

PRAKASH-RAO RESIDENCE
2836 MARIPOSA DRIVE
BURLINGAME, CA

[illegible]

PRAKASH - RAO RESIDENCE

**2836 MARIPOSA DR.
BURLINGAME, CA**

[inSite]

architecture design interiors

1534 PLAZA LN. #318
BURLINGAME, CA 94010
(650) 235-9566 tel.
(650) 235-9569 fax

DESIGN REVIEW 6/1/22

1 DESIGN REVIEW COMMENTS

7/25/22

RECEIVED

08/26/22

CITY OF BURLINGAME
CDD-PLANNING DIVISION

DRAWING INDEX

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PROJECT DIRECTORY

CLIENT/OWNER:
VIKRAM PRAKASH AND SONAM RAO
2836 MARIPOSA DR.
BURLINGAME, CA

DESIGNER:

inSite
1534 PLAZA LN. #318
BURLINGAME, CA 94010
PHONE: (650) 235-9566, FAX: (650) 235-9590
CONTACT: AUDREY TSE OR LAUREN LEE

STRUCTURAL ENGINEER:
SUNG ENGINEERING, INC.
29300 KOHOUTEK WAY, SUITE #190
UNION CITY, CA 94587
PHONE/FAX: 510-475-7900/510-475-7913
CONTACT: PETER SUNG

TITLE 24 AND GREEN BUILDING:
JIM BLOMQUIST, CERTIFIED ENERGY
ANALYST CEPE CEA
41C HANGAR WAY
WATSONVILLE, CA 95076
PHONE: 408-310-0081
CONTACT: JIM BLOMQUIST

CODE DATA

THESE PLANS ARE TO COMPLY TO THE FOLLOWING CODES
ORDINANCES, RULES AND REGULATIONS:

2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
2019 CALIFORNIA EXISTING BUILDING CODE
2019 CALIFORNIA RESIDENTIAL CODE
2018 IBC, UMC, UPC and 2017 NEC, AS AMENDED
BY THE STATE OF CALIFORNIA

ALL OTHER STATE, MUNICIPAL & LOCAL ORDINANCES, CODES, RULES & REGULATIONS, AS APPLICABLE

PROJECT DESCRIPTION

FIRST FLOOR REMODEL AND ADDITION -
KITCHEN, FAMILY ROOM, DINING AREA, LIVING ROOM, LAUNDRY,
STORAGE

ADDITION OF INTERIOR STAIR TO 2ND FLOOR ADDITION

SECOND FLOOR ADDITION -
PRIMARY SUITE, BEDROOM, BATHROOM

FIRE SPRINKLER NOTES

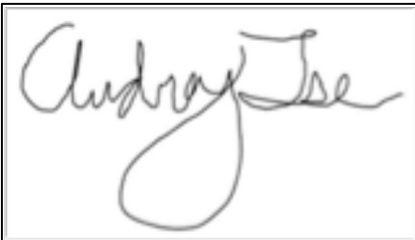
PROVIDE A FIRE SPRINKLER SYSTEM THROUGHOUT MAIN HOUSE AND
ADU. FIRE SPRINKLER PLANS SHALL BE SUBMITTED THROUGH FIRE
DEPARTMENT FOR APPROVAL PRIOR TO INSTALLATION.

SEE SITE PLAN FOR SCHEMATIC LINE DIAGRAM

PROVIDE A BACKFLOW PREVENTION DEVICE; USC APPROVED DOUBLE
CHECK VALVE ASSEMBLY. GENERAL CONTRACTOR SHALL ENSURE THE
DOUBLE CHECK VALVE FOR FIRE PROTECTION SHALL BE TESTED AND
APPROVED BY A SAN MATEO COUNTY ENVIRONMENTAL HEALTH
APPROVED CONTRACTOR PRIOR TO SCHEDULING WATER DEPARTMENT
FINAL INSPECTION.

MINIMUM WATER METER SIZE SHALL ACCOMMODATE BOTH DOMESTIC AND
FIRE SPRINKLER SYSTEM DEMAND TOTALS.

FIRE FLOW SHALL MEET REQUIREMENTS OF CALIFORNIA FIRE CODE
APPENDIX B. FIRE FLOW FOR RESIDENTIAL BUILDINGS LESS THAN
3600 SQ. FT. SHALL BE PROVIDED AT 1000 GPM UNLESS PROTECTED BY AN
AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM. THEN IT MAY BE
REDUCED BY 50%. CONTACT BURLINGAME ENGINEERING DEPARTMENT.



SUBDIVISION MAP MILLS ESTATE NO. 13 FILED IN BOOK 47 OF RECORD
SUBDIVISION MAPS AT PAGE 19 IN THE RECORDS OF SAN MATEO COUNTY, AND
TWO FOUND MONUMENTS AS SHOWN.

THE ELEVATIONS SHOWN HEREON WERE DERIVED FROM L-1/L-2 DATA COLLECTED USING NAVSTAR GLOBAL POSITIONING SYSTEM (GPS) AND A CHCX90D-OPUS RECEIVER AND POST-PROCESS USING THE CORS NETWORK. ALL ELEVATION EXPRESSED IN NAVD 1988 DATUM.

THIS IS NOT PROPERTY BOUNDARY SURVEY THIS MAP REFLECTS A TOPOGRAPHIC SURVEY OF THE SUBJECT PARCEL. PROPERTY MONUMENTS WERE NOT REQUESTED AND NONE WERE SET. THE PROPERTY BOUNDARY LINE AND PARCEL AREA DATA ARE BASED ON THE RECORD SURVEY. THE PURPOSE OF THIS MAP IS TO SHOW THE FINAL, AS PER AGREEMENT, THE LINES AS SHOWN REFLECT RECORD INFORMATION AND AVAILABLE DATA FOR THE SUBJECT PARCEL AND RIGHT-OF-WAY LINES. THEREFORE IT SHOULD NOT BE RELIED UPON TO CONSTRUCT FENCES OR TO DETERMINE PROPERTY BOUNDARIES. THE NEXT PHASE OF THE DEVELOPMENT OF THE SUBJECT PARCEL, A BOUNDARY SURVEY WILL BE ACCOMPLISHED AND A CORNER RECORD MAP WILL BE FILED.

AD	AREA DRAIN		SUBJECT PROPERTY LINE
APN:	ASSESSOR'S PARCEL NUMBER		ADJOINER PROPERTY LINE
CP	CONTROL POINT		EXISTING EASEMENT
CO	CLEANOUT		MAJOR CONTOUR
CONC.	CONCRETE		MINOR CONTOUR
EL.	ELEVATION		OVERHEAD UTILITY LINE
FND.	FOUND		EXISTING FENCE LINE
HT.	HEIGHT		AREA DRAIN
ICV	IRRIGATION CONTROL VALVE		HOSE BIB
RET.	RETAINING WALL		VALVE
x 33.0	SPOT ELEVATION		MANHOLE
	SURVEY CONTROL POINT		CATCH BASIN
	PROJECT BENCHMARK		WATER METER
●	FOUND IRON PIPE (AS NOTED)		GAS METER
			FIRE HYDRANT
	FOUND STREET MONUMENT (PER 47-RSM-019)		CLEANOUT

SETBACK TABLE		
HOUSE #	APN	FRONT SETBACK
2852	025-072-130	15.0'+
2844	025-072-120	15.2'+
2845	025-072-110	15.2'+
2836 (SUBJECT)	025-072-100	15.3'+
2832	025-072-090	15.1'+
2828	025-072-080	16.2'+
2824	025-072-070	15.7'+
2820	025-072-060	15.0'+
2816	025-072-050	15.0'+
2812	025-072-040	18.4'+
2808	025-072-030	15.0'+
2804	025-072-020	16.9'+
2800	025-072-010	15.6'+
AVERAGE:		15.7'

- 1.) UNDERGROUND UTILITY LINES WERE NOT LOCATED FOR THIS SURVEY.
- 2.) DATE OF FIELD SURVEY: JANUARY 25, 2022
- 3.) PROJECT BENCHMARK: SEE SURVEY CONTROL POINTS SHOWN ON MAP
- 4.) CONTOURS SHOWN HEREON ARE AT ONE FOOT (1.0') INTERVALS.

