

"FOR PLANNING APPROVAL ONLY--NOT FOR CONSTRUCTION"



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08/23/22

CITY OF BURLINGAME
CDD-PLANNING DIVISION

13 17 PALOMA AVE,
BURLINGAME, CA, 94010

HADJIAN RESIDENCE

PROJECT SUMMARY

SUMMARY	REMARK	SQ.FT
Lot Area:		6,000.0
Total New Garage		451.0
Total New Living Area		2,962.4
Total New Residence		3,413.4
Allowable FAR	32%x6000+1100+400	3,420.0

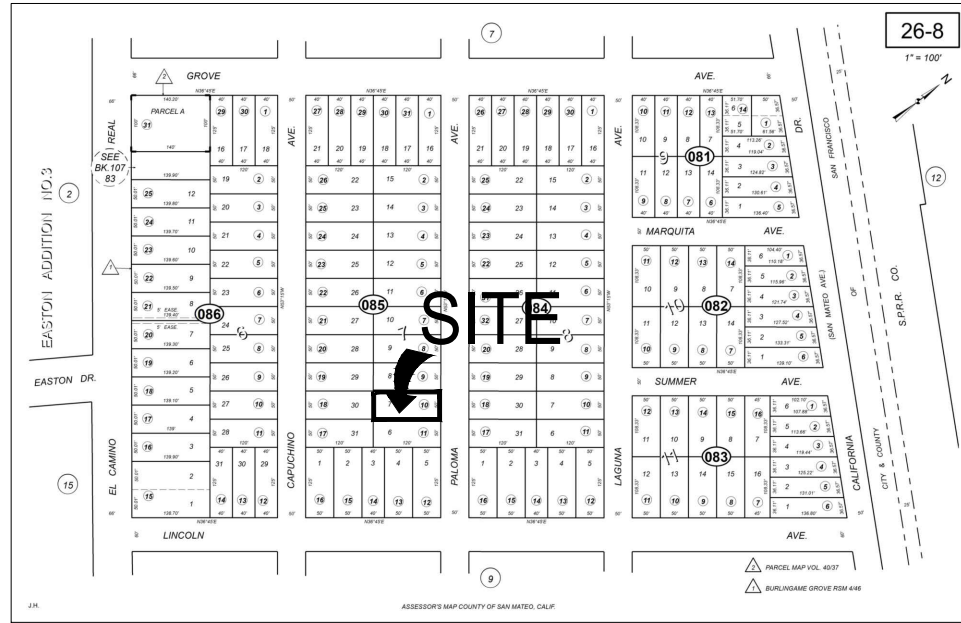
PARCEL NUMBER-----026-085-100
PROJECT TYPE-----NEW CONSTRUCTION
ZONING-----R1
OCCUPANCY GROUP-----R-3/U
FIR PROTECTION-----SPRINKLERED
CONSTRUCTION TYPE-----V-B

SCOPE OF PROJECT

DEMOLISH OF 1080 S.F. EXISTING ONE STORY SINGLE FAMILY HOUSE, AND NEW CONSTRUCTION OF 2962.4 LIVING AREA AND 451 S.F. DETACHED GARAGE AREA IN TOTAL 3413.4 S.F. IN A 6000 S.F. LOT

NEW SINGLE FAMILY RESIDENCE + DETACHED GARAGE

ASSESSOR'S PARCEL MAP



APPLICABLE CODES

APPLICABLE CODES (with CITY OF BURLINGAME Amendments)
THIS PROJECT IS REQUIRED TO COMPLY WITH THE CITY OF BURLINGAME REACH CODE ORDINANCE 1979 WHICH WENT IN TO EFFECT ON OCT. 16TH, 2020.

-2019 CALIFORNIA ADMINISTRATIVE CODE, CAC
-2019 CALIFORNIA BUILDING CODE, CBC
-2019 CALIFORNIA RESIDENTIAL BUILDING CODE, CRC
-2019 CALIFORNIA ELECTRICAL CODE, CEC
-2019 CALIFORNIA MECHANICAL CODE, CMC
-2019 CALIFORNIA PLUMBING CODE, CPC
-2019 CALIFORNIA ENERGY CODE, CEC
-2019 CALIFORNIA HISTORICAL CODE, CHC
-2019 CALIFORNIA FIRE CODE, CFC
-2019 CALIFORNIA EXISTING BUILDING CODE
-2019 CALIFORNIA GREEN BUILDING STANDARDS
-2019 CALIFORNIA REFERENCED STANDARDS
-SANTA CLARA COUNTY STANDARD DETAIL AND SPECIFICATION SI-7 FOR CONSTRUCTION SITE SAFETY

REQ'D CONTRACTOR SUBMITTALS
TO ARCHITECT/DESIGNER

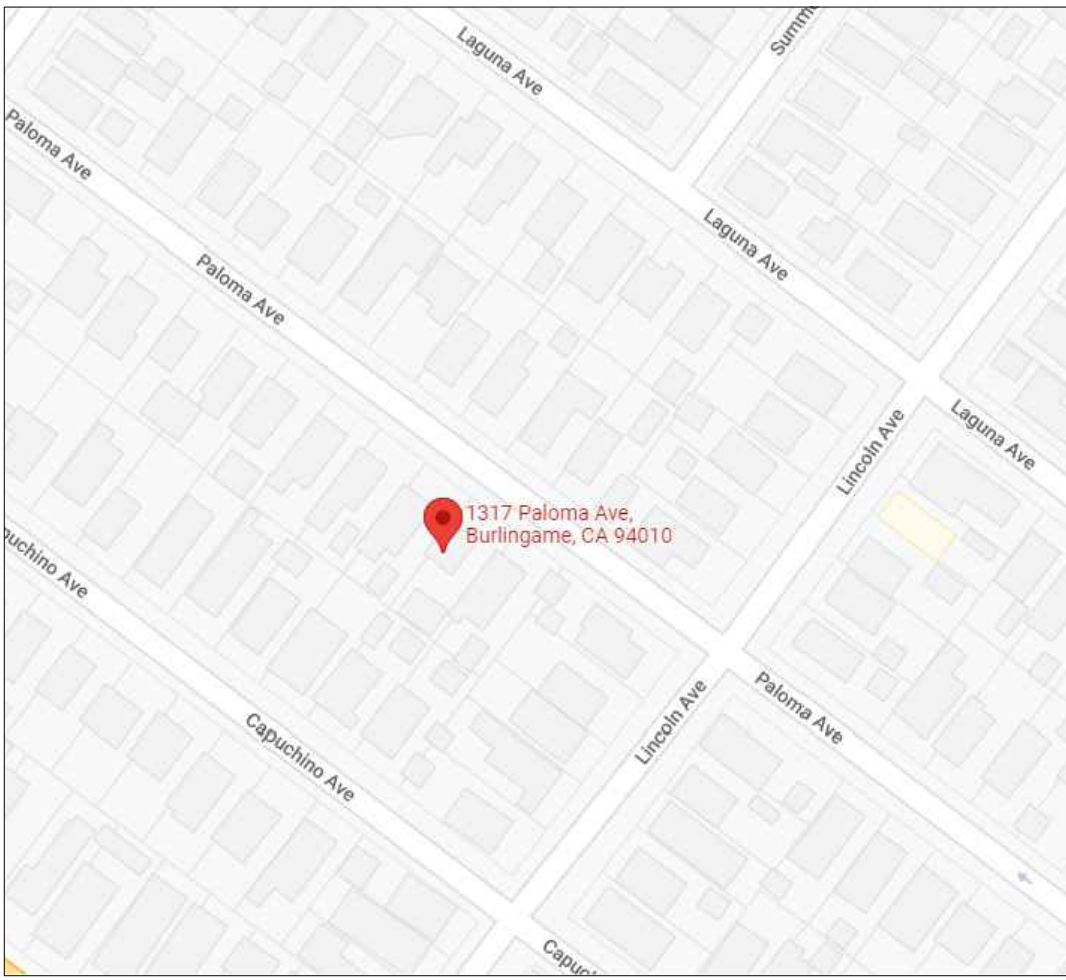
THE FOLLOWING ARE REQUIRED TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL/REVIEW:

1. WINDOW/DOOR PACKAGE
2. CABINET SHOP DRAWINGS AND FINISH SAMPLES
3. MECHANICAL DUCTING PLAN
4. STAIR AND RAIL SHOP DRAWINGS
5. MISC. STEEL SHOP DRAWINGS

CONSTRUCTION HOURS

WEEKDAYS: 8:00 A.M. - 7:00 P.M.
SATURDAYS: 9:00 A.M. - 6:00 P.M.
SUNDAYS AND HOLIDAYS : NO WORK ALLOWED
SEE CITY OF BURLINGAME MUNICIPAL CODE, SEC. 18.07.110 FOR DETAILS
SEE CITY OF BURLINGAME MUNICIPAL CODE, SECTION 13.04.100 FOR DETAILS.
CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT-OF-WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00 A.M. AND 5:00 P.M.
NOTE:CONSTRUCTION HOURS FOR WORK IN THE PUBLIC RIGHT OF WAY MUST NOW BE INCLUDED ON THE PLANS.

LOCATION MAP



DEFERRED SUBMITTALS

1. FIRE SPRINKLERS IN ACCORDANCE WITH NFPA 13D AND STATE AND LOCAL REQUIREMENTS--NOTE THAT PER CRC 313.3.7, A SIGN OR VALVE TAG SHALL BE INSTALLED AT THE MAIN SHUTOFF VALVE TO THE WATER DISTRIBUTION SYSTEM STATING THE FOLLOWING: "WARNING, THE WATER SYSTEM FOR THIS HOME SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS AND AUTOMATIC SHUTOFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN"
2. STAIR GUARDRAIL SHOP DRAWINGS SIGNED AND STAMPED BY ENGINEER TO BE SUBMITTED TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL--NOTE THAT SHOP DRAWINGS TO DEMONSTRATE GUARDRAIL DESIGN IS ADEQUATE TO SUPPORT A SINGLE CONCENTRATED 200 POUND LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE RAIL PER CRC TABLE 301.5 AND 301.5 FOOTNOTE D
3. SOLAR PHOTOVOLTAIC SYSTEM TO BE UNDER A SEPARATE PERMIT

REQ'D CONTRACTOR SUBMITTALS TO BUILDING
DEPT. PRIOR TO PERMIT ISSUANCE

1. LICENSE NUMBER
2. INSURANCE AND WORKER'S COMP POLICIES
3. CONSTRUCTION STAGING PLAN
4. CONSTRUCTION WASTE MANAGEMENT PLAN IN ACCORDANCE WITH CALGREEN 4.408.2

ACKNOWLEDGMENTS

DUE TO THE EXTENSIVE NATURE OF THIS CONSTRUCTION PROJECT THE CERTIFICATE OF OCCUPANCY WILL BE RESCINDED ONCE CONSTRUCTION BEGINS. A NEW CERTIFICATE OF OCCUPANCY WILL BE ISSUED AFTER THE PROJECT HAS BEEN FINAL. NO OCCUPANCY OF THE BUILDING IS TO OCCUR UNTIL A NEW CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED.

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PROJECT TEAM

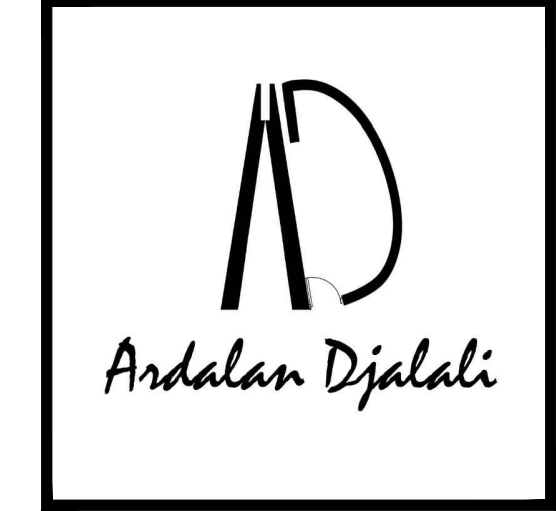
OWNER
Behzad Hadjian
1317 Paloma Ave
CA, Burlingame, 94010
ph: 650-832-8414
email: behzad@bahomebuilders.com

DESIGNER
Ardalan Djalali
1670 El Camino Real, Apt 309
Menlo Park, CA, 94025
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SUREVAY AND CIVIL ENGINEER
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1670 El Camin Real, Apt 309
Menlo Park, CA, 94025
650-387-9272

APN: 026-085-100

PROJECT NAME
Hadjian Residence
NEW SINGLE FAMILY HOUSE AND DETACHED GARAGE
ADDRESS
1317 Paloma Ave,
Burlingame, CA
Owner
Behzad Hadjian

DRAWN BY

Ardalan Djalali

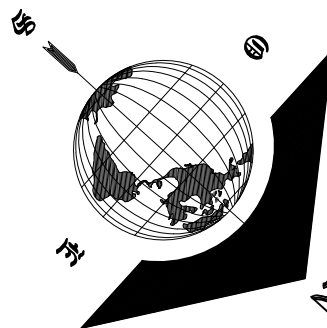
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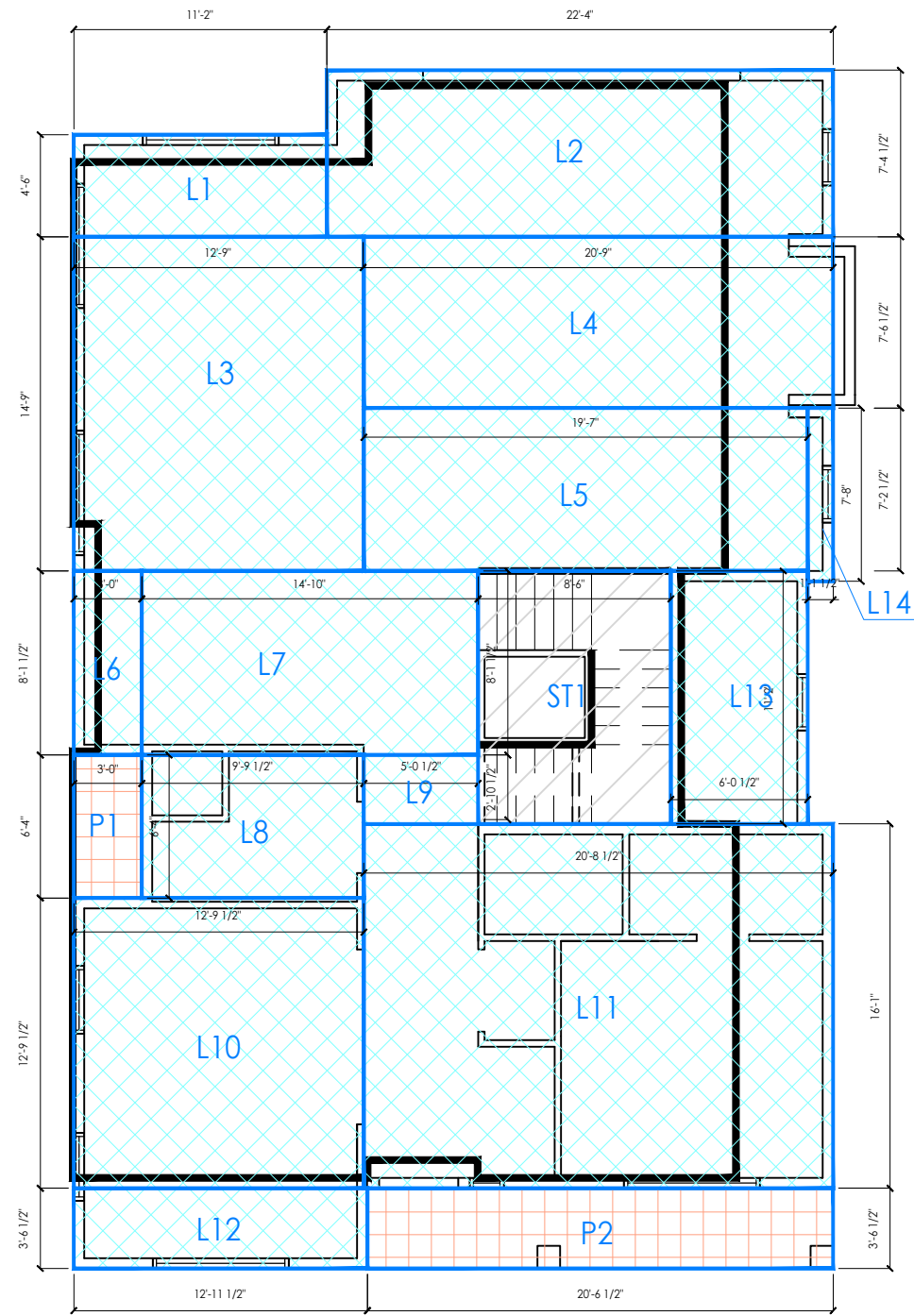
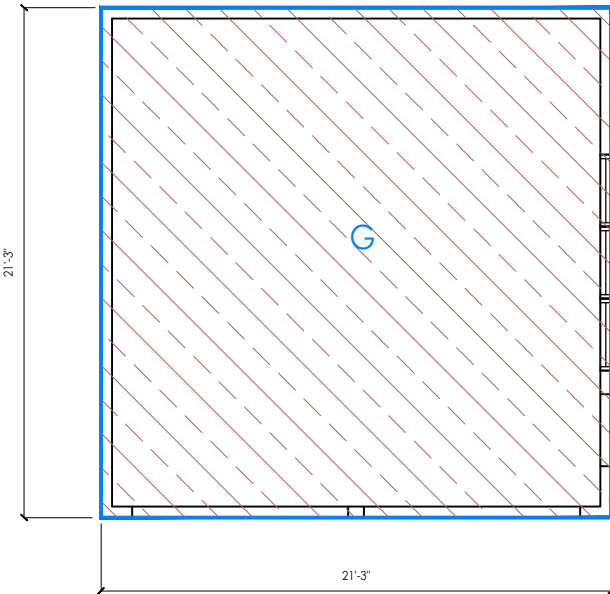
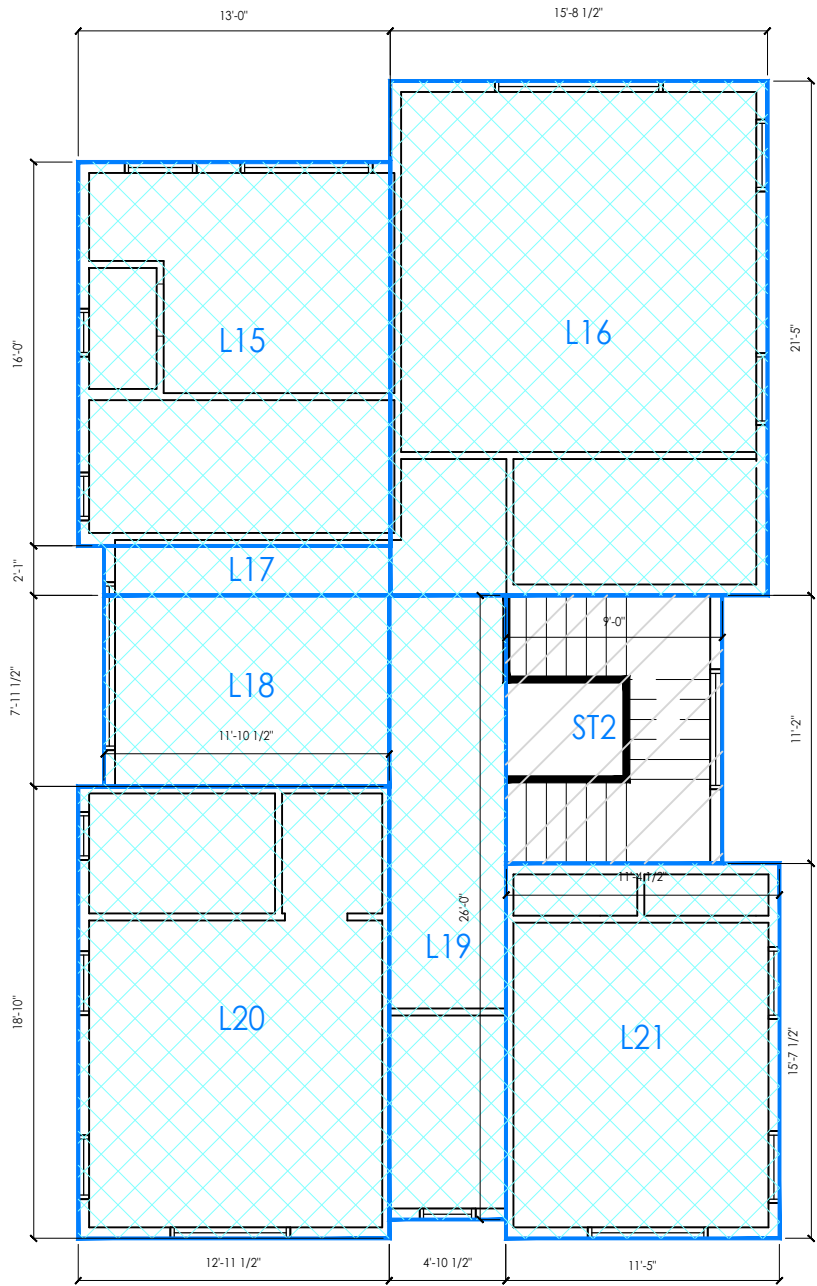
Ardalan
Ardalan Djalali

REVISION	DATE	DESCRIPTION
	04.04.2022	PLANNING SUBMITTAL
1	05.31.2022	PLANNING RESUBMITTAL

COVER SHEET

A0.0





FLOOR AREA CALCULATION

Legend	Proposed 1st Floor living Area	Dimenitions	Area	Remark
	L1	4'-6" x 11'-2"	50.3	-
	L2	7'-4 1/2" x 22'-4"	164.3	-
	L3	12'-9" x 14'-9"	188.6	-
	L4	7'-6 1/2" x 20'-9"	156.5	-
	L5	7'-2 1/2" x 19'-7"	140.8	-
	L6	3'-0" x 8'-1 1/2"	24.4	-
	L7	8'-1 1/2" x 14'-10"	120.5	-
	L8	6'-4" x 9'-9 1/2"	61.8	-
	L9	2'-10 1/2" x 5'-0 1/2"	15.3	-
	L10	12'-9 1/2" x 12'-9 1/2"	163.9	-
	L11	16'-1" x 20'-8 1/2"	333.1	-
	L12	3'-6 1/2" x 12'-11 1/2"	45.9	-
	L13	6'-0 1/2" x 11'-2"	67.5	-
	L14	1'-1 1/2" x 7'-8"	8.6	-
	ST1	8'-6" x 11'-2"	94.9	COUNTED TOWARD FAR
	P1	3'-6 1/2" x 20'-6 1/2"	18.9	COUNTED TOWARD FAR
	Total		1,655.2	

Legend	COVERED PATIO	Dimenitions	Area	Remark
	P2	21'-3" x 21'-3"	72.8	NOT COUNTED TOWARD FAR
	Total		72.8	

Legend	Garage Area	Dimenitions	Area	Remark
	G	21'-3" x 21'-3"	451.0	COUNTED TOWARD FAR
	Total		451.0	

Legend	Proposed 2nd Floor living Area	Dimenitions	Area	Remark
	L15	13'-10" x 16'-0"	207.9	-
	L16	15'-8 1/2" x 21'-5"	336.8	-
	L17	2'-1" x 11'-10 1/2"	24.6	-
	L18	7'-11 1/2" x 11'-10 1/2"	94.6	-
	L19	4'-10 1/2" x 26'-0"	126.4	-
	L20	12'-11 1/2" x 18'-10"	244.0	-
	L21	11'-5" x 16'-7 1/2"	178.1	-
	ST2	8'-6" x 11'-2"	94.9	COUNTED TOWARD FAR
	Total		1,307.3	

SUMMARY	REMARK	SQ.FT
Lot Area:		6,000.0
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Allowable FAR	32%x6000+1100+400	3,420.0



1670 El Camin Real, Apt 309
Menlo Park, CA, 94025
650-387-9272

APN: 026-085-100

PROJECT NAME
Hadjian Residence
NEW SINGLE FAMILY HOUSE AND DETACHED GARAGE

ADDRESS
1317 Paloma Ave,
Burlingame, CA

Owner
Behzad Hadjian

DRAWN BY

Ardalan Djalali

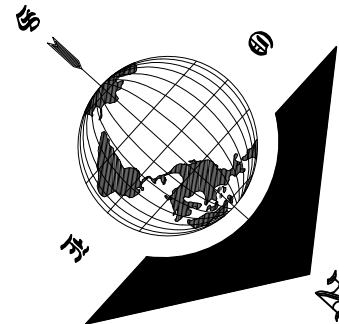
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FLOOR
AREA
CALCULATION

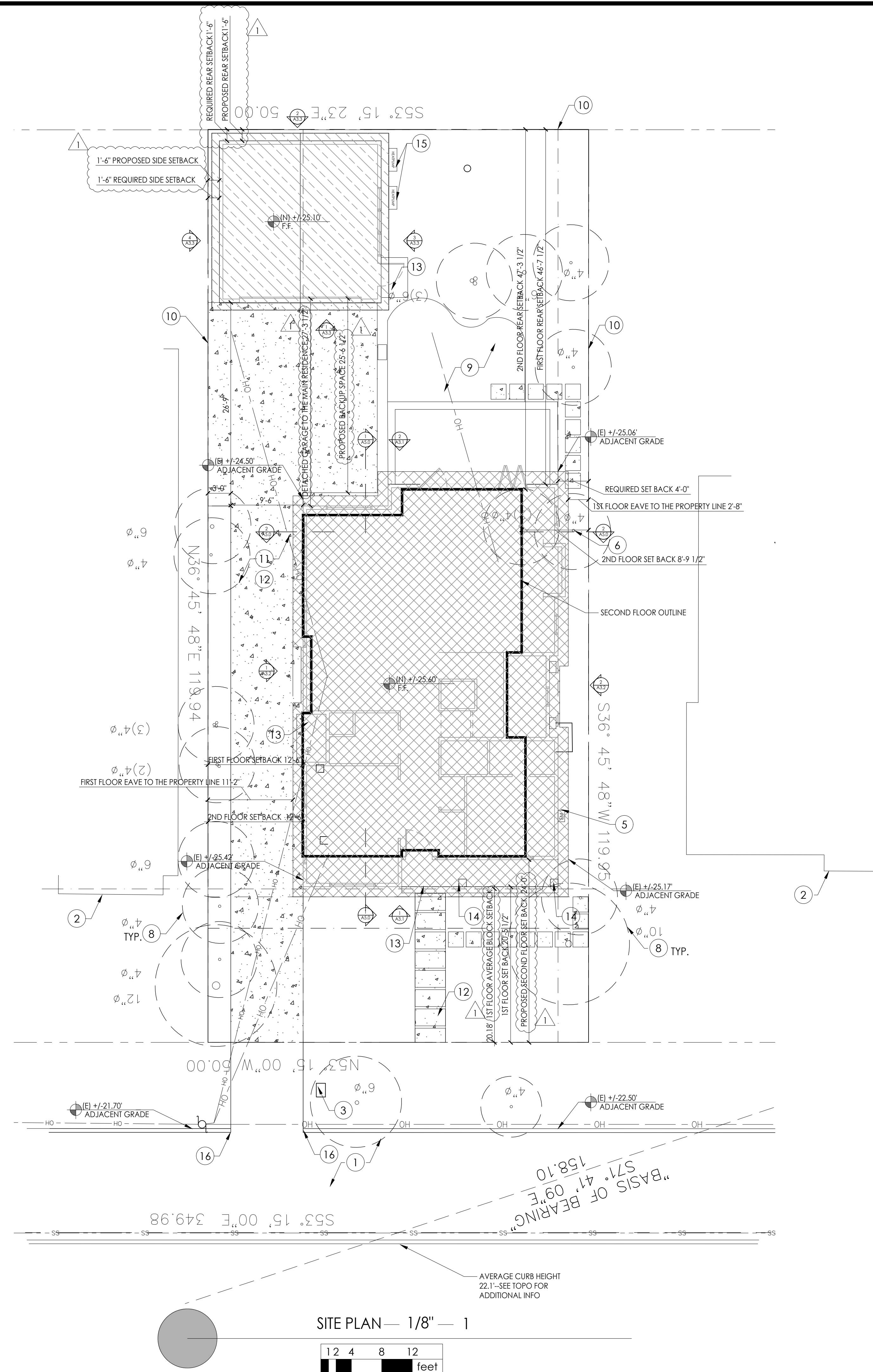
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1. EXISTING PUBLIC RIGHT OF WAY--ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED 'PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET' PRIOR TO THE COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY
2. APPROXIMATE LOCATION OF NEIGHBORING STRUCTURE
3. (N) WATER METER--CONTRACTOR TO COORDINATE (N) METER WITH LOCAL WATER COMPANY IF REQUIRED BY INCREASED FIXTURE LOAD
4. NOT USED
5. (N)ELECTRICAL METER LOCATION--CONTRACTOR TO COORDINATE WITH LOCAL ELECTRICAL COMPANY FOR UPGRADE (400 AMPS) TO (E) ELECTRICAL SERVICE--INSTALL UFER GROUND CONNECTION PER CEC 250-52
6. EXISTING TREE TO BE REMOVED--SEE ARBORIST REPORT FOR ADDITIONAL INFO
7. (N) 4" SEWER LATERAL --CONTRACTOR TO VERIFY LOCATION IN FIELD--PROVIDE CLEANOUT AT THE POINT OF CONNECTION BETWEEN THE BUILDING SEWER AND THE MUNICIPAL LATERAL. USE AN APPROVED FITTING TO BRING THE CLEANOUT RISER TO GRADE, WHERE SEWER CLEANOUTS ARE TO BE CONNECTED TO EXISTING MUNICIPAL LATERALS, SUCH CONNECTIONS SHALL BE ACCOMPLISHED BY USE OF AN APPROVED FITTING
8. (E) TREE(S) TO REMAIN - PROTECT AS REQUIRED DURING CONSTRUCTION - DO NOT LEAVE MATERIALS OR EQUIPMENT IN ROOT AREAS FOR EXTENDED PERIODS OF TIME. SEE ARBORIST REPORT (IF PROVIDED) FOR ADDITIONAL INFORMATION
9. (N) SOFTSCAPE--PROVIDE DRIP IRRIGATION
10. (N) FENCE AND GATE--VERIFY FINAL DESIGN AND FINISH WITH LANDSCAPE ARCHITECT--NEW FENCES TO CONFORM TO JURISDICTION'S FENCE REGULATIONS
11. (N) DRIVEWAY, CONCRETE OVER BASE ROCK AND SAND PER GEOTECH REPORT
12. (N) HARDSCAPE--SLOPE AWAY FROM HOUSE @ 2% MIN.
13. (N) 36" MIN. DEEP LEVEL LANDING PER CRC 311.3 W STEPS (MAX. 7.75" RISER)--PROVIDE EQUAL RISERS IF MORE THAN 1 STEP
14. (N) PORCH OR TRELLIS COLUMNS
15. (N) HEATPUMP UNIT PAD(S)--PROVIDE ELECTRICAL TO THIS LOCATION AS REQUIRED, VERIFY SIZE AND QUANTITY WITH HVAC CONTRACTOR. HEATPUMP UNITS TO COMPLY WITH JURISDICTION'S NOISE ORDINANCE
16. (N) CURB CUT PER LOCAL JURISDICTION'S STANDARD DETAIL--SEE CIVIL PLANS



- NO PERMANENT STRUCTURES (RETAINING WALLS, FENCES, COLUMNS, MAILBOX, ETC) WILL BE PROPOSED BEYOND THE PROPERTY LINE AND INTO THE PUBLIC RIGHT-OF-WAY.
- ALL DAMAGED SIDEWALK, CURB, AND GUTTER DURING CONSTRUCTION WILL BE REPAIRED



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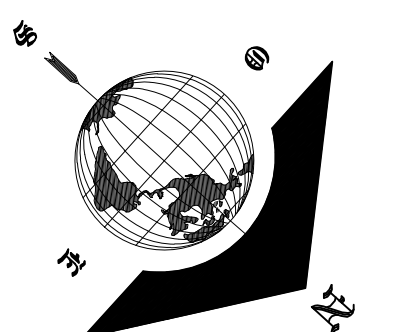
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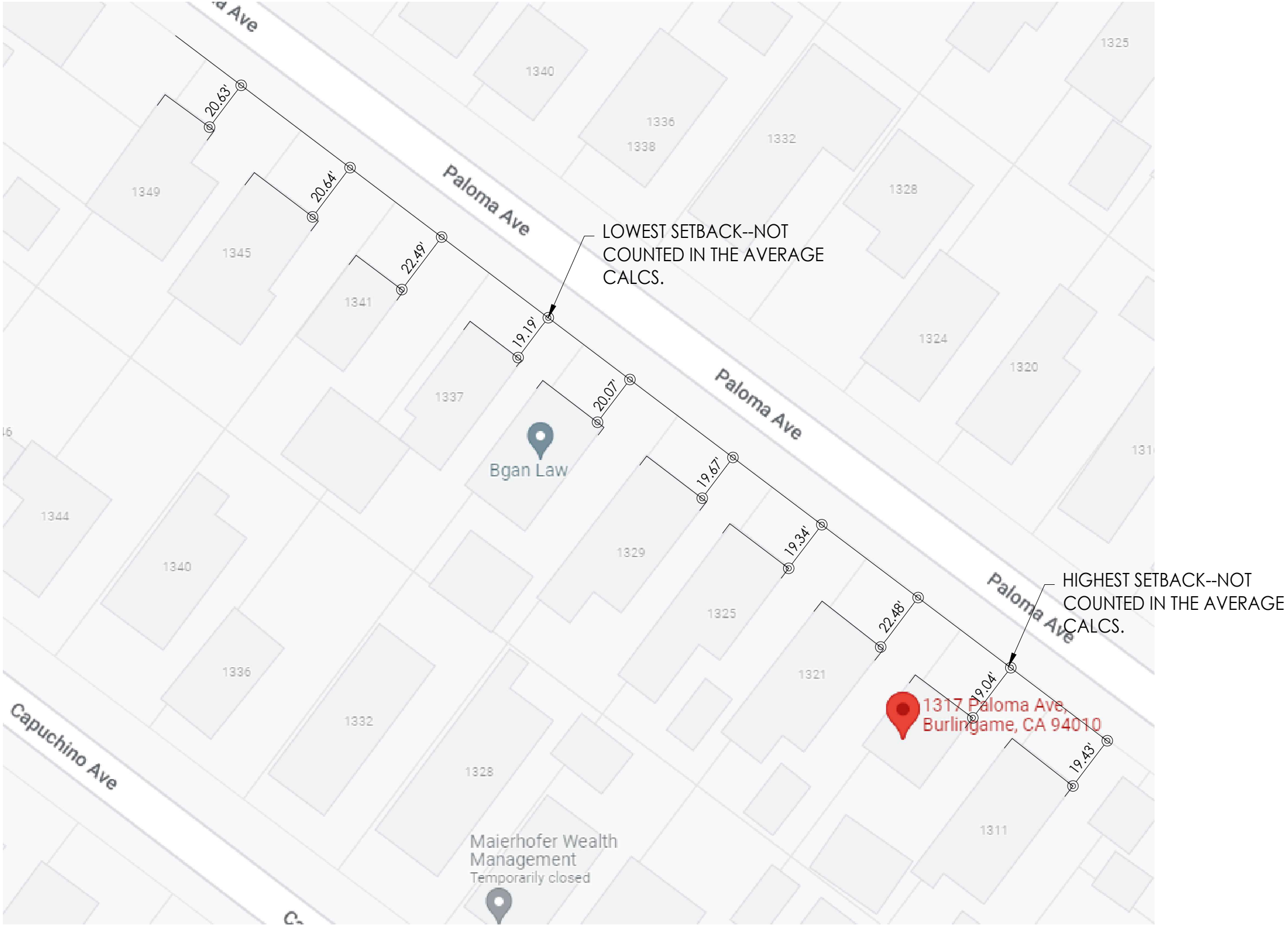
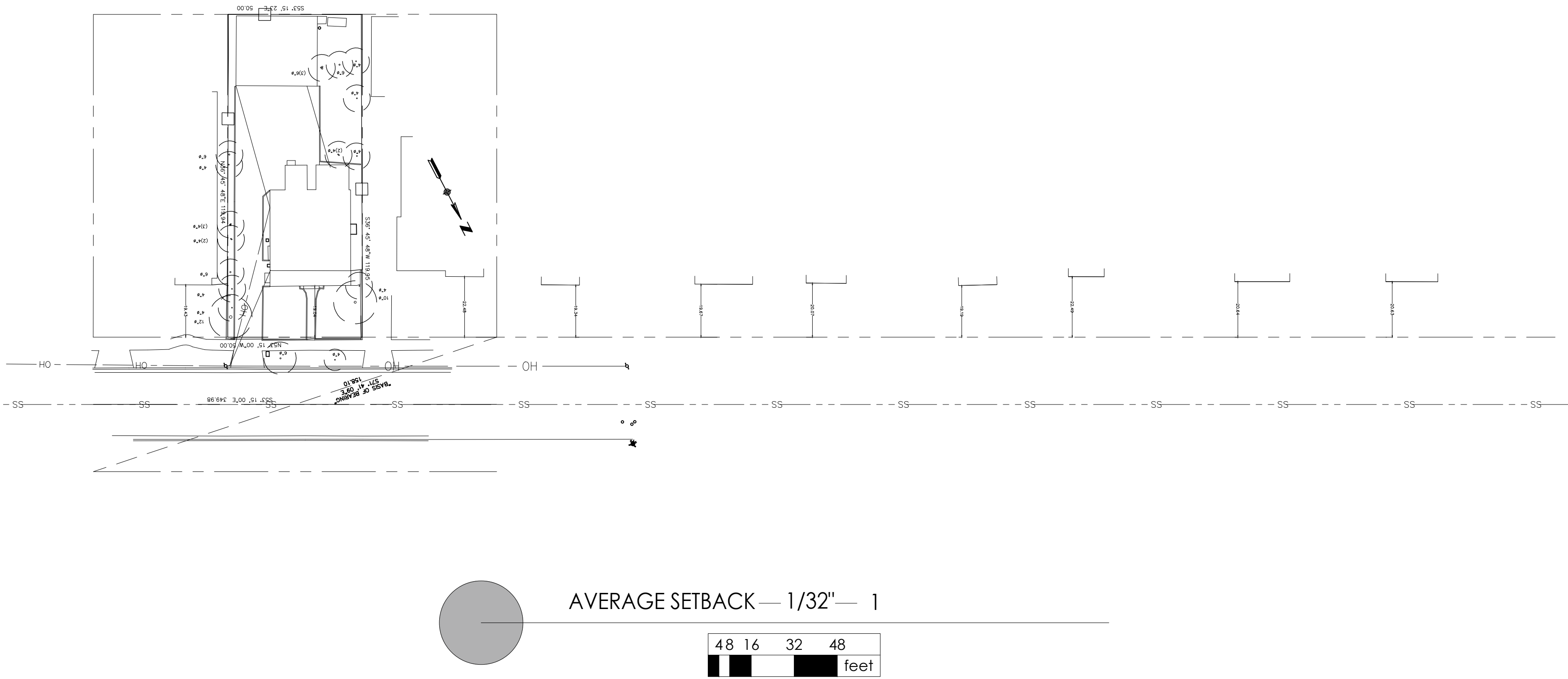
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	04.04.2022	PLANNING SUBMITTAL
1	05.31.2022	PLANNING RESUBMITTAL
2	08.17.2022	PLANNING RESUBMITTAL

TITLE:
SITE PLAN
A1.0



"FOR PLANNING APPROVAL ONLY--NOT FOR CONSTRUCTION"



	Property Number	Setback	Remark
1	1317	19.04	LOWEST SETBACK NOT COUNTED IN THE AVERAGE SETBACK CALCS.
2	1311	19.43	-
3	1321	22.48	-
4	1325	19.34	-
5	1329	19.67	-
6	1333	20.07	-
7	1337	19.19	-
8	1341	22.49	HIGHEST SETBACK NOT COUNTED IN THE AVERAGE SETBACK CALCS.
9	1345	20.67	-
10	1349	20.63	-
Total of counted Setbacks		161.48	-
Average Setback		20.185	-

NOTE: ALL SETBACKS ARE MEASURED APPROXIMATELY.



