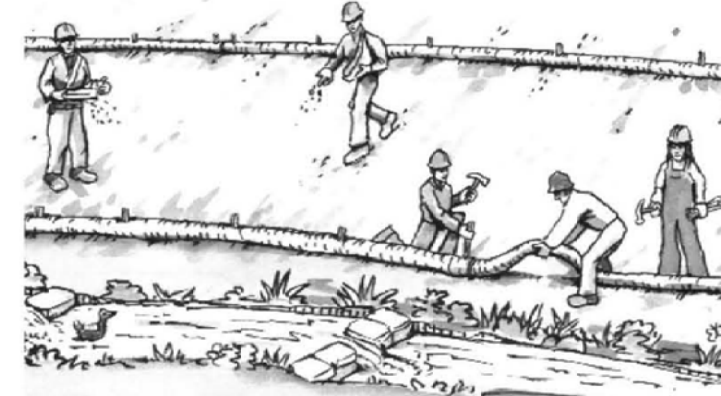
Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

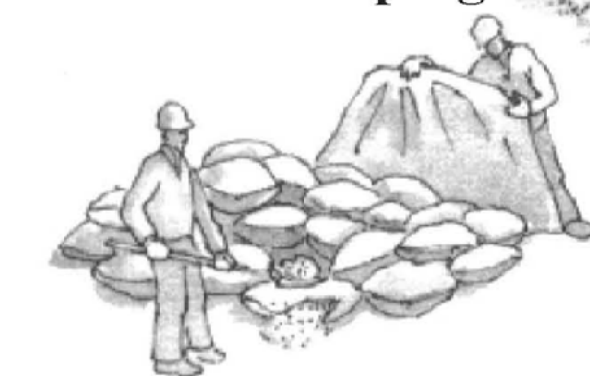
- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



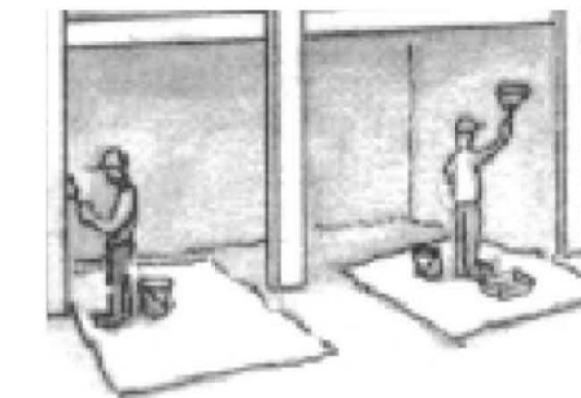
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

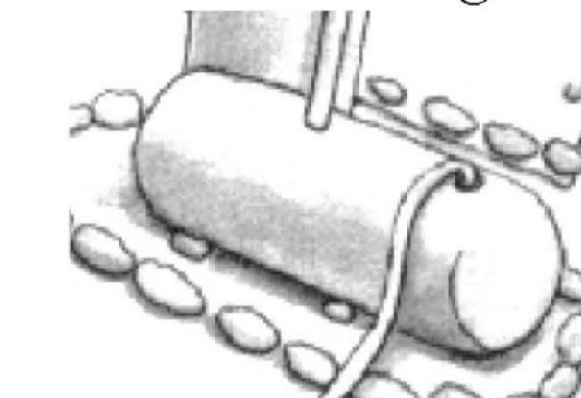
Painting & Paint Removal



Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!