I, KEVIN N. MCGUIRE, A REGISTERED PROFESSIONAL LAND SURVEYOR DULY LICENSED BY THE LAWS OF THE STATE OF CALIFORNIA DO HEREBY STATE THAT THE TOPOGRAPHY, SPOT ELEVATIONS, LOCATIONS OF IMPROVEMENTS AS SHOWN ON THE ATTACHED MAP, WERE OBTAINED BY ME OR MY FIELD CREW IN 2022 BY OUR COMPANY FIELD CREW; AND I FURTHERMORE DO STATE THAT THE PROPERTY BOUNDARY LINES, RIGHTS-OF-WAY AND EASEMENTS, IF ANY, ARE BASED UPON ITEMS OF PUBLIC RECORD AND FIT TO FOUND MONUMENTS AS SHOWN AND REFERENCED HEREON. THIS MAP AND ITS CONTENTS ARE THE INFORMATION AS OBTAINED WERE DONE UNDER MY SUPERVISION AND DIRECTION AND ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

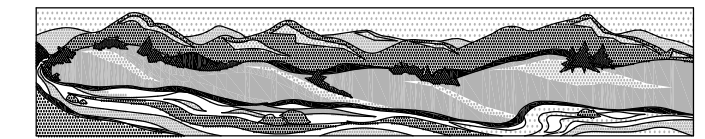
KEVIN M. McGUIRE, CA PLS #6437

7/22/22
DATE

LANDS OF PRAKASH-RAO
LOT 10, BLOCK 37
MILLS ESTATE NO. 13
(47-RSM-019)
2836 MARIPOSA DRIVE

CITY OF BURLINGAME SAN MATEO COUNTY CALIFORNIA

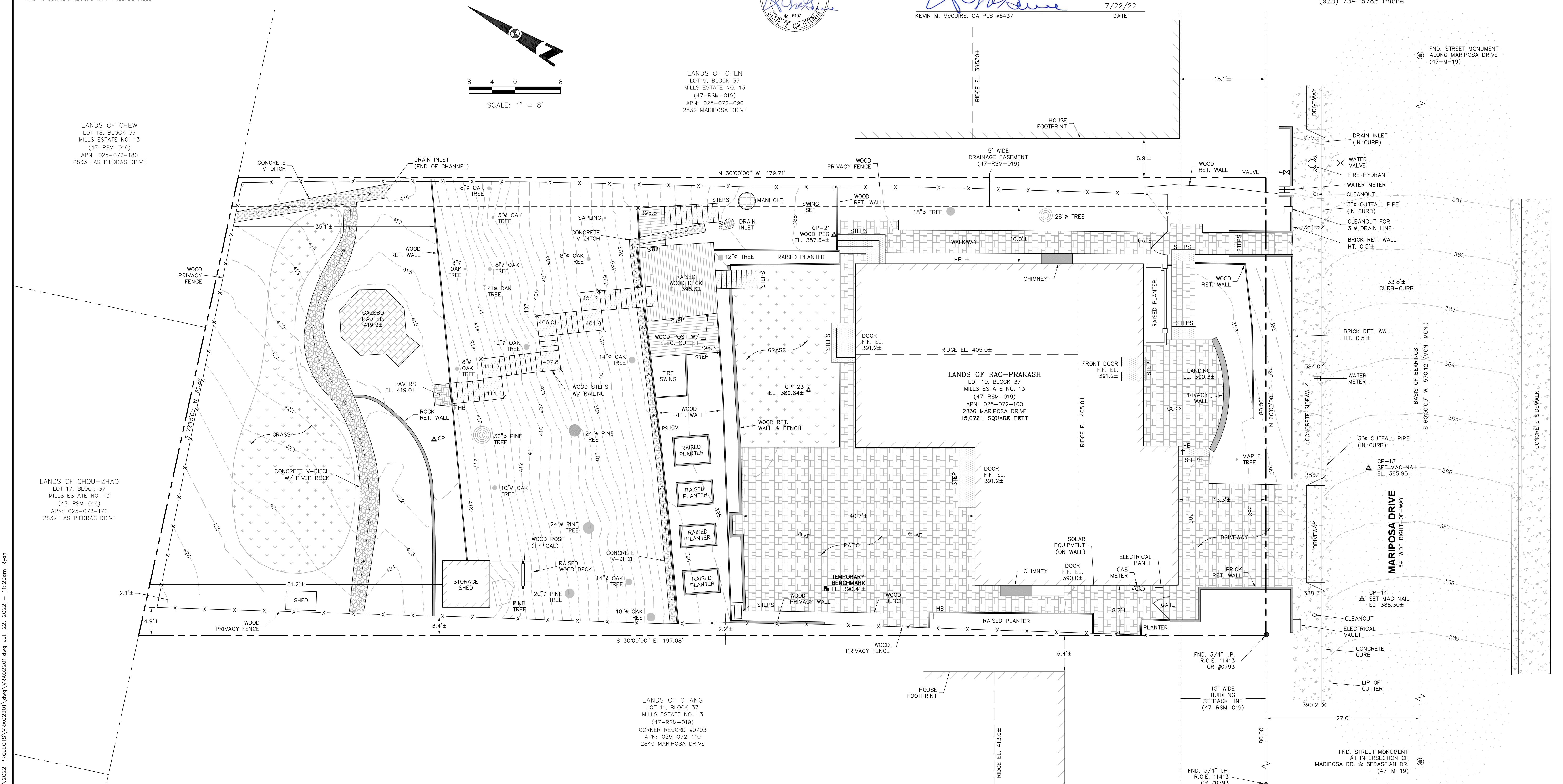
SCALE: 1" = 8'



QUIET RIVER
Land Services Inc.

6747 Sierra Court, Suite K
Dublin, CA 94568
(925) 734-6788 Phone

JULY 2022



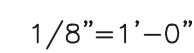
CITY OF BURLINGAME
CDD-PLANNING DIVISION

**2836 MARIPOSA DR.
BURLINGAME, CA**

architecture design interiors

7/25/22

A1.1



PARKS NOTES —

- 1 WATER METER AT STREET
- 2 LOCATION FOR FIRE RISER FOR FIRE PROTECTION. COORDINATE WITH DESIGN-BUILD/FIRE PROTECTION COMPANY FOR ALL NECESSARY MAIN WATER LINE FROM CITY METER. REFER TO APPROVED FIRE PROTECTION PLANS. SEE FORM W-1780 ON SHEET PW-1
- 3 WATER METER AT HOUSE

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DESIGN REVIEW 6/1/22

SHEET TITLE
**PUBLIC WORKS
STANDARD DETAILS**

PROJECT #: 2022-D
DRAWN BY: LL
DATE: 4/20/22
SCALE: N/A

DRAWING NUMBER

PW.1

PRIVATE SEWER LATERAL AND TESTING PROCEDURE AND REQUIREMENTS

ORDINANCE NO. 1329, WHICH WAS ADOPTED JULY 7, 1986 AND BECAME EFFECTIVE AUGUST 7, 1986 AND WAS MODIFIED BY ORDINANCE 1823 ON MARCH 23, 2000, REQUIRES THE ABATEMENT OF SEWER LATERALS AND CLEANOUTS WHICH ARE FOUND TO CONTAIN LEAKS OR SEPARATIONS. LATERALS COVERED ARE FROM THE BUILDING SERVED TO THE CLEANOUT IN THE CITY RIGHT-OF-WAY. THE ORDINANCE ALSO REQUIRES THE TESTING AND REPAIR OF LATERALS PRIOR TO THE SALE OF THE PROPERTY IF THE BUILDING WAS CONSTRUCTED 25 YEARS OR MORE BEFORE THE DATE OF SALE. DATE OF CONSTRUCTION SHALL BE THE DATE THE BUILDING PERMIT WAS FINALED. IN ADDITION, TESTING IS REQUIRED IF TWO (2) OR MORE PLUMBING FIXTURE UNITS ARE ADDED TO A PROPERTY. THE FOLLOWING PROCEDURES AND REQUIREMENTS ARE ADOPTED TO IMPLEMENT ORDINANCE NO. 1329.