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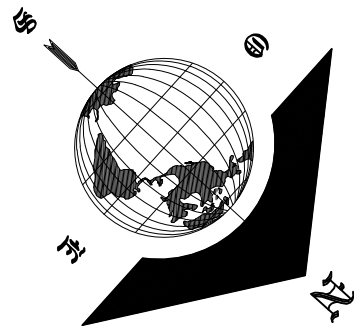
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DRAWN BY
Andalan Djalali

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TITLE:
BLOCK AVARGAE
SETBACK
A1.0a



"FOR PLANNING APPROVAL ONLY--NOT FOR CONSTRUCTION"

KEYNOTES AND LEGENDS

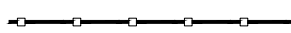
- (E) TREE TO REMAIN--SEE A1.0 FOR ADDITIONAL INFORMATION
- (E) GAS METER TO BE REMOVED
- EXISTING WATER METER TO BE RELOCATED
- (E) ELECTRICAL PANEL TO BE RELOCATED--CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANY--SEE A1.0 FOR NEW LOCATION
- (E) DRIVEWAY TO BE REMOVED[--SALVAGE (E) PAVERS FOR REINSTALLATION IN NEW DRIVEWAY]
- EXISTING PUBLIC RIGHT OF WAY--ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED "PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET" PRIOR TO THE COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY
- APPROXIMATE LOCATION OF NEIGHBORING STRUCTURE
- EXISTING HVAC UNIT TO BE REMOVED
- EXISTING STRUCTURE TO BE DEMOLISHED
- EXISTING GARAGE TO BE DEMOLISHED
- EXISTING HARDSCAPE TO BE REMOVED
- EXISTING TREE TO BE REMOVED
- EXISTING FENCE TO BE REMOVED--NEW FENCE WILL BE INSTALLED PER JURISDICTION REQUIREMENTS
- EXISTING RETAINING WALL AND FENCE, SHALL BE REMOVED FROM THE PUBLIC RIGHT OF WAY

ADDITIONAL NOTES

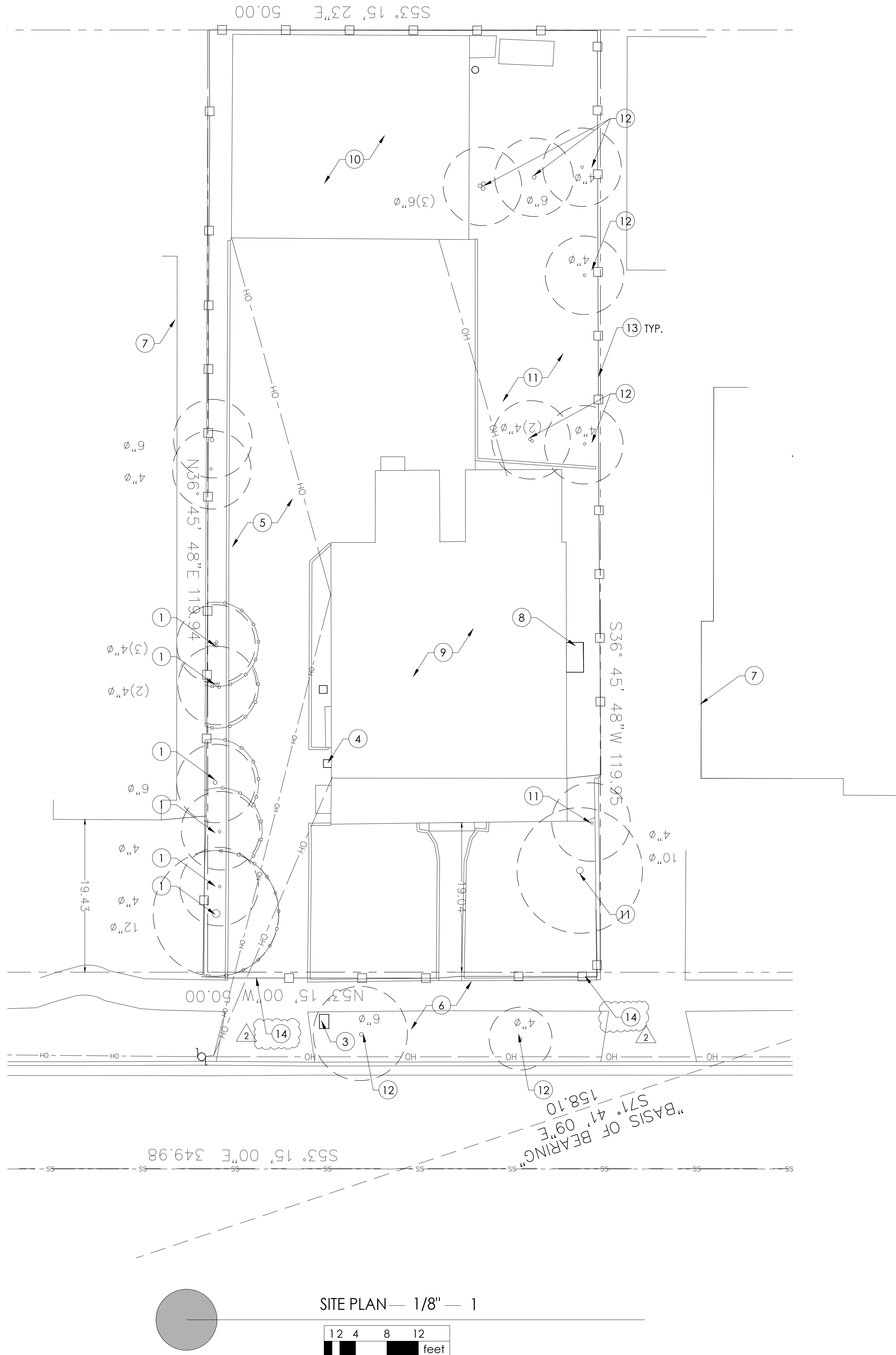
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#

NUMBER INDICATES KEYNOTES



TREE PROTECTION FENCING



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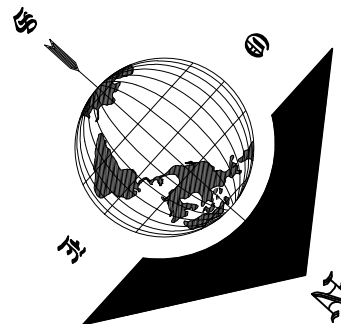
Andalan Djalali

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TITLE:
DEMO SITE PLAN
A2.1



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KEYNOTES AND LEGENDS

1. (N) CONCRETE STEP(S)--10" MIN. TREAD AND MAX. 7" RISER HEIGHT
2. (N) LANDING--MIN. 3' DEEP x WIDTH OF DOOR--MAX. 7-3/4" RISER HEIGHT TO TOP OF THE DOOR THRESHOLD OR DOOR TRACK TO THE EXTERIOR LANDING IN ORDER TO VERIFY COMPLIANCE WITH CRC R311.3.1 OR R311.3.2.
3. LINE OF BEAM, SOFFIT AND/OR CROWN MOLDING ABOVE, TYP. SEE ALSO REFLECTED CEILING PLAN
4. INDICATES PREFAB CLOSET SYSTEM (OWNER PROVIDE/CONTRACTOR INSTALL)
5. INDICATES ROD AND SHELF AT ±6'-0" ABOVE T.O.S.--VERIFY HEIGHT WITH OWNER
6. (N) PREMANUFACTURED ELECTRIC FIREPLACE, TO BE LISTED AND LABELED, TESTED BY AN APPROVED TESTING LABORATORY, AND INSTALLED IN ACCORDANCE WITH LISTING AND MANUF. INSTALLATION INSTRUCTIONS. FIREPLACE SHALL HAVE CLOSABLE METAL OR GLASS COVERING THE ENTIRE OPENING OF THE FIREBOX. FACTORY-BUILT FIREPLACES SHALL BE TESTED IN ACCORDANCE WITH UL-127. FIREPLACE TO COMPLY WITH EPA PHASE II EMISSION LIMITS--MANUF. TBD; STYLE: TBD; UL LISTING; [UL LISTING #]--VERIFY FINAL SELECTION WITH OWNER PRIOR TO PLACING ORDER
7. (N) 18" X 24" MIN. CRAWLSPACE ACCESS
8. (N) 22" X 30" MIN. ATTIC ACCESS. ACCESS TO BE LARGE ENOUGH TO ALLOW FOR THE LARGEST PIECE OF EQUIPMENT TO FIT THROUGH
9. (N) TANKLESS WATER HEATER & RECIRCULATION PUMP--MANUF: RHEEM; MODEL: PRESTIGE SERIES 95 OUTDOOR. PROVIDE FOR MAKEUP AIR PER CMC 701.6 OUTDOOR COMBUSTION AIR--SEE TITLE 24 REPORT FOR APPLIANCE REQUIREMENTS--TANKLESS WATER HEATERS SHALL HAVE ISOLATION VALVES ON BOTH THE COLD WATER SUPPLY AND THE HOT WATER PIPE LEAVING THE HEATER, AND HOSE BIBBS OR OTHER FITTINGS ON EACH VALVE FOR FLUSHING THE HEATER
10. SKYLIGHT
11. CUSTOM CABINETRY
12. INSTALL MIN. 1/2" GYP.BD. ON WALLS, UNDER-STAIR SURFACE, AND ANY SOFFITS AT ENCLOSED ACCESSIBLE SPACE UNDER STAIRS PER CRC 302.7
13. 36" HIGH GUARDRAIL--SEE STAIR NOTES --NOTE THAT PER CRC 312.1.2 EXCEPTION 2, A 36" TALL GUARDRAIL CAN DOUBLE AS THE REQ'D HANDRAIL
14. 42" MIN. HIGH GUARDRAIL AT OPEN-SIDED LEVEL WALKING SURFACE
15. ADJUSTABLE SHOWER SET--1.8 GPM @ 80 PSI MAX--[SEE INTERIOR DESIGN PACKAGE FOR SPEC/OWNER TO PROVIDE SPEC]. CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENT OR BE OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT AND THE BATHER CAN ADJUST THE VALVE PRIOR TO STEPPING INTO THE SHOWER SPRAY PER CPC 408.9
16. CUSTOM SHOWER STALL W/ TEMPERED FRAMELESS SHOWER ENCLOSURE AND FLUSH SHOWER TRANSITION. DEPRESS FLOOR FRAMING, CONCRETE SLAB TO ACCOMMODATE TILE AND FULL MORTAR BED, S.S.D.. SLOPE MOSAIC TILE (2" OR SMALLER) SHOWER PAN OVER FULL MORTAR BED TO DRAIN TO STAINLESS STEEL LINEAR--(NOTE THAT LINEAR DRAINS OFTEN GET BLOCKED BY STRUCTURE)] DRAIN W/ TILE POCKET OPPOSITE OF SHOWER ENTRY. ENSURE SHOWER HAS A MIN. INTERIOR FLOOR AREA OF 1024 SQ.IN. AND IS CAPABLE OF ENCOMPASSING A 30 INCH DIA. CIRCLE THAT SHALL BE MAINTAINED UP TO 72" ABOVE SHOWER DRAIN INLET. VERIFY SHOWER DOOR SIZE [22" CLR MIN.] WITH OWNER BEFORE FABRICATION. SHOWER WALLS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET. SHOWER HEADS SHALL NOT DISCHARGE WATER ABOVE THE PROTECTIVE WALL SURFACE. CRC 307.2
17. 1.28 GAL. DUAL FLUSH TOILET FLOOR MOUNT - PROVIDE 30" WIDE BY 24" DEEP CLEAR SPACE IN FRONT OF TOILET, TYP.--(CPC.4025 i)
18. ELECTRIC WASHER AND DRYER. SUPPLY A MIN. 4" DIA. SMOOTH METAL MOISTURE EXHAUST DUCT FOR DRYER EXHAUST EXTENDING TO OUTSIDE OF BLDG. (14'-0" MAX. LENGTH, INCLUDING 2 ELBOWS) WITH BACK DRAFT DAMPER, UNLESS MANUF. PERMITS LONGER RUNS OR A POWER EXHAUST IS PROVIDED. TERMINATION OF DUCT MIN. 3'-0" FROM ANY OPENING INTO BLDG PER CMC 504.5.
19. UNDERMOUNT SINK W/ 1.2 GPM @ 60 PSI MAX. FAUCET
20. FULL SIZE KITCHEN SINK W/ 1.5 GPM MAX. FAUCET, SPRAY, AND DISPOSAL--UNDERMOUNT IN GRANITE/QUARTZ SLAB COUNTER TOP AND BACKSPLASH
21. (N) HEATPUMP UNIT--PROVIDE ELECTRICAL TO THIS LOCATION AS REQUIRED, VERIFY SIZE AND QUANTITY WITH HVAC CONTRACTOR. HEATPUMP UNITS TO COMPLY WITH JURISDICTION'S NOISE ORDINANCE
22. 1 1/2" HANDRAIL @ 36" MAX. ABOVE STAIR NOISING

(N) WALL: EXTERIOR: 2x6 STUDS @16" O.C.; INTERIOR 2x4 STUDS @16"O.C.--SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. INSTALL 2 LAYERS OF BUILDING PAPER (FOR STUCCO ONLY)/1 LAYER (MIN.) OF WEATHER RESISTIVE BARRIER (TYVEK HOUSE WRAP OR EQ.) OVER EXTERIOR WALLS SHEATHING PER CRC 703.2--INSTALL PER MANUF. INSTRUCTIONS. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS. PROVIDE CEMENT BOARD OR TILE BACKER BOARD AT SHOWER/TUB LOCATIONS. ALL WALLS TO RECEIVE (N) PAINT FINISH. ALL CEILINGS AT TUB/SHOWERS TO BE M.R. BOARD

DENOTES (N) HOSE BIBB. SEE PLANS FOR NEW LOCATION - INSTALL HOSE BIBBS PER CPC WITH APPROVED ANTI-SIPHON DEVICE. (E) HOSE BIBBS TO REMAIN.

- # DOOR KEY-- SEE A3.4 FOR MORE INFORMATION
- ◇ WINDOW KEY-- SEE A3.4 FOR MORE INFORMATION
- ⊙ NUMBER INDICATES KEYNOTES

FLOOR PLAN LEGEND

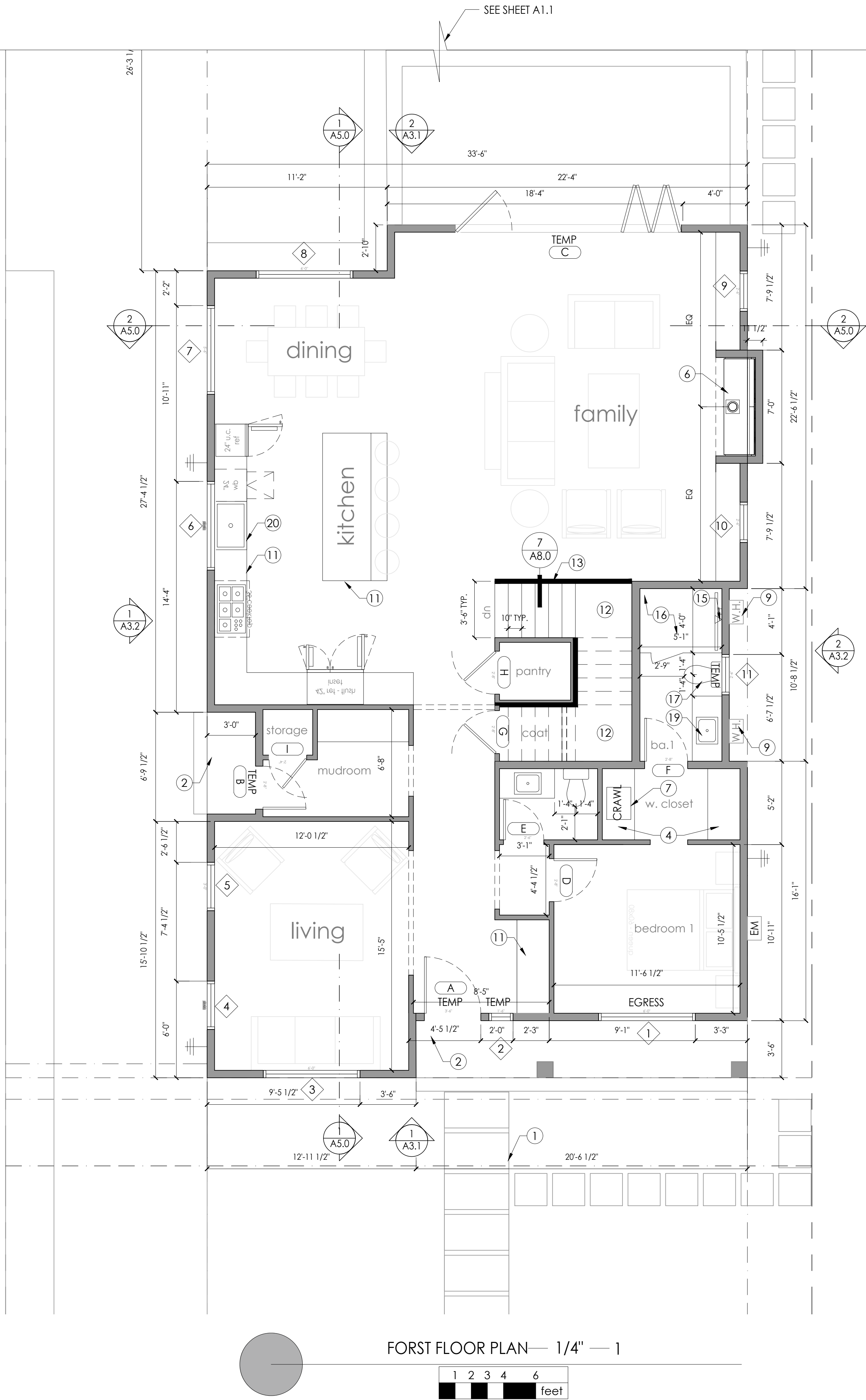
STAIR NOTES:

- MINIMUM 36 INCH WIDE STAIRWAY WIDTH AT FACE OF FINISH. SEE PLAN FOR STAIRWAY WIDTH.
- SEE STAIR SECTIONS FOR RISER HEIGHT. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". MAXIMUM RISER HEIGHT NOT TO EXCEED 7.75".
- SEE STAIR PLANS FOR TREAD DEPTH. TREADS SHALL NOT BE LESS THAN 10" IN DEPTH IN ANY CASE. STAIR TREADS SHALL BE OF UNIFORM SIZE AND SHAPE, EXCEPT THAT THE LARGEST TREAD RUN WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".
- COVER UNDER STAIR, AND USEFUL SPACE FRAMING WITH 1/2" GYPSUM BOARD.
- A HANDRAIL ON ONE SIDE IS REQUIRED AT STAIRWAYS WITH FOUR OR MORE RISERS.
- THE TOP OF HANDRAILS AND REQUIRED HANDRAIL EXTENSIONS SHALL NOT BE PLACED LESS THAN 34" NOR MORE THAN 38" ABOVE LANDINGS AND THE NOSING OF TREADS.
- THE HANDGRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS SECTIONAL DIMENSION, OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HANDGRIP PORTION OF THE HANDRAIL SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAIL.
- HANDRAIL EXTENDS CONTINUOUSLY FROM TOP TO BOTTOM RISER AND TERMINATES AT NEWEL POSTS OR ROUNDED SAFETY TERMINAL.
- HANDRAILS MAY PROJECT INTO THE REQUIRED WIDTH A DISTANCE OF 3-1/2" FROM EACH SIDE OF A RAMP. OTHER PROJECTIONS, SUCH AS TRIM AND SIMILAR DECORATIVE FEATURES, MAY PROJECT INTO THE REQUIRED WIDTH 1-1/2" FROM EACH SIDE.
- GUARDRAIL AT OPEN SIDES OF STAIRS TO BE 34" MIN. A.F.F. MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGES OF THE TREADS
- WHERE THE TOP OF THE GUARD ALSO SERVES AS A HANDRAIL, THE TOP OF THE GUARD SHALL BE BETWEEN 34"-38" MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGE OF THE TREADS
- GUARDS SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A 4" DIA. SPHERE, EXCEPT THE TRIANGULAR OPENINGS IN STAIRS FORMED BY THE RISER, TREAD, AND BOTTOM RAIL SHALL NOT ALLOW PASSAGE OF A 6" DIA. SPHERE STAIR GUARDRAIL DRAWINGS AND DETAILS SHALL DEMONSTRATE GUARDRAIL DESIGN IS ADEQUATE TO SUPPORT A SINGLE CONCENTRATED 200 POUND LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE RAIL PER CRC TABLE 301.5 AND 301.5 FOOTNOTE D -- SEE S.S.D. FOR ADDITIONAL NOTES AND DETAILS.
- OPEN RISERS ARE PERMITTED PROVIDED THAT THE OPENINGS LOCATED MORE THAN 30 INCHES, AS MEASURED VERTICALLY, TO THE FLOOR OR GRADE BELOW DO NOT PERMIT THE PASSAGE OF A 4 INCH-DIAMETER SPHERE. SIZE WOOD TREADS ACCORDINGLY.
- R302.11 #3 CRC: IN COMBUSTIBLE CONSTRUCTION, FIRE-BLOCKING SHALL BE PROVIDED IN WOOD-FRAMED CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.

CRAWLSPACE VENT CALCULATION

CRAWL SPCE VENT CALCULATIONS	AREA (SF)	A	1,636
	CLASS I VAPOR RETARDER	NO	
	RATIO	B	1/150
	REQ'D VENT AREA (SI)	$C=A \times B \times 144$	
	7x14 VENTS REQUIRED @ 98 SI/EA	$D=C \div 98$	

- SEE ELEVATIONS FOR VENT LOCATIONS - VENTS ARE NOT TO BE LOCATED IN SHEAR WALLS OR SIMPSON STRONG WALLS
- OPENINGS FOR CRAWL SPACE VENTILATION SHALL BE LOCATED AS CLOSE TO CORNERS AS PRACTICAL TO PROVIDE CROSS VENTILATION
- PROVIDE ADDITIONAL VENTS IF EXISTING VENTS BLOCKED BY ADDITION



1670 El Camin Real, Apt 309
Menlo Park, CA, 94025
650-387-9272

APN: 026-085-100

PROJECT NAME

Hadjian Residence

NEW SINGLE FAMILY HOUSE AND DETACHED GARAGE

ADDRESS

1317 Paloma Ave,
Burlingame, CA

Owner

Behzad Hadjian

DRAWN BY

Ardalan Djalali

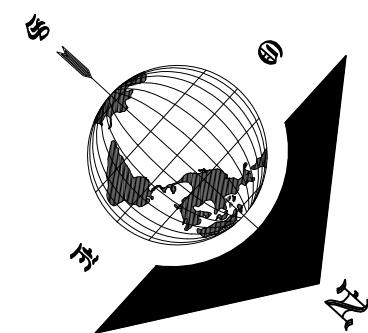
SIGNED BY

Ardalan Djalali

REVISION	DATE	DESCRIPTION
	04.04.2022	PLANNING SUBMITTAL
1	05.31.2022	PLANNING RESUBMITTAL

TITLE:
PROPOSED FIRST
FLOOR PLAN

A2.1



"FOR PLANNING APPROVAL ONLY--NOT FOR CONSTRUCTION"

KEYNOTES AND LEGENDS

1. (N) CONCRETE STEP(S)--10" MIN. TREAD AND MAX. 7" RISER HEIGHT
2. (N) LANDING--MIN. 3" DEEP x WIDTH OF DOOR--MAX. 7-3/4" RISER HEIGHT TO TOP OF THE DOOR THRESHOLD OR DOOR TRACK TO THE EXTERIOR LANDING IN ORDER TO VERIFY COMPLIANCE WITH CRC R311.3.1 OR R311.3.2.
3. LINE OF BEAM, SOFFIT AND/OR CROWN MOLDING ABOVE, TYP. SEE ALSO REFLECTED CEILING PLAN
4. INDICATES PREFAB CLOSET SYSTEM (OWNER PROVIDE/CONTRACTOR INSTALL)
5. INDICATES ROD AND SHELF AT ±6'-0" ABOVE T.O.S.--VERIFY HEIGHT WITH OWNER
6. (N) PREMANUFACTURED ELECTRIC FIREPLACE, TO BE LISTED AND LABELED, TESTED BY AN APPROVED TESTING LABORATORY, AND INSTALLED IN ACCORDANCE WITH LISTING AND MANUF. INSTALLATION INSTRUCTIONS. FIREPLACE SHALL HAVE CLOSABLE METAL OR GLASS COVERING THE ENTIRE OPENING OF THE FIREBOX. FACTORY-BUILT FIREPLACES SHALL BE TESTED IN ACCORDANCE WITH UL-127. FIREPLACE TO COMPLY WITH EPA PHASE II EMISSION LIMITS--MANUF. TBD; STYLE: TBD; UL LISTING; [UL LISTING #]--VERIFY FINAL SELECTION WITH OWNER PRIOR TO PLACING ORDER
7. (N) 18" X 24" MIN. CRAWLSPACE ACCESS
8. (N) 22" X 30" MIN. ATTIC ACCESS. ACCESS TO BE LARGE ENOUGH TO ALLOW FOR THE LARGEST PIECE OF EQUIPMENT TO FIT THROUGH
9. (N) TANKLESS WATER HEATER & RECIRCULATION PUMP--MANUF: RHEEM; MODEL: PRESTIGE SERIES 95 OUTDOOR. PROVIDE FOR MAKEUP AIR PER CMC 701.6 OUTDOOR COMBUSTION AIR--SEE TITLE 24 REPORT FOR APPLIANCE REQUIREMENTS--TANKLESS WATER HEATERS SHALL HAVE ISOLATION VALVES ON BOTH THE COLD WATER SUPPLY AND THE HOT WATER PIPE LEAVING THE HEATER, AND HOSE BIBBS OR OTHER FITTINGS ON EACH VALVE FOR FLUSHING THE HEATER
10. SKYLIGHT
11. CUSTOM CABINETRY
12. INSTALL MIN. 1/2" GYP.BD. ON WALLS, UNDER-STAIR SURFACE, AND ANY SOFFITS AT ENCLOSED ACCESSIBLE SPACE UNDER STAIRS PER CRC 302.7
13. 36" HIGH GUARDRAIL--SEE STAIR NOTES --NOTE THAT PER CRC 312.1.2 EXCEPTION 2, A 36" TALL GUARDRAIL CAN DOUBLE AS THE REQ'D HANDRAIL
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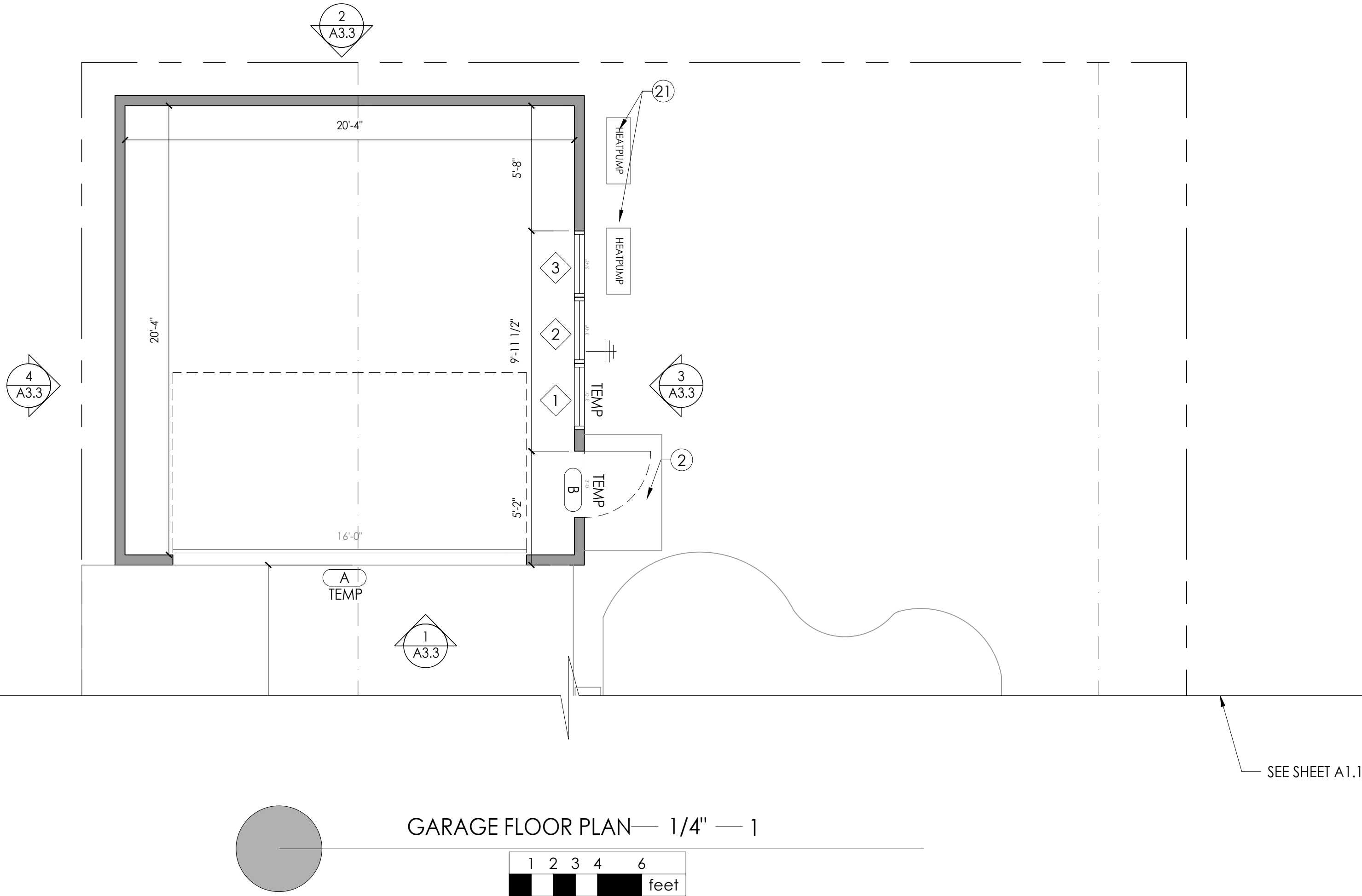
DOOR KEY-- SEE A3.4 FOR MORE INFORMATION

#

WINDOW KEY-- SEE A3.4 FOR MORE INFORMATION

#

NUMBER INDICATES KEYNOTES



1670 El Camin Real, Apt 309
Menlo Park, CA, 94025
650-387-9272

APN: 026-085-100

PROJECT NAME

Hadjian Residence

NEW SINGLE FAMILY HOUSE AND DETACHED GARAGE

ADDRESS

1317 Paloma Ave,
Burlingame, CA

Owner

Behzad Hadjian

DRAWN BY
Ardalan Djalali

SIGNED BY
Ardalan Djalali

REVISION	DATE	DESCRIPTION
	04.04.2022	PLANNING SUBMITTAL
1	05.31.2022	PLANNING RESUBMITTAL

TITLE:
PROPOSED
GARAGE FLOOR PLAN



KEYNOTES AND LEGENDS

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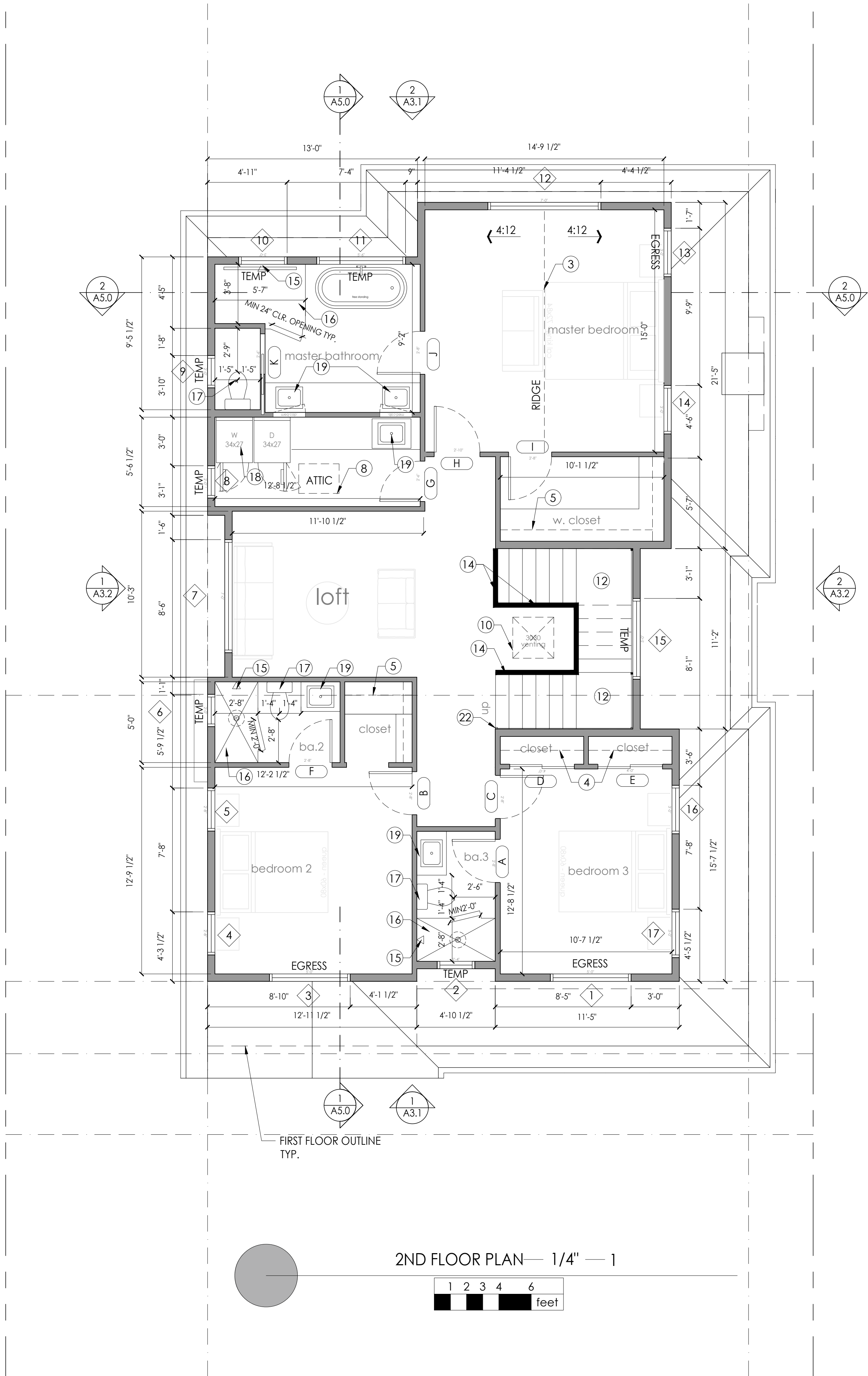
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FLOOR PLAN LEGEND

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DRAWN BY

Andalan Djalali

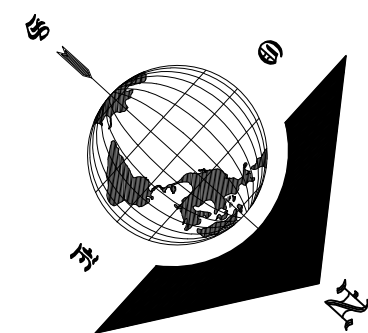
SIGNED BY

Andalan Djalali

REVISION	DATE	DESCRIPTION
	04.04.2022	PLANNING SUBMITTAL
1	05.31.2022	PLANNING RESUBMITTAL

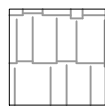
TITLE:
PROPOSED
2ND FLOOR PLAN

A2.3



ROOF GENERAL NOTES AND LEGENDS

1. INSTALL ALL NEW ROOFING MATERIALS--SEE LEGEND BELOW FOR MATERIALS--CONFIRM COLOR SELECTION W/ OWNER PRIOR TO PLACING ORDER
2. PAINT ALL ROOF PENETRATIONS TO MATCH ROOFING COLOR.
3. PLUMBING VENTS TO BE MIN. 10' AWAY FROM, OR AT LEAST 3' ABOVE ANY OPERABLE WINDOW OR SKYLIGHT PER CPC 906.2.
4. ROUTE PLUMBING VENTS WITHIN ATTIC SPACE SO THAT ROOF PENETRATIONS ARE BEHIND MAIN ROOF RIDGE AND ARE NOT VISIBLE FROM THE STREET
5. FUTURE SOLAR PANELS PER CEC 110.10 (MINIMUM 250 S.F. ON A SOUTH SIDE ORIENTATION). KEEP AREA CLEAR OF ROOFING EYEBROW, MECHANICAL AND PLUMBING VENTS.
6. SEE ROOF PLAN FOR SLOPE.
7. PROVIDE (N) GSM ROOF JACKS, TYP. CAULK ALL EXPOSED NAIL HEADS WITH SILICONE SEALANT.
8. PROVIDE (N) GUTTERS AND DOWNSPOUTS AT LOCATIONS SHOWN--GUTTERS TO SLOPE 1:240 FRONT-TOBACK, BUT TO BE LEVEL SIDE TO SIDE
9. INSTALL KICKOUT FLASHING PER 8/A8.0 WHEREVER GUTTERS TERMINATE AT A WALL
10. ALL PLATE HEIGHTS PER SECTIONS AND RCP. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
11. CONNECT ALL DOWNSPOUTS TO FLEXIBLE PLASTIC DRAINPIPE AND RUN TO A LOCATION SPECIFIED BY CIVIL PLANS



NEW 40 YEARS ASPHALT COMPOSITION SHINGLE--CLASS A FIRE RATED

DS

DENOTES GUTTER DRAIN (3" DIA.) AND DOWNSPOUT (2" X 3") 26 GA ALUMINUM - PAINTED TO MATCH TRIM COLOR-- VERIFY SPEC. W/ OWNER. INSTALL PER MFR. INSTRUCTIONS



DENOTES DIRECTION OF SLOPE FROM HIGH TO LOW--ROOF SLOPE APPROX., REFER TO ELEVATIONS FOR MAX HT AND VERTICAL CONTROL

LINE OF BLDG. BELOW

INDICATES RIDGE VENT

ROOF VENTING CALCOULATIONS

ATTIC VENTING CALCULATIONS AND NOTES

Notes:

1. Areas of enclosed overhangs included in Areas (a)

2. If the "Venting Ratio" (a) is 1/200, then provide no more than 40-50% of "Req'd vent area" (c) in upper three feet of roof per CRC 806.2 Exception 2. To maintain a consistent and attractive appearance, install ridge cap vents and hip cap vents continuously, but do not cut or vent thru sheathing beyond the 40-50% maximum limit per CRC 806.2 Exception 2.

3. Provide 1" minimum air gap between roof and insulation, typical unless expansive spray foam insulation is used

4. Provide 1" dia. holes in joists of cathedral ceilings spaces to allow for cross ventilation, unless expansive spray foam insulation is used

5. Provide plywood sheathing with radiant barrier

6. Vents to be noncombustible and corrosion resistant, and to have metal wire mesh with openings between 1/16" and 1/8" per CRC 706A.2

7. Soffit vents in WUI regions to resist the intrusion of flame and burning embers per CRC 706A.3. Vents to be fire-rated or equal. www.brandguard.com

8. In WUI regions, install one layer of 72 pound mineral surfaced non-perforated cap sheet complying with ASTM D 1999 over sheathing

Roof Section

Calculations

Area (sf)

Vent Ratio

Req'd vent area (sq)

Rafter Spacing (ft)

Eave Vent Hole (sq)

Eave Venting per Rafter Bay (sq)

Ridge/Hip Vent Hole Size Dia (in)

no. of holes each side of ridge/hip per bay

Ridge Venting per Rafter Bay (sq) - 90% eff. max per ln. ft.

Total venting Provided (sq)

FIRST FLOOR

Vent Area (sq)

No. of Rafter Bays

soffit Venting (sq)

soffit Venting (sq)

No. of Rafter Bays

Ridge/Hip Venting (sq)

W. Venting Required

W. Venting (sq)

157

78.8

78.8

34

17.0

385.2

4.0

0.0

1564.32

Roof Section

Calculations

Area (sf)

Vent Ratio

Req'd vent area (sq)

Rafter Spacing (ft)

Eave Vent Hole (sq)

Eave Venting per Rafter Bay (sq)

Ridge/Hip Vent Hole Size Dia (in)

no. of holes each side of ridge/hip per bay

Ridge Venting per Rafter Bay (sq) - 90% eff. max per ln. ft.