IT SHALL BE THE OWNER'S RESPONSIBILITY TO DETERMINE IF TESTING IS NEEDED. CONTACT THE BUILDING DEPARTMENT TO DETERMINE THE AGE OF THE STRUCTURE AND IF THE LATERAL HAD BEEN TESTED AND/OR REPAIRED WITHIN THE PAST TEN (10) YEARS. IT CAN BE ASSUMED THAT TESTING AND REPAIRS HAVE NOT BEEN DONE UNLESS THE PROPERTY HAS BEEN ALTERED OR SOLD AFTER AUGUST 1986. IF THE LATERAL NEEDS TESTING, THE PROPERTY OWNER SHOULD RETAIN A CONTRACTOR OR PLUMBER TO PERFORM THE TEST. THE TEST SHALL BE PERFORMED AS FOLLOWS:

- THE TEST MUST BE WITNESSED BY A CITY REPRESENTATIVE TO MEET THE ORDINANCE REQUIREMENTS. THE CONTRACTOR OR OWNER SHALL FIRST OBTAIN AN ENDOACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT IN CITY HALL AND PAY AN ENDOACHMENT PERMIT FEE PER THE LATEST ENDOACHMENT PERMIT FEE SCHEDULE. OBTAINING THE PERMIT CAN BE DONE BEFORE OR CONCURRENTLY WITH SCHEDULING AN APPOINTMENT BUT IS REQUIRED AT THE TIME OF THE TEST. ALL ARRANGEMENTS AND SET UP SHOULD BE COMPLETED BY THE TIME THE CITY REPRESENTATIVE ARRIVES TO WITNESS THE TEST. CALL 650-558-7670 TO SCHEDULE AN APPOINTMENT.
- EACH LATERAL IS TO HAVE A CLEANOUT LOCATED IN THE CITY RIGHT-OF-WAY. IF A CLEAN OUT DOES NOT EXIST THEN ONE WILL BE REQUIRED TO BE INSTALLED. THE OWNERS CONTRACTOR WILL INSTALL THE CLEANOUT WITH AN ENDOACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT. CITY PERSONNEL CAN SPEND A LIMITED AMOUNT OF TIME TO ASSIST IN LOCATING AN EXISTING CLEANOUT OR LATERAL. A CLEANOUT LOCATED ADJACENT TO THE BUILDING WILL BE AN AID IN THE TESTING PROCESS OR LOCATING THE PIPE ROUTE FOR REPAIRS AND IS NOW REQUIRED IN THE UNIFORM PLUMBING CODE. A PLUMBING PERMIT FROM THE BUILDING DEPARTMENT IS REQUIRED FOR THE CLEANOUT ADJACENT TO THE BUILDING OR ANY WORK DONE ON PRIVATE PROPERTY.
- TESTING WILL BE ACCOMPLISHED BY EITHER A WATER EXFILTRATION TEST OR AN AIR TEST. THE AIR TEST SHALL BE USED IN HILLSIDE AREAS WHERE THE HYDRAULIC HEAD PRESSURES COULD DAMAGE THE PIPE.
 - WATER EXFILTRATION TEST: THE CONTRACTOR SHALL FURNISH ALL MATERIALS AND EQUIPMENT, EXCEPT THE CALIBRATED BUCKET. THE CONTRACTOR SHALL PLUG THE LATERAL AND RISE AT THE CITY CLEANOUT AND THEN SURCHARGE THE LINE WITH WATER TO A POINT EQUAL TO THE FOUNDATIONS GRADE (FLOOR JOIST LEVEL) OR CONCRETE SLAB, DEPENDING ON CONSTRUCTION. THE MINIMUM HEIGHT OF THE WATER LEVEL SHALL BE TWO FEET (2'-0") ABOVE THE FLOWLINE OF THE LATERAL AT THE CITY CLEANOUT. IF THERE IS ANY FUTURE INSIDE THE STRUCTURE LOWER THAN THE TESTING WATER LEVEL, THE CONTRACTOR SHALL HAVE TO EITHER PLUG THE FIXTURE OR THE LATERAL AT THE BUILDING AN APPROVED BACKWATER VALVE SHALL BE INSTALLED IF THERE ARE ANY PLUMBING FIXTURES BELOW THE LEVEL OF THE CITY CLEANOUT. A PLUMBING PERMIT IS REQUIRED FOR THIS WORK. THE CONTRACTOR MAY ALSO INSTALL OR USE AN EXISTING CLEANOUT NEAR THE STRUCTURE AT THE FOUNDATION GRADE (FLOOR JOIST LEVEL) OR CONCRETE SLAB FLOOR LEVEL TO ESTABLISH THE MINIMUM TWO FEET (2'-0") WATER LEVEL.

THE LATERAL SHALL REMAIN SURCHARGED FOR A PERIOD OF 30 MINUTES AND THE AMOUNT OF WATER LOST SHALL BE MEASURED. THE LATERAL SHALL BE CONSIDERED ACCEPTABLE IF THE AMOUNT OF WATER LOST IS LESS THAN FOUR (4) GALLONS. NO INCREASE OR ALLOWANCE IS ALLOWED FOR LONG LATERALS OR FOR LATERALS LARGER THAN THE 4-INCH MINIMUM SIZE. SEE STANDARD DRAWING SS-2 (3 OF 5).



PRIVATE SEWER LATERAL AND TESTING
PROCEDURE AND REQUIREMENTS
DEPARTMENT OF PUBLIC WORKS

APPROVED BY: [Signature]
DATE: 8/17/2008
DRAWING NO: SS-2
(1 of 4)

- AIR TEST: THE CONTRACTOR SHALL FURNISH ALL MATERIALS, EQUIPMENT AND LABOR FOR WITNESS THE TEST, EXCEPT THE PRESSURE TEST GAUGE. AIR TEST EQUIPMENT SHALL BE APPROVED BY THE CITY. THE CONTRACTOR SHALL CLEAN PIPE AND PLUG THE LATERAL AT THE BUILDING LINE AND THE CITY CLEANOUT. IF A CLEANOUT IS WITHIN TWO FEET (2'-0") OF THE BUILDING, THE LATERAL MAY BE PLUGGED AT THE CLEANOUT.

THE LEAKAGE TEST OF THE LATERAL SHALL BE CONDUCTED IN THE PRESENCE OF THE CITY IN THE FOLLOWING MANNER:

AIR SHALL BE SLOWLY SUPPLIED TO THE PLUGGED LATERAL UNTIL THE INTERNAL AIR PRESSURE REACHES 4.0 POUNDS PER SQUARE INCH GREATER THAN THE AVERAGE BACK PRESSURE OF ANY GROUNDWATER THAT MAY SUBMERGE THE PIPE. THE AIR PRESSURE SHALL BE REGULATED BY A SUITABLE REGULATOR VALVE.

AT LEAST TWO MINUTES SHALL BE ALLOWED FOR TEMPERATURE STABILIZATION BEFORE PROCEEDING FURTHER. THE RATE OF AIR LOSS SHALL THEN BE DETERMINED BY MEASURING THE TIME INTERVAL FOR THE INTERNAL PRESSURE TO DECREASE FROM 3.5 TO 2.5 POUNDS PER SQUARE INCH GREATER THAN THE AVERAGE BACK PRESSURE OF ANY GROUNDWATER THAT MAY SUBMERGE THE PIPE.

THE LATERAL SHALL BE CONSIDERED ACCEPTABLE IF THE TIME INTERVAL MEASURED FOR THE INTERNAL PRESSURE TO DROP FROM 3.5 TO 2.5 POUNDS PER SQUARE INCH IS 10 SECONDS OR GREATER. SEE STANDARD DRAWING SS-2 (4 OF 5).

- IF THE LATERAL PASSES THE TEST, IT SHALL BE CERTIFIED AS ACCEPTABLE AND THE SALE CAN TAKE PLACE WITHOUT ANY FURTHER ACTION. THE CERTIFICATION SHALL BE PLACED IN THE BUILDING DEPARTMENT FILE. THIS CERTIFICATION SHALL BE EFFECTIVE FOR TEN (10) YEARS.

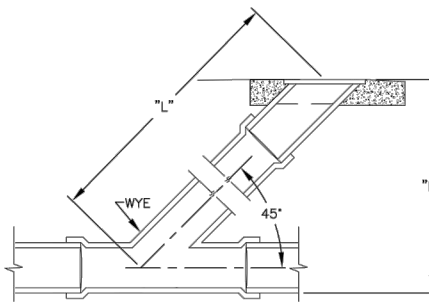
IF THE LATERAL FAILS THE TEST, THE LATERAL SHALL BE EITHER REPAIRED OR REPLACED AND RETESTED UNTIL THE LATERAL PASSES. THERE WILL BE NO ADDITIONAL FEE FOR RETEST ON REPAIRED OR REPLACED PIPING. A PLUMBING PERMIT WILL BE REQUIRED FOR ANY REPAIRS OR REPLACEMENT. AN ENDOACHMENT PERMIT MAY ALSO BE REQUIRED DEPENDING ON THE LOCATION OF THE REPAIR. A COMPLETE REPLACEMENT FROM BUILDING TO CITY CLEANOUT IS EFFECTIVE FOR 25 YEARS. A REPAIRED AND TESTED LATERAL IS EFFECTIVE FOR TEN (10) YEARS.

- THE CITY NEITHER HAS NOR WILL MAKE ANY DETERMINATION AS TO WHO WILL PAY FOR THE TESTING AND REPAIRING, THAT IS TO BE DECIDED BETWEEN THE PARTIES INVOLVED IN THE SALE.



PRIVATE SEWER LATERAL AND TESTING
PROCEDURE AND REQUIREMENTS
DEPARTMENT OF PUBLIC WORKS

APPROVED BY: [Signature]
DATE: 8/17/2008
DRAWING NO: SS-2
(2 of 4)



LENGTH OF THE STRIP (IN FEET)	VERTICAL DEPTH TO LATERAL AT 40' DEEPER (IN FEET)	TEST PRESSURES MINIMUM OF (IN PSI) (SEE NOTE #1)
1	0.7	0.7
2	1.4	1.4
3	2.1	2.1
4	2.8	2.8
5	3.5	3.5
6	4.2	4.2
7	4.9	4.9
8	5.7	5.7
9	6.4	6.4
10	7.1	7.1
11	7.8	7.8
12	8.5	8.5
13	9.2	9.2
14	9.9	9.9
15	10.6	10.6
16	11.3	11.3

- GROUND WATER IS ASSUMED AT 3'-0" BELOW GRADE.



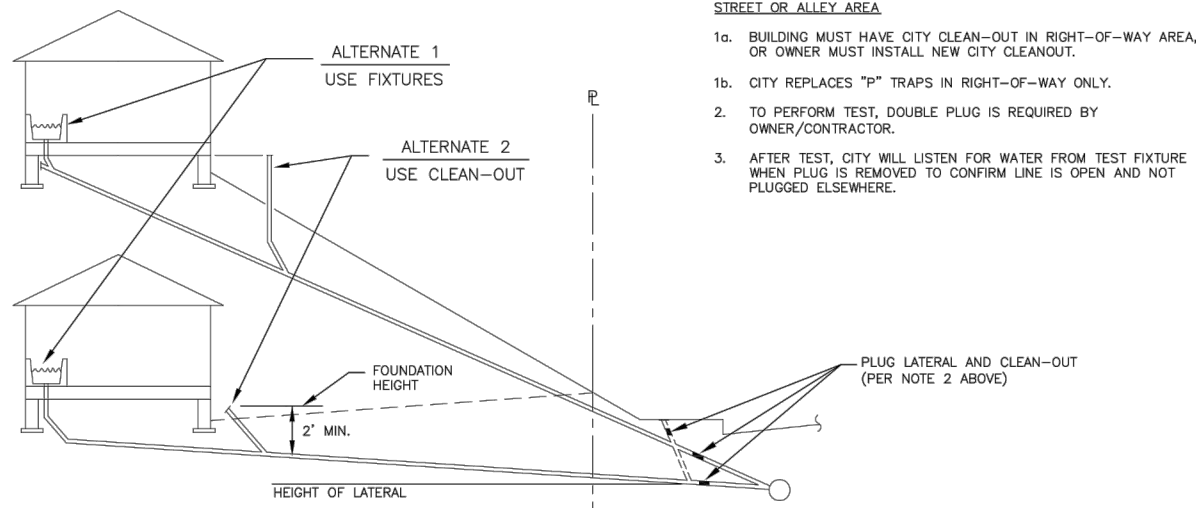
SEWER LATERAL TEST (AIR)
CITY ORDINANCE #1329
DEPARTMENT OF PUBLIC WORKS

APPROVED BY: [Signature]
DATE: 8/17/2008
DRAWING NO: SS-2
(3 of 4)



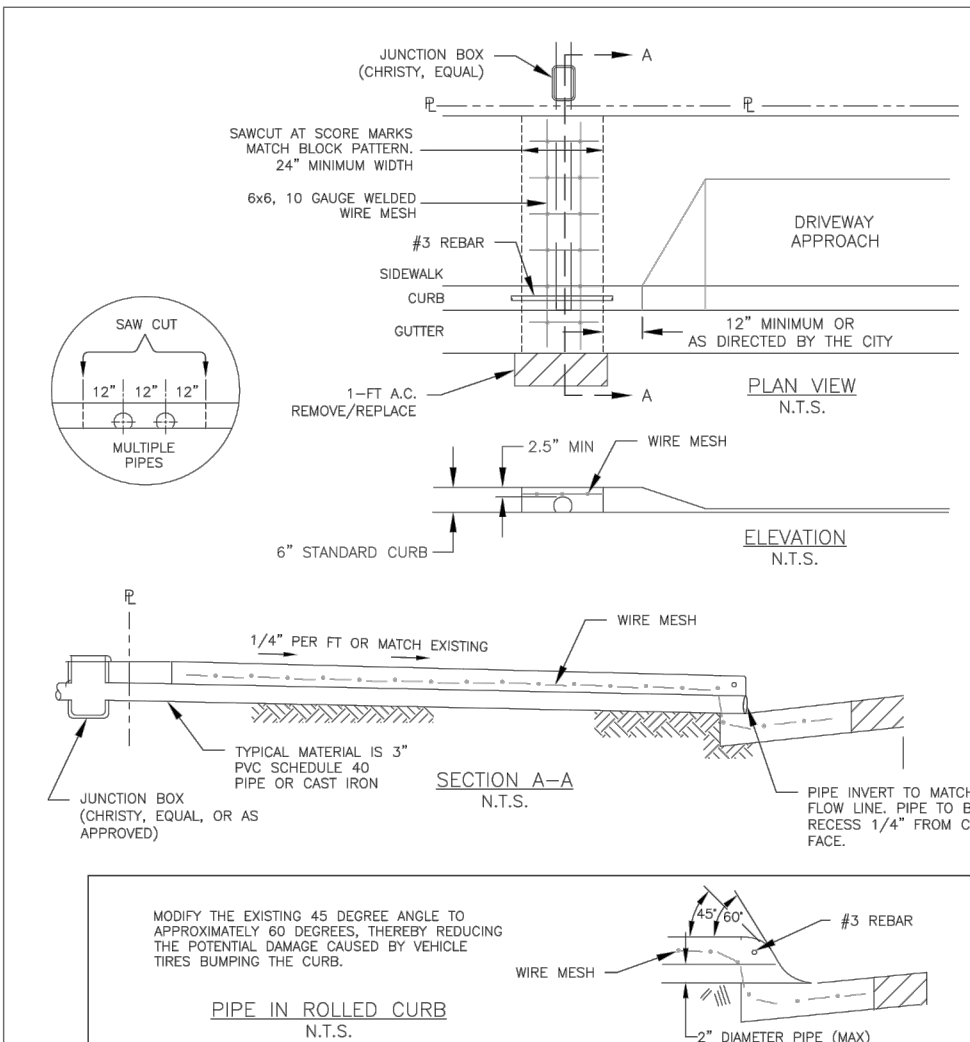
SEWER LATERAL TEST WATER
CITY ORDINANCE #1329
DEPARTMENT OF PUBLIC WORKS

APPROVED BY: [Signature]
DATE: 8/17/2008
DRAWING NO: SS-2
(3 of 4)