Total venting Provided (sq)

GARAGE

Vent Area (sq)

No. of Rafter Bays

soffit Venting (sq)

soffit Venting (sq)

No. of Rafter Bays

Ridge/Hip Venting (sq)

W. Venting Required

W. Venting (sq)

40

20.0

20.0

24

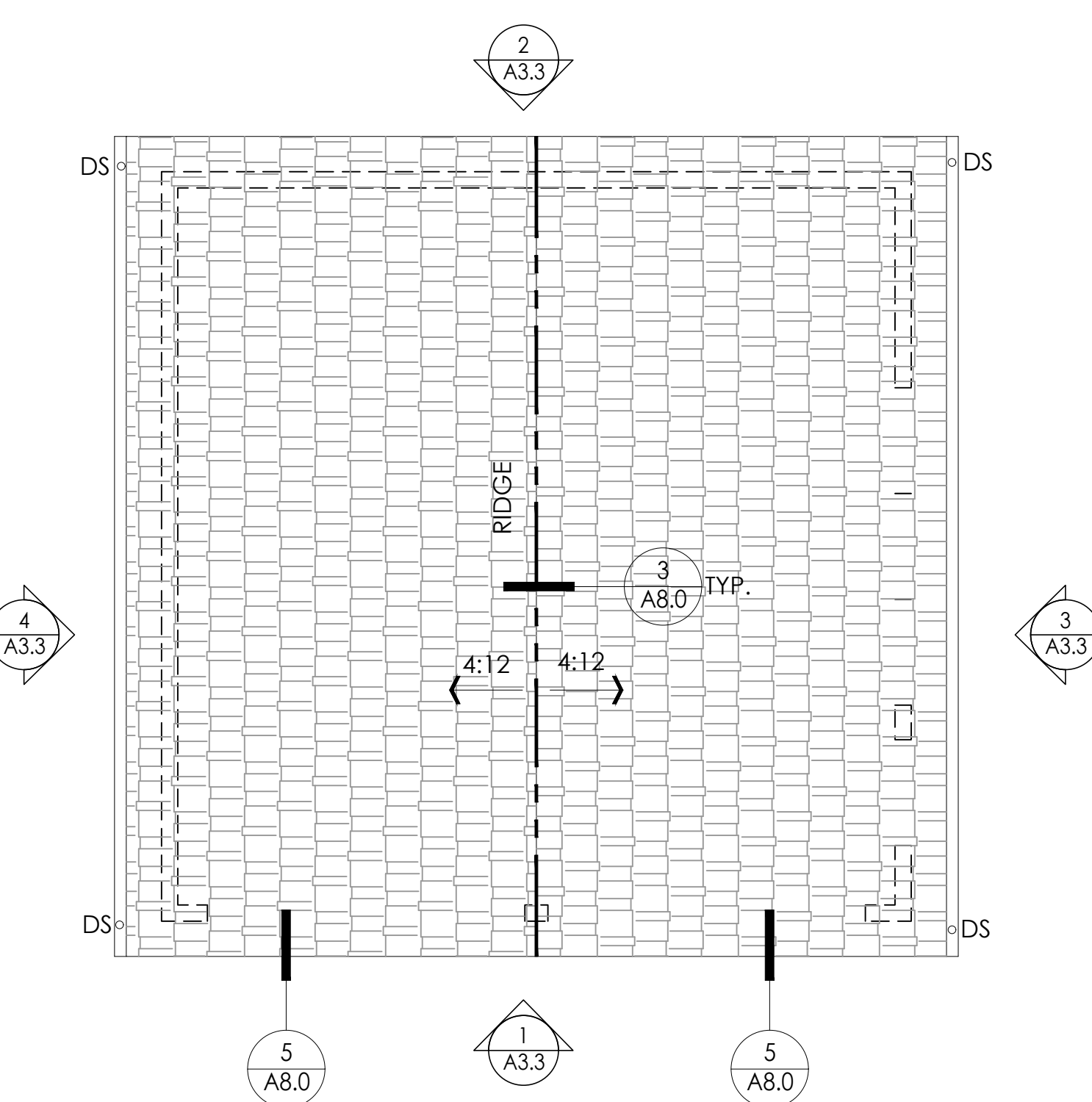
2.25

50.6

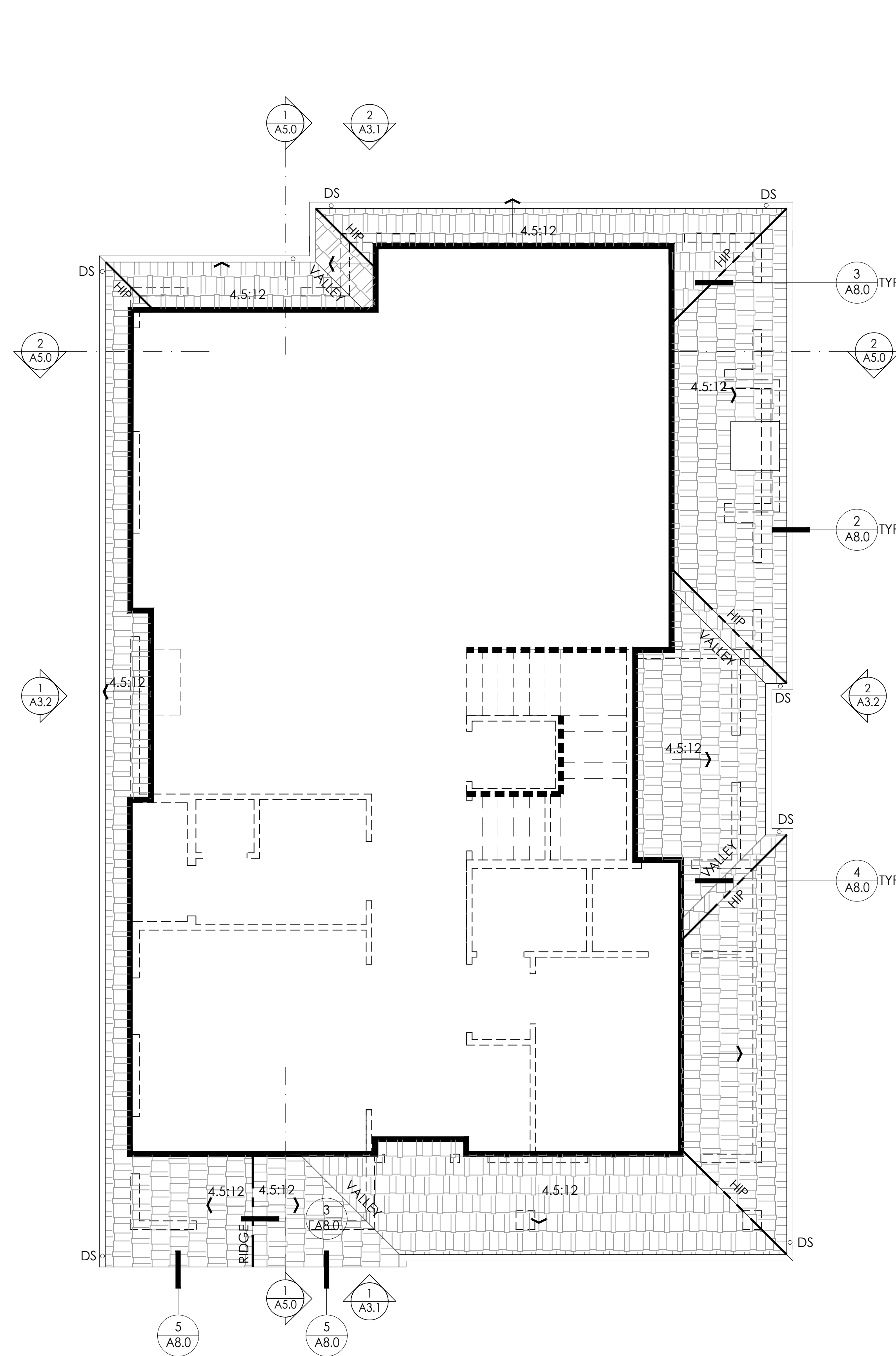
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0.0

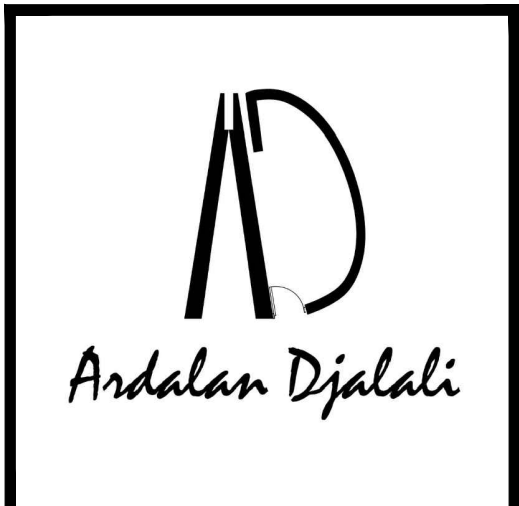
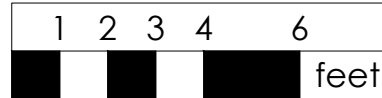
47.52



GARAGE ROOF PLAN — 1/4" — 2



LOWER ROOF PLAN — 1/4" — 1



1670 El Camin Real, Apt 309
Menlo Park, CA, 94025
650-387-9272

APN: 026-085-100

PROJECT NAME
Hadjian Residence
NEW SINGLE FAMILY HOUSE AND DETACHED GARAGE

ADDRESS
1317 Paloma Ave,
Burlingame, CA

Owner
Behzad Hadjian

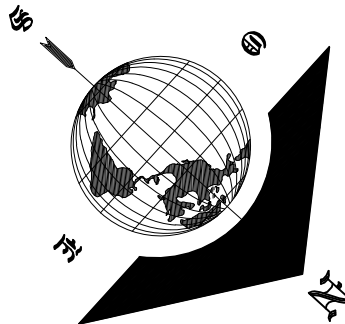
DRAWN BY
Ardalan Djalali

SIGNED BY
Ardalan Djalali

REVISION	DATE	DESCRIPTION
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1	05.31.2022	PLANNING RESUBMITTAL

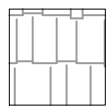
GARAGE
AND LOWER
ROOF PLAN

A2.1a



ROOF GENERAL NOTES AND LEGENDS

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2. PAINT ALL ROOF PENETRATIONS TO MATCH ROOFING COLOR.
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6. SEE ROOF PLAN FOR SLOPE.
7. PROVIDE (N) GSM ROOF JACKS, TYP. CAULK ALL EXPOSED NAIL HEADS WITH SILICONE SEALANT.
8. PROVIDE (N) GUTTERS AND DOWNSPOUTS AT LOCATIONS SHOWN--GUTTERS TO SLOPE 1:240 FRONT-TOBACK, BUT TO BE LEVEL SIDE TO SIDE
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NEW 40 YEARS ASPHALT COMPOSITION SHINGLE--CLASS A FIRE RATED

DS

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DENOTES DIRECTION OF SLOPE FROM HIGH TO LOW--ROOF SLOPE APPROX., REFER TO ELEVATIONS FOR MAX HT AND VERTICAL CONTROL

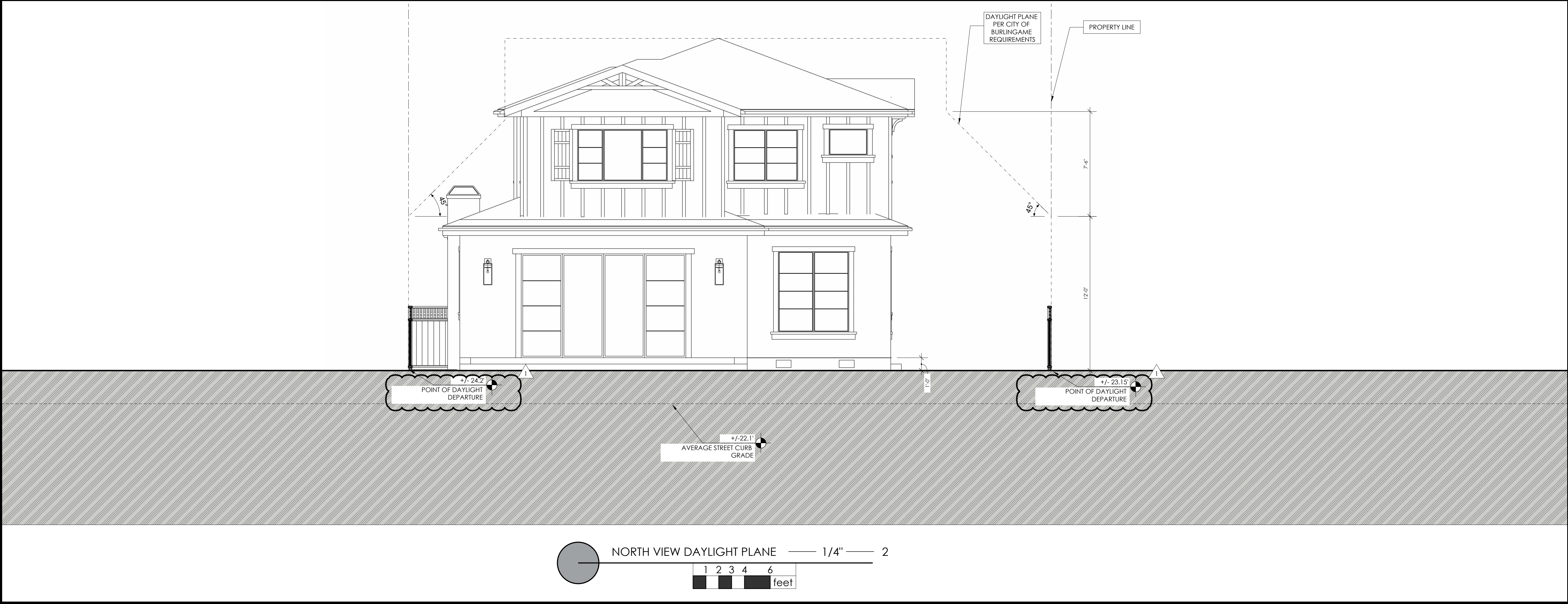
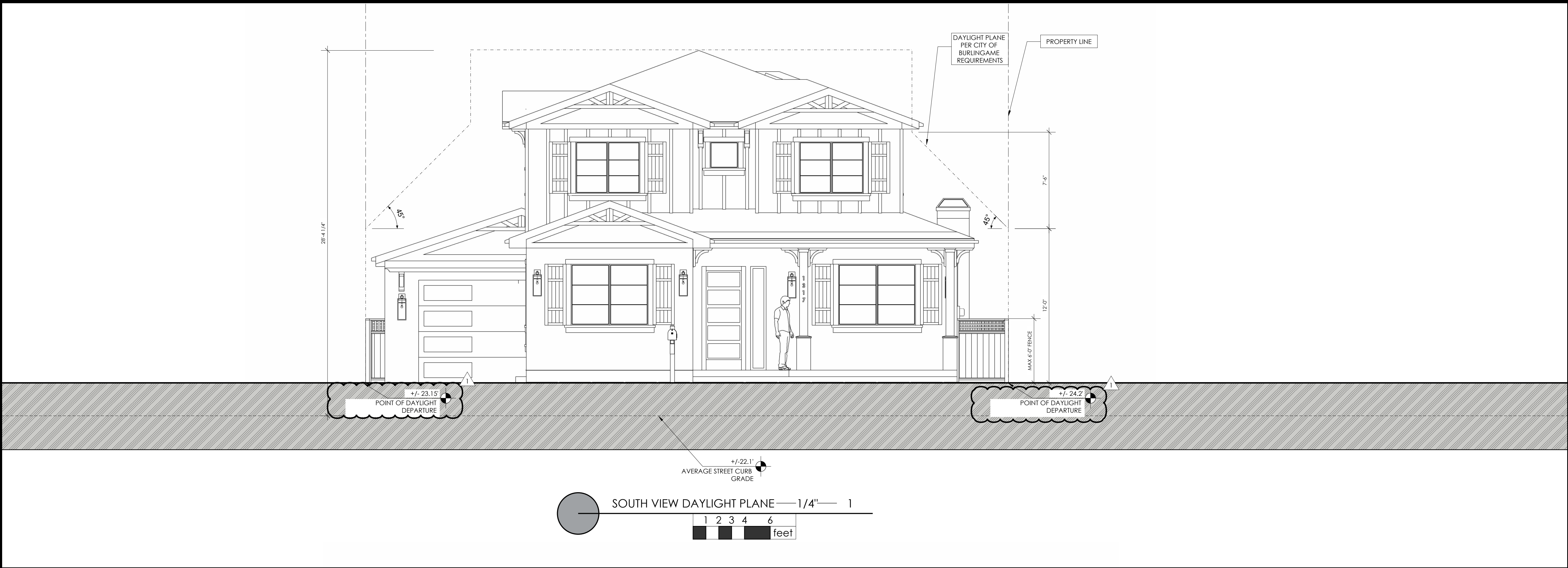
----- LINE OF BLDG. BELOW

----- INDICATES RIDGE VENT

ROOF VENTING CALCOULATIONS

ATTIC VENTING CALCULATIONS AND NOTES											
Notes:											
1. Area of enclosed overhangs included in Area (a)											
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3. Provide 1" minimum air gap between roof and insulation, typical unless expansive spray foam insulation is used											
4. Provide 1" air holes in joists or cathedral ceilings spaces to allow for cross ventilation, unless expansive spray foam insulation is used											
5. Provide plywood sheathing with radiant barrier											
6. Vents to be noncombustible and corrosion resistant, and to have metal wire mesh with openings between 1/16" and 1/8" per CRC 704A.2											
7. Soffit vents in Wall regions to meet the intrusion of flame and burning embers per CRC 706.3. Vents to be brandsguard or eqval. www.brandsguard.com											
8. In Wall regions, install one layer of 72 pound mineral surfaced non-perforated cap sheet complying with ASTM D 3959 over sheathing											
Roof Section	Calculations										
	Area (sf)	Venting Ratio	Req'd vent area (sq)	Rafter Spacing (in)	Equal Vents per Rafter Bay (sq)	2x6g/hip/valley/soffit/area (sq)	Ridge Venting per Rafter Bay (sq)	Total Venting Provided (sq)			
	a	b	c = a x b x 240	d	e = c ÷ 240	f = 1.10 x d	g = 1.10 x e	h = f + g			
2ND FLOOR	1,312	1/200	1,296.5	24	4	9.6	3 (total per bay)	18.0			
	Vented Area (sq)	Req'd Rafter Bays	Soffit/Venting (sq)	Vented Rafter Bays (ft)	Rafter Spacing (in)	Ridge/Venting (sq)	Wall Venting Required	Wall Vents Quantity	Size (sq)	Total Rafter Bays	
	1,312	81.0	765.4	28	64.0	17.7	65.5	0		0	288.0

“FOR PERMIT APPROVAL ONLY--NOT FOR CONSTRUCTION”



1670 El Camin Real, Apt
309 Menlo Park,
CA, 94025
650-387-9272

APN: 026-085-100

PROJECT NAME
Hadjian Residence
NEW SINGLE FAMILY HOUSE AND DETACHED GARAGE

ADDRESS
1317 Paloma Ave,
Burlingame, CA

Owner
Behzad Hadjian

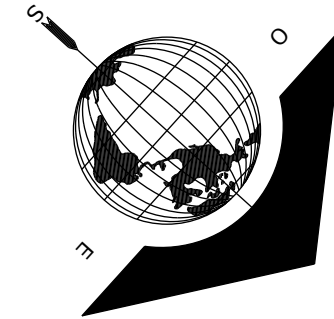
DRAWN BY
Ardalan Djalali

SIGNED BY
Ardalan Djalali
Ardalan

REVISION	DATE	DESCRIPTION
	04.04.2022	PLANNING SUBMITTAL
1	05.31.2022	PLANNING RESUBMITTAL

DAYLIGHT
PLANE

A3.0



"FOR PERMIT APPROVAL ONLY--NOT FOR CONSTRUCTION"

KEYNOTES AND LEGENDS

- 1 DAYLIGHT PLANE AS DEFINED BY JURISDICTION
- 2 NEW 40 YR.COMP.SHINGLE RADIANT BARRIER PER ENERGY REPORT SHALL BE PROVIDED
- 3 SKYLIGHT
- 4 BOARD AND BATTEN FIBER CEMENT SIDING OVER ONE LAYER TYVEK PAPER HOUSE WRAP
- 5 HORIZONTAL FACTORY FINISHED FIBER CEMENT SIDING OVER ONE LAYER TYVEK PAPER HOUSE WRAP
- 6 WOOD FRAMED FALSE CHIMNEY--COVERED WITH ADHERED LIGHT WEIGHT STONE
- 7 DECORATIVE PAINT GRADE WOOD TRUSS
- 8 DECORATIVE PAINT GRADE WOOD CORBEL
- 9 PAINTED FIBER CEMENT TRIM 2x6 FASCIA WITH 4" SEAMLESS PAINTED SHEET METAL GUTTER
- 10 FIXED FIBERGLASS SHUTTER--V GROOVE--COLOR BLACK 632--VISIT: <https://www.customshuttercompany.com/exterior-shutters/fiberglass-shutters-v-groove/> FOR SPEC.
- 11 EXTERIOR LIGHT
- 12 LED ILLUMINATED ADDRESS SIGNAGE--AN APPROVED ADDRESS NUMBER ON BUILDING ELEVATION IS PLAINLY LEGIBLE AND VISIBLE FROM THE ADJACENT ACCESS STREET OR ROAD. THE NUMBERS NEED TO CONTRAST WITH THEIR BACKGROUND, AND BE A MINIMUM OF 4" HIGH, WITH A MINIMUM STROKE OF 1/2". [CRC 319.1]
- 13 MAX 6'-0" WOOD FENCE HIGHT
- 14 WINDOW TRIM
- 15 ELECTRIC METER
- 16 LIGHT WEIGHT ADHERED STONE
- 17 8" X 8" PAINT GRADE WOOD POST WITH STONE BASE
- 18 ADDRESS SIGNAGE
- 19 MAIL BOX
- 20 HVAC UNIT
- 21 7 X 14 CRAWLSPACE VENT--SEE SHEET A1.1 FOR CALCULATIONS
- 22 EGRESS WINDOW--TO COMPLY WITH 2019 CALIFORNIA RESIDENTIAL CODE 2019 CRC R310 OR CBC 1030

+/-XXX.X'
(E)/(N) GRADE

GRADE LINE

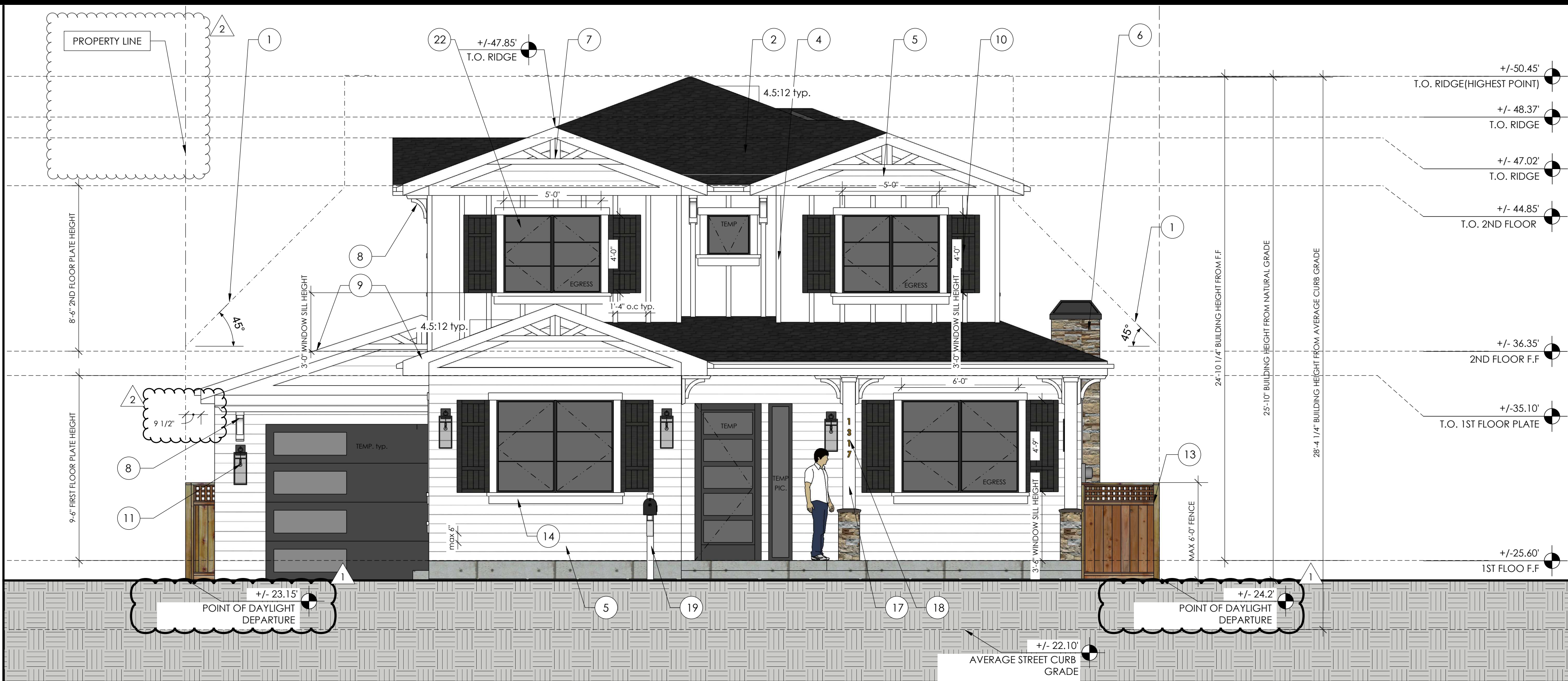
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NUMBER INDICATES KEYNOTE

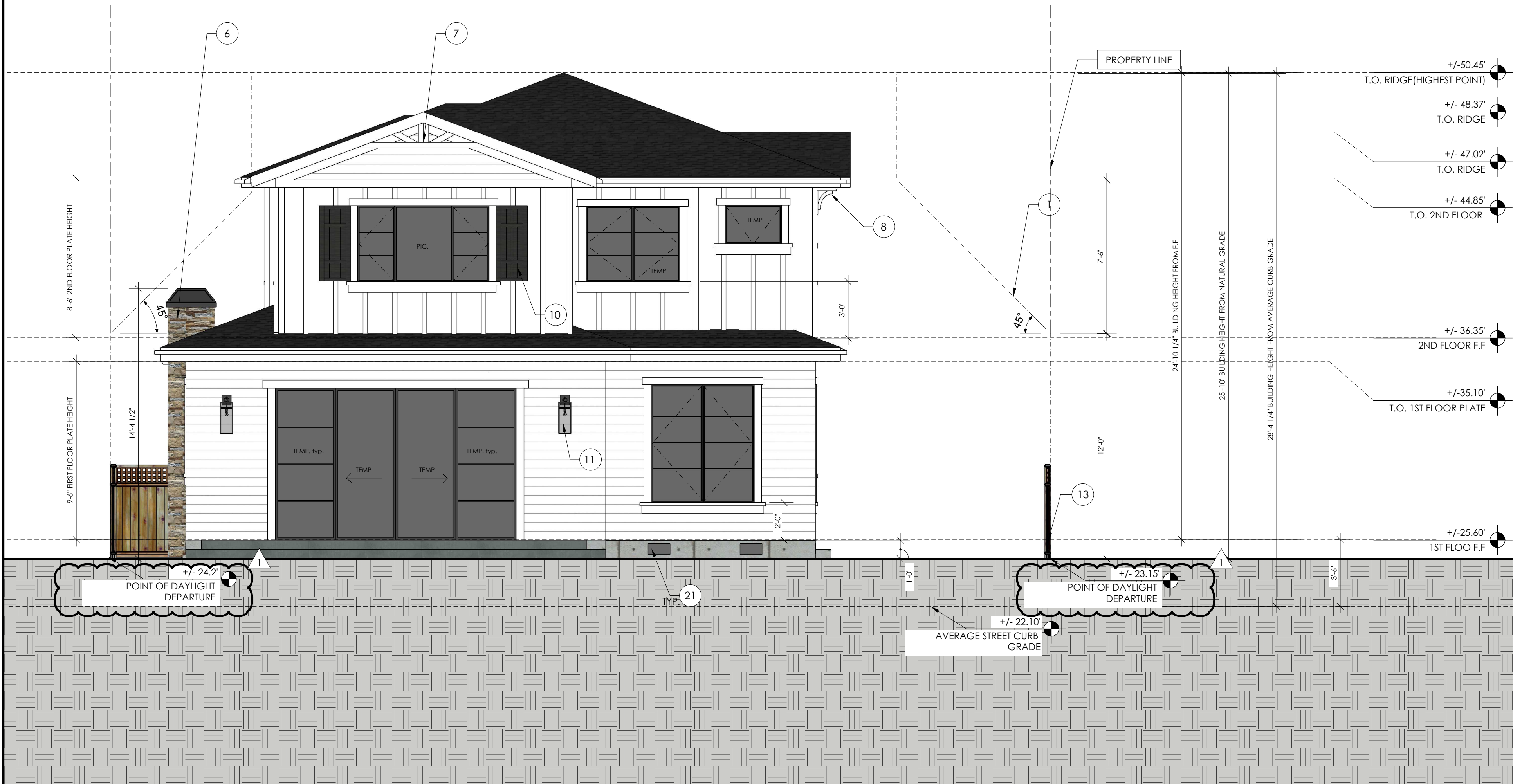
DAYLIGHT PLANE

PROPERTY LINE

LAND FILL



SOUTH ELEVATION--FRONT VIEW 1/4" = 1



NORTH ELEVATION--REAR VIEW 1/4" = 2



1670 El Camin Real, Apt
309 Menlo Park,
CA, 94025
650-387-9272

APN: 026-085-100

PROJECT NAME

Hadjian Residence

NEW SINGLE FAMILY HOUSE AND DETACHED GARAGE

ADDRESS

1317 Paloma Ave,
Burlingame, CA

Owner

Behzad Hadjian

DRAWN BY

Ardalan Djalali

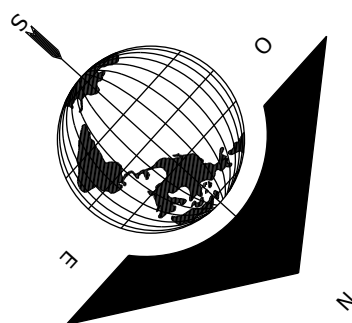
SIGNED BY

Ardalan Djalali

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2	08.17.2022	PLANNING RESUBMITTAL

RESIDENCE
EXTERIOR
ELEVATIONS

A3.1



“FOR PERMIT APPROVAL ONLY--NOT FOR CONSTRUCTION”

KEYNOTES AND LEGENDS

- 1

DAYLIGHT PLANE AS DEFINED BY JURISDICTION
- 2

NEW 40 YR.COMP.SHINGLE RADIANT BARRIER PER ENERGY REPORT SHALL BE PROVIDED
- 3

SKYLIGHT
- 4

BOARD AND BATTEN FIBER CEMENT SIDING OVER ONE LAYER TYVEK PAPER HOUSE WRAP
- 5

HORIZONTAL FACTORY FINISHED FIBER CEMENT SIDING OVER ONE LAYER TYVEK PAPER HOUSE WRAP
- 6

WOOD FRAMED FALSE CHIMNEY--COVERED WITH ADHERED LIGHT WEIGHT STONE
- 7

DECORATIVE PAINT GRADE WOOD TRUSS
- 8

DECORATIVE PAINT GRADE WOOD CORBEL
- 9

PAINTED FIBER CEMENT TRIM 2x6 FASCIA WITH 4" SEAMLESS PAINTED SHEET METAL GUTTER
- 10

FIXED FIBERGLASS SHUTTER--V GROOVE--COLOR BLACK 632--VISIT:https://www.customshuttercompany.com/exterior-shutters/fiberglass-shutters-v-groove/ FOR SPEC.
- 11

EXTERIOR LIGHT
- 12

LED ILLUMINATED ADDRESS SIGNAGE--AN APPROVED ADDRESS NUMBER ON BUILDING ELEVATION IS PLAINLY LEGIBLE AND VISIBLE FROM THE ADJACENT ACCESS STREET OR ROAD. THE NUMBERS NEED TO CONTRAST WITH THEIR BACKGROUND, AND BE A MINIMUM OF 4" HIGH, WITH A MINIMUM STROKE OF 1/2". [CRC 319.1]
- 13

MAX 6'-0" WOOD FENCE HIGHT
- 14

WINDOW TRIM
- 15

ELECTRIC METER
- 16

LIGHT WEIGHT ADHERED STONE
- 17

8" X 8" PAINT GRADE WOOD POST WITH STONE BASE
- 18

ADDRESS SIGNAGE
- 19

MAIL BOX
- 20

HVAC UNIT
- 21

7 X 14 CRAWLSPACE VENT--SEE SHEET A1.1 FOR CALCULATIONS
- 22

EGRESS WINDOW--TO COMPLY WITH 2019 CALIFORNIA RESIDENTIAL CODE 2019 CRC R310 OR CBC 1030

+/-XXX.X'
(E)/(N) GRADE

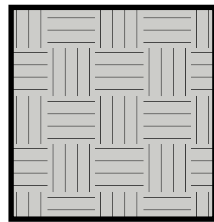
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GRADE LINE

NUMBER INDICATES KEYNOTE

DAYLIGHT PLANE

PROPERTY LINE



LAND FILL



EAST ELEVATION--LEFT VIEW — 1/4" = 1'

1 2 3 4 6 feet



WEST ELEVATION--RIGHT VIEW — 1/4" = 2'

1 2 3 4 6 feet



1670 El Camin Real, Apt
309 Menlo Park,
CA, 94025
650-387-9272

APN: 026-085-100

PROJECT NAME	ADDRESS	Owner
Hadijan Residence NEW SINGLE FAMILY HOUSE AND DETACHED GARAGE	1317 Paloma Ave, Burlingame, CA	Behzad Hadijan

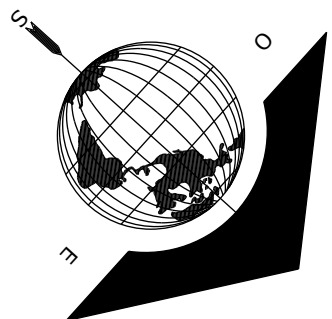
DRAWN BY
Ardalan Djalali

SIGNED BY
Ardalan Djalali

REVISION	DATE	DESCRIPTION
	04.04.2022	PLANNING SUBMITTAL
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RESIDENCE
EXTERIOR
ELAVATIONS

A3.2



“FOR PERMIT APPROVAL ONLY--NOT FOR CONSTRUCTION”

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- 20 HVAC UNIT

+/-XXX.X'
(E)/(N) GRADE

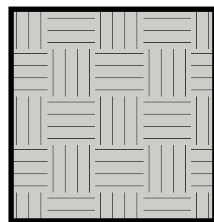
GRADE LINE

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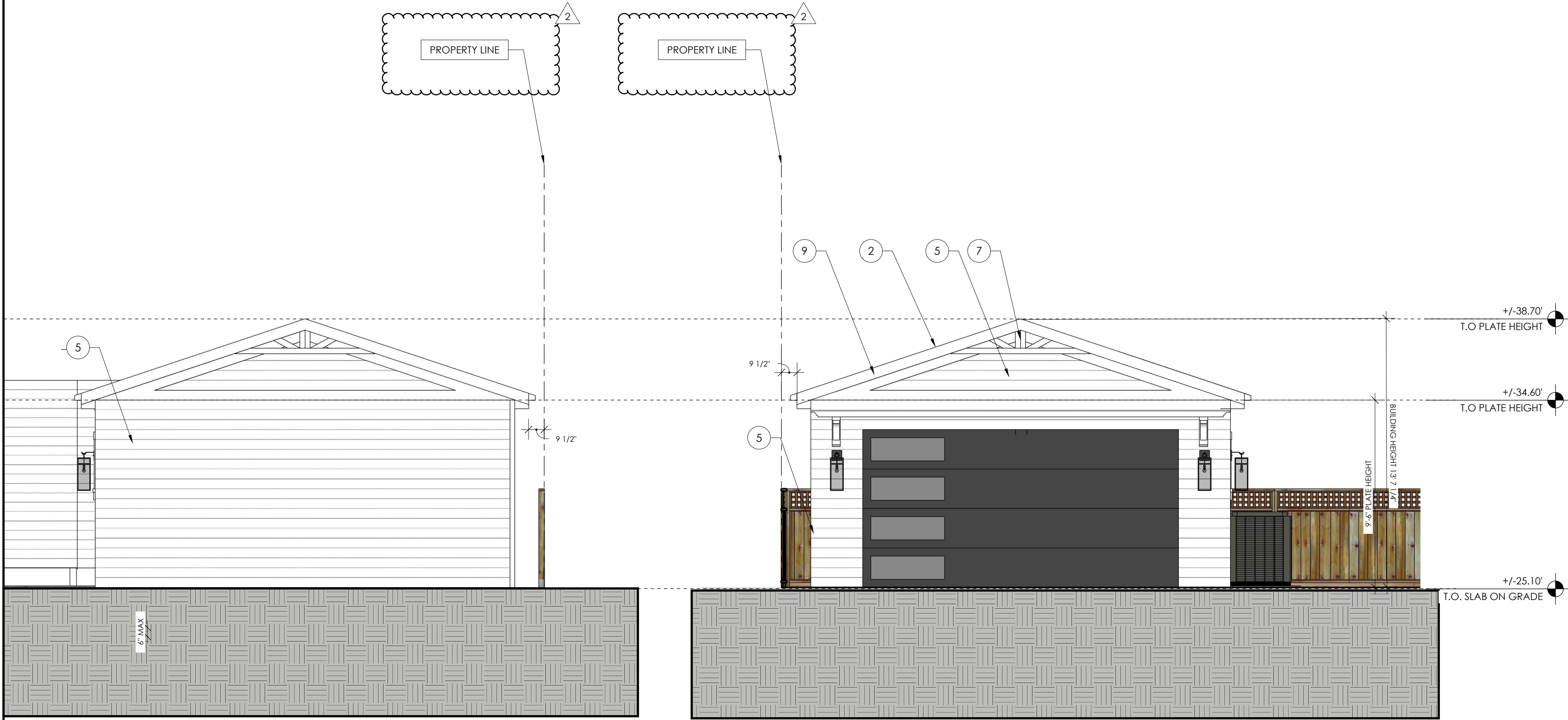
NUMBER INDICATES KEYNOTE