TEST PROCEDURE

- ALTERNATE 1 -
- USE LOWEST FIXTURE WHICH IS A MINIMUM OF 2' ABOVE THE LATERAL ELEVATION AT CLEAN-OUT
 - CHECK THE BASEMENT DRAINS OR SUMP PUMP.
 - REMOVE AND PLUG ALL ILLEGAL CONNECTIONS (i.e. ROOF DRAINS AND SUMP PUMP.)
 - FILL FIXTURE UNTIL WATER DOES NOT DRAIN.
 - MARK WATER LEVEL.
 - SHUT OFF BUILDING WATER SERVICE DURING CITY INSPECTION TEST.
 - WAIT 30 MINUTES AND REFILL TO MARK.
 - TEST PASSES IF WATER REFILLED IS FOUR (4) OR LESS GALLONS FOR FOUR (4) INCH OR SIX (6) INCH LATERAL.
- ALTERNATE 2 -
- INSTALL OR USE EXISTING CLEAN-OUT OR FIXTURE AT THE FOUNDATION LEVEL (FLOOR JOIST LEVEL) OR SLAB FLOOR LEVEL.
 - CONTINUE TEST AS IN ALTERNATE 1.

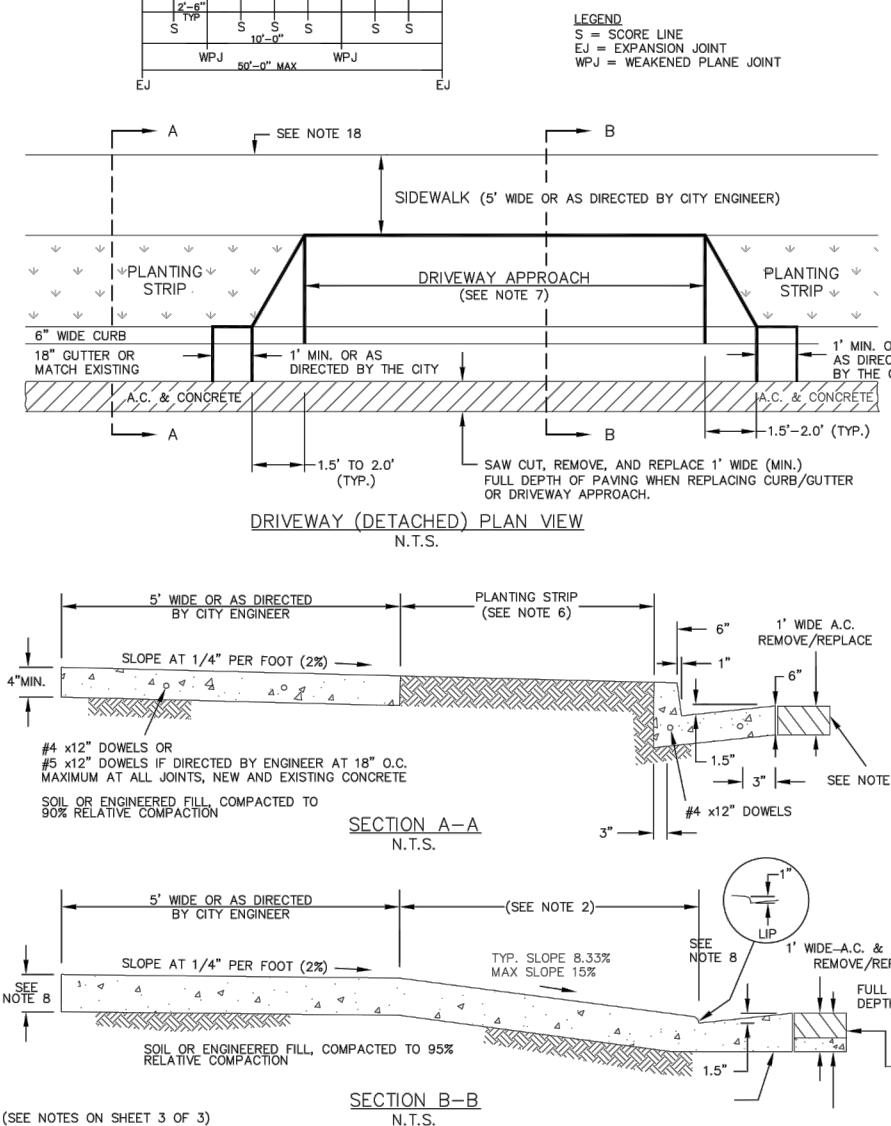
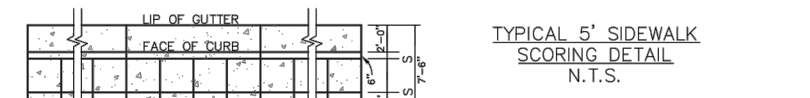


- NOTE:
- IF CURB FACE IS LESS THAN THE STANDARD 6" DEPTH AND THE MINIMUM COVER OF 2.5" CANNOT BE ATTAINED, DO ONE OR MORE OF THE FOLLOWING:
 - CONCRETE TO AN OVERLAP.
 - INSTALL WATERSHEDDING DA PIPE.
 - INSTALL A #2 REBAR OVER THE PIPE IN THE CURB FACE AREA.
 - ALL CONCRETE SHALL BE CLASS B (3 SACK MIX), 3/4" MAX. AGGREGATE, WITH 2LB.-LAMPRACK PER CUBIC YARD ADDED FOR COLORATION.
 - ALL CONCRETE SHALL HAVE A LIGHT BROOMED FINISH, COLORED AND SCORED TO MATCH SURROUNDING SIDEWALK. SEE SIDEWALK DETAIL DRAWING A-1099.