DAYLIGHT PLANE

PROPERTY LINE

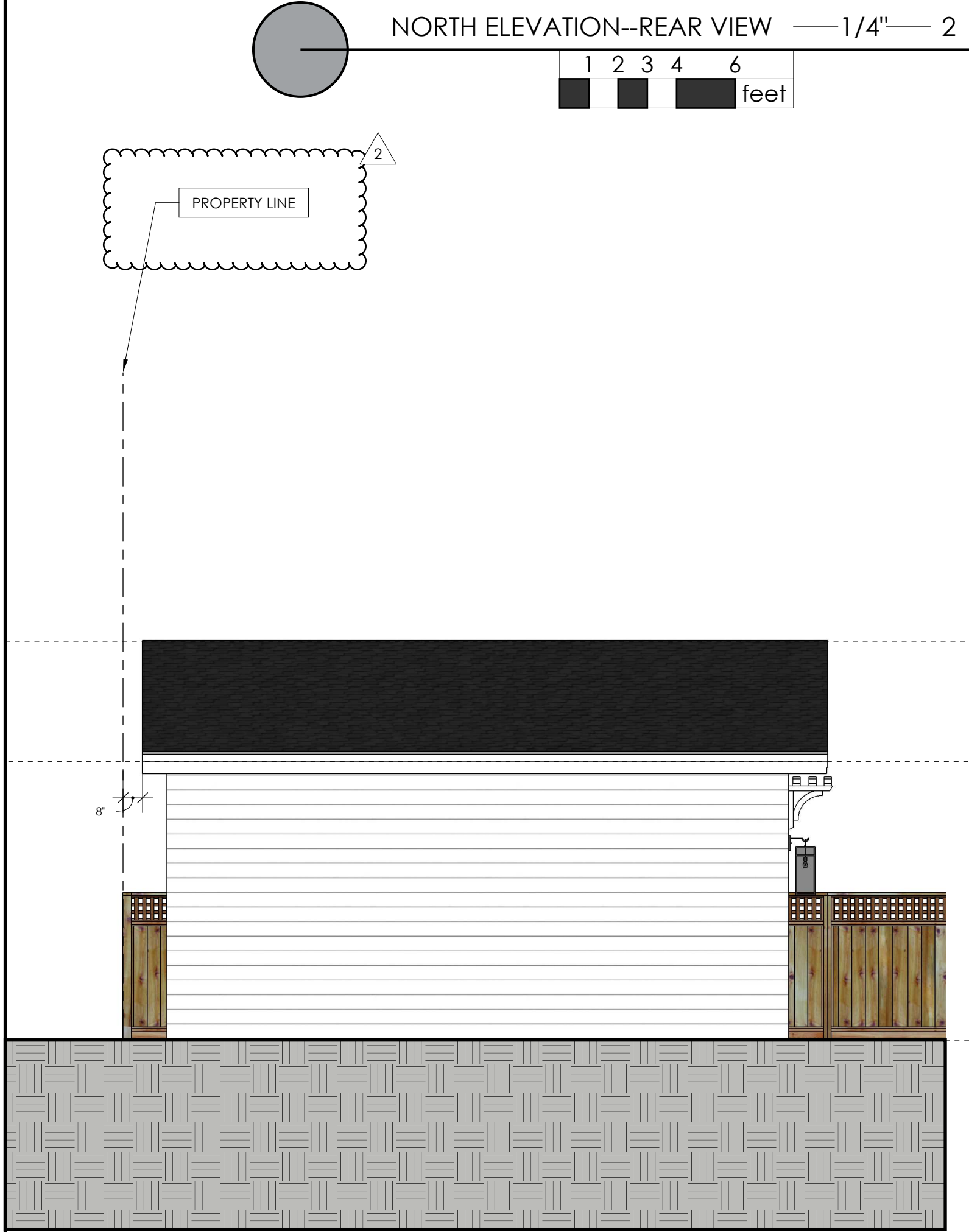


LAND FILL

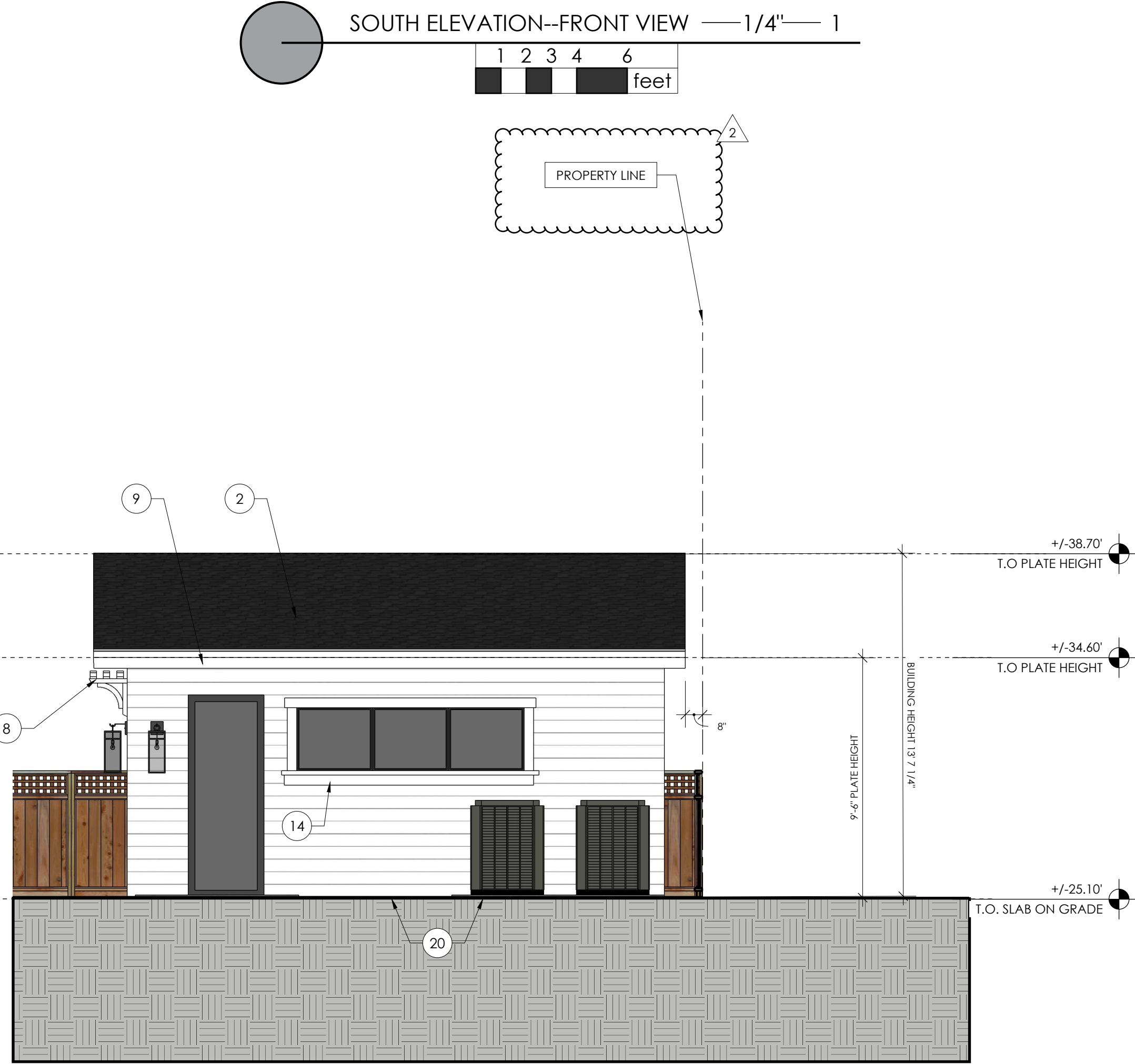


NORTH ELEVATION--REAR VIEW 1/4" = 2 feet

SOUTH ELEVATION--FRONT VIEW 1/4" = 1 feet



EAST ELEVATION--LEFT VIEW 1/4" = 4 feet



WEST ELEVATION--RIGHT VIEW 1/4" = 3 feet



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PROJECT NAME
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NEW SINGLE FAMILY HOUSE AND DETACHED GARAGE

ADDRESS
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Owner
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DRAWN BY
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GARAGE
ELAVATIONS

A3.3

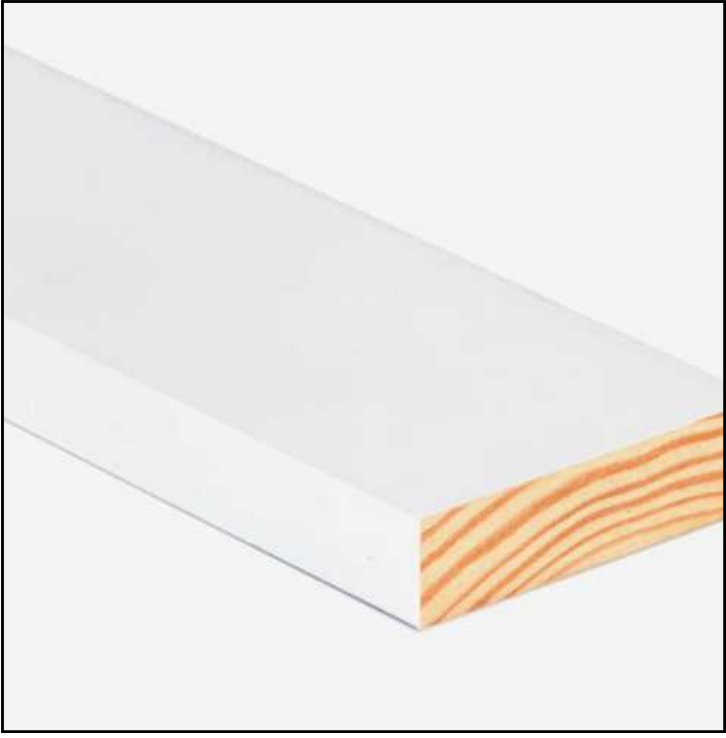




GARAGE DOOR
ALUMINUM & GLASS GARAGE DOORS
CLOPAY--MODEL: PIONEER



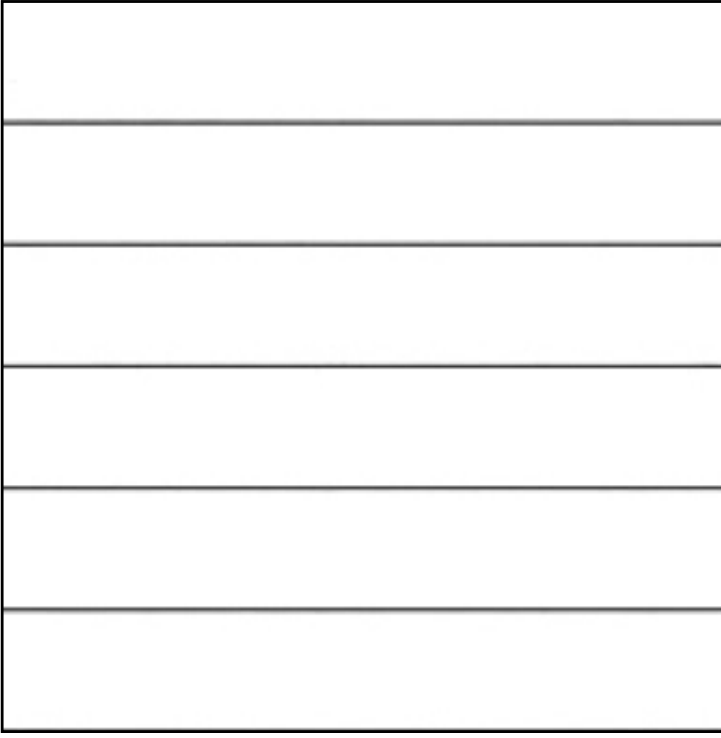
DECORATIVE WINDOW SHUTTER
FIXED FIBERGLASS SHUTTER--V GROOVE--
COLOR BLACK 632--
VISIT<https://www.customshuttercompany.com/exterior-shutters/fiberglass-shutters-v-groove/> FOR SPEC.



WINDOW SILL AND TRIM
WOOD TRIM 1x 6-1/2"
SQUARE EDGE PRIMED PINE
BOARD



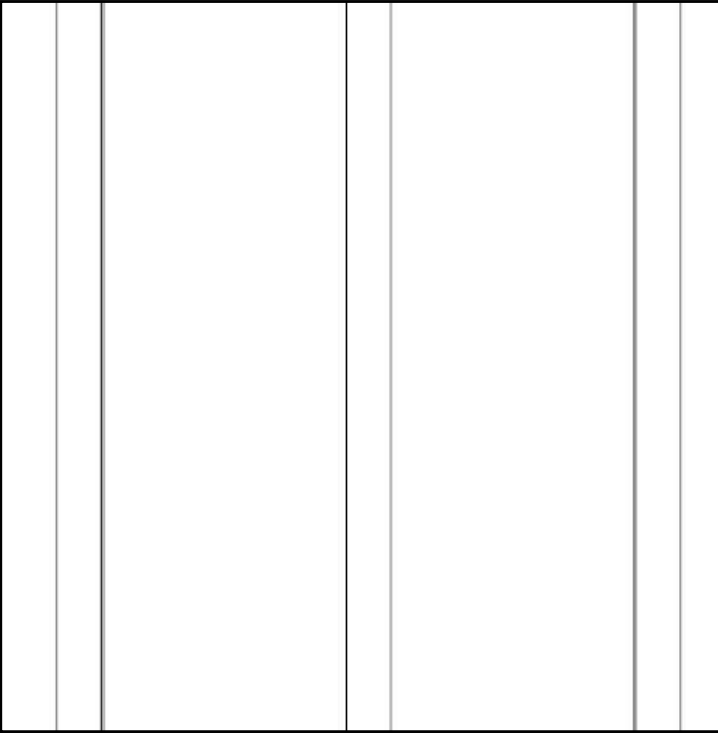
GARAGE DOOR
ALUMINUM & GLASS GARAGE DOORS
CLOPAY--MODEL: AVANTE



SIDING
6" MAX FIBER CEMENT
HORIZONTAL SIDING



LIGHTING
CATALINA 1-LIGHT SMALL
OUTDOOR WALL SCONCE
30092CLD8Z
W6"H13



SIDING
2 X 3 FIBER CEMENT SIDING @ 16" O.C.
COLOR: WHITE
BOARD AND BATTEN



SURROUNDING HOUSE NUMBERS
PIN MOUNTED LED ILLUMINATED ADDRESS
SIGNAGE 8" LUXELLO
COLOR: BRONZE
www.surrounding.com



ROOFING
PRESIDENTIAL SHAKE
SHINGLE ROOFING
COLOR: DARK CHARCOAL
www.shaintext.com



CHIMNEY AND EXTERIOR WALL
ELDORADO STONE
STYLE: CLIFFSTONE
COLOR: MONTEGITO
www.eldoradostone.com

MATERIAL SELECTION — NTS — 1

WINDOW SCHEDULE					
#	NOMINAL SIZE		HEADER HEIGHT	DESCRIPTION	REMARKS
	WIDTH	HEIGHT			
1ST FLOOR	1	6'-0"	4'-9"	8'-3" DBL CASEMENT	EGRESS
	2	1'-6"	4'-9"	8'-3" PICTURE	TEMPERED
	3	6'-0"	4'-9"	8'-3" CASEMENT	-
	4	3'-0"	4'-9"	8'-3" CASEMENT	-
	5	3'-0"	4'-9"	8'-3" CASEMENT	-
	6	5'-6"	4'-9"	8'-3" DBL CASEMENT	-
	7	5'-6"	4'-9"	6'-3" DBL CASEMENT	-
	8	5'-6"	4'-9"	6'-3" DBL CASEMENT	-
	9	2'-6"	4'-9"	8'-3" CASEMENT	-
	10	2'-6"	4'-9"	8'-3" CASEMENT	-
	11	2'-6"	4'-9"	8'-3" CASEMENT	TEMPERED
2ND FLOOR	1	5'-0"	4'-0"	7'-0" DBL CASEMENT	EGRESS
	2	2'-4"	4'-0"	7'-0" CASEMENT	TEMPERED
	3	5'-0"	4'-0"	7'-0" DBL CASEMENT	EGRESS
	4	2'-8"	4'-0"	7'-0" CASEMENT	-
	5	2'-8"	4'-0"	7'-0" CASEMENT	-
	6	2'-0"	4'-0"	7'-0" CASEMENT	TEMPERED
	7	7'-0"	4'-0"	CS.PIC.CS.	-
	8	2'-0"	4'-0"	7'-0" CASEMENT	TEMPERED
	9	2'-0"	4'-0"	7'-0" CASEMENT	TEMPERED
	10	3'-0"	4'-0"	7'-0" CASEMENT	TEMPERED
	11	5'-6"	4'-0"	7'-0" DBL CASEMENT	TEMPERED
	12	7'-0"	4'-0"	7'-0" CS.PIC.CS.	-
	13	3'-0"	4'-0"	7'-0" CASEMENT	EGRESS
	14	3'-0"	4'-0"	7'-0" CASEMENT	-
	15	5'-0"	4'-0"	7'-0" DBL CASEMENT	-
	16	3'-0"	4'-0"	7'-0" CASEMENT	-
	17	3'-0"	4'-0"	7'-0" CASEMENT	-
GARAGE	1	3'-0"	2'-6"	8'-0" CASEMENT	TEMPERED
	2	3'-0"	2'-6"	8'-0" CASEMENT	-
	3	3'-0"	2'-6"	8'-0" CASEMENT	-

NOTES:

1 ALL WINDOWS TO BE CLAD-WOOD-- EXTERIOR COLOR TO BE DARK GRAY--INTERIOR COLOR TBD

2 SHOWER WINDOWS #2, 6, 10 ON THE 2ND FLOOR WILL BE VINYL CASEMENT--8000 SERIES, SIERRA PACIFIC

WINDOW SCHEDULE — - — 3

DOOR SCHEDULE					
	#	NOMINAL SIZE		DESCRIPTION	REMARKS
		WIDTH	HEIGHT		
1ST FLOOR	A	3'-6"	8'-0"	SOLID WOOD, HINGED	WEATHERSTRIP--TEMPERED--6 LITE OBSCURE GLASS--HOELSCHER MANUFACTURE
	B	2'-8"	8'-0"	FULL LITE, HINGED	TEMPERED, WEATHERSTRIP
	C	4(3'-6")	8'-0"	SOLID WOOD, HINGED	TEMPERED, WEATHERSTRIP
	D	2'-8"	8'-0"	SOLID WOOD, HINGED	-
	E	2'-6"	8'-0"	SOLID WOOD, HINGED	-
	F	2'-8"	8'-0"	SOLID WOOD, HINGED	-
	G	2'-8"	8'-0"	SOLID WOOD, HINGED	-
	H	2'-8"	8'-0"	SOLID WOOD, HINGED	-
	I	2'-4"	8'-0"	SOLID WOOD, HINGED	-
2ND FLOOR	A	2'-8"	7'-0"	SOLID WOOD, HINGED	-
	B	2'-8"	7'-0"	SOLID WOOD, HINGED	-
	C	2'-8"	7'-0"	SOLID WOOD, HINGED	-
	D	PR(2'-0")	7'-0"	SOLID WOOD, HINGED	-
	E	PR(2'-0")	7'-0"	SOLID WOOD, HINGED	-
	F	2'-8"	7'-0"	SOLID WOOD, HINGED	-
	G	2'-6"	7'-0"	SOLID WOOD, HINGED	-
	H	2'-10"	7'-0"	SOLID WOOD, HINGED	-
	I	2'-8"	7'-0"	SOLID WOOD, HINGED	-
GARAGE	J	2'-8"	7'-0"	SOLID WOOD, HINGED	-
	K	2'-6"	7'-0"	SOLID WOOD, POCKET	-
	A	16'-0"	8'-0"	GARAGE, ROLL UP	TEMPERED--CLOPAY--DARK GRAY--OBSCURE GLASS
	B	3'-0"	8'-0"	FULL LITE, HINGED	TEMPERED- WEATHERSTRIP

NOTES:

- ALL INTERIOR DOOR TO BE SOLID WOOD
- DOOR "A" IN THE 1ST FLOOR TO BE SOLID WOOD WITH 5 LIT OBSCURE TEMPERED GLASS

DOOR SCHEDULE — - — 2

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1670 El Camin Real, Apt
309 Menlo Park,
CA, 94025
650-387-9272

APN: 026-085-100

PROJECT NAME

Hadijan Residence

NEW SINGLE FAMILY HOUSE AND DETACHED GARAGE

ADDRESS

1317 Paloma Ave,

Burlingame, CA

Owner

Behzad Hadijan

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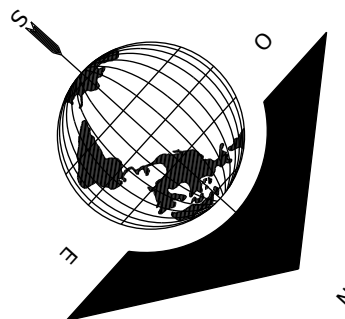
Ardalan Djalali

SIGNED BY

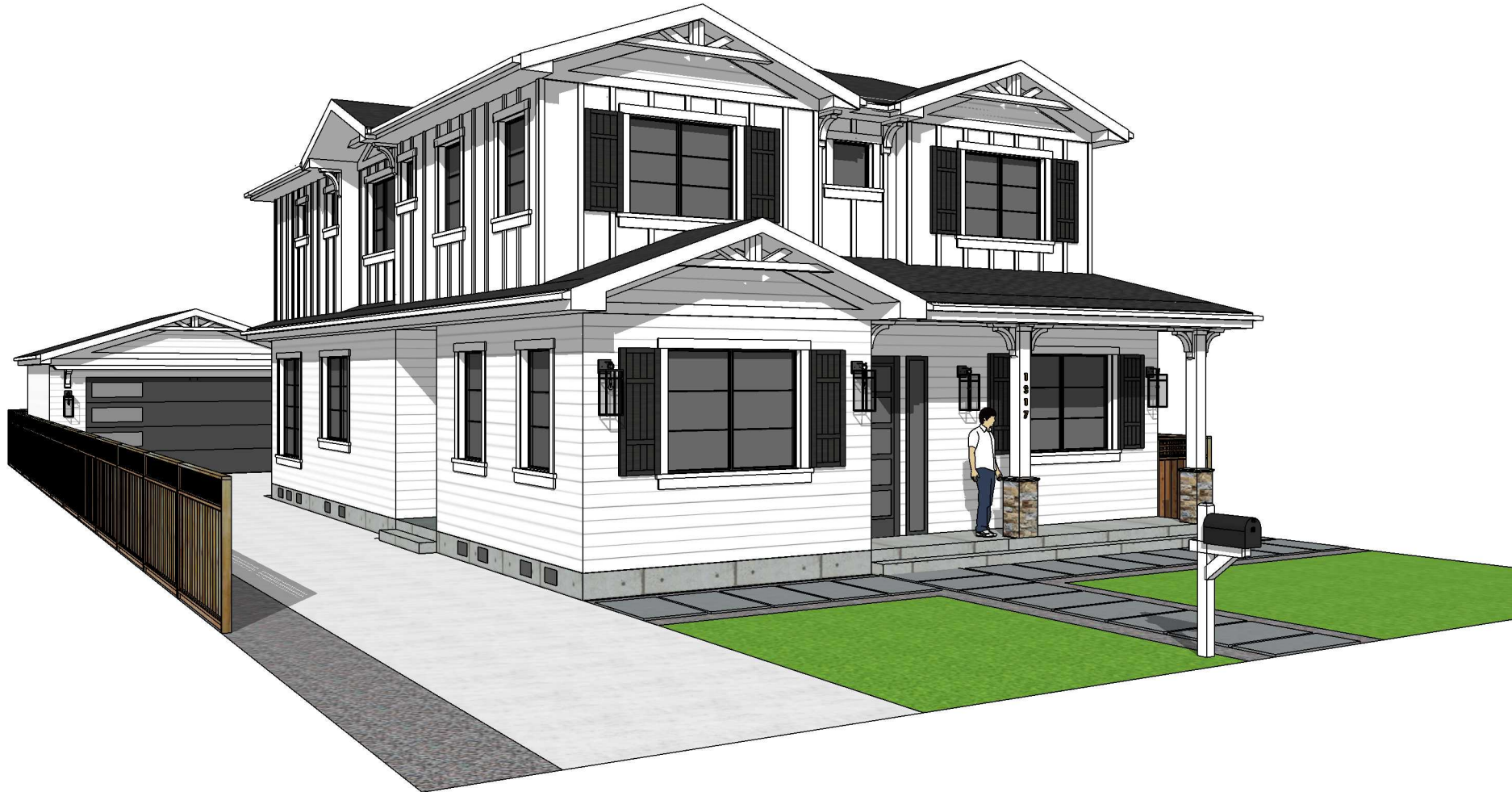
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REVISION	DATE	DESCRIPTION
	04.04.2022	PLANNING SUBMITTAL
1	05.31.2022	PLANNING RESUBMITTAL

MATERIAL
BOARD/
DOOR AND
WINDOW
SCHEDULE
A3.4



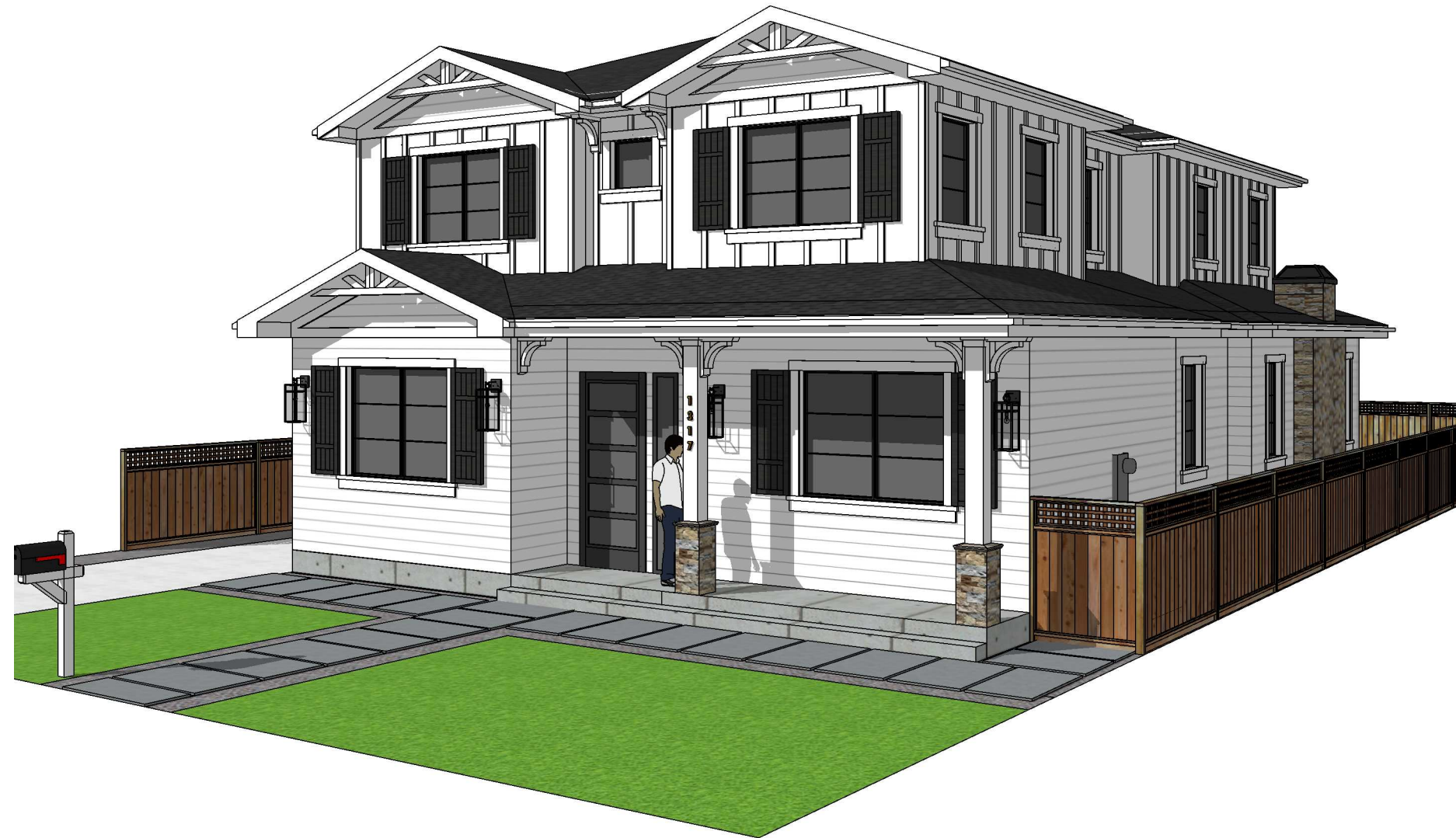
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FRONT LEFT PERSPECTIVE



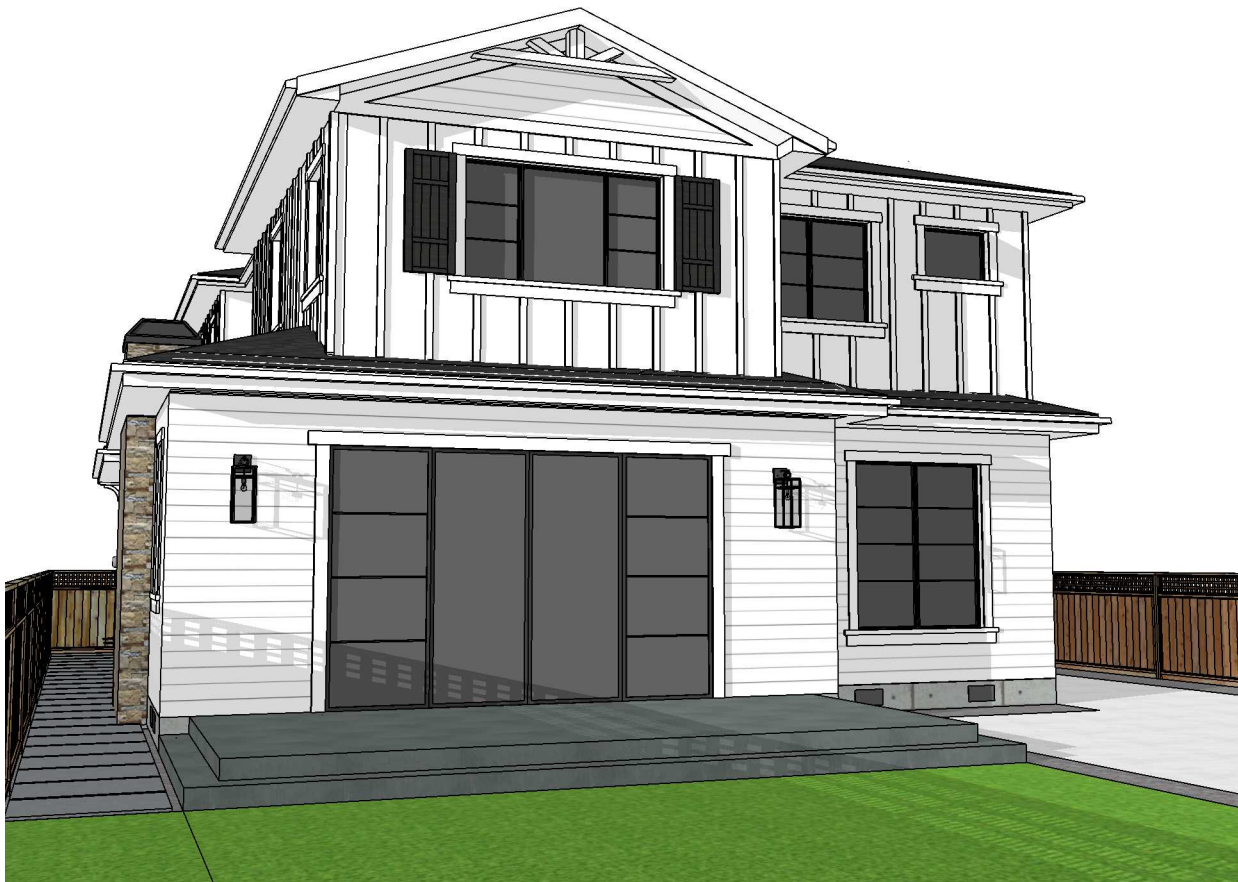
FRONT PERSPECTIVE



FRONT RIGHT PERSPECTIVE



REAR LEFT PERSPECTIVE



REAR PERSPECTIVE



GARAGE PERSPECTIVE



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309 Menlo Park,
CA, 94025
650-387-9272

APN: 026-085-100

PROJECT NAME
Hadjian Residence
NEW SINGLE FAMILY HOUSE AND DETACHED GARAGE

ADDRESS
1317 Paloma Ave,
Burlingame, CA

Owner
Behzad Hadjian

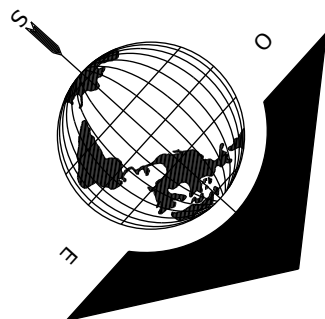
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Ardalan

REVISION	DATE	DESCRIPTION
	04.04.2022	PLANNING SUBMITTAL
1	05.31.2022	PLANNING RESUBMITTAL

EXTERIOR
PERSPECTIVES

A3.5



"FOR PERMIT APROVAL ONLY--NOT FOR CONSTRUCTION"

KEYNOTES AND LEGENDS

- 1

2x6 EXTERIOR WALL STUDS @16" O.C. U.N.O--MIN R-X INULATION PER T24
- 2

2x4 INTERIOR WALL STUDS @16" O.C. U.N.O--MIN R-X INULATION PER T24
- 3

MIN R-30 INSUL. TYP. ALL ROOF
- 4

GAURDRAILING HEIGHT: 3'-6" ABOVE F.F. GUARD SHALL HAVE INTERMEDIATE RAILS SPACED SUCH THAT A SPHERE 4-3/8 INCHES IN DIAMETER CANNOT PASS THROUGH. CRC R312.2 EX. #2 AND R312.3 EX. #2
- 5

HANDRAILS AT STAIRS SHALL BE NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES WHEN MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING. [CRC §R311.7.8.1]
- 6

NEW 40 YT.COMP.SHINGLE RADIANT BARRIER PER ENERGY REPORT SHALL BE PROVIDED
- 7

MIN 18" CRAWL SAPCE-- MIN R-19 INSULATION TYP. FOR SUBFLOOR/CRAWL SPACE--SEE T24 FOR ADDITIONAL INFO
- 8

THE LANDING SHALL NOT NE MORE THAN 7 3/4" BELOW THE TOP OF THE THRESHOLD
- 9

NOT USED
- 10

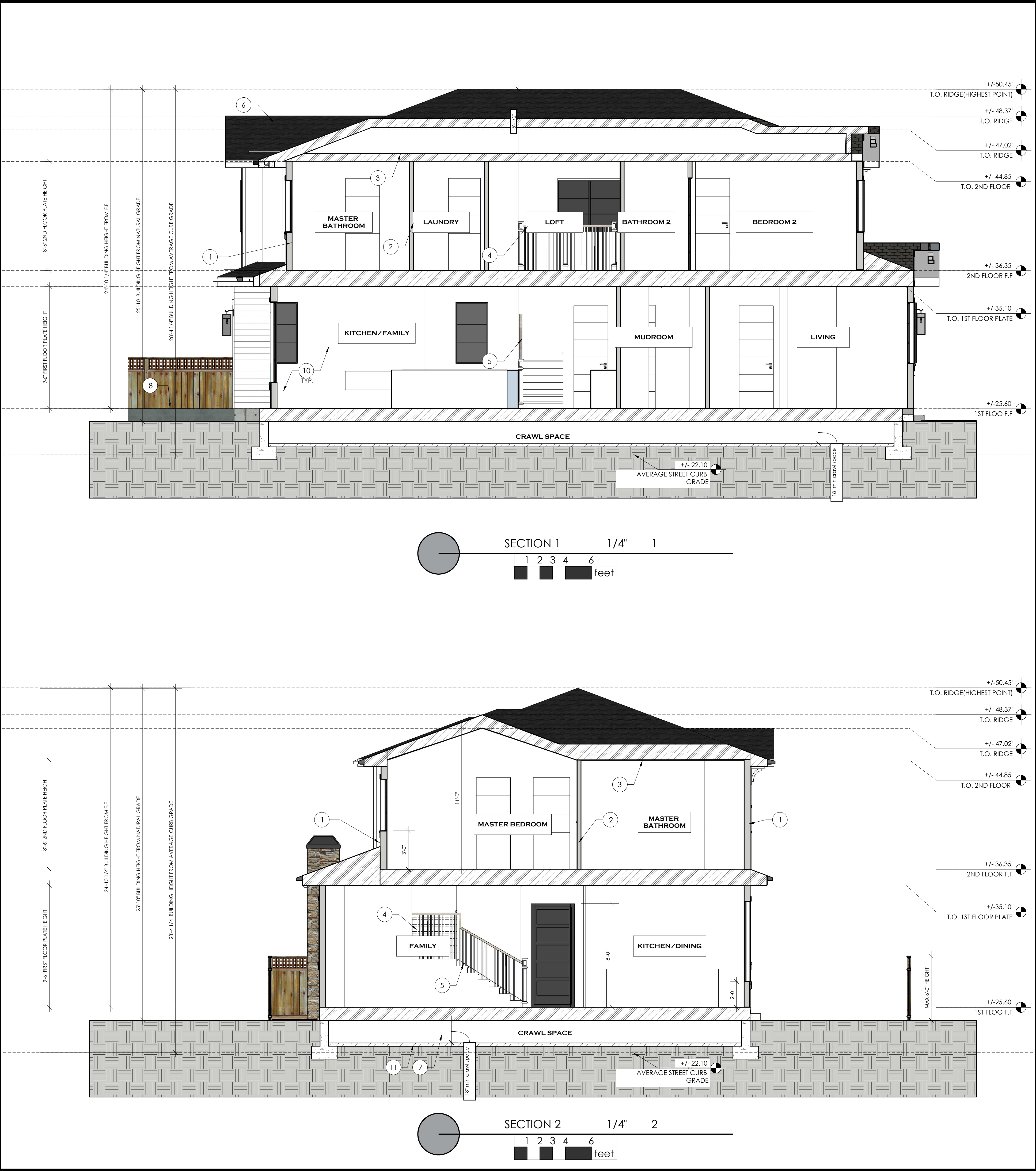
5/8" GYPSUM WALL BOARD ON WALLS AND CEILING
- 11

3" RAT SLAB WITH REINFORCING MESH IN CRAWLSPACE

- +/-XXXX' (E)/(N) GRADE

GRADE LINE
- #

NUMBER INDICATES KEYNOTE
- DAYLIGHT PLANE
- PROPERTY LINE
- LAND FILL
- UNDER 3" RAT SLAB WITH REINFORCING MESH IN CRAWLSPACE
- INDICATES NEW CONCRETET FOUNDATION
- INDICATES NEW CONCRETET FOUNDATION
- ROOF/FLOOR/ CEILING FRAMING--SEE STRUCTURAL PLANS FOR MORE INFO



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CA, 94025
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PROJECT NAME	ADDRESS	Owner
Hadijan Residence NEW SINGLE FAMILY HOUSE AND DETACHED GARAGE	1317 Paloma Ave, Burlingame, CA	Behzad Hadijan

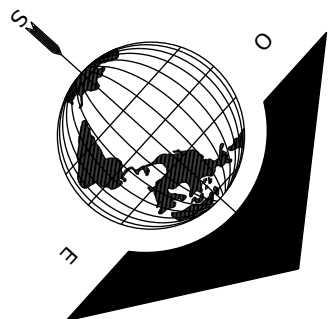
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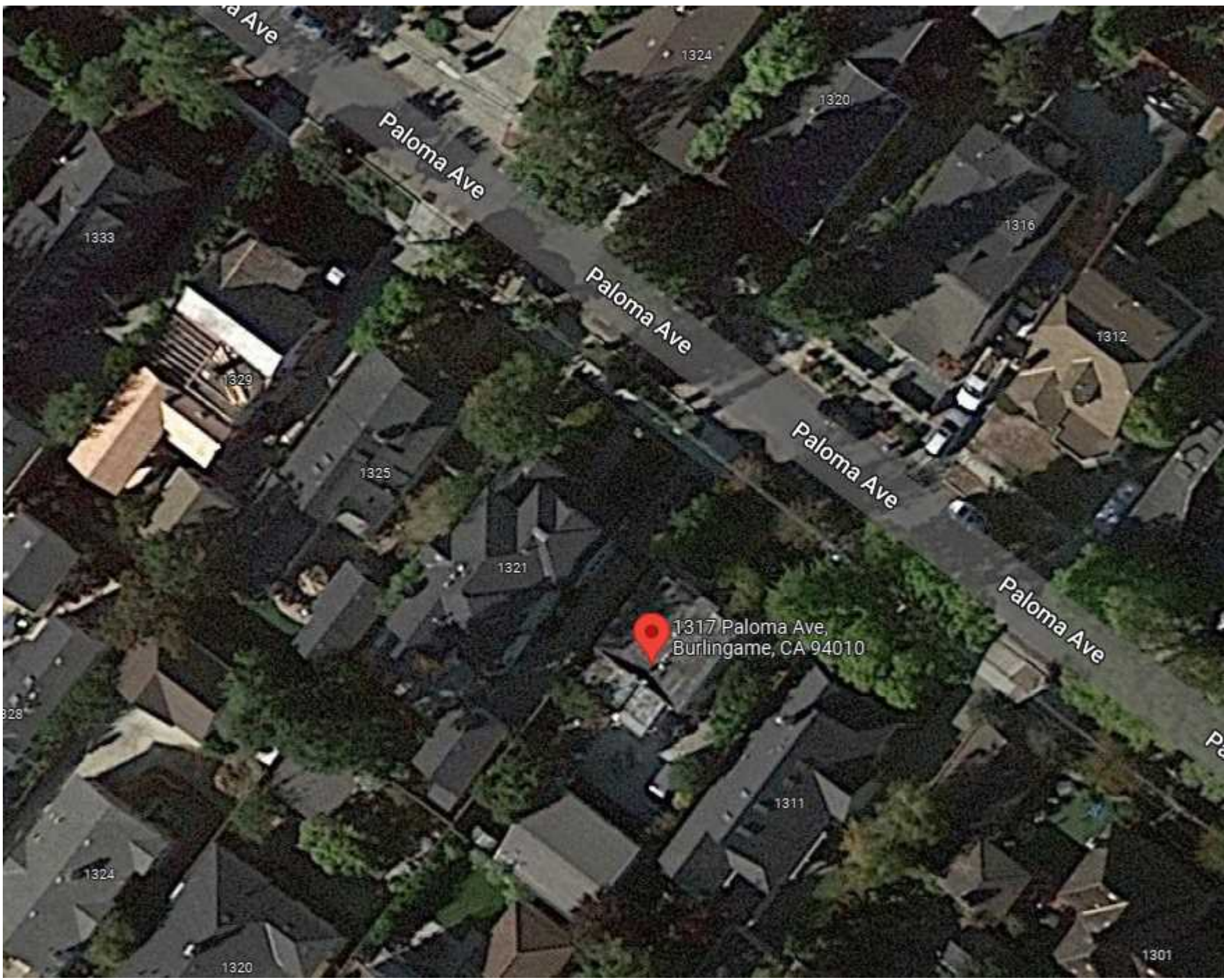
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REVISION	DATE	DESCRIPTION
	04.04.2022	PLANNING SUBMITTAL
1	05.31.2022	PLANNING RESUBMITTAL

SECTIONS

A5.0





1317 PALOMA AVE



1317 PALOMA AVE



1321 PALOMA AVE



1311 PALOMA AVE



1301 PALOMA AVE



1316 PALOMA AVE



1325 PALOMA AVE



1320 PALOMA AVE



1670 El Camin Real, Apt
309 Menlo Park,
CA, 94025
650-387-9272

APN: 026-085-100

PROJECT NAME

Hadian Residence
NEW SINGLE FAMILY HOUSE AND DETACHED GARAGE

ADDRESS

1317 Paloma Ave,
Burlingame, CA

Owner

Behzad Hadian

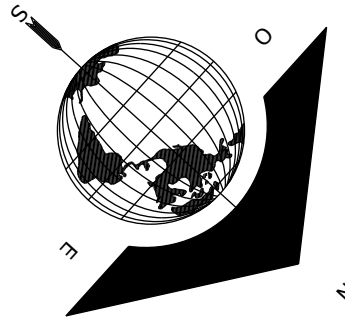
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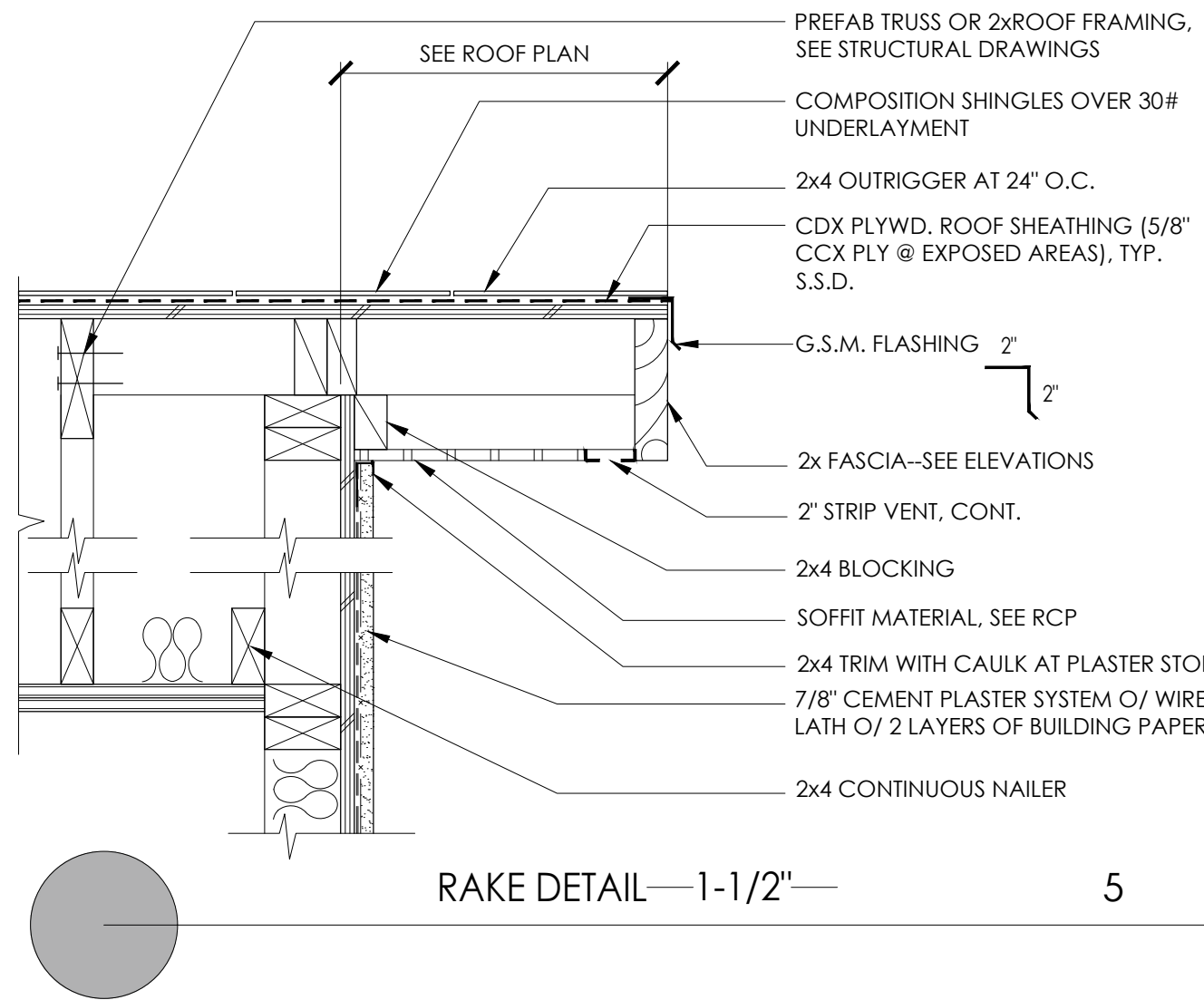
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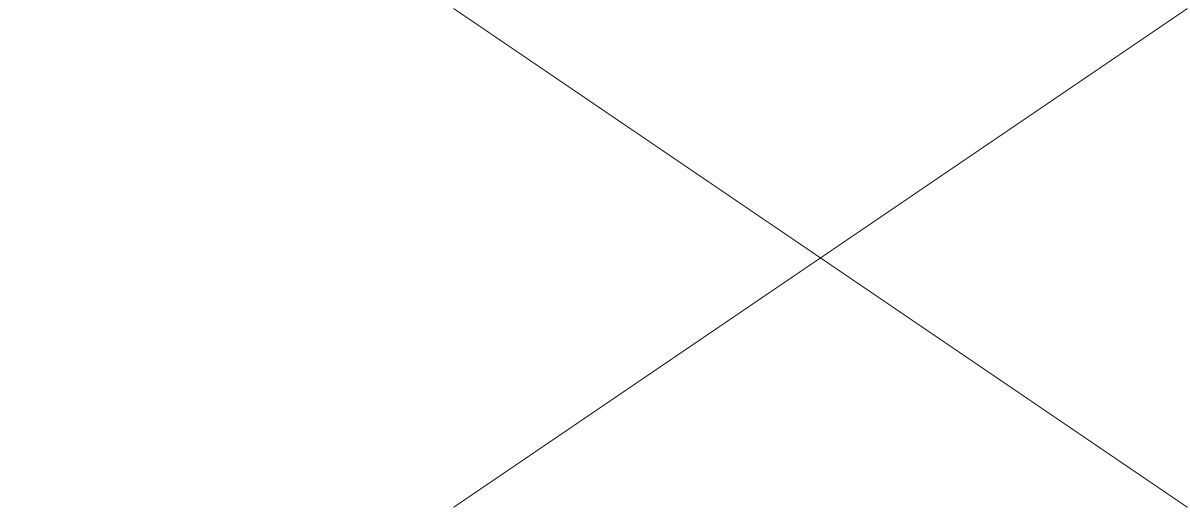
NEIGHBORHOOD
CONTEXT

A3.6

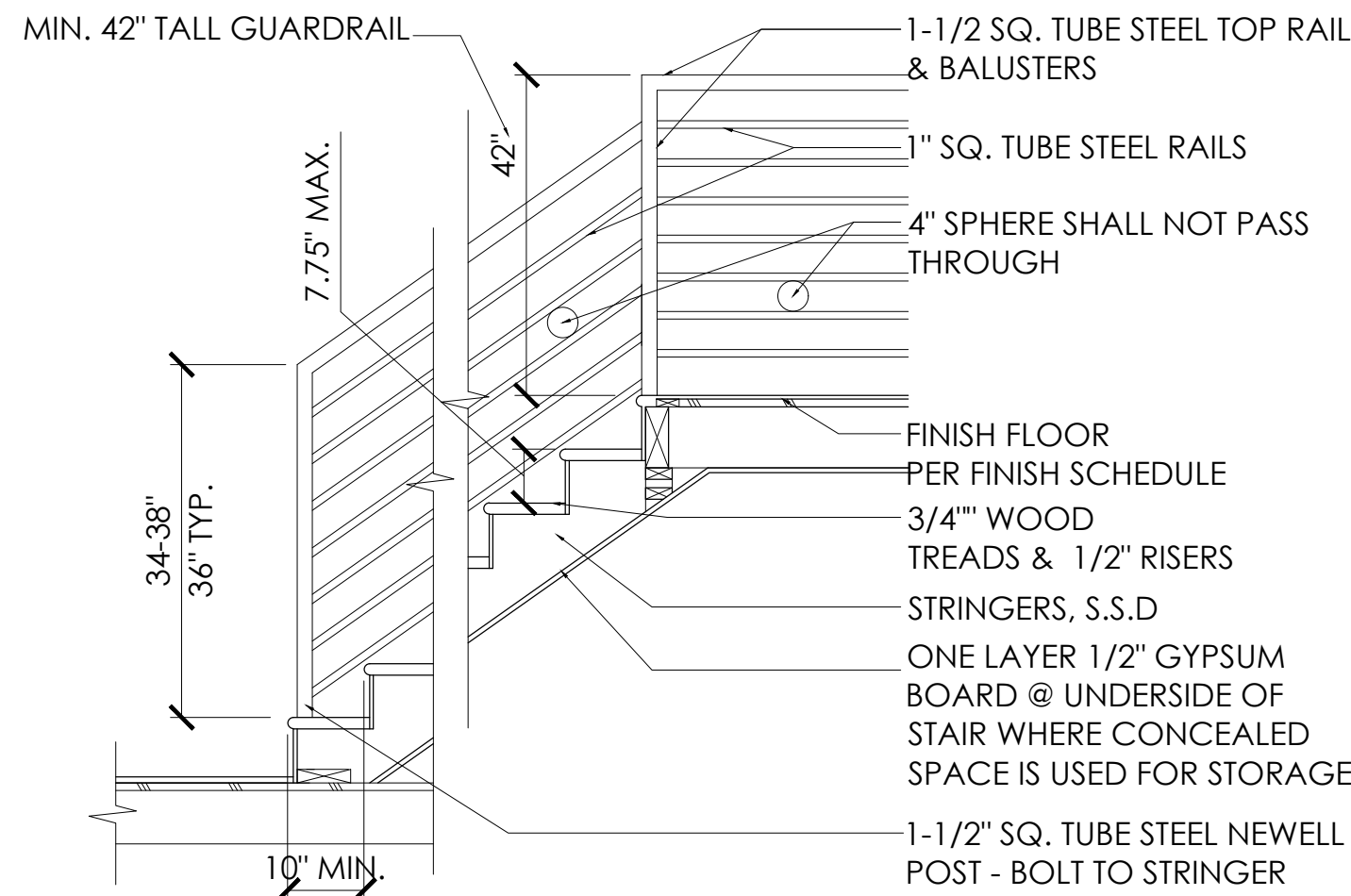




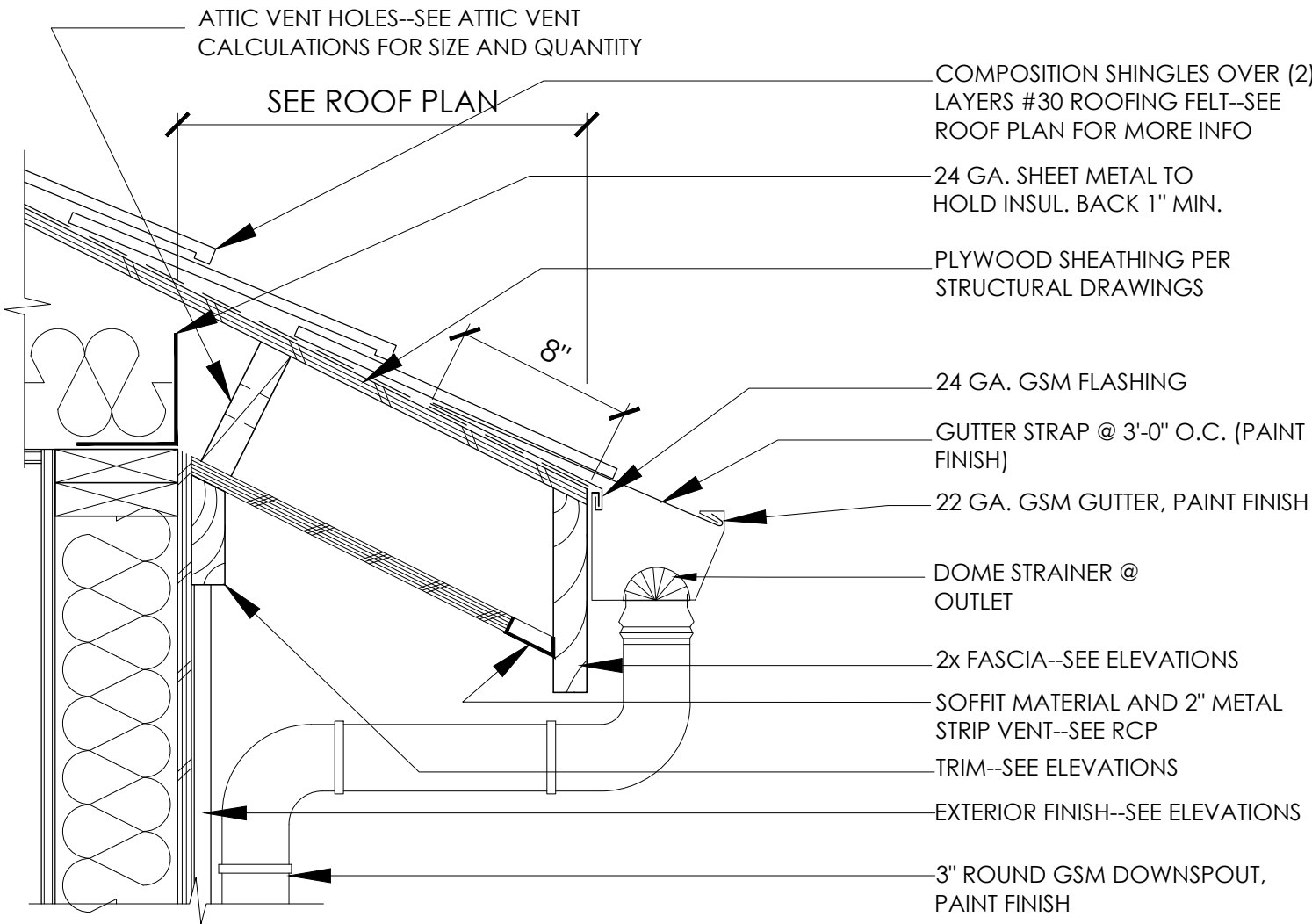
RAKE DETAIL—1-1/2" — 5



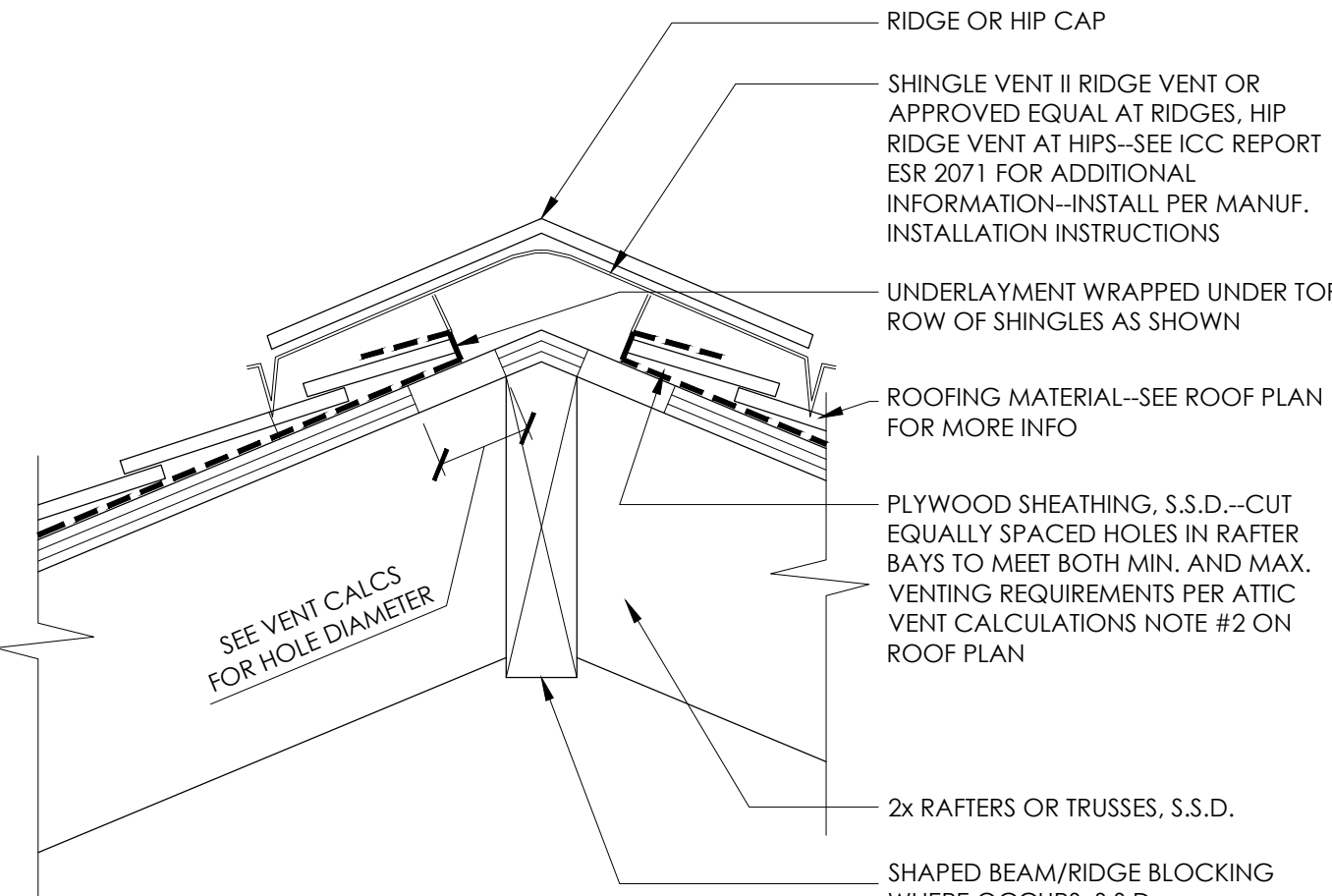
NOT USED—NTS — 6



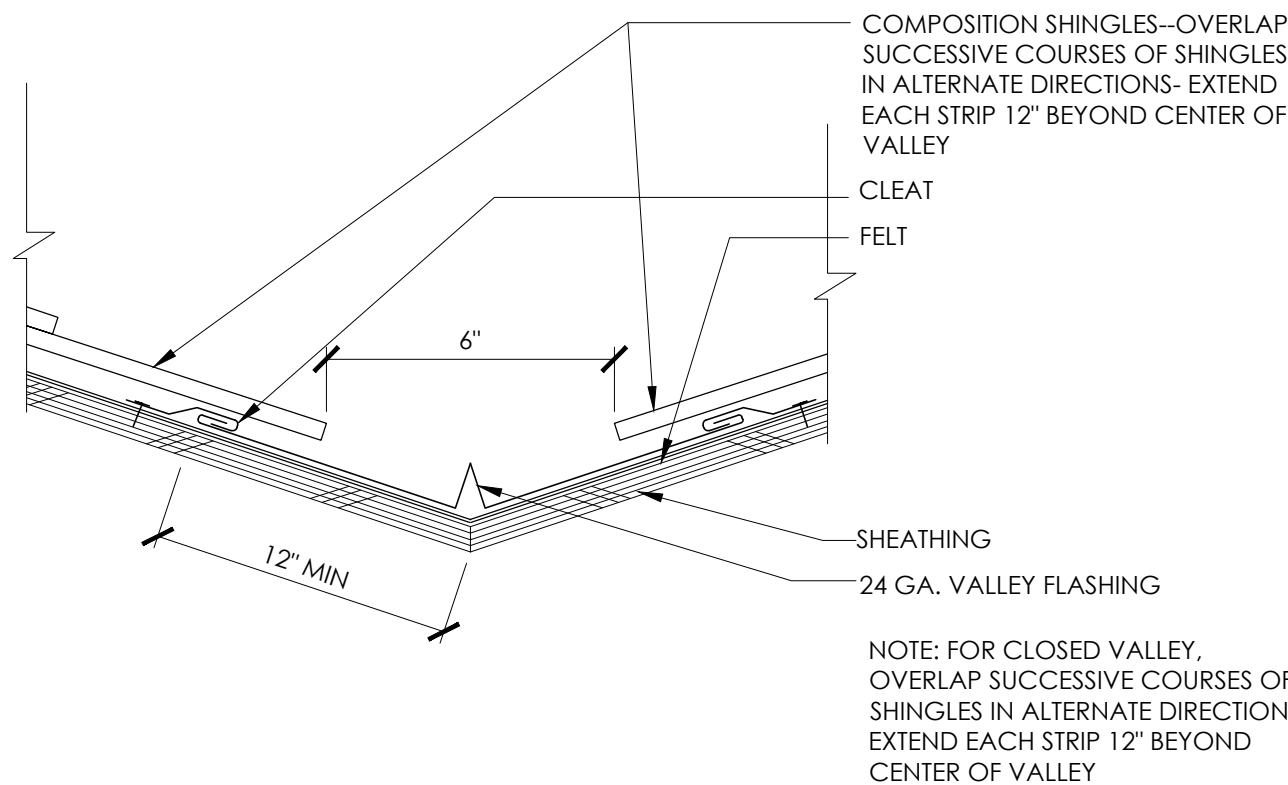
STAIR SECTION—1/2" — 7



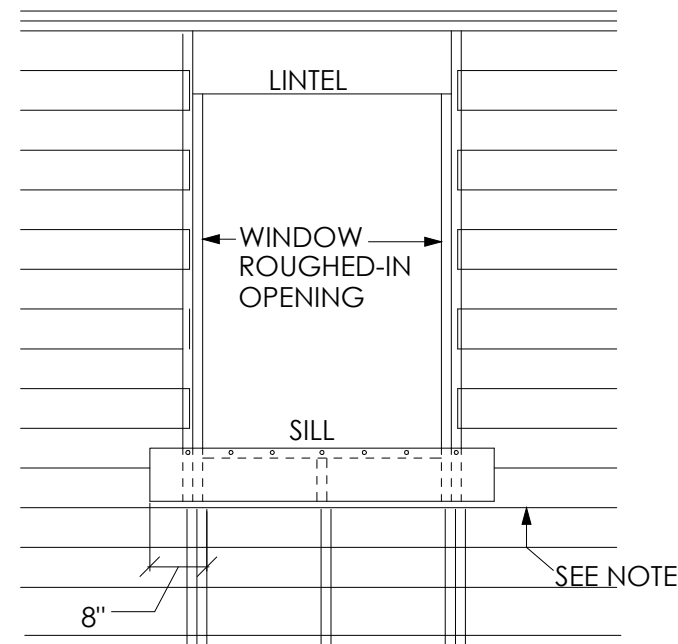
ROOF TO WALL FLASHING —1 1/2" — 2



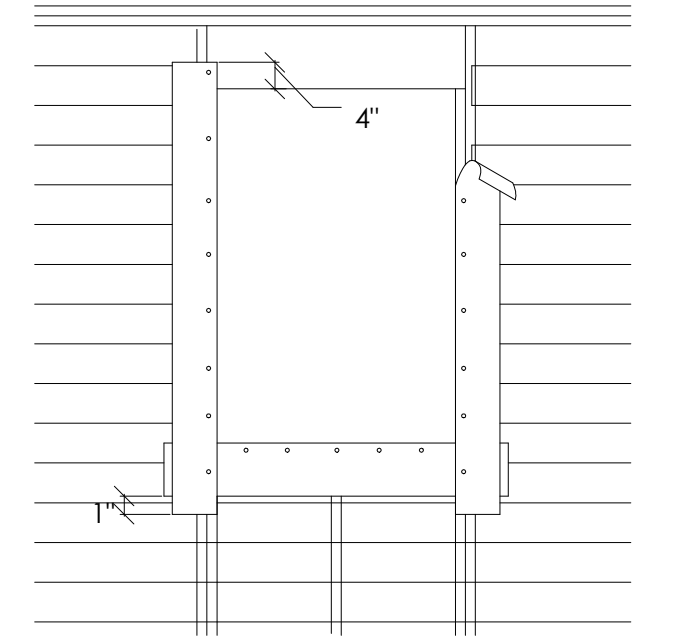
RIDGE VENT DETAIL—3" — 3



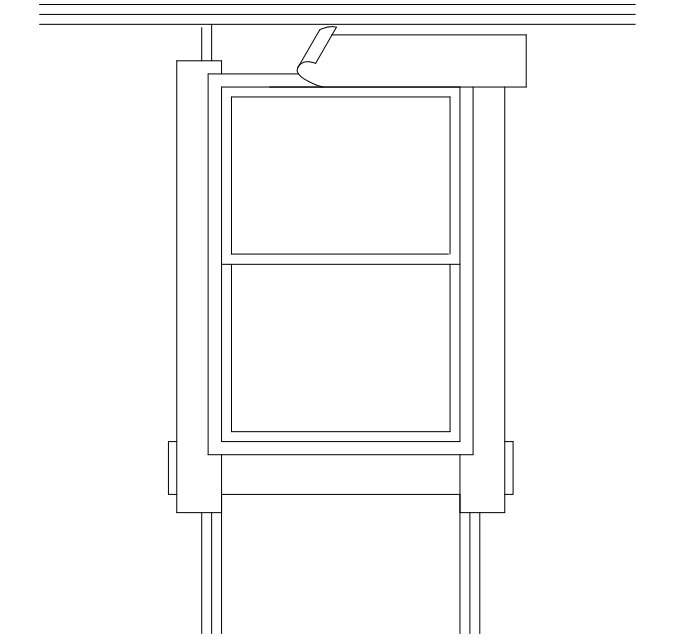
VALLEY DETAIL—3" — 4



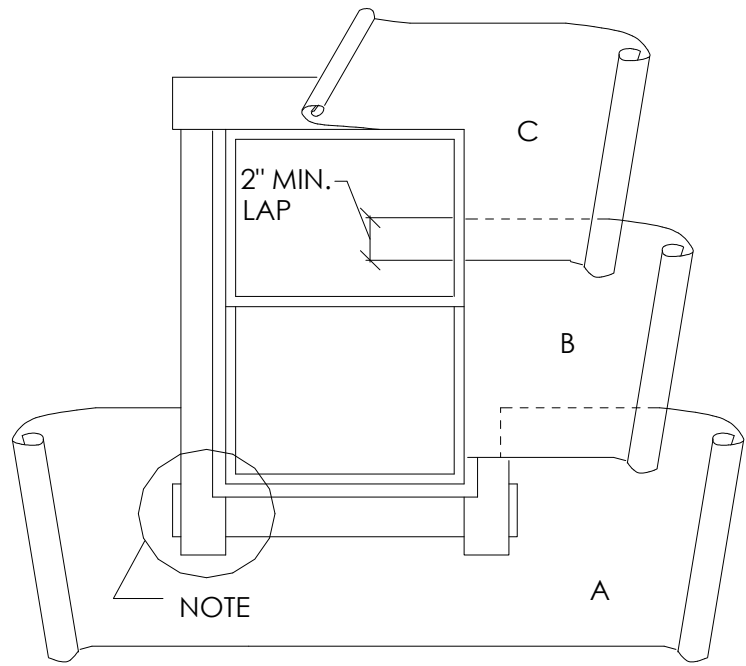
ATTACH A SILL STRIP PF ASPHALT-SATURATED ROOFING FELT PAPER AT LEAST 9" WIDE WITH THE TOP EDGE EVEN WITH THE TOP EDGE OF THE ROUGH SILL. EXTEND THIS SILL STRIP AT LEAST 8" BEYOND THE EDGE OF THE ROUGH OPENING FOR WINDOW. ATTACH FELT WITH GALVANIZED ROOFING NAILS OR RUST RESISTANT STAPLES



AFTER SILL STRIP IS IN PLACE, ATTACH JAMB STRIPS (SIDE OF OPENING) AT LEAST 9" WIDE WITH INSIDE EDGE OF FELT EVEN WITH EDGE OF WINDOW OPENING. START JAMB STRIPS 1" BELOW THE SILL STRIP AND EXTEND JAMB STRIPS 4" ABOVE THE LOWER EDGE OF THE LINTEL (TOP OF WINDOW OPENING)



APPLY A BEAD OF CAULKING TO THE BACK SURFACES OF THE WINDOW, THEN PLACE THE WINDOW INTO THE ROUGH OPENING, WITH FLANGES OVER THE INSTALLED FLASHING STRIPS. AFTER WINDOW IS PLACED, INSTALL THE HEAD FLASHING OVER THE WINDOW FLANGE. THIS IS ANOTHER STRIP OF FELT AT LEAST



STARTING AT THE BOTTOM OF THE WALL (SOLE PLATE), LAY WATER-RESISTANT PAPER UNDER THE SILL STRIP. CUT ANY EXCESS WATER-RESISTANT PAPER THAT MAY EXTEND ABOVE THE SILL FLANGE ON EACH SIDE OF THE OPENING. (SHOWN IN DIAGRAM AS SHORT DASH LINES) INSTALL SUCCEEDING COURSES OF WATER-RESISTANT PAPER (B,C, ETC.) OVER JAMB AND HEAD FLANGES IN SHINGLE BOARD FASHION

NOTES: SECTION CRC R703.8 CALLS FOR FLASHING OF ALL EXTERIOR OPENINGS EXPOSED TO WEATHER TO MAKE THEM WEATHERPROOF. SINCE CRC DOES NOT OUTLINE PROCEDURES FOR WINDOW FLASHING, TECHNIQUES SHOWN HERE ARE RECOMMENDED. USE 15 LB. ASPHALT-SATURATED FELT WHENEVER POSSIBLE FOR FLASHING MATERIAL. CAULK BACK OF WINDOW FLANGES BEFORE SETTING. USE WINDOWS THAT ARE WATERTIGHT. LINE WIRE, WHEN USED AS BACKING TO SUPPORT WATER-RESISTANT HOUSE WRAP OR FELT BENEATH LATH FOR STUCCO SHOULD BE INSTALLED ACCORDING TO INDUSTRY STANDARDS AND PRACTICE. NO ATTACHMENT DEVICES NOR THE WIRE BACKING SHOULD COVER OR PENETRATE FLASHING MATERIAL. PERIPHERAL FLASHING AT ALL EDGES OF WALL OPENINGS MUST COVER WIRE BACKING.

TYPICAL PAPER WINDOW FLASHING—NTS — 1



1670 El Camin Real, Apt 309
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Hadjian Residence
NEW SINGLE FAMILY HOUSE AND DETACHED GARAGE