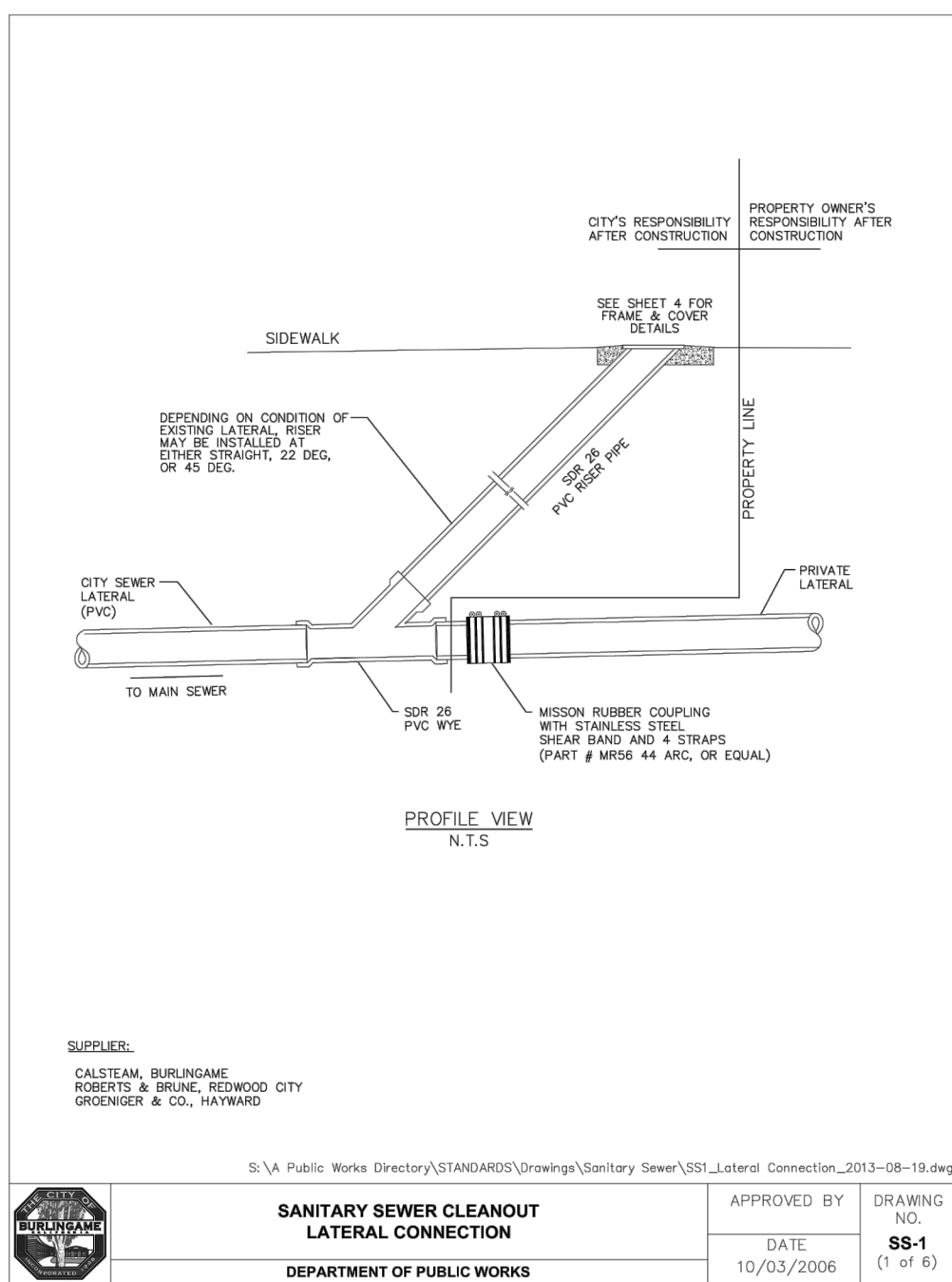
STANDARD CURB DRAIN
DEPARTMENT OF PUBLIC WORKS

APPROVED BY: [Signature]
DATE: 08/29/2006
DRAWING NO: SW-2



SIDEWALK DETAIL, DRIVEWAY, CURB AND GUTTER
DEPARTMENT OF PUBLIC WORKS

APPROVED BY: [Signature]
DATE: 8/9/2017
DRAWING NO: SW-1
(1 of 3)



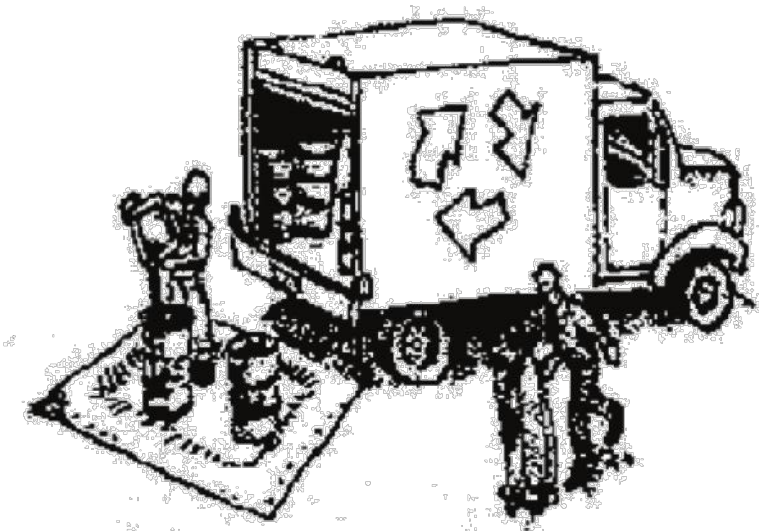
SANITARY SEWER CLEANOUT
LATERAL CONNECTION
DEPARTMENT OF PUBLIC WORKS

APPROVED BY: [Signature]
DATE: 10/03/2006
DRAWING NO: SS-1
(1 of 6)

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



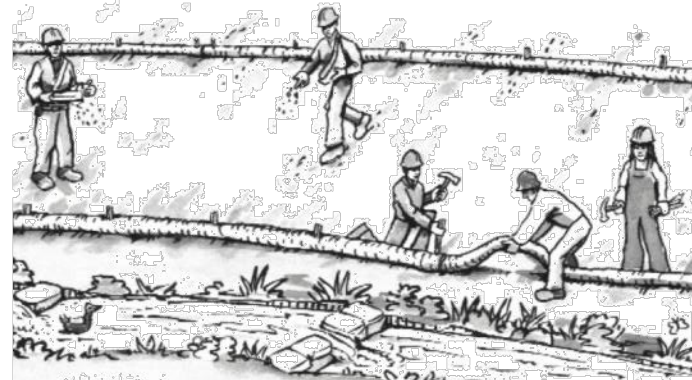
Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving

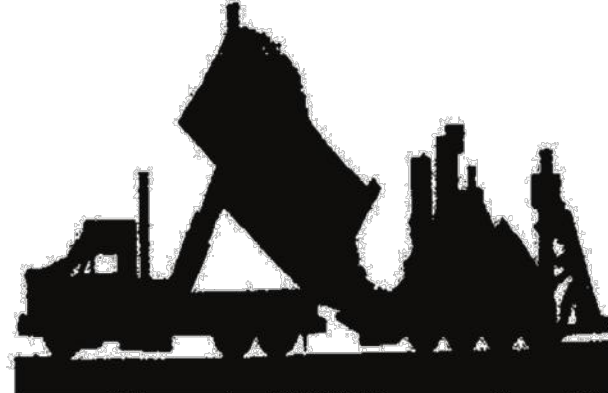


- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

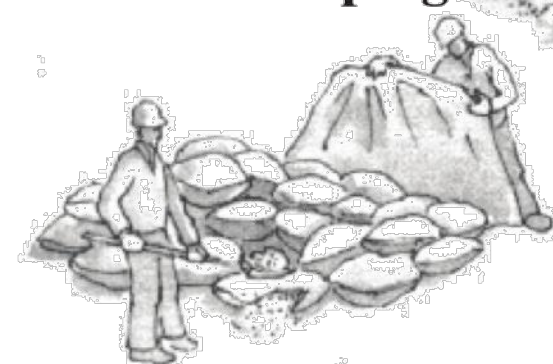
- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



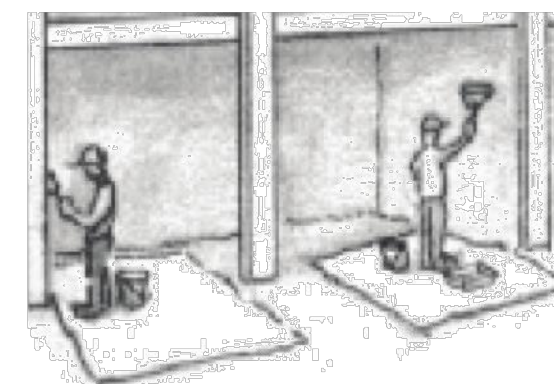
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