ADDRESS
1317 Paloma Ave,
Burlingame, CA

Owner
Behzad Hadjian

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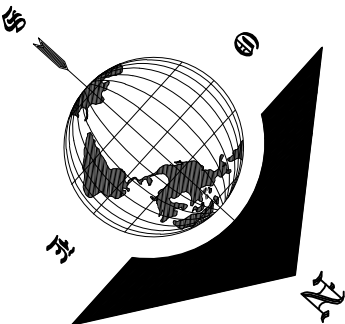
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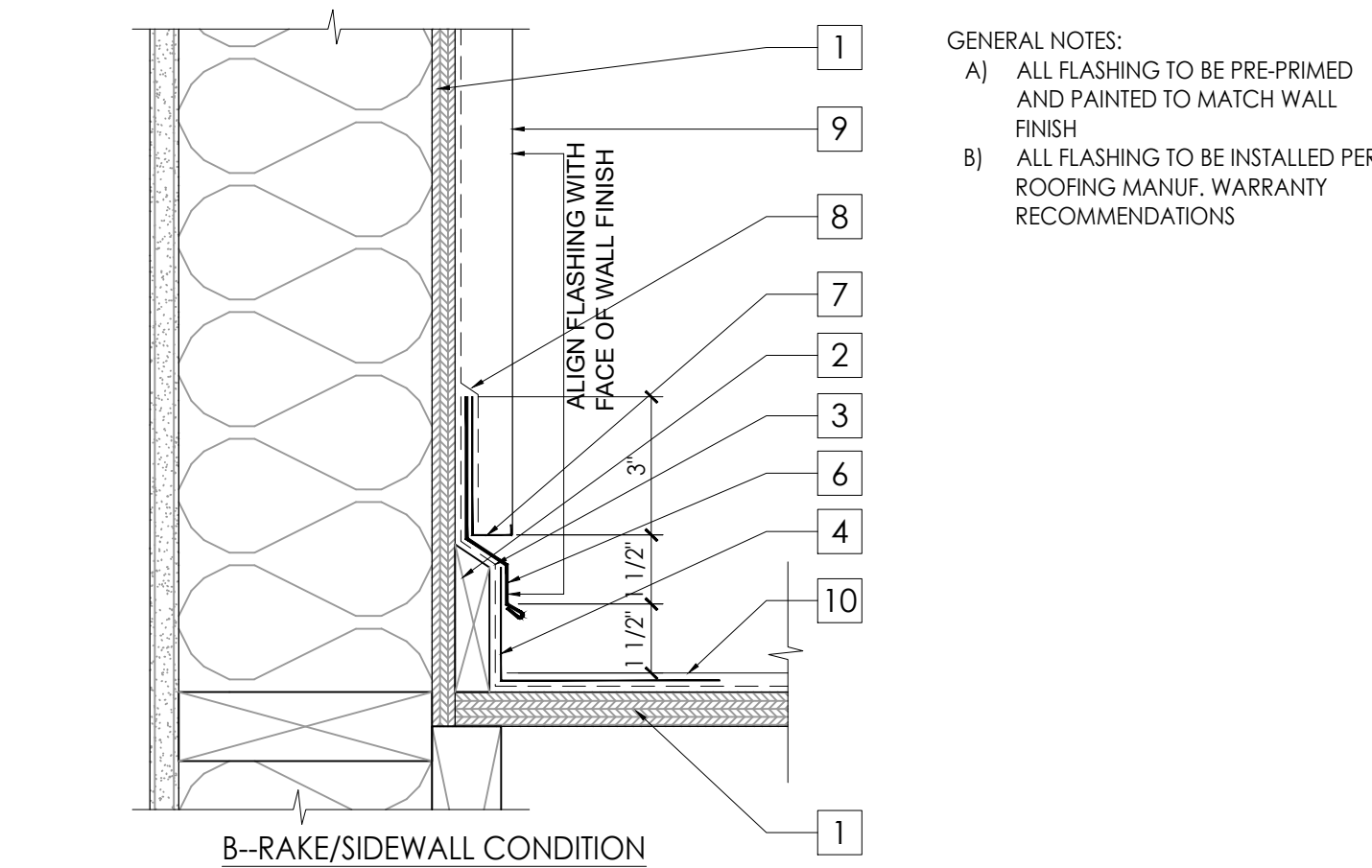
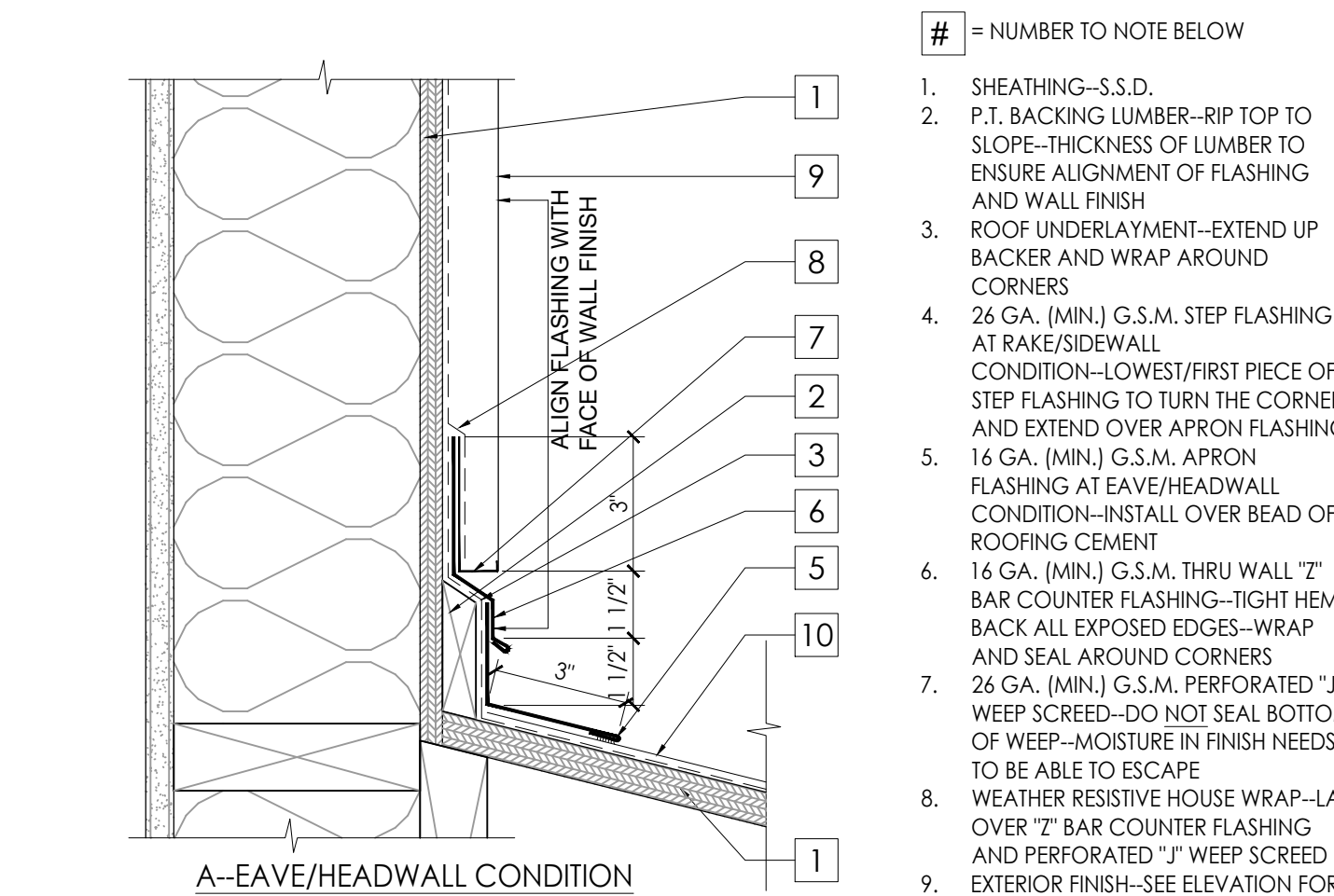
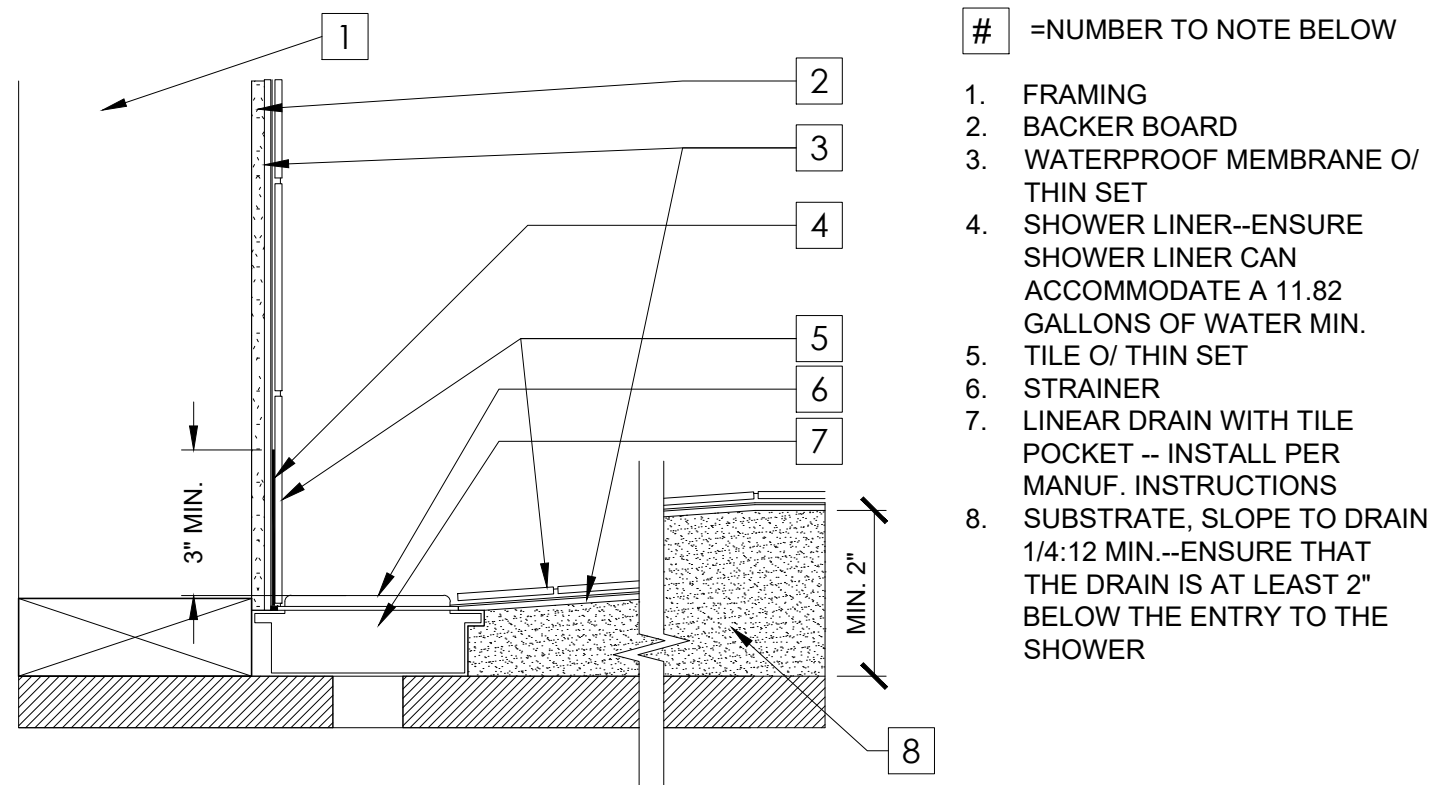
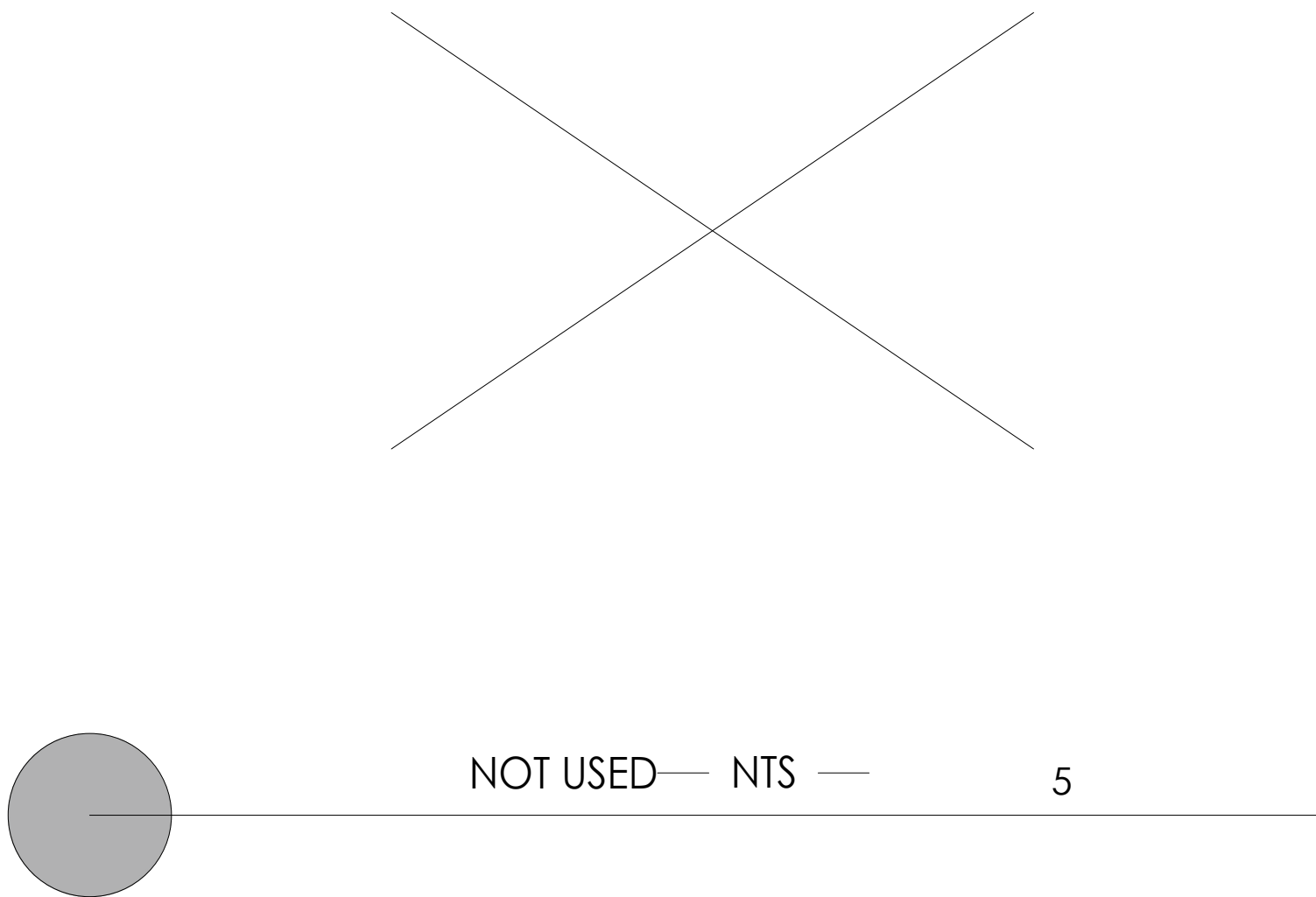
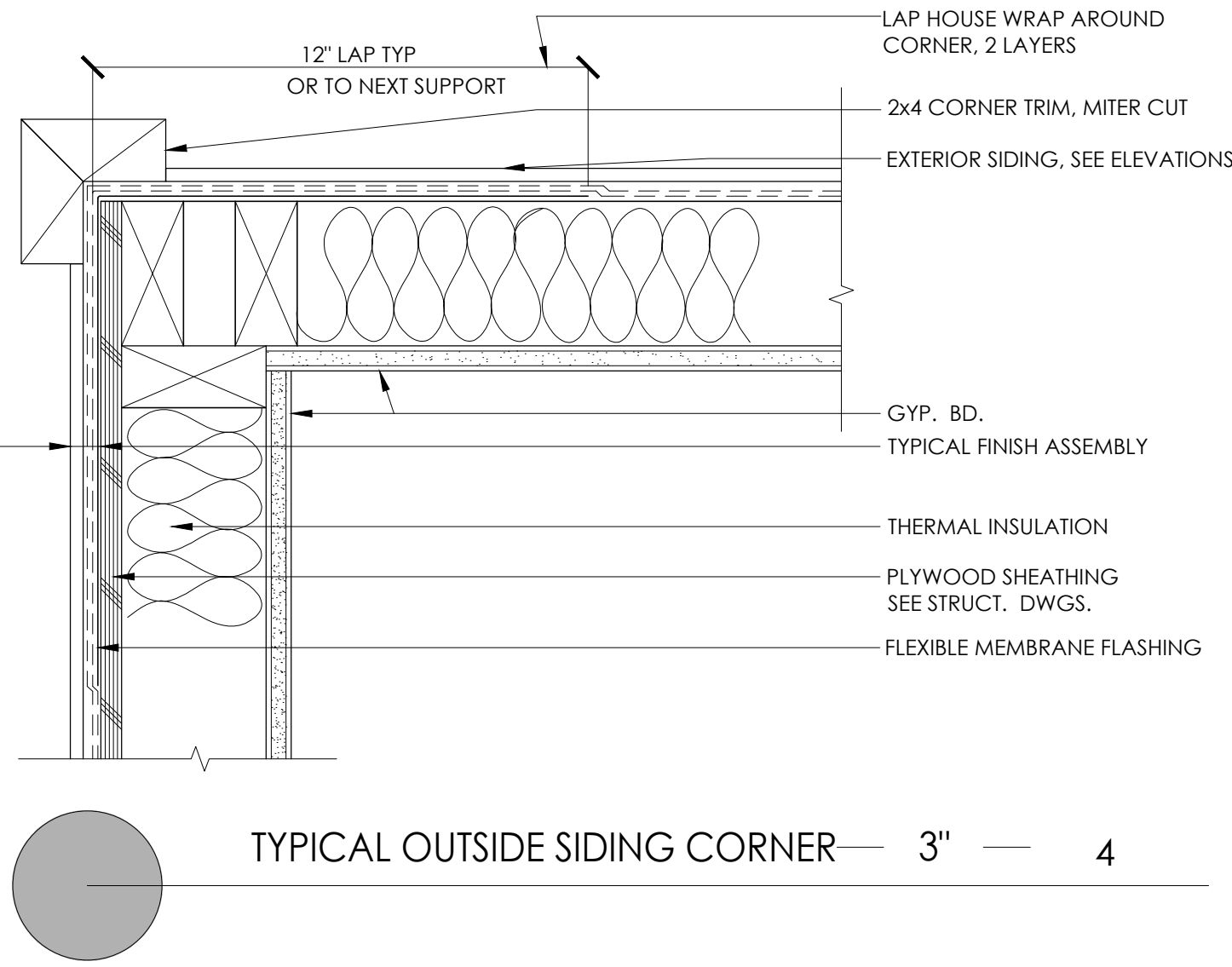
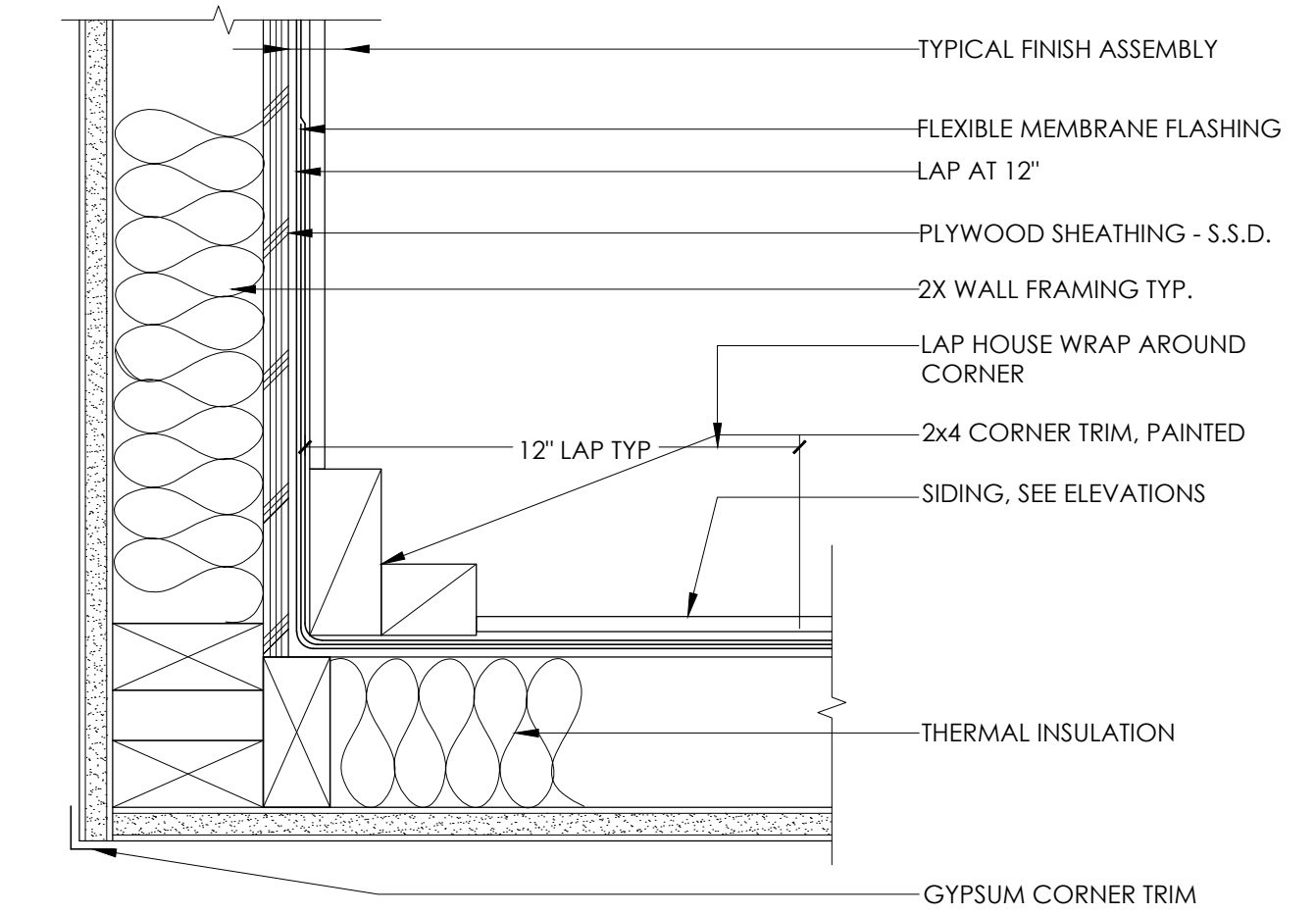
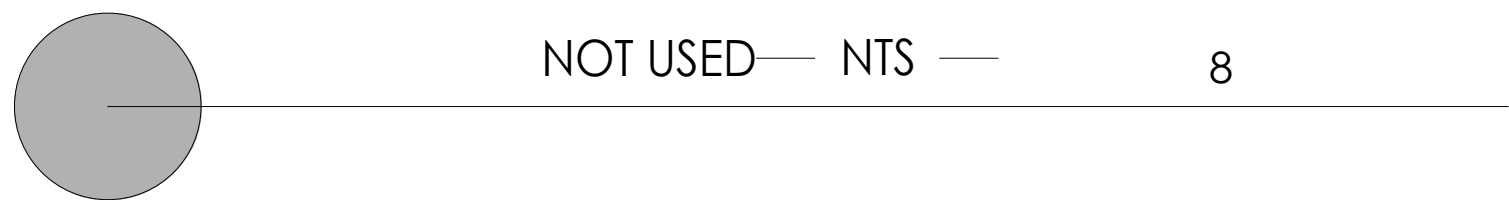
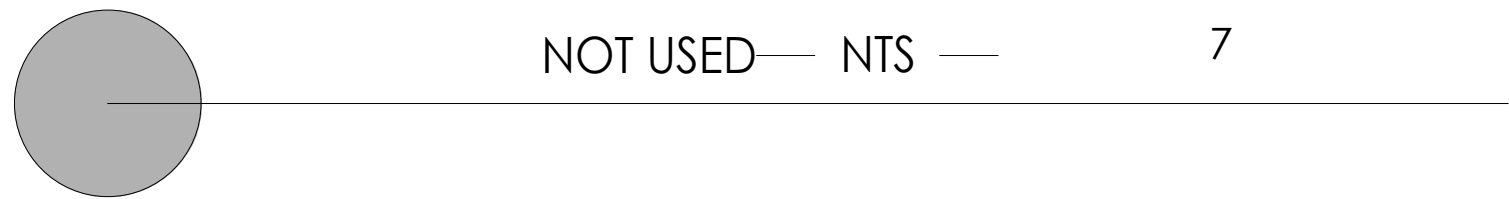
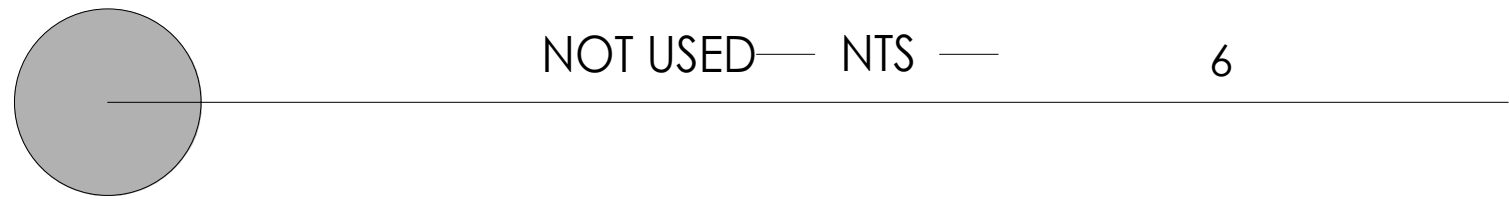
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Ardalan Djalali


REVISION	DATE	DESCRIPTION
	04.04.2022	PLANNING SUBMITTAL
1	05.31.2022	PLANNING RESUBMITTAL

DETAILS

A8.0







1670 El Camin Real, Apt 309
Menlo Park, CA, 94025
650-387-9272

APN: 026-085-100

PROJECT NAME
Hadjian Residence
NEW SINGLE FAMILY HOUSE AND DETACHED GARAGE

ADDRESS
1317 Paloma Ave,
Burlingame, CA

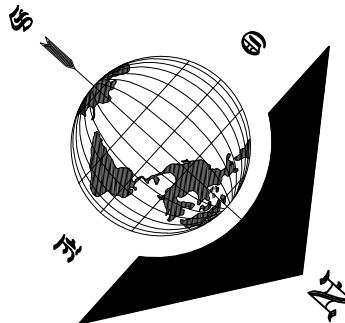
Owner
Behzad Hadjian

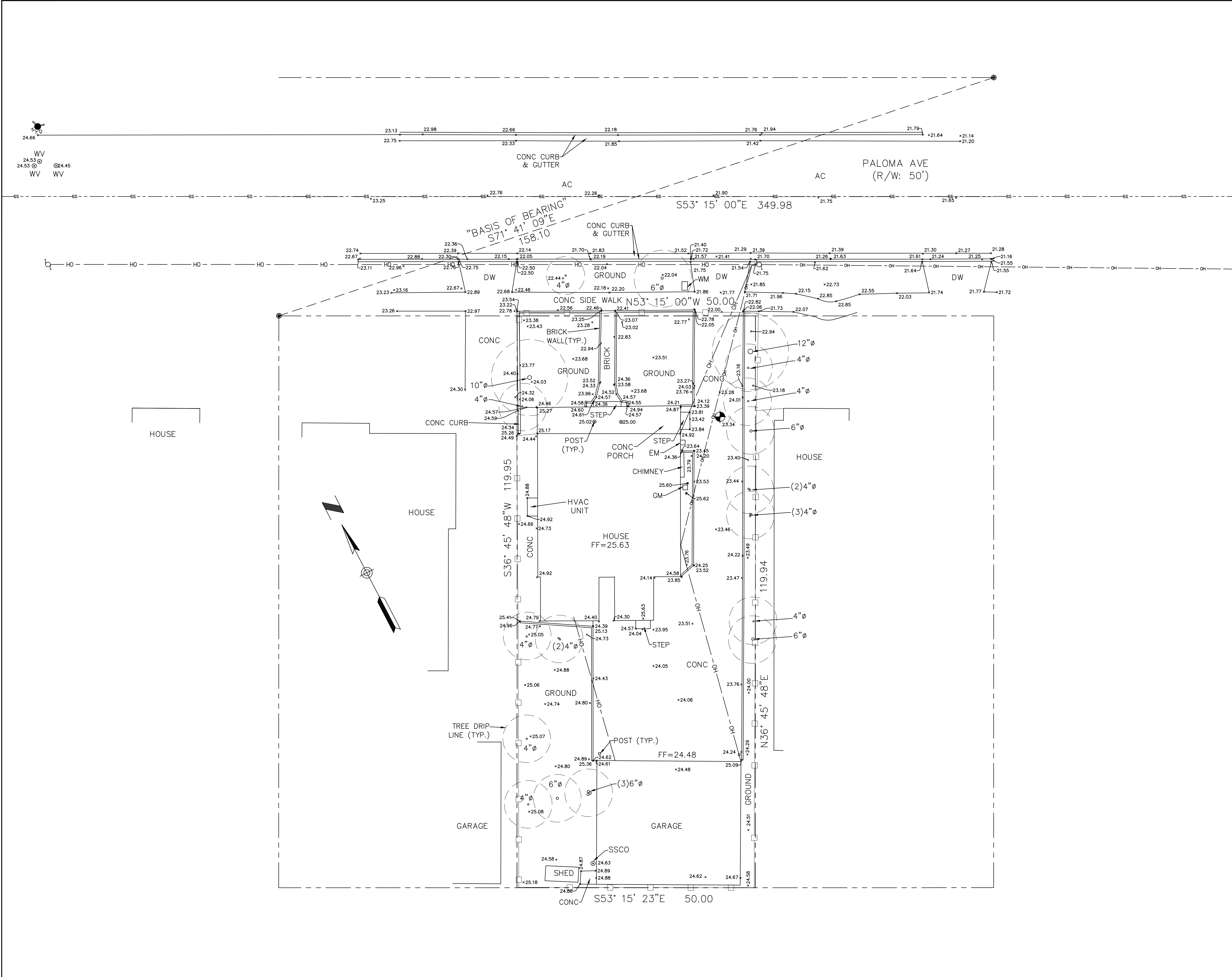
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REVISION	DATE	DESCRIPTION
	04.04.2022	PLANNING SUBMITTAL
1	05.31.2022	PLANNING RESUBMITTAL

DETAILS
A8.1





LEGEND		
	PROPERTY LINE	AC ASPHALT
	EXISTING LOTS	AD AREA DRAIN
	CENTERLINE	ANC ANCHOR
	EASEMENT LINE	BSBL BUILDING SETBACK LINE
	SANITARY SEWER LINE	C&G CURB AND GUTTER
	STORM DRAIN LINE	CB CATCH BASIN
	OVERHEAD POWER LINE	CO CLEAN OUT
	WOOD FENCE	DW DRIVEWAY
	POWER POLE	EB ELECTRIC BOX
	FIRE HYDRANT	EM ELECTRIC METER
	JOINT POLE	EP EDGE OF PAVEMENT
	SURVEY MONUMENT FOUND	FH FIRE HYDRANT
	TBM (ELEVATION)	GA GUY ANCHOR
	WATER VALVE	GM GAS METER
		GV GAS VALVE
		IV IRRIGATION VALVE
		LP LIGHT POLE
		MB MAIL BOX
		MH UTILITY MANHOLE
		P.U.E. PUBLIC UTILITY EASEMENT
		P BRICK CONC PILLAR
		PP POWER POLE
		(R) RADIAL BEARING
		SL STREET LIGHT
		SDMH STORM DRAINAGE MANHOLE
		SSMH SANITARY SEWER MANHOLE
		SSCO SANITARY SEWER CLEAN OUT
		TCD THROUGH CURB DRAIN
		TS TRAFFIC SIGN
		VG VALLEY GUTTER
		WM WATER METER
		WV WATER VALVE

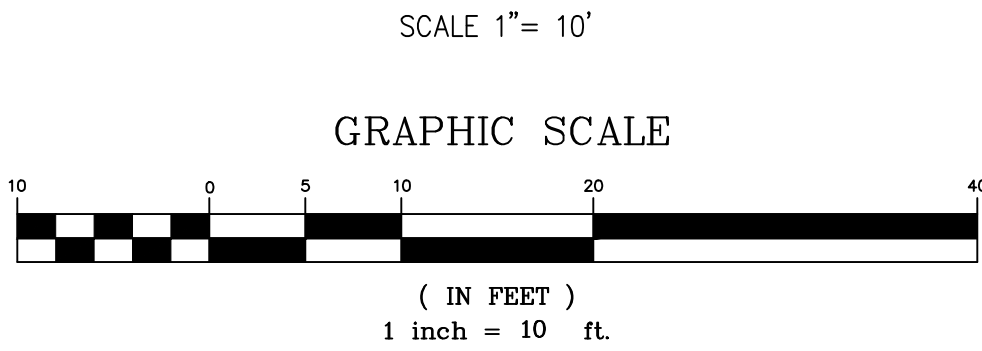
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NOTE:
THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2444). SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE.

BASIS OF BEARINGS:
FOUND SURVEY MONUMENTS. RECORD INFORMATION WAS USED. PER RECORD MAP, BOOK/VOL (LLS):40 PAGE:60 WHICH IS FILED IN THE COUNTY OF SAN MATEO RECORDER'S OFFICE.

SITE BENCHMARK:
SURVEY CONTROL SET CUT CROSS
ELEVATION=23.33' (NAVD 88 DATUM)

- NOTES:**
- ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.
 - THE GROSS AREA OF LAND OF RECORD IS 5,997.58 SQ. FT. ±.
 - THE MAP WAS BASED ON A GRANT DEED DOC.# 126546 BY LAWYERS TITLE CO. DATED 08/31/2021, RECORDED IN SAN MATEO COUNTY.
 - ALL EXISTING BUILDINGS ARE WOOD.
 - FOR PRECISE SPECIES OF TREES A CERTIFIED ARBORIST SHALL BE CONSULTED.
 - THIS DRAWING REPRESENTS A TOPOGRAPHIC SURVEY PREPARED IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE PROPERTY LINES SHOWN HEREON ARE COMPILED FROM RECORD DATA AND REPRESENT THE BEST GRAPHICAL FIT BETWEEN RECORD INFORMATION AND THE TOPOGRAPHICAL FEATURES SURVEYED AND SHOULD NOT BE RELIED UPON OR USED FOR ANY OTHER PURPOSES. PURSUANT TO THE CLIENT'S DIRECTION A BOUNDARY SURVEY WAS NOT PERFORMED AT THIS TIME WHICH MAY HAVE DETERMINED THE ACTUAL PROPERTY LINES.



1317 PALOMA AVE.
BURLINGAME, CA 94010
APN: 026-085-100



SMP ENGINEERS
CIVIL ENGINEERS—LAND SURVEYORS
1534 Carob Lane Los Altos, CA 94024
Tel. (650) 941-8055 Fax (650) 941-8755

Scale:
1" = 10'
Prepared by:
J.N.
Checked by:
S.R.
Date:
10/20/2021
Project No:
221133

**PRELIMINARY BOUNDARY AND
TOPOGRAPHIC SURVEY MAP**

Sheet No:

T-1

	REVISIONS	DESIGN BY	DESIGN DATE	CITY APPR.	APPR. DATE

CITY OF BURLINGAME

ABBREVIATIONS			
DESCRIPTION		DESCRIPTION	
AB	AGGREGATE BASE	LIP	LIP OF GUTTER
AC	ASPHALT CONCRETE	LP	LOW POINT
AD	AREA DRAIN	MON	MONUMENT
BC	BACK OF CURB	(N)	NEW
BFL	BACKFLOW PREVENTOR	OG	ORIGINAL GROUND
BW	BOTTOM OF WALL	PB	PULL BOX
C&G	CURB AND GUTTER	PG&V	PG&E VAULT
C.C./L	CENTERLINE	R.P./L	PROPERTY LINE
CLSW	CENTERLINE SWALE	PP	POWER POLE
CO	CLEANOUT	PPP	PLASTIC PERFORATED PIPE
CP	CONTROL POINT	PSE	PUBLIC SERVICE EASEMENT
DWY	DRIVEWAY	PVC	POLYVINYL CHLORIDE
DI	DROP INLET	R/W	RIGHT OF WAY
DTL	DETAIL	RCP	REINFORCED CONCRETE PIPE
ELCT	ELECTRIC	SD	STORM DRAIN
EP	EDGE OF PAVEMENT ELEVATION	SDMH	STORM DRAIN MANHOLE
EUC	EUCALYPTUS TREE	STD	STANDARD
(E).EX	EXISTING	SS	SANITARY SEWER
FF	FINISH FLOOR	SSMH	SANITARY SEWER MANHOLE
FG	FINISH GRADE	SW	SIDEWALK
FH	FIRE HYDRANT	TC	TOP OF CURB
FL	FLOWLINE	TF	TOP OF FOUNDATION
FNC	FENCE	TG	TOP OF GRATE
FOC	FACE OF CURB	TOO	TOP OF DECK
GB	GRADE BREAK	TOS	TOP OF SLAB
GUY	GUY WIRE	TP	TOP OF PAVEMENT
HP	HIGH POINT	TW	TOP OF WALL
DIP	DUCTILE IRON PIPE	(TYP)	TYPICAL
INV	INVERT	VCP	VITRIFIED CLAY PIPE
JP	JOINT POLE	WL	WHITE LINE STRIPE
JB	JUNCTION BOX (UTILITY)	WLK	WALKWAY
		WM	WATER METER
		WV	WATER VALVE

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
		FILL AREA LIMIT
		CUT AREA LIMIT
		CONTOUR
		WATER LINE
		STORM DRAIN PIPE (SOLID)
		SANITARY SEWER PIPE
		SUBDRAIN PIPE (PERFORATED)
		OVERHEAD UTILITIES WITH POLE
		GAS LINE
		ELECTRIC LINE (UNDERGROUND)
		JOINT TRENCH (UNDERGROUND)
		STREET LIGHT VAULT
		SANITARY SEWER CLEANOUT
		SANITARY SEWER MANHOLE
		STORM DRAIN MANHOLE
		SURVEY CITY MONUMENT
		ELECTROLIER
		WATER METER
		TREE WITH TRUNK
		6' WOODEN FENCE
		SPOT ELEVATION
		TREE PROTECTION FENCE 5' TALL CHAIN LINK
		EARTH SWALE
		CONCRETE SWALE
		AREA DRAIN/ INLET
		OVERLAND RELEASE PATH
		GRADE TO DRAIN, 2% MIN. AWAY FROM HOUSE 1% MIN. FROM PROPERTY LINE TO SWALE
		(E) TREE TO BE REMOVE
		DOWN-SPOUT
		POP-UP EMITTER
		ROOF DOWN-SPOUT, CONNECTED TO STORM DRAIN SYSTEM

GRADING AND DRAINAGE PLANS
NEW SINGLE FAMILY HOUSE
1317 PALOMA AVE., BURLINGAME, CA 94010
APN: 026-085-100

GRADING AND DRAINAGE NOTES:

- SURFACE WATER SHALL BE DIRECTED AWAY FROM ALL BUILDINGS INTO DRAINAGE SWALES, GUTTERS, STORM DRAIN INLETS AND DRAINAGE SYSTEMS.
- ALL ROOF DOWNSPOUTS SHALL BE DISCONNECTED TO ON SITE INLETS.
- ON SITE STORM DRAIN LINES SHALL CONSIST OF SOLID PVC-SDR35 MINIMUM OR BETTER.
- STORM DRAIN INLETS SHALL BE PRECAST CONCRETE, CHRISTY U23 TYPE OR EQUIVALENT.

UTILITY NOTES:

- UTILITY POINTS OF CONNECTION ARE 5' OUTSIDE OF BUILDING. SEE MECHANICAL AND PLUMBING DRAWINGS FOR UTILITY CONNECTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF LOCATIONS OF ALL EXISTING UTILITIES IN THE FIELD. ALL CONTRACTORS SHALL CALL U.S.A. (1-800-227-2600) 48 HOURS BEFORE DIGGING AND OBTAIN AN IDENTIFICATION NUMBER.
- COORDINATE UTILITIES SHOWN ON THESE SHEETS WITH INSTALLATION OF ELECTRICAL, TELEPHONE, CABLE TV AND GAS.
- COORDINATE WATER LINE CONNECTION WITH CITY WATER COMPANY PRIOR TO CONNECTION TO WATER SYSTEM.
- FOR GAS AND ELECTRICAL LOCATIONS, SEE PG&E MAPS.
- ALL UTILITY TRENCHES SHOULD BE BACKFILLED WITH COMPACTED FILL IN ACCORDANCE WITH LOCAL REQUIREMENTS OR THE RECOMMENDATIONS IN THE SOILS REPORT. FILL MATERIAL SHOULD BE PLACED IN LIFTS NOT EXCEEDING 8 INCHES IN UNCOMPACTED THICKNESS AND SHOULD BE COMPACTED TO AT LEAST 90 PERCENT RELATIVE COMPACTION (ASTM D-1557, LATEST EDITION) BY MECHANICAL MEANS ONLY, EXCEPT WHERE LOCAL REQUIREMENTS SPECIFY HIGHER REQUIREMENTS. IF IMPORTED SAND IS USED AS BACKFILL, THE UPPER THREE FEET IN BUILDING AND PAVEMENT AREAS SHALL BE COMPACTED TO 95 PERCENT. THE UPPER 6 INCHES OF BACKFILL IN ALL PAVEMENT AREAS SHALL BE COMPACTED TO AT LEAST 95 PERCENT RELATIVE COMPACTION.
- SANITARY SEWER PIPE SHALL BE PVC SDR26 FOR ON SITE LINES. STORM DRAIN PIPE SHALL BE 12" REINFORCED CONCRETE PIPE (UNLESS OTHERWISE SHOWN).
- SANITARY SEWER LATERAL SHALL BE 4" PVC AT MINIMUM SLOPE OF 0.02 WITH CLEANOUT.
- WATER MAINS, SERVICES, METERS, FIRE SERVICES AND FIRE HYDRANTS BY CITY WATER COMPANY.
- THE CONTRACTOR IS RESPONSIBLE TO HAVE ALL INSTALLATIONS INSPECTED AND APPROVED BY THE RESPECTIVE UTILITY COMPANY, MUNICIPALITY, OR SOILS ENGINEER PRIOR TO ANY BACK FILLING. (48 HOUR NOTICE).
- CONSULT PARTICIPATING UTILITIES, SOILS ENGINEER, AND THE CITY FOR APPROVED BACK FILL MATERIAL. COMPACTION TO MEET LOCAL AGENCIES REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF CONSTRUCTION WITH THE RESPECTIVE UTILITY AGENCIES, ALLOWING 48 HOURS PRIOR TO THE NEED FOR INSTALLATIONS.
- ALL TRENCHES, CONDUITS, AND BOXES ARE SHOWN SCHEMATICALLY.
- CONTRACTOR TO VERIFY ALL INVERTS AND LOCATIONS OF UTILITIES PRIOR TO CONSTRUCTION.

GEOTECHNICAL REVIEW:

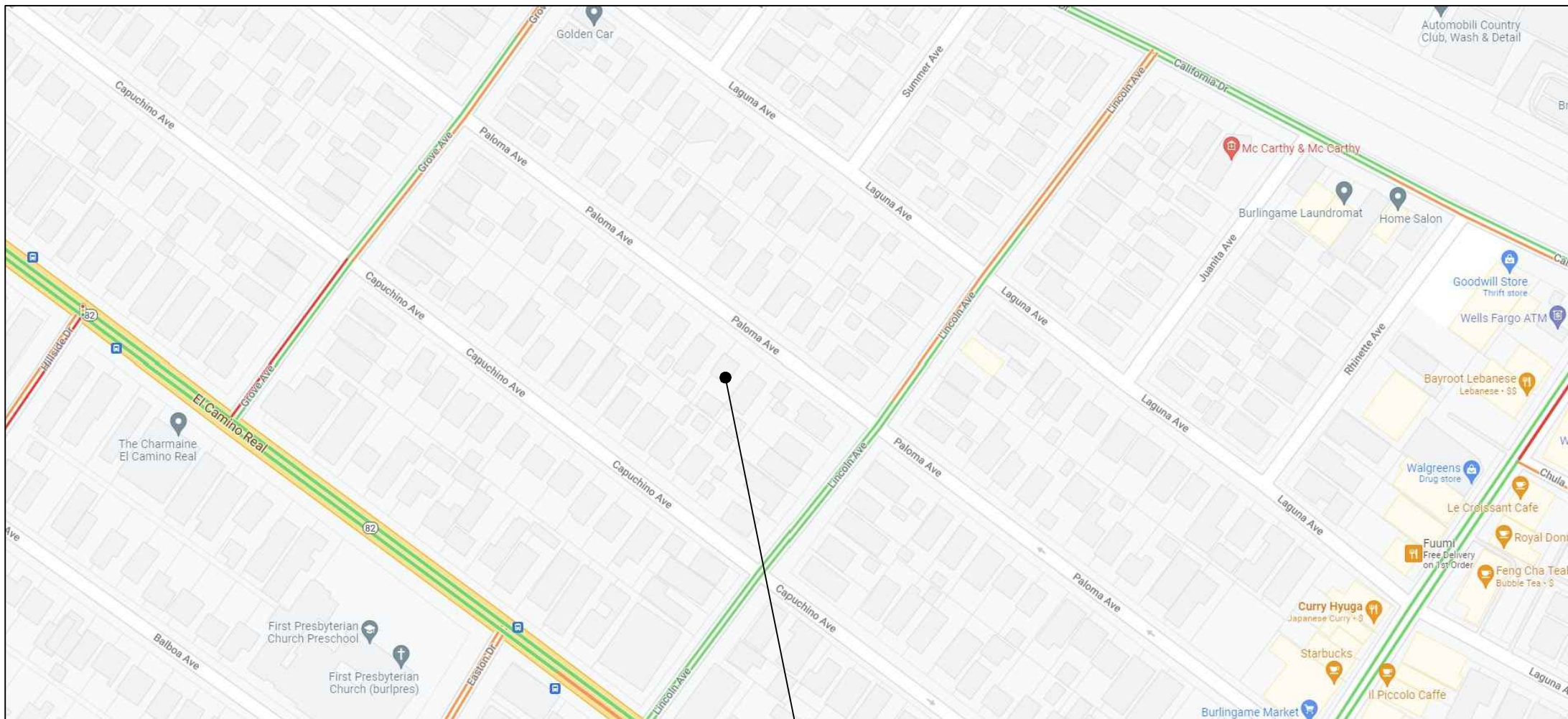
GRADING AND DRAINAGE PLANS SHALL BE REVIEWED AND APPROVED BY THE PROJECT GEOTECHNICAL/ SOILS ENGINEER. GEOTECHNICAL/ SOILS ENGINEER TO PROVIDE AND FURNISH LETTER OF APPROVAL TO CITY.

UTILITY NOTE:

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

NOTE:

CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT-OF-WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00 A.M. AND 5:00 P.M.



LOCATION MAP
N.T.S.

INDEX OF DRAWINGS

TITLE	SHEET
COVER SHEET	C-1
GRADING AND DRAINAGE PLAN	C-2
DETAILS	C-3
EROSION CONTROL PLAN	C-4
CONSTRUCTION BMP	C-5

BASIS OF BEARINGS:

FOUND SURVEY MONUMENTS. RECORD INFORMATION WAS USED. PER RECORD MAP, BOOK/VOL (LLS):40 PAGE:60 WHICH IS FILED IN THE COUNTY OF SAN MATEO RECORDER'S OFFICE.

REFERENCED ASSUMED BENCHMARK:

SURVEY CONTROL SET CUT CROSS
ELEVATION=23.33' (NAVD 88 DATUM)

GEOTECHNICAL NOTES:

- For compacted fill material and placement specifications see"GRADING " section , pages 7 and 8, of project Geotechnical report,(file no. SV1303), dated September 23,2014 by Silicon Valley Soils Engineering.
- Provide special inspection for compacted fill.

EARTHWORK TABLE

	FILL (CY)	CUT (CY)	IMPORT (CY)	EXPORT (CY)
MAIN HOUSE	0	64		
GARAGE	0	11		
DRIVEWAY	4	2		
PATIO	2	0		
PORCH/WKY	0	1		
SITE	0	16		
TOTAL	6	94	0	88

NOTE:

- EARTHWORK QUANTITIES ON THIS TABLE ARE FOR INFORMATION ONLY. CONTRACTORS ARE TO PERFORM THEIR OWN QUANTITY TAKE OFF'S.

NOTICE TO CONTRACTORS
CONTRACTOR TO NOTIFY U.S.A. (UNDERGROUND SERVICE ALERT) AT 800-227-2600 A MINIMUM OF 2 WORKING DAYS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION AND DEPTH OF UNDERGROUND UTILITIES.



1534 CAROB LANE
LOS ALTOS, CA 94024
TEL: (650) 941-8055
FAX: (650) 941-8755

OWNER / DEVELOPER:

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SMP ENGINEERS
CIVIL ENGINEERS

COVER SHEET
NEW SINGLE FAMILY HOUSE
1317 PALOMA AVE., BURLINGAME, CA 94010
APN: 026-085-100
GRADING AND DRAINAGE PLANS

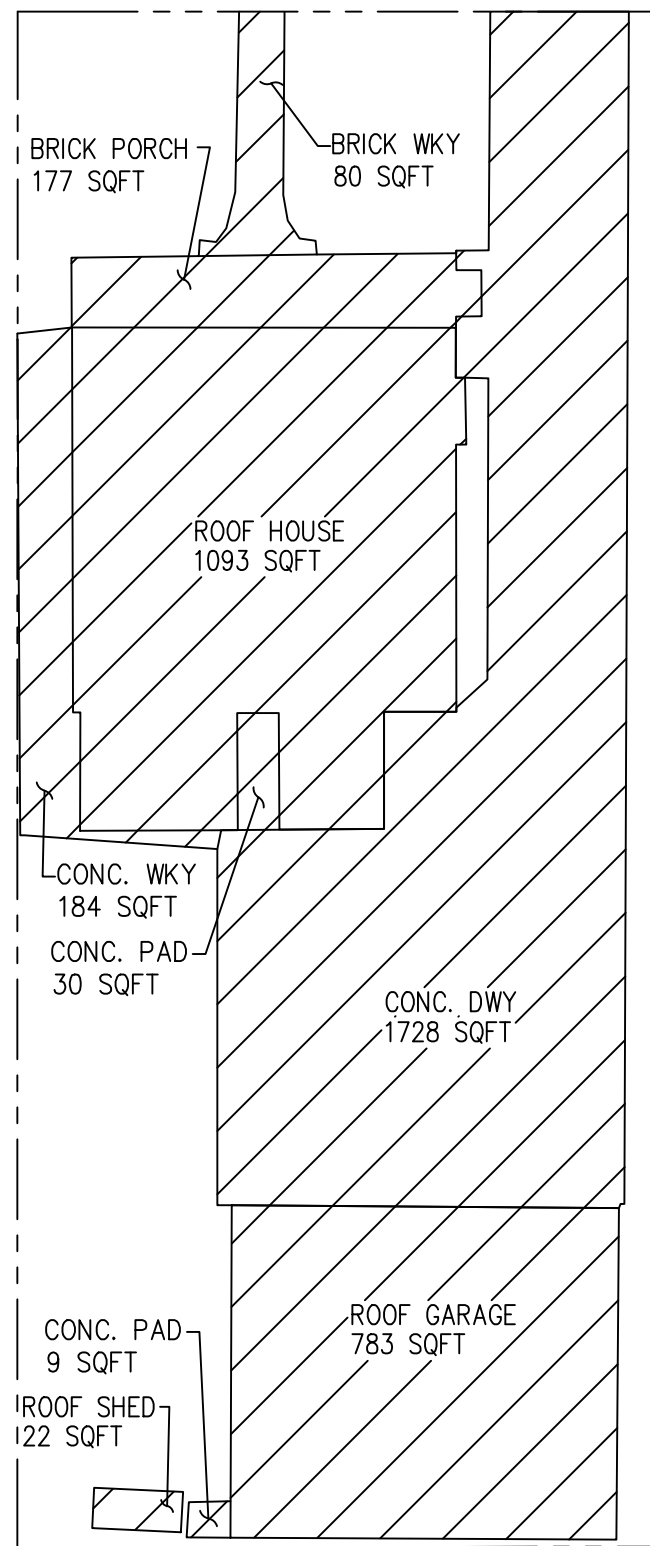
Revisions:



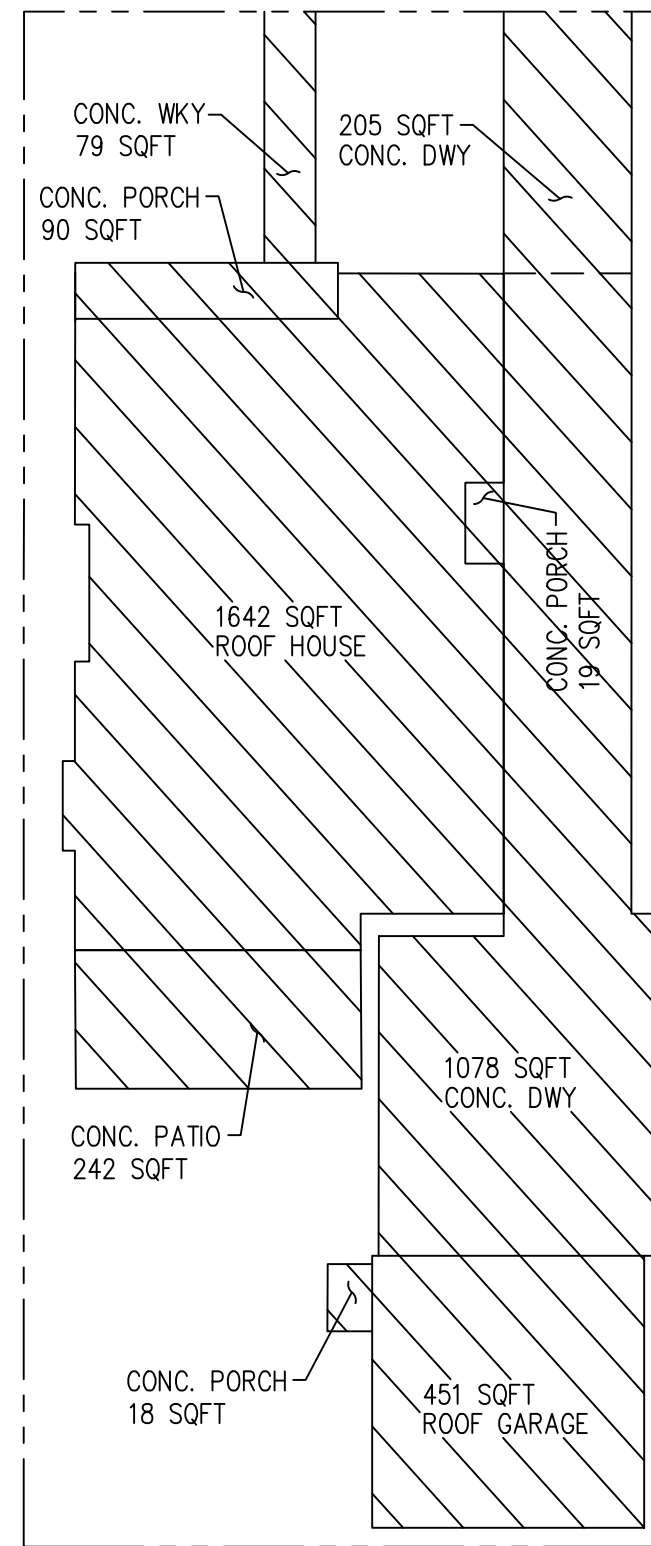
Emad Razavi

Date: 06/16/2022
Scale: AS SHOWN
PREPARED BY: S.S.
CHECKED BY: S.R.
Job #: 222027

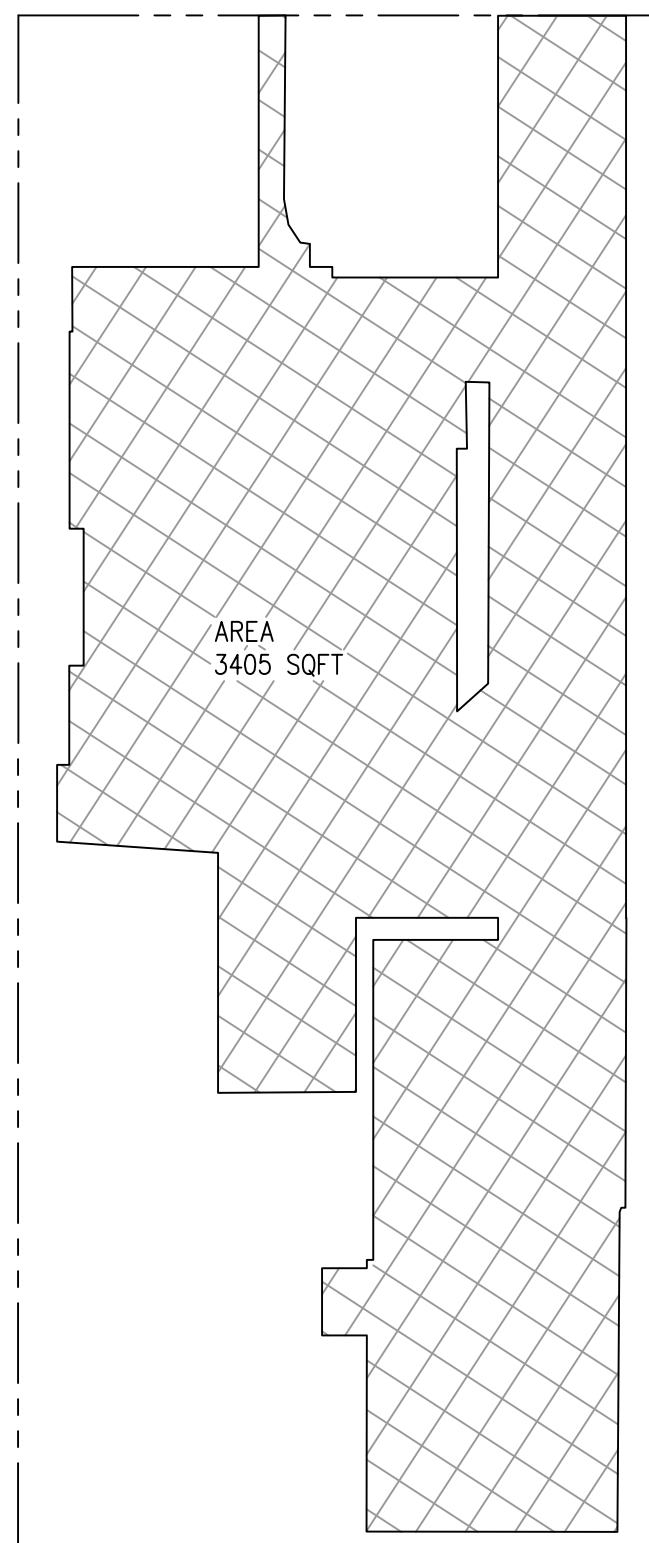
Sheet:



EXISTING IMPERVIOUS AREA
TOTAL = 4106 SQFT



PROPOSED IMPERVIOUS AREA
TOTAL = 3824 SQFT

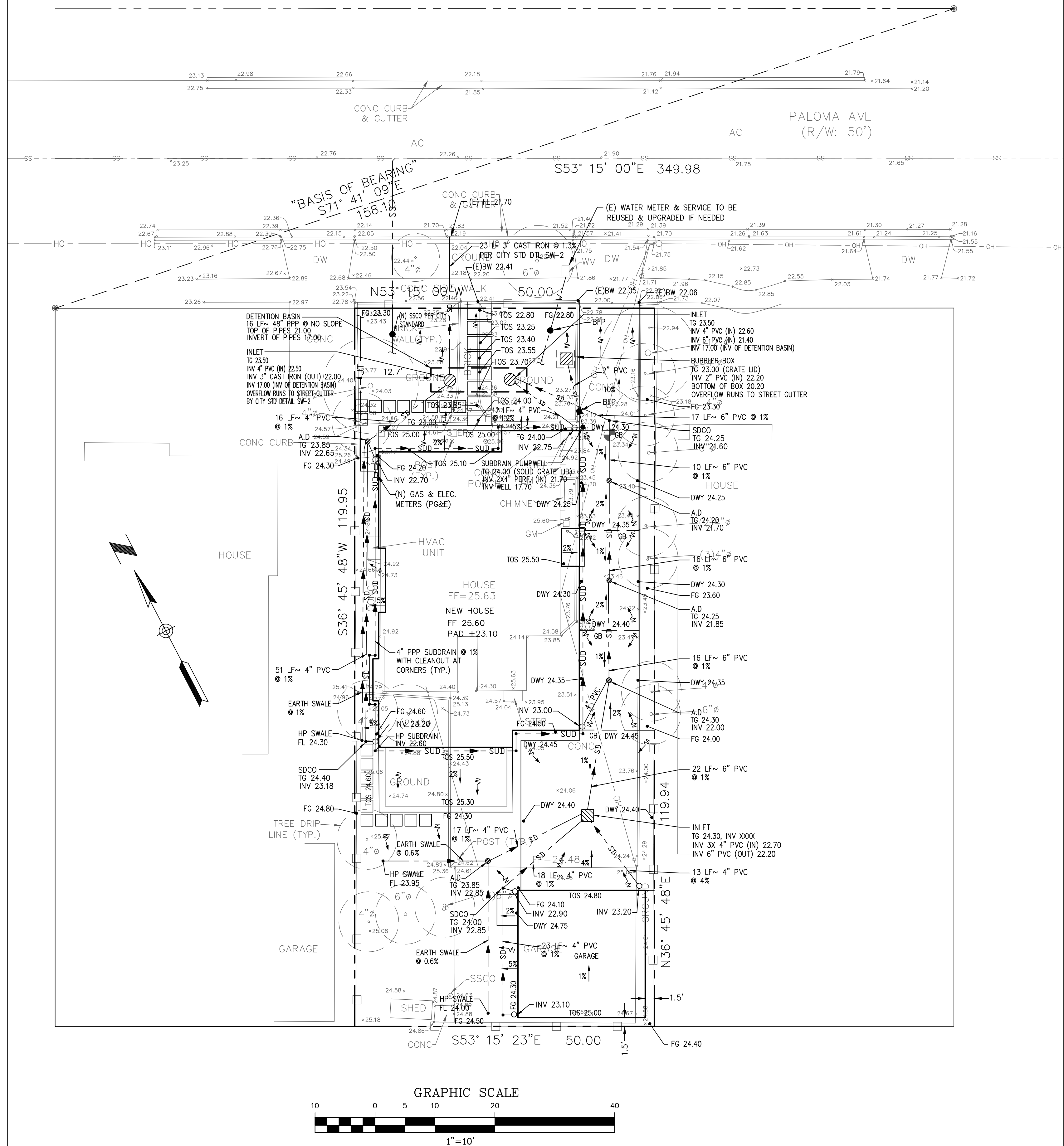


EXISTING IMPERVIOUS AREA TO BE
REPLACED WITH NEW IMPERVIOUS AREA
TOTAL = 3405 SQFT

NOTE:

- Any work in the City right-of-way, such as placement of debris bin in street, construction parking, work in sidewalk area, public easements, and utility easements, is required to obtain an Encroachment Permit prior to starting work. Porta potty's are not allowed to be placed in the City right-of-way. Work without the benefit of an Encroachment Permit will be double the permit fee.
- Construction hours in the City Public right-of-way are limited to weekdays and non-City Holidays between 8:00 a.m. and 5:00 p.m. for all activities (including hauling).
- All water lines connections to city water mains for services or fire line protection are to be installed per city standard procedures and material specifications. Contact the city Water department for connection fees. If required, all fire services and services 2" and over will be installed by builder. All underground fire service connections shall be submitted as separate Underground Fire Service permit for review and approval.
- Sewer Backwater Protection Certification is required for the installation of any new sewer fixture per Ordinance No. 1710. The Sewer Backwater Protection Certificate is required prior to the issuance of Building Permit.

ALL DAMAGED SIDEWALK, CURB, AND GUTTER DURING CONSTRUCTION
WILL BE REPAIRED



N.T.S.

NTS

N.T.S.

N.T.S.

N.T.S.

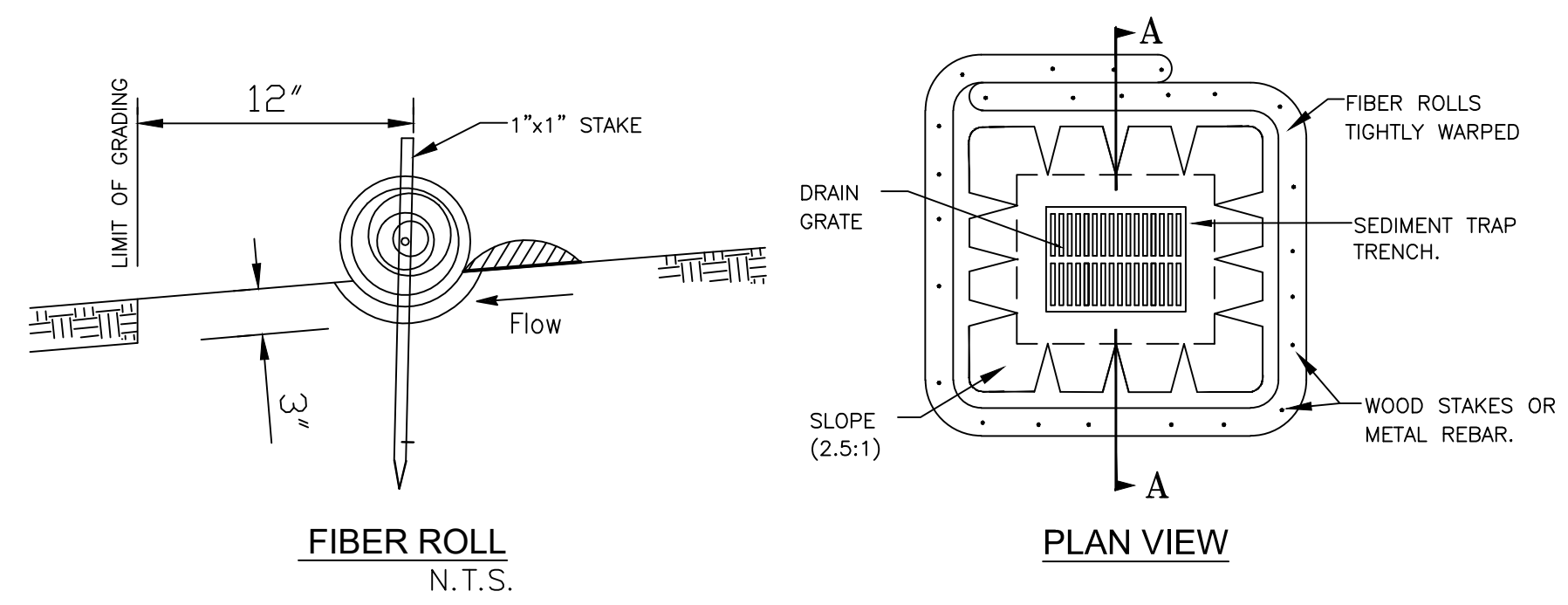
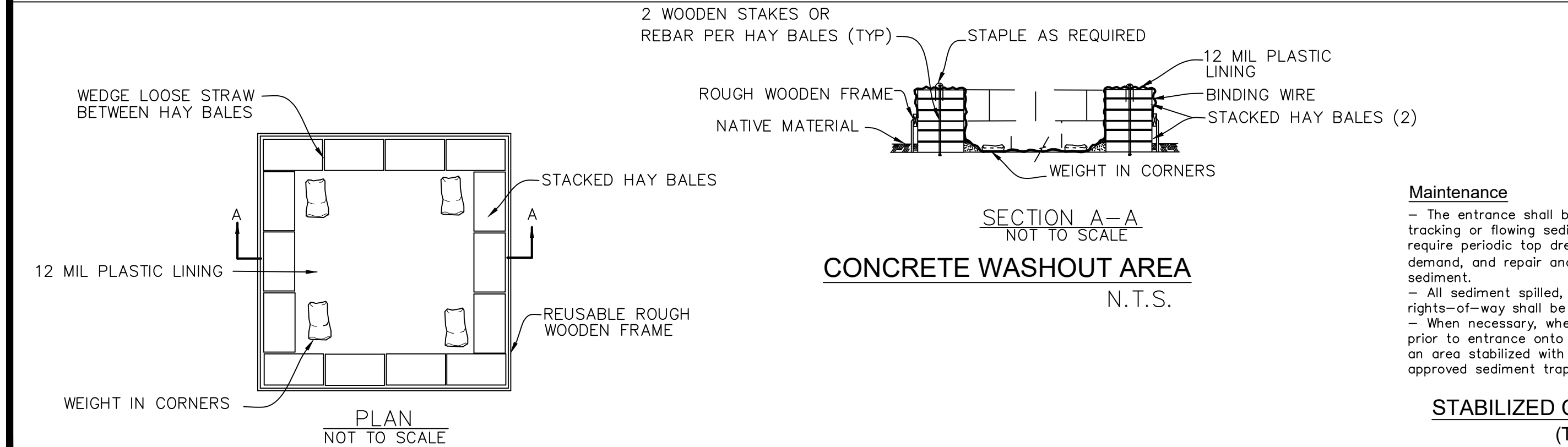
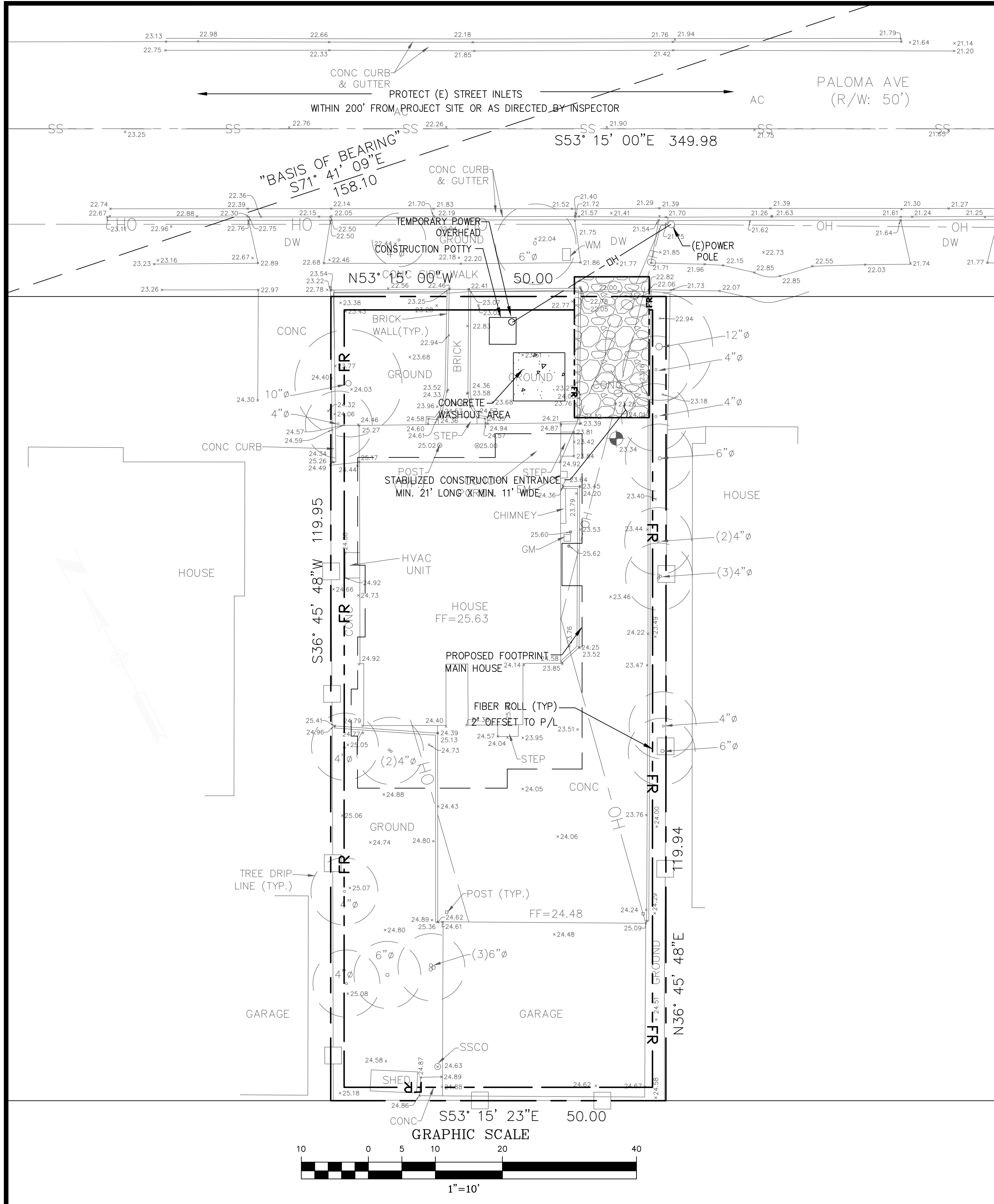
N.T.S.

NTS

- NOTE:
1. IF CURB FACE IS LESS THAN THE STANDARD 6" DEPTH AND THE MINIMUM COVER OF 2.5" CANNOT BE ATTAINED, DO ONE OR MORE OF THE FOLLOWING:
 - (A) CHANGE TO AN OVAL PIPE.
 - (B) INSTALL MULTIPLE SMALLER DIA. PIPES.
 - (C) INSTALL A #3 REBAR OVER THE PIPE IN THE CURB FACE AREA.
 2. ALL CONCRETE SHALL BE CLASS B (5 SACK MIX), 3/4" MAX. AGGREGATE, WITH 2LB.-LAMPBLACK PER CUBIC YARD ADDED FOR COLORATION.
 3. ALL CONCRETE SHALL HAVE A LIGHT BROOMED FINISH, COLORED AND SCORED TO MATCH SURROUNDINGS SIDEWALK. SEE SIDEWALK DETAIL DRAWING A-1699.

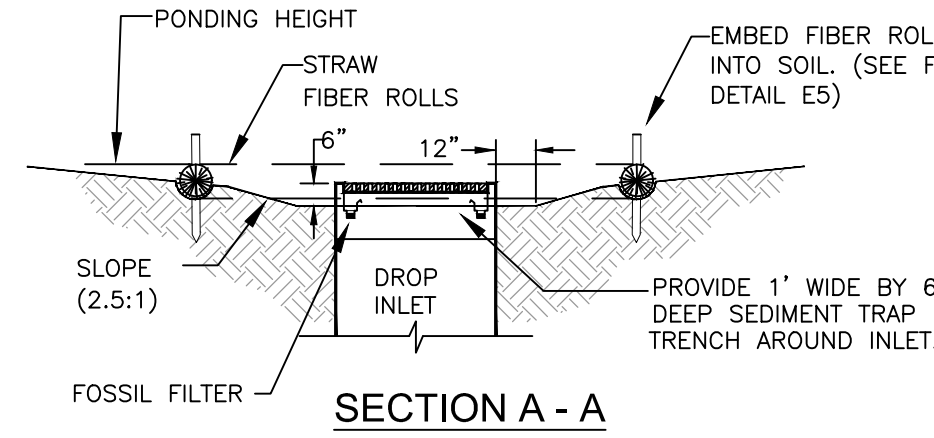
STORM DRAIN INLET & DETENTION BASIN

N.T.S.

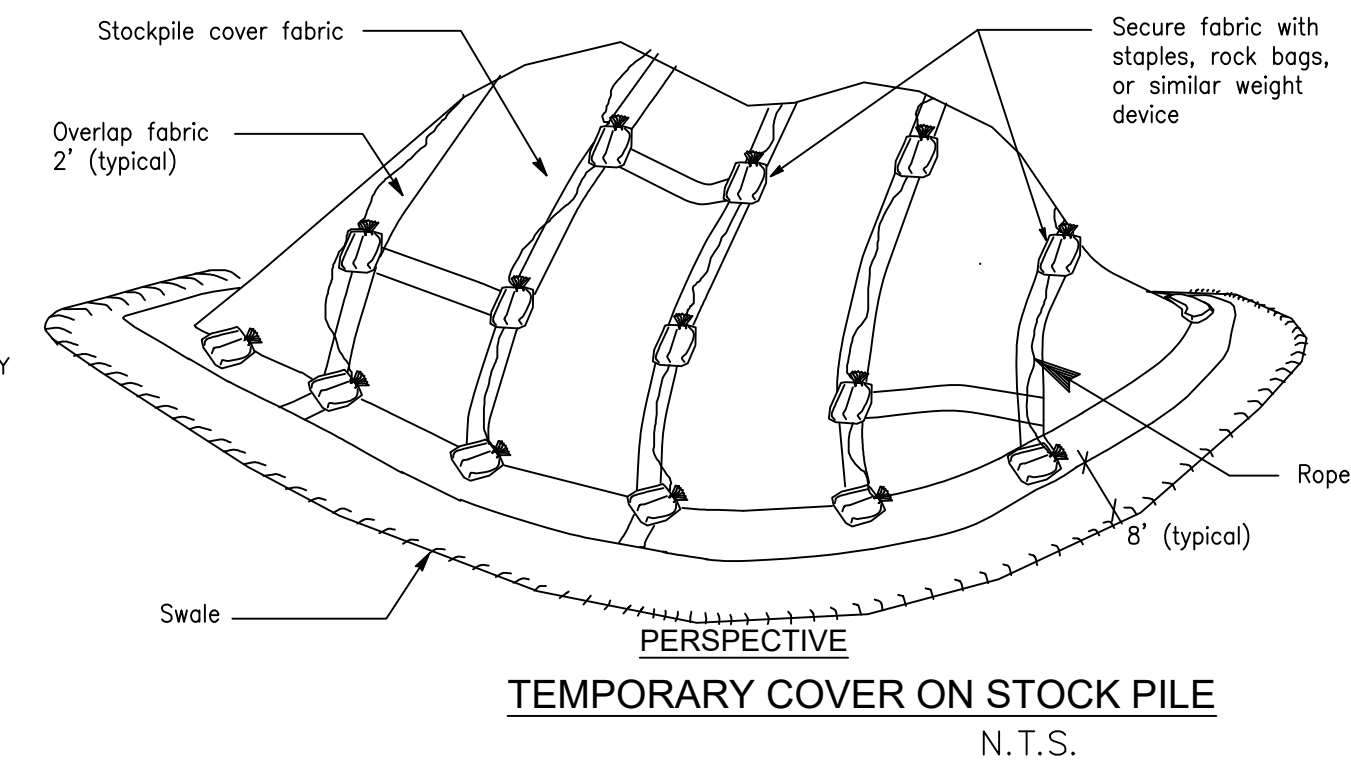
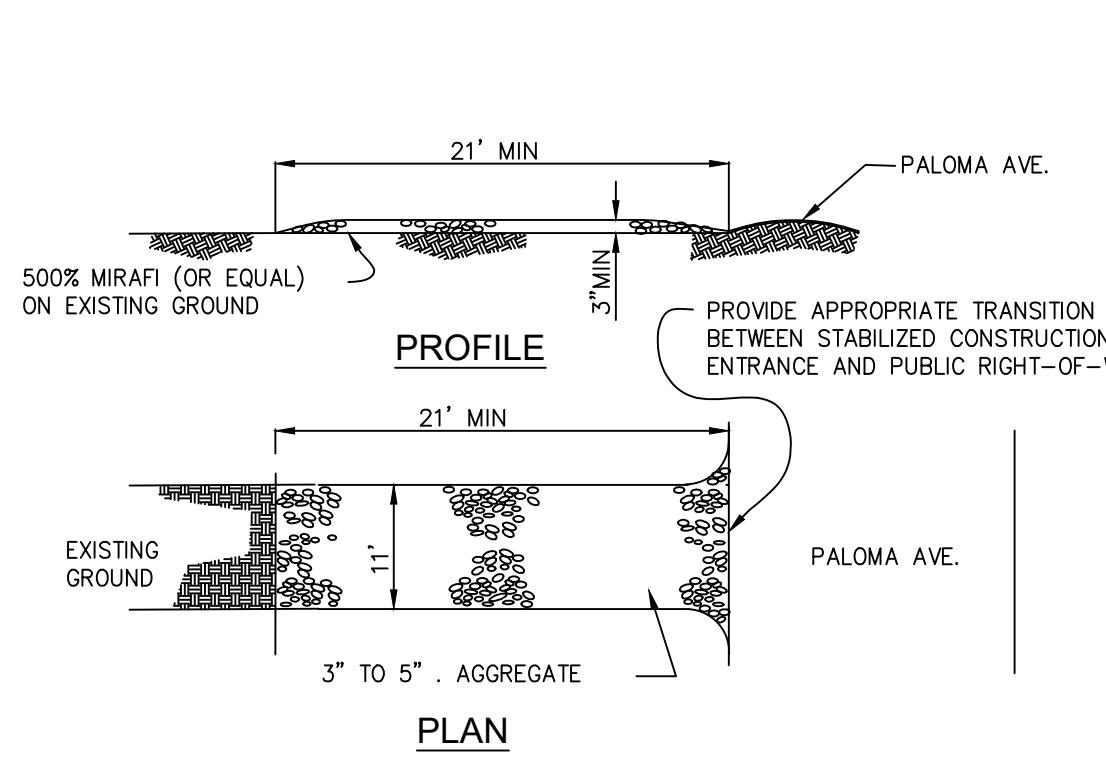


FIBER ROLL NOTES

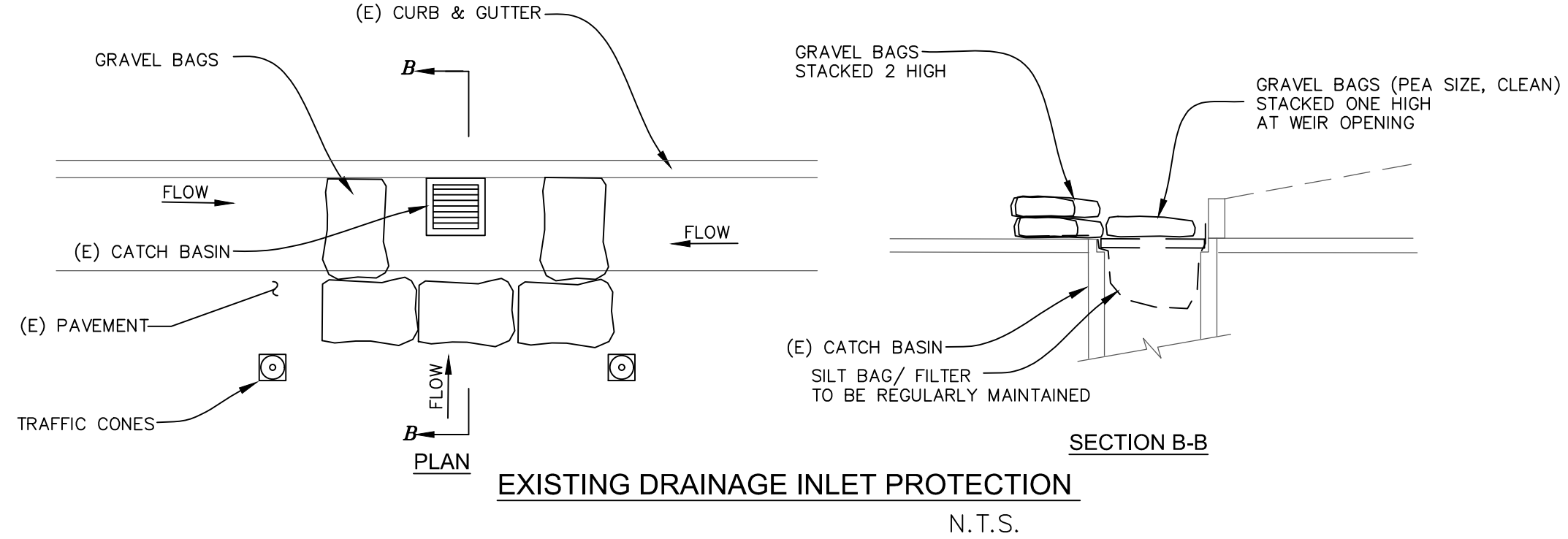
1. Place fiber roll in key trench 3" deep and place excavated soil on uphill or flow side of the roll.
2. On slopes and hillsides, fiber rolls shall be abutted at the ends and not overlapped. Place alternate stakes on both sides of the roll, every 6'.
3. Install fiber roll 12" from limit of grading



STORM INLET SEDIMENT TRAP-FIBER ROLLS
N.T.S.



TEMPORARY COVER ON STOCK PILE
N.T.S.



EXISTING DRAINAGE INLET PROTECTION
N.T.S.

EROSION AND SEDIMENT CONTROL NOTES AND MEASURES

1. The facilities shown on this Plan are designed to control Erosion and sediment during the rainy season, October 1st to April 30. Facilities are to be operable prior to October 1 of any year. Grading operations during the rainy season, which leave denuded slopes shall be protected with erosion control measures immediately following grading on the slopes.
2. This plan covers only the first winter following grading with assumed site conditions as shown on the Erosion Control Plan. Prior to September 15, the completion of site improvement shall be evaluated and revisions made to this plan as necessary with the approval of the city engineer. Plans are to be resubmitted for city approval prior to September 1 of each subsequent year until site improvements are accepted by the city.
3. Construction entrances shall be installed prior to commencement of grading. All construction traffic entering onto the paved roads must cross the stabilized construction entranceways.
4. Contractor shall maintain stabilized entrance at each vehicle access point to existing paved streets. Any mud or debris tracked onto public streets shall be removed daily and as required by the city.
5. If hydroseeding is not used or or is not effectively 10/10, then other immediate methods shall be implemented, such as Erosion control blankets, or a three-step application of: 1) seed, mulch, fertilizer 2) blown straw 3) tackifier and mulch.
6. Inlet protection shall be installed at open inlets to prevent sediment from entering the storm drain system. Inlets not used in conjunction with erosion control are to be blocked to prevent entry of sediment.
7. Lots with houses under construction will not be hydroseeded. Erosion protection for each lot with a house under construction shall conform to the Typical Lot Erosion Control Detail shown on this sheet.
8. This erosion and sediment control plan may not cover all the situations that may arise during construction due to unanticipated field conditions. Variations and additions may be made to this plan in the field. Notify the city representative of any field changes.
9. This plan is intended to be used for interim erosion and sediment control only and is not to be used for final elevations or permanent improvements.
10. Contractor shall be responsible for monitoring erosion and sediment control prior, during, and after storm events.