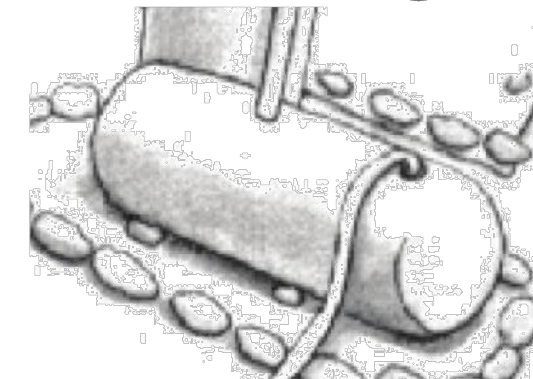
Painting & Paint Removal



Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

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DESIGN REVIEW 6/1/22

SHEET TITLE

CONSTRUCTION BEST MANAGEMENT PRACTICES

PROJECT #: 2021-D

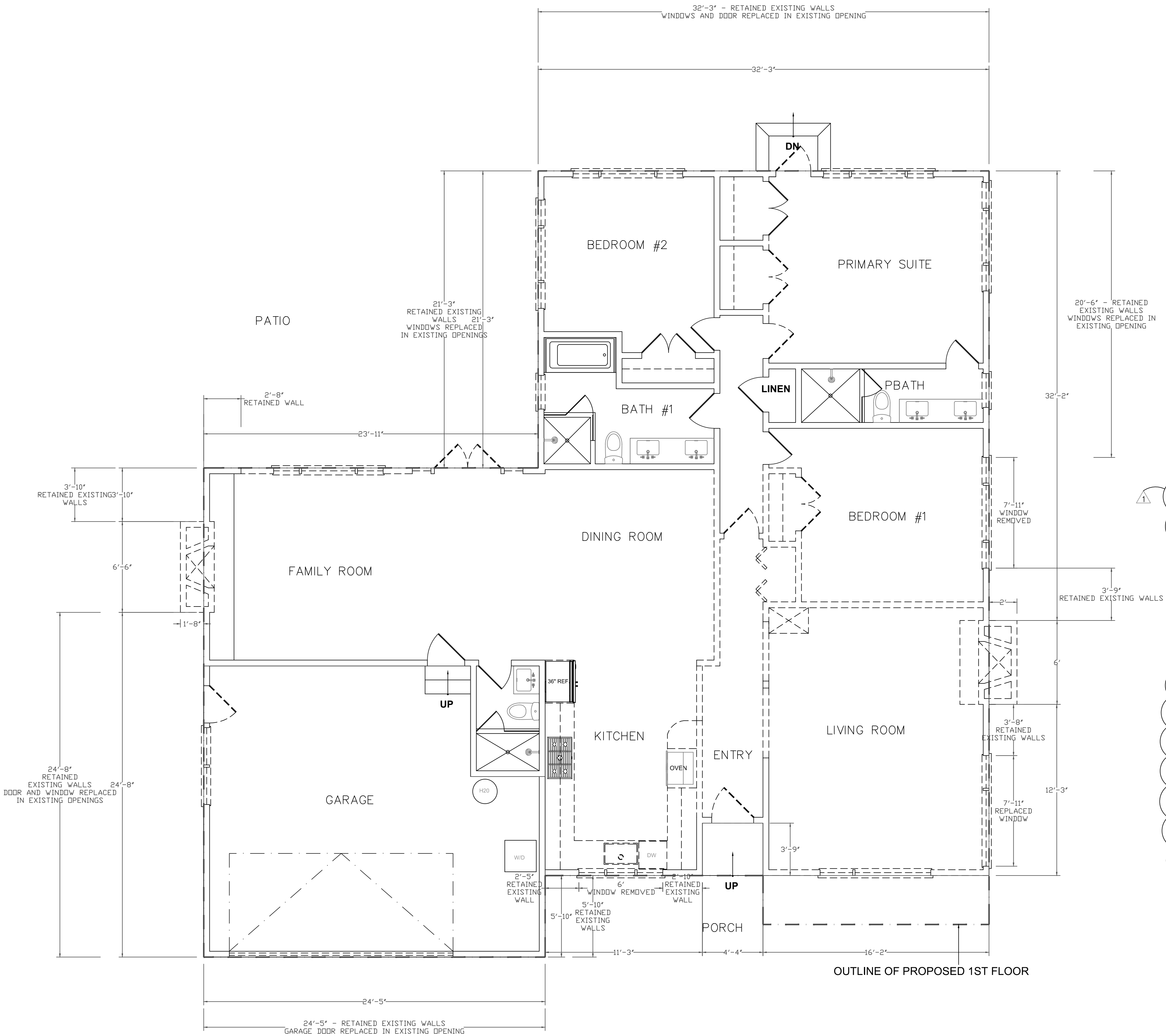
DRAWN BY: LL

DATE: 5/6/22

SCALE: N/A

DRAWING NUMBER

A1.2



EXISTING AND DEMOLITION PLAN

HOUSE - 1,983 SQFT
GARAGE - 467 SQFT

1/4"=1'-0"

GENERAL/SHEET NOTES

- ALL RUBBISH AND DEMOLITION TO BE HAULED OFF SITE. COMPLY WITH LOCAL WASTE MANAGEMENT PROGRAMS. PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.
- REMOVE EXISTING WINDOWS AS APPLICABLE AND PREPARE FOR INSTALLATION OF NEW WINDOWS. MODIFY OPENINGS TO ACCOMMODATE NEW ROUGH OPENINGS AS REQUIRED.
- DEMOLISH EXISTING WHERE SHOWN DASHED.
- PATCH AND PAINT EXTERIOR TO MATCH (E) AT (N) WINDOWS AND REPLACEMENT WINDOWS
- PROTECT ALL CONSTRUCTION TO REMAIN FROM DEMOLITION CREW.
- PROTECT ALL EXISTING FINISHES AND ITEMS TO REMAIN, WHERE CONDITIONS TO REMAIN ARE AFFECTED BY DEMOLITION, RELOCATION, NEW CONSTRUCTION, ETC. THE CONTRACTOR SHALL REPAIR, PATCH, REFINISH, OR REPLACE SAID ITEMS AS REQUIRED TO MATCH EXISTING AT NO CHARGE TO THE OWNER.
- ELECTRICIAN TO CAP AND PROVIDE COVER PLATE FOR ALL ELECTRICAL ITEMS TO BE REMOVED. CONSULT OWNER ON COLOR OF PLATE.
1) CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND NOTIFY DESIGNER OF ALL DISCREPANCIES BEFORE PROCEEDING WITH WORK.
- PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURES. PROVIDE AND PLACE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE, ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, DAMAGE OR INJURY.
- CEASE OPERATIONS AND NOTIFY THE OWNER IMMEDIATELY IF SAFETY OF THE STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
- ARRANGE AND PAY FOR DISCONNECTING, REMOVING AND CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION. DISCONNECT AND STUB OFF. NOTIFY THE EFFECTED UTILITY COMPANY IN ADVANCE AND OBTAIN APPROVAL BEFORE STARTING WORK.
- PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. IDENTIFY SERVICES LINES AND CAPPING LOCATIONS AN PROJECT RECORD DOCUMENTS.
- EXCEPT WHERE NOTED OTHERWISE, MAINTAIN POSSESSION OF MATERIALS BEING DEMOLISHED. IMMEDIATELY REMOVE FROM SITE.
- DEMOLISH IN A ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK, INCLUDING THAT REQUIRED FOR CONNECTION TO THE EXISTING BUILDING. PROTECT THE EXISTING FOUNDATIONS AND SUPPORTING STRUCTURAL MEMBERS, PHASE DEMOLITION IN ACCORDANCE WITH CONSTRUCTION SCHEDULE.
- CONTRACTOR TO CAP ALL UNUSED PLUMBING AS REQUIRED TO PREVENT LEAKAGE. RETROFIT EXISTING AS REQUIRED FOR CONNECTION OF NEW PLUMBING FIXTURES.

EXISTING WALL INVENTORY

LENGTH OF EXISTING EXTERIOR WALLS

LENGTH
32'-3"
32'-2"
2'-0"
6'-0"
2'-0"
12'-3"
16'-2"
3'-9"
4'-4"
3'-9"
11'-3"
5'-10"
24'-5"
24'-8"
1'-8"
6'-6"
1'-8"
3'-10"
23'-11"
21'-3"

TOTAL EXISTING EXT. WALLS

LENGTH OF RETAINED EXTERIOR WALLS

32'-3"	
20'-6"	
3'-9"	
3'-8"	
2'-10"	
2'-5"	
5'-10"	
24'-10"	
24'-8"	
3'-10"	
2'-8"	
21'-3"	

WINDOWS REMOVED IN RETAINED WALLS

7'-11"
7'-11"
6'-0"

TOTAL WINDOWS REMOVED

21'-10"

IN RETAINED WALLS

148'-6"
<21'-10">
126'-8"

RETAINED EXT. WALLS

MINUS WINDOWS REMOVED IN RETAINED WALLS

RETAINED EXT. WALLS

PERCENTAGE OF EXISTING WALLS RETAINED

126.67/239.67' = 53%

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DESIGN REVIEW 6/1/22

DESIGN REVIEW COMMENTS

7/25/22

SHEET TITLE

EXISTING AND DEMOLITION PLAN

PROJECT #: 2021-D

DRAWN BY: LL

DATE: 3/11/22

SCALE: 1/4" = 1'-0"

DRAWING NUMBER

A2.0

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DESIGN REVIEW

▲ DESIGN REVIEW COMMENTS

7/25/22

SHEET TITLE
CONSTRUCTION PLAN

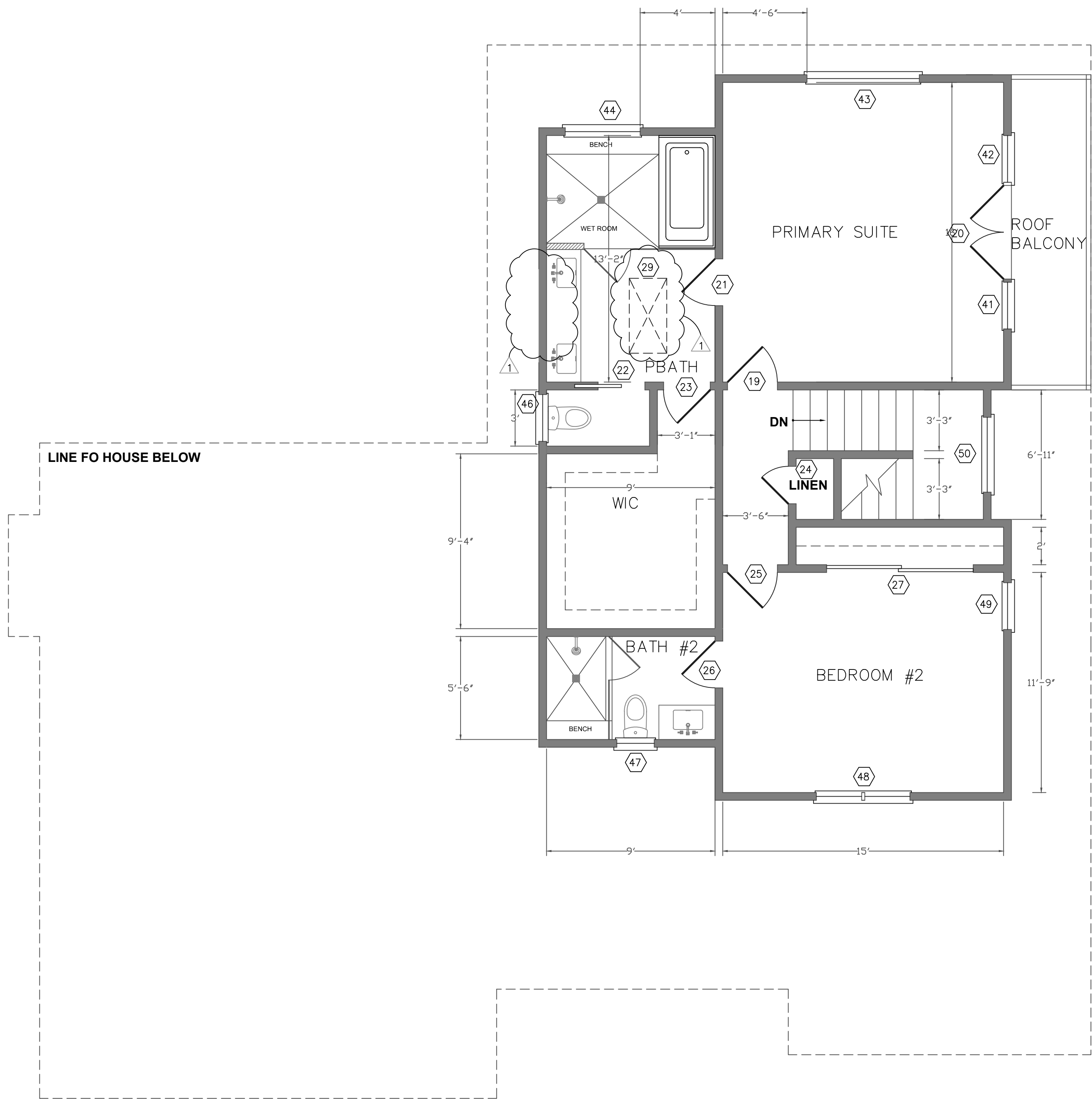
PROJECT #: 2021-D
DRAWN BY: LL
DATE: 3/11/22
SCALE: 1/4" = 1'-0"

DRAWING NUMBER

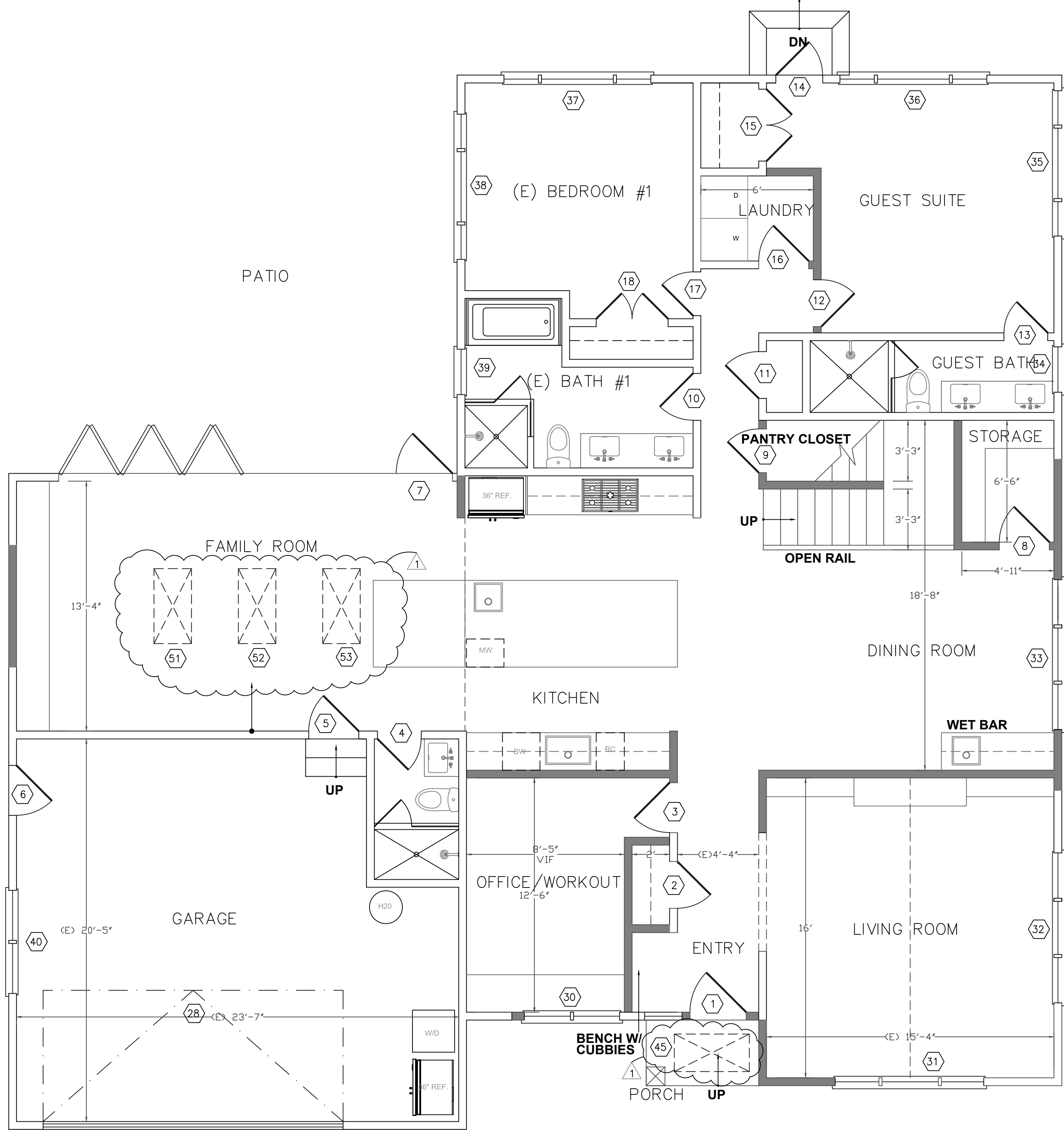
A2.1

DOOR AND WINDOW SCHEDULE									
KEY	DOOR/WINDOW SIZE (W x H)	DESCRIPTION	TYPE	FINISH	MATL	TYPE	FINISH	HARDWARE NOTES/ SILL HT.	REMARKS
1	36" X 80"	A	SC	WD	WD	WD	S.P.	MORTISE LOCKSET	24" X 80" SINGLE LITE SIDELITE