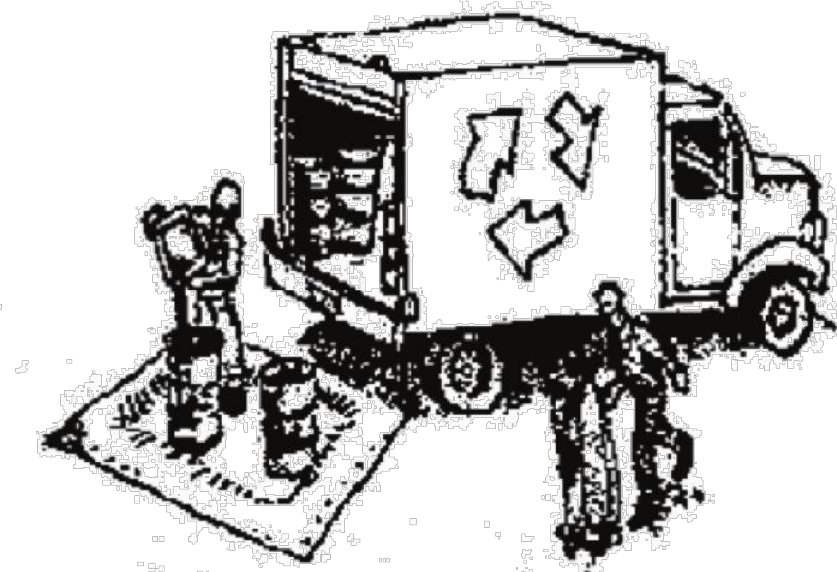
MAINTENANCE NOTES

1. Maintenance is to be performed as follows:
 - A. Repair damages caused by soil erosion or construction at the end of each working day.
 - B. Swales shall be inspected periodically and maintained as needed.
 - C. Sediment traps, berms, and swales are to be inspected after each storm and repairs made as needed.
 - D. Sediment shall be removed and sediment traps restored to its original dimensions when sediment has accumulated to a depth of one foot.
 - E. Sediment removed from trap shall be deposited in a suitable area and in such a manner that it will not erode.
 - F. Rills and gullies must be repaired.
2. All existing drainage inlets on St. George Lane within the limit of the project, shall be protected with sand bags during construction. See detail. Sand bag inlet protection shall be cleaned out whenever sediment depth is one half the height of one sand bag.
3. Existing concrete ditch sediment trap shall be cleaned out routinely during construction.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



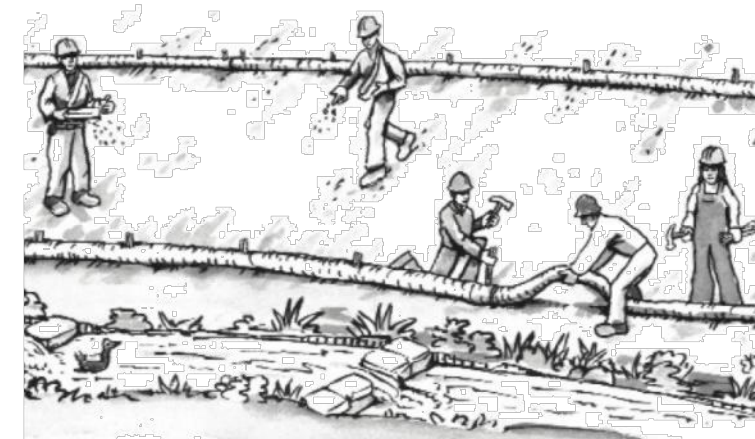
Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

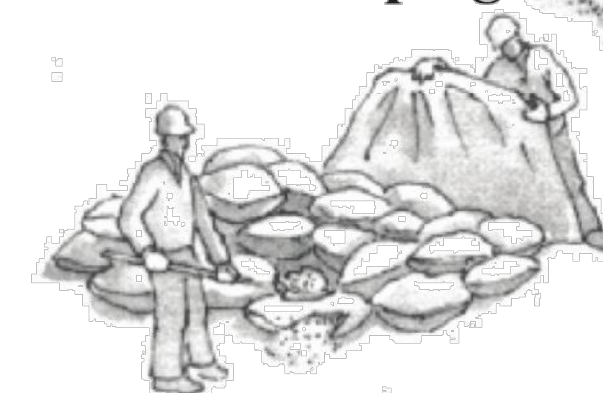
- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



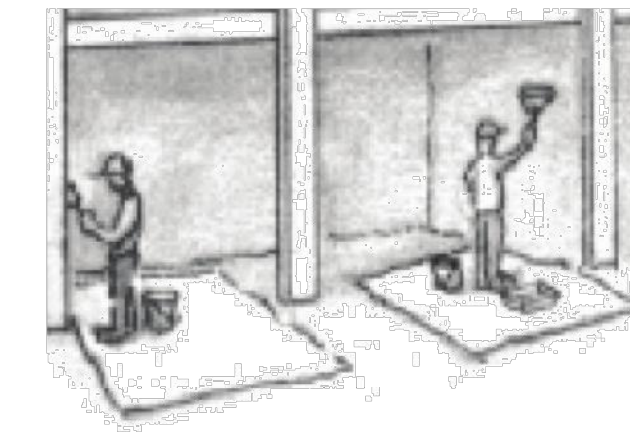
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

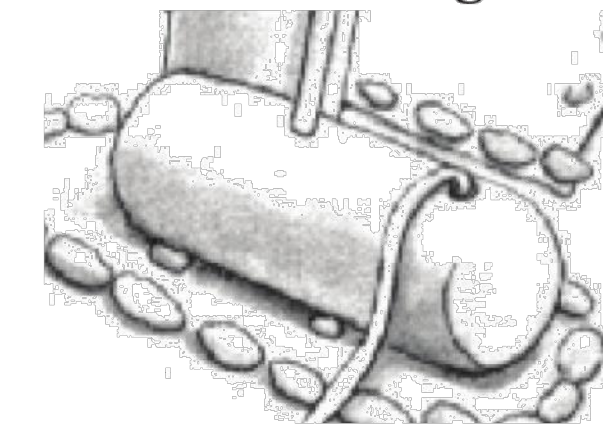
Painting & Paint Removal



Painting Cleanup and Removal

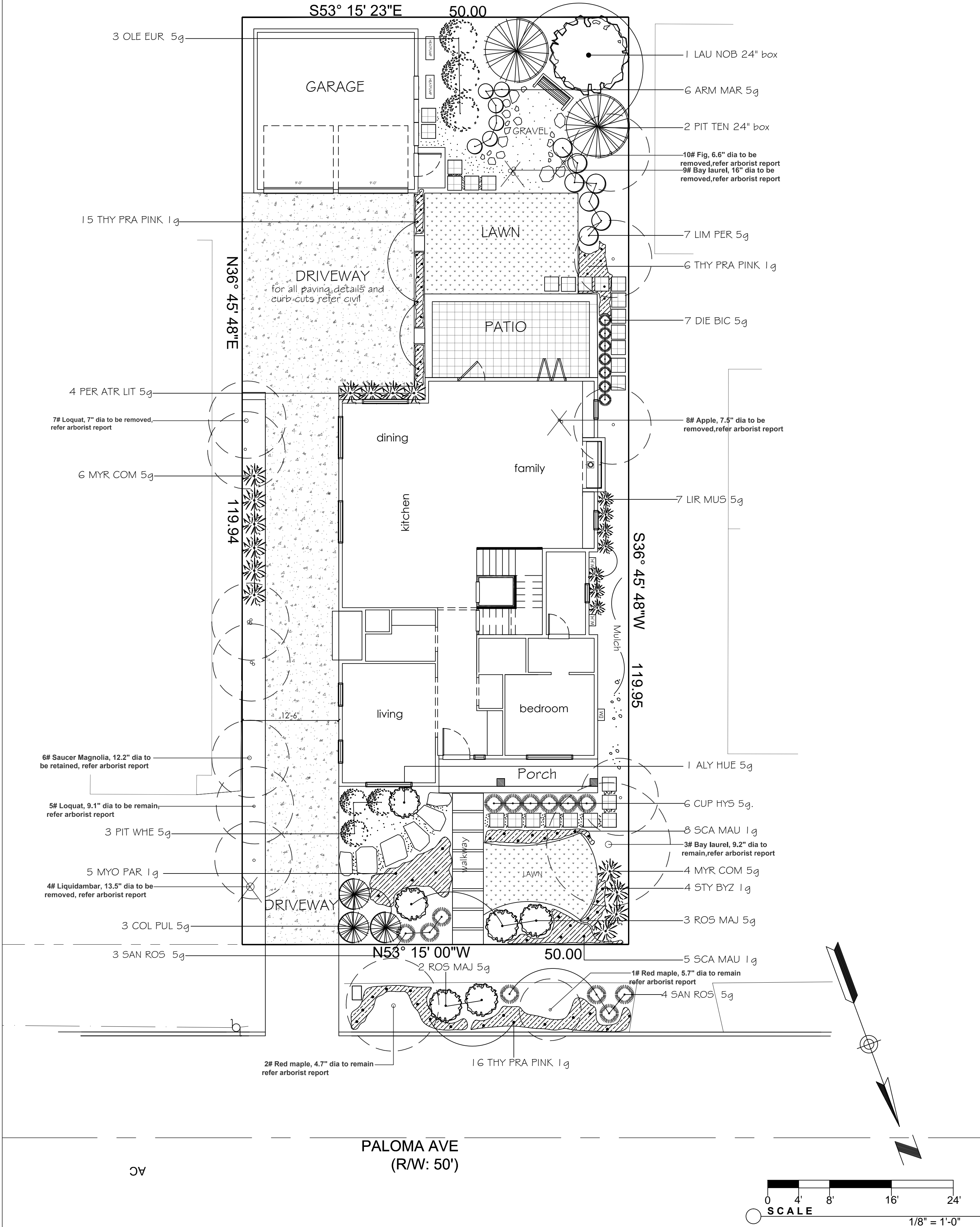
- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!



PLANT LIST :		1317 Paloma Avenue, Burlingame		
KEY	TREES			WUCOLS Region 1
LAU NOB	Laurus nobilis 'Saratoga'	Sweet Bay		LOW
PIT TEN	Pittosporum tenuifolium (standard)	Pittosporum		MOD
SHRUBS				
ALY HUE	Alyogyne Huegelii	Blue Hibiscus		LOW
ARM MAR	Amelia maritima 'Splendens'	sea thrift		LOW
COL PUL	Coleonema pulchrum	Pink breath of Heaven		LOW
CUP HYS	Cuphea hyssoptifolia	False Heather		MOD
DIE BIC	Diets bicolor	Fomight Lily		LOW
LIM PER	Limonium perezii	Sea Lavender		LOW
LR MUS	Liriope muscarii	Blue lily turf		LOW
MYR COM	Myrtus communis compacta	Myrtle		LOW
OLE EUR	Olea Europaea 'Montra'	dwarf olive		LOW
PER ATR LIT	Perovskia atriplicifolia 'Little Spire'	Russian sage		MOD
PIT WHE	Pittosporum 'Wheeler's dwarf'	Pittosporum		MOD
ROS MAJ	Rosmarinus majorica	Rosemary		LOW
SAN ROS	Santolina rosmarinifolia	Santolina		LOW
KEY	GROUND COVERS			
SCA MAU	Scaveola 'Maue Clusters'	Scaveola		LOW
STY BYZ	Stachys byzantina	Lamb's ears		LOW
THY PRA PINK	Thymus praecox 'Creeping pink'	Thyme		LOW
MYO PAR	Myoporum parvifolium 'Prostratum'	Myoporum		LOW

GENERAL NOTES

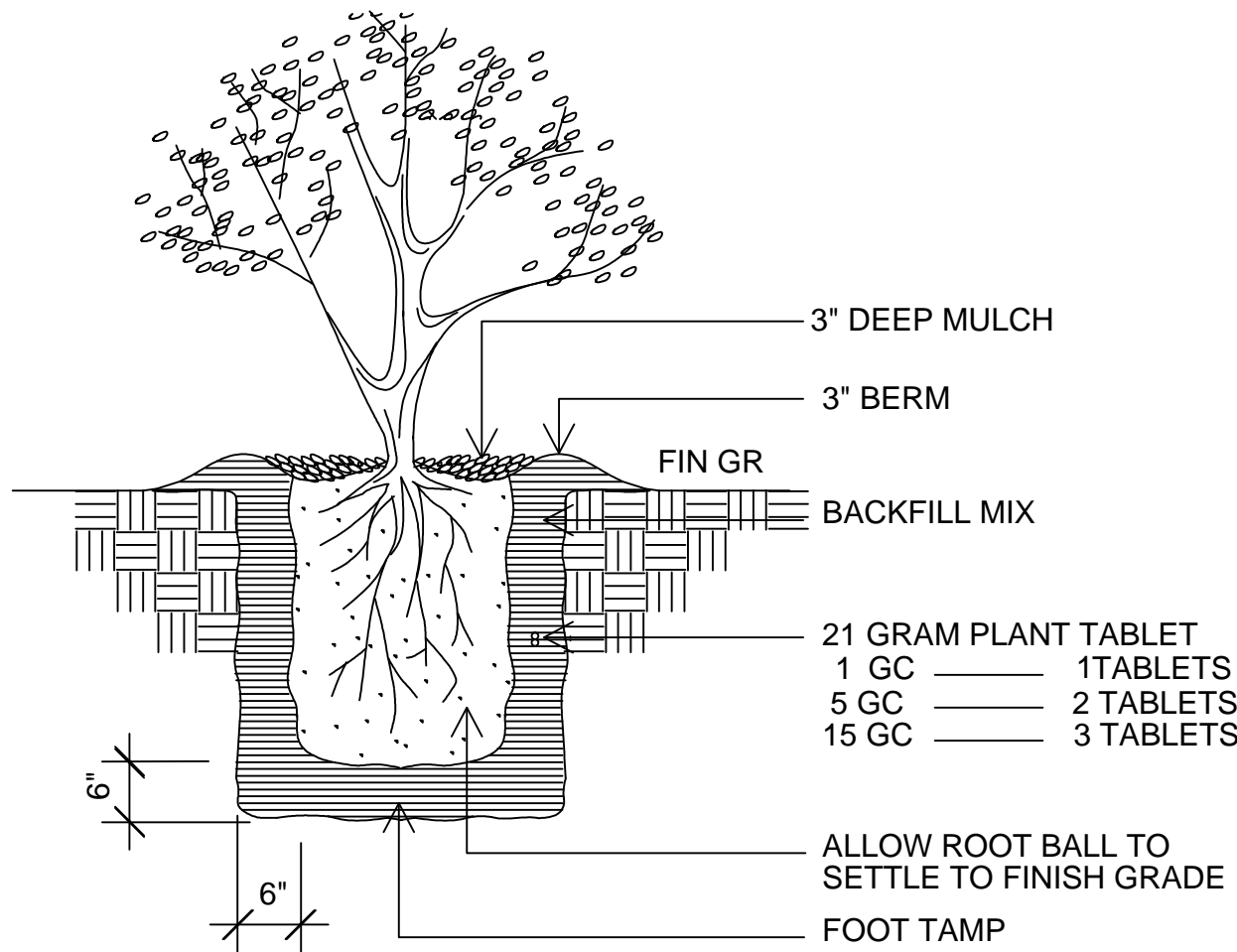
THE LANDSCAPE DESIGN FOR THIS PROJECT COMBINES BOTH DROUGHT TOLERANT PLANTINGS, AND A HIGHLY EFFICIENT DRIP IRRIGATION SYSTEM TO COMPLY WITH THE LOCAL WATER ORDINANCE, AND PROVIDE A LANDSCAPE THAT IS WATER WISE, SUSTAINABLE, AND LOW MAINTENANCE.

MOST OF THE PLANTINGS PROPOSED ARE DROUGHT TOLLERANT WITH A HIGH MAJORITY HAVING THE WUCOLS CLASSIFICATION OF LOW OR VERY LOW WATER USE. THE SPACING OF THE PLANT MATERIALS ALLOW THE PLANTS TO MATURE TO THEIR ULTIMATE SIZE WITHOUT THE NEED FOR SHEERING, HEADING BACK, AND EXCESSIVE OFFHAULING OF CUTTINGS. THE SPACING OF THE PLANT MATERIALS ALSO ALLOW SOME NEGATIVE SPACE WHICH WILL PROVIDE A NON-OVER PLANTED LOOK, AND VISUAL INTEREST. ALL AREAS NOT PLANTED WILL HAVE A 3" MINIMUM LAYER OF MULCH FOR WEED PREVENTION, SOIL STABILATION, AND WATER RETENTION.

THE IRRIGATION SYSTEM IS ROBUST, TIME PROVEN, WITH ALL SHRUBS AND GROUNDCOVERS BEING DRIP IRRIGATED. THE LAWN WILL BE SPRAY IRRIGATED. THE IRRIGATION SYSTEM USES A CONTROLLER THAT HAS THE CAPABILITY OF BEING WEATHER BASED, RECIEVING DAILY WEATHER INPUT TO ADJUST THE IRRIGATION SCHEDULE BASED ON REAL TIME WEATHER INPUT. THIS WILL ELIMINATE WATERING DURING TIME OF HIGH HUMIDITY, RAIN, OR HIGH SOIL SATURATION. THE IRRIGATION SYSTEM WILL BE ALL HARD PIPE UNDERGROUND, WITH THREADED RISERS, AND A THREADED DISTRIBUTION HEAD, WITH NO POLY PIPE OR BARBED CONNECTIONS. Y -STRAINERS WILL BE USED AT EACH VALVE.

A LANDSCAPE IRRIGATION AUDIT IS REQUIRED. THIS AUDIT MUST BE COMPLETED BY A CERTIFIED LANDSCAPE IRRIGATION AUDITOR, NOT THE DESIGNER OR INSTALLER. THE AUDIT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT, WITH A CERTIFICATE OF COMPLETION (APPENDIX C) AS REQUIRED BY THE DEPARTMENT OF WATER RESOURCES, PRIOR TO SCHEDULING A FINAL INSPECTION OF THE WATER EFFICIENT LANDSCAPE PERMIT.

- LANDSCAPE DOCUMENTATION CHECKLIST
1. PROJECT INFORMATION- CHECK
 2. WATER EFFICIENT LANDSCAPE WORKSHEET- CHECK
 3. SOIL MANAGEMENT REPORT- DEFERRED
 4. LANDSCAPE DESIGN PLAN-CHECK
 5. IRRIGATION DESIGN PLAN- CHECK
 6. GRADING DESIGN PLAN-CHECK



SHRUB PLANTING

N.T.S.

PLANTING NOTES

THE PLANTING PLAN IS DIAGRAMMATIC ONLY. THE EXACT LOCATION OF PLANT MATERIAL SHALL BE DETERMINED ON SITE. THE EXACT LOCATION OF PLANTS ONSITE WILL ADHERE TO SETBACK REQUIREMENTS FROM THE OWTS.

THE CONTRACTOR SHALL VERIFY THAT THE SOIL TO BE PLANTED IS NATIVE, AND FREE FROM ANY FOREIGN MATERIALS OR SUBSTANCES, WITH A MINIMUM DEPTH OF 8 INCHES OF NON COMPACTED TOPSOIL.

TILL ALL NEW PLANTING AREAS TO A DEPTH OF 8" AND REMOVE ALL WEEDS, STICKS, OVER 1/2 INCH DIAMETER AND ANY OTHER MATERIAL THAT WOULD BE HARMFUL TO TO PLANT GROWTH.

ALL NEW PLANTING AREAS SHALL RECEIVE A 3" LAYER OF WOOD RESIDUAL. TILL IN TO A DEPTH OF 6" AND FINE GRADE.

ALL PLANT MATERIAL SHALL RECEIVE 'AGRIFORM' FERTILIZER TABLETS AT THE TIME OF PLANTING, INSERTED IN THE BACKFILL MIX AT HALF THE DEPTH OF THE ROOTBALL. TABLET QUANTITIES AND SIZE AS INDICATED ON THE PLANTING DETAILS.

AFTER FINE GRADING, AND PLANTING, (PRIOR TO TOP DRESSING WITH MULCH) A PRE-EMERGENT HERBICIDE SHALL BE APPLIED AT A RATE AND METHOD RECOMMENDED BY THE PRODUCT MANUFACTURER. SPREAD AS A TOP DRESSING, A 3" LAYER OF MULCH, IN ALL PLANTING AREAS FOR ADDITIONAL WEED CONTROL AND WATER RETENTION. SUBMIT A SAMPLE FOR APPROVAL.

ALL PLANT MATERIAL, SUBSTITUTIONS SHALL BE APPROVED BY THE OWNERS OR THE LANDSCAPE ARCHITECT.

ALL PLANTING DETAILS SHALL BE CLOSELY FOLLOWED, AND ALL LOCAL GOVERNING CODES SHALL BE MET.

ALL PLANT MATERIALS SHALL BE IN A HEALTHY, VIGOROUS, AND DISEASE FREE CONDITION. THE PLANT SIZE SHALL BE PROPORTIONAL TO THE CONTAINER SIZE SPECIFIED. PLANTS NOT MEETING THESE REQUIREMENTS WILL BE REFUSED, EVEN IF PLANTED.

IT IS THE RESPONSIBILITY OF THE OWNER TO SUBMIT LANDSCAPE PLANS TO THE GOVERNING MUNICIPALITY FOR APPROVAL. IF ANY CHANGES OR ADDITIONS OF THE PLANS, AND TO OBTAIN BUILDING PERMITS. IF ANY CHANGES OR ADDITIONS TO THE PLANS NEED TO BE MADE, THE OWNER SHALL RETURN THE PLANS, WITH THE CITY REVIEW COMMENTS FOR REVISIONS. FINAL APPROVAL MUST BE OBTAINED FROM THE GOVERNING MUNICIPALITY PRIOR TO THE BEGINNING OF ANY CONSTRUCTION.

REGARDING ALL EXISTING TREE SPECIES, HEIGHT, CONDITION, LOCATIONS, TREE PROTECTION, REFER ARBORIST REPORT BY KIELTY ARBORIST SERVICES DATED MARCH27, 2020

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

A MINIMUM OF 3-INCH LAYER OF MULCH SHALL BE APPLIED ON EXPOSED SOIL, SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.

FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1000 SQ FT OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.

LANDSCAPE DOCUMENTATION PACKAGE AND CHECKLIST

PROJECT INFORMATION

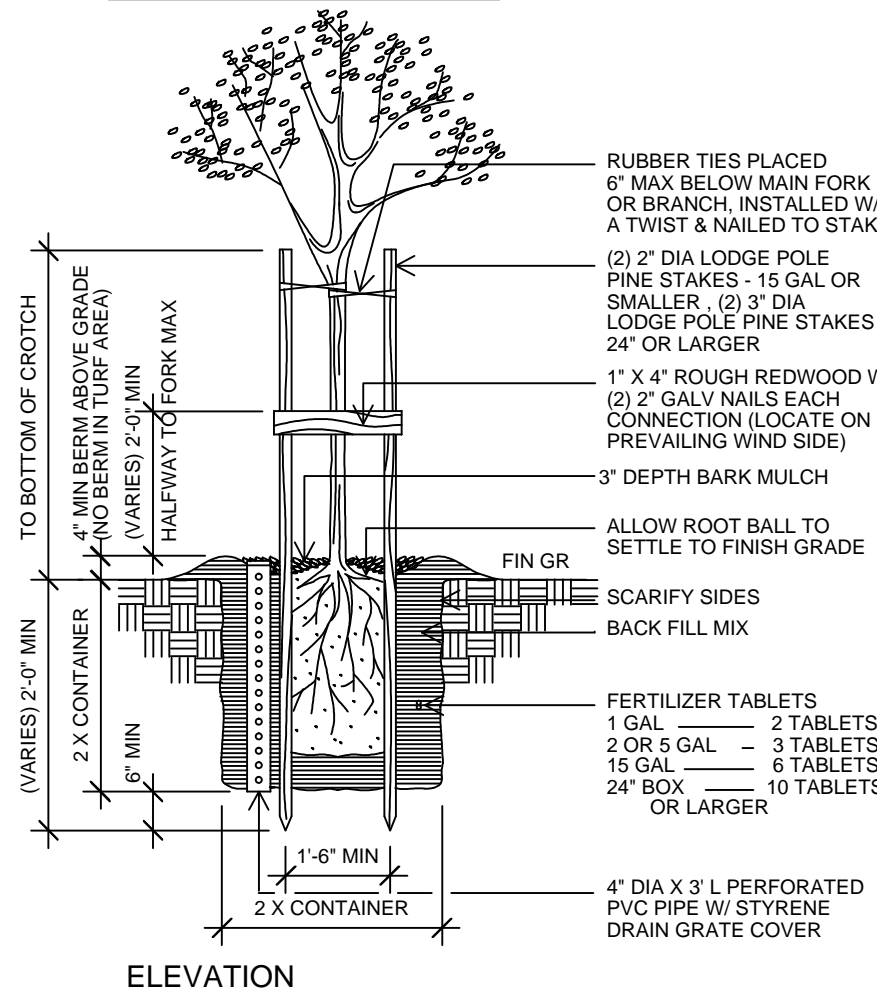
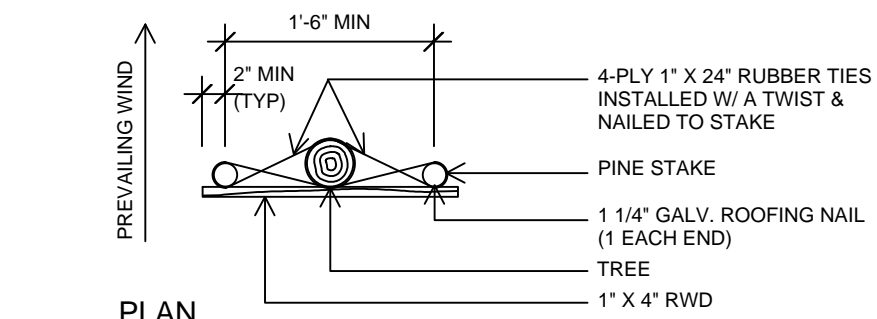
- A. DATE: 06-03-2022
B. PROJECT APPLICANT: BEHZAD HADJIAN
1317 PALOMA AVENUE, BURLINGAME, CA
PROJECT ADDRESS: 1317 PALOMA AVENUE, BURLINGAME, CA
APN NO:
D. TOTAL IRRIGATED LANDSCAPE AREA= 1481 SQ FT
E. WATER SUPPLY: POTABLE, CAL-WATER
F. PROJECT TYPE: NEW RESIDENCE
G. PROJECT CHECKLIST: SEE BELOW
H. PROJECT CONTACT: MENAKA RAO 650 644 7631,
RUSSELL STRINGHAM, 408-886-4089

I. LANDSCAPE DOCUMENTATION PACKAGE CERTIFICATION:

" I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete landscape documentation package"

Signature *R Stringham* 06-03-2022
RUSSELL STRINGHAM LA #3091

2. WATER EFFICIENT LANDSCAPE WORKSHEET
D. HYDROZONE INFORMATION TABLE - SEE SHEETS L-2
E. WATER BUDGET CALCULATIONS MAWA AND ETWU- SEE SHEETS L-3
3. SOIL MANAGEMENT REPORT
CONSULT CIVIL
4. LANDSCAPE DESIGN PLAN
SEE SHEET L-1
5. IRRIGATION DESIGN PLAN
SEE SHEET L-2
6. GRADING DESIGN PLAN
SEE CIVIL ENGINEER PLAN SHEET



TREE PLANTING

N.T.S.

MR

Menaka Rao

LANDSCAPE DESIGN

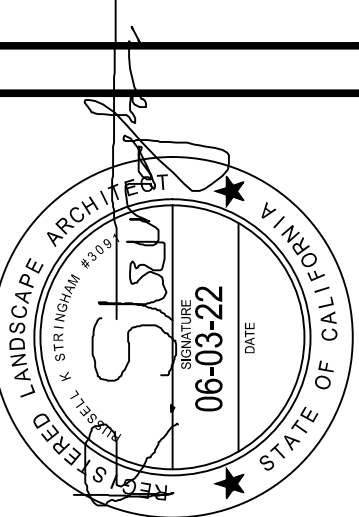
4653 MonteCarlo Park Court
Fremont, CA 94538
Ph:650 644 7631

DRAWN BY:

MENAKA RAO

SIGNED BY:

RUSSELL STRINGHAM
LA #3091



NEW RESIDENCE
1317 PALOMA AVENUE
BURLINGAME, CA

PLANTING PLAN

REVISION REVISION DATE

DATE:
06-03-22

JOB:

SCALE:

1' = 1/8"

SHEET:

L-1



L-2

Maximum Applied Water Allowance Calculations for New and Rehabilitated Residential Landscapes

Enter value in Pale Blue Cells

Tan Cells Show Results

Messages and Warnings

Click on the blue cell on right to Pick City Name

ET_o of City from Appendix A

Redwood City

42.80

ET_o (inches/year)

394

Overhead Landscape Area (ft²)

1087

Drip Landscape Area (ft²)

0

SLA (ft²)

Total Landscape Area

1,481.00

Results:

(ET_o) x (0.62) x [(0.55 xLA) + (1.0 - 0.55) X SLA]]

21,614.90

Gallons

2,889.50

Cubic Feet

28.90

HCF

0.07

Acre-feet

0.02

Millions of Gallons

MAWA calculation incorporating Effective Precipitation (Optional)
Precipitation (Optional)

ET_o of City from Appendix A

42.80

ET_o (inches/year)

Total Landscape Area

1,481.00

LA (ft²)

Special Landscape Area

0.00

SLA (ft²)

Total annual precipitation (inches/year)

Enter Effective Precipitation

0.00

Eppt (in/yr)(25% of total annual precipitation)

Results:

MAWA = [(ET_o - Eppt) x (0.62)] x [(0.55 x LA) + ((1.0 - 0.55) x SLA)]

-

Gallons

-

Cubic Feet

-

HCF

-

Acre-feet

-

Millions of Gallons

Estimated Total Water Use

Equation: ETWU = ET_o x 0.62 x [((PF x HA)/IE) + SLA]; Considering precipitation ETWA =(ETo-Eppt) x 0.62 x [((PF x HA)/IE) +SLA]

Enter values in Pale Blue Cells

Tan Cells Show Results

Messages and Warnings

Irrigation Efficiency Default Value for overhead 0.75 and drip 0.81.

Plant Water Use Type	Plant Factor
Very Low	0 - 0.1
Low	0.2 - 0.3
Medium	0.4 - 0.6
High	0.7 - 1.0
SLA	1

Hydrozone	Select System From the Dropdown List click on cell below	Plant Water Use Type (s) (low, medium, high)	Plant Factor (PF)	Hydrozone Area (HA) (ft ²) Without SLA	Enter Irrigation Efficiency (IE)	(PF x HA (ft ²))/IE
Zone 1	Drip	Low	0.30	75	0.81	28
Zone 2	Overhead Spray	High	0.70	120	0.75	112
Zone 3	Drip	Low	0.30	308	0.81	114
Zone 4	Drip	Low	0.30	202	0.81	75
Zone 5	Drip	Low	0.30	146	0.81	54
Zone 6	Overhead Spray	High	0.70	274	0.75	256
Zone 7	Drip	Low	0.30	356	0.81	132

Zone 99						
Zone 100						
		SLA		0		770
		Sum		1,481		0

Results

MAWA = 21,615

ETWU= 20,445 Gallons

2,733 Cubic Feet

27 HCF

0 Acre-feet

0 Millions of Gallons

ETWU complies with MAWA

I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN

Signature *R. Stringham* 06-03-2022
RUSSELL STRINGHAM LA #3091

IRRIGATION SCHEDULE

1.Irrigation scheduled for the plant establishment period would be 2 to 3 times a week for the first month followed by twice a week for the following months for upto a year until the roots are well established.
April - October: Twice a week with run time of 20 minutes
November- March: Run time of 15 minutes
The system can be shut off on rainy days for the months of November to February. Additional watering by hand can be provided for extremely hot days.

2. Irrigation scheduling for the established landscape would be as follows:
For the second year of the landscape:
May- September: twice a week with a run time of twenty minutes
October- April:once a week with a run time of twenty minutes
The system can be shut off during the months of November to February assuming that rainfall provides the necessary irrigation.

For the following years the landscape can be irrigated once a week.
Once established, drought tolerant plants need to be watered only once in two weeks or on a need basis.

Note: The above only acts as a guide. Irrigation schedules can be modified by home owner depending on actual weather and soil conditions. Existing fully established plants and trees on site that were retained are to be irrigated as per an 'established landscape schedule'. Drought tolerant plants need to be regularly watered for the first two years until they are well established after which they can do quite well with watering them even twice a month.
Water used for irrigation per month to be below the MAWA values as shown the water efficient table .
The irrigation controller will be weather based as specified in the irrigation legend.
The controller will receive real time weather information,and adjust the programmed watering schedule automatically based on local weather.
This will restrict watering during times of precipitation and will help to conserve water.

APPLICABLE CODES

WELO PLANTING , IRRIGATION LANDSCAPE AND LANDSCAPE LIGHTING PLANS

SCOPE OF WORK

2019 CALIFORNIA BUILDING CODE, 2019 CALIFORNIA RESIDENTIAL CODE, 2019 CALIFORNIA ELECTRICAL CODE, 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA FIRE CODE AS AMENDED BY WOODSIDE FIRE.

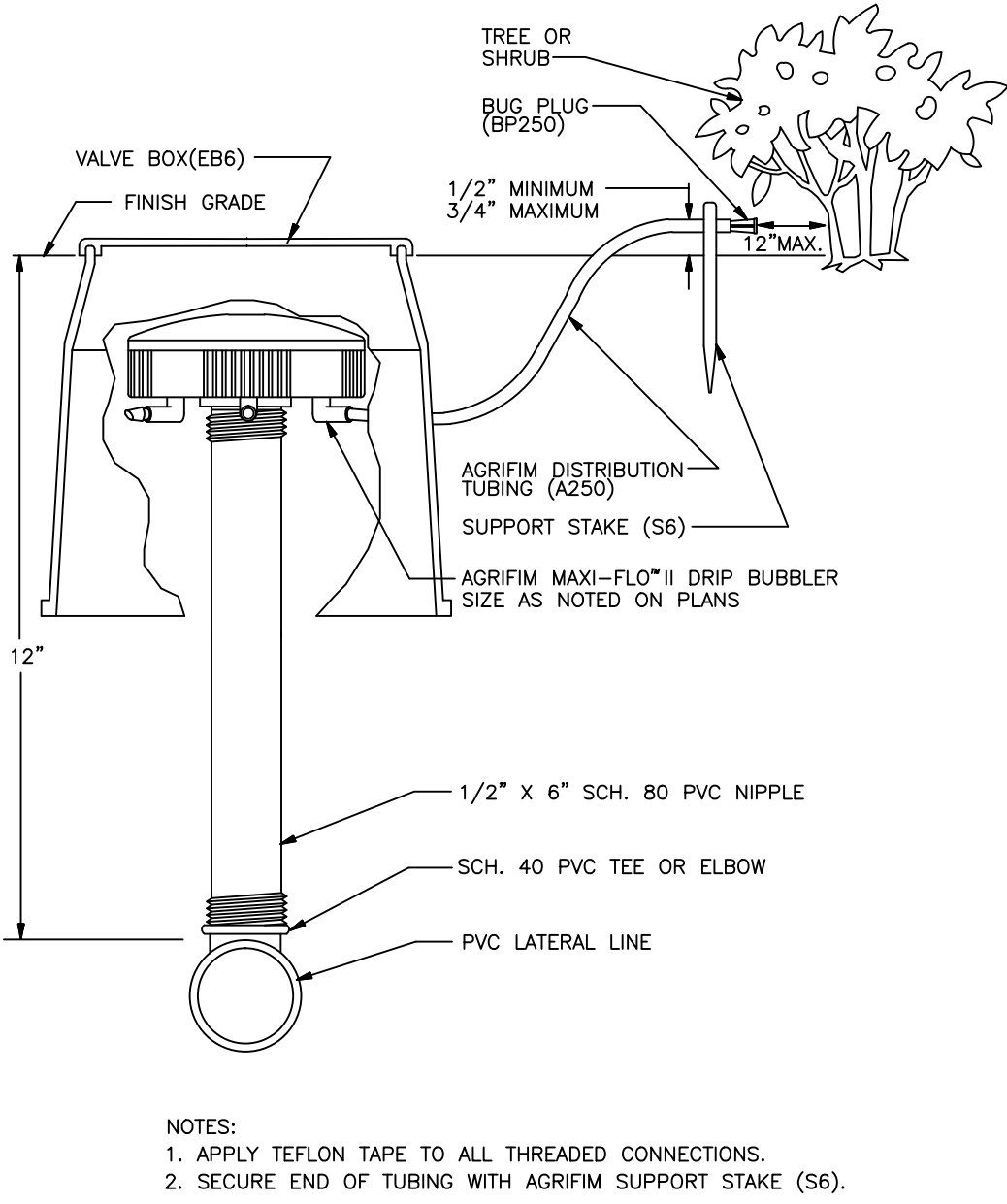
Work Hours and Parking

A. Work Hours: Working hours are strictly between the time mentioned below.
7:30 AM TO 5:30 PM- MONDAY -FRIDAY
8:00 AM TO 1:00 PM- SATURDAY
Construction parking is permitted only on the site and only on the side of the street fronting the property for which the permit is issued.

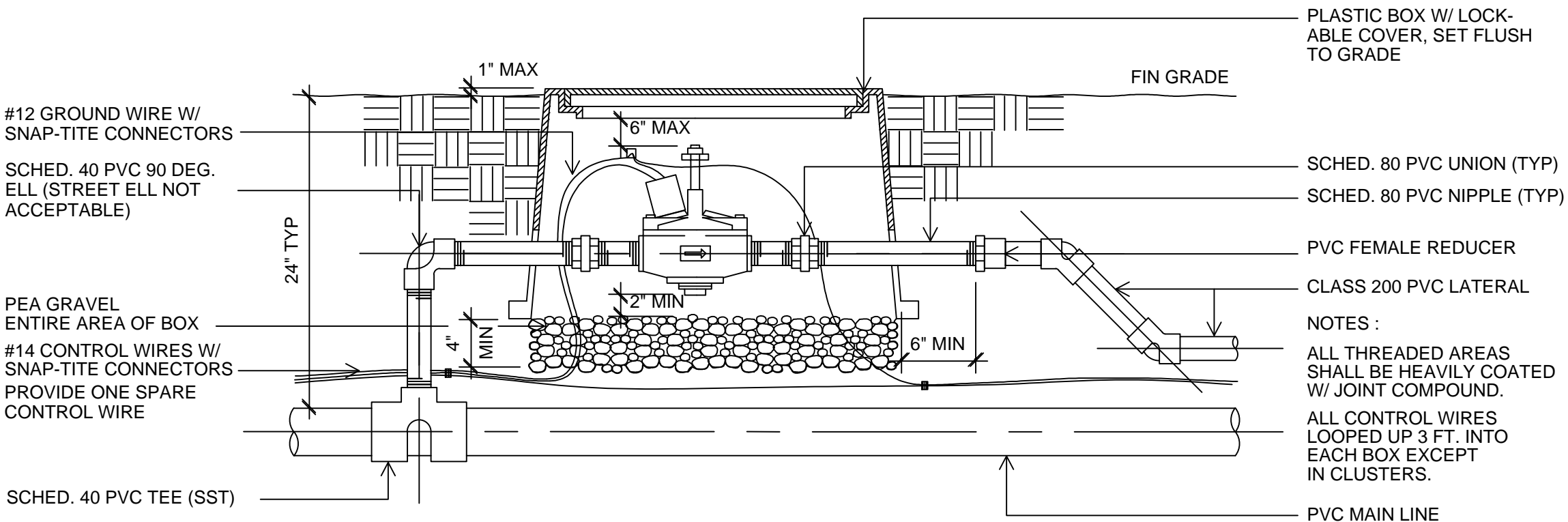
Noise

A. Except as otherwise permitted under this chapter, no person shall cause and no property owner shall permit on such owner's property, a noise produced by any person, machine, animal or device, or any combination thereof, in excess of the sound level limits set forth in this section to emanate from any property, public or private, beyond the property line.
Any sound in excess of the sound level limits set forth in this section shall constitute a noise disturbance. For purposes of determining sound levels, sound level measurements shall be made at any location on the receiving property. Professional Certification of meeting this requirement may be required prior to final inspection.

B. Sound Level Limits: 7a.m to 10 p.m. 60 dBA/10 p.m to 7 a.m 50 dBA



MAXI-FLO™ RISER DETAIL
NOT TO SCALE



REMOTE CONTROL VALVE

N.T.S.

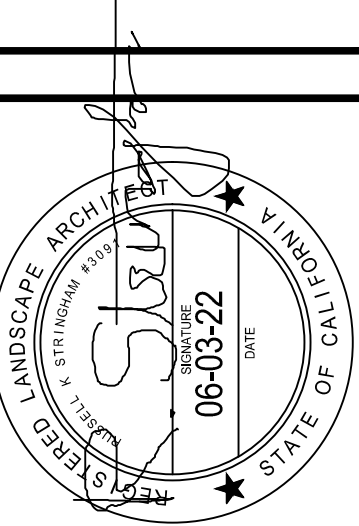
MR

Menaka Rao
LANDSCAPE DESIGN

4653 MonteCarlo Park Court
Fremont, CA 94538
Ph:650 644 7631

DRAWN BY:
MENAKA RAO

SIGNED BY:
RUSSELL STRINGHAM
LA #3091



NEW RESIDENCE
1317 PALOMA AVENUE
BURLINGAME, CA
IRRIGATION NOTES

REVISION REVISION DATE

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1' = 1/8"

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L-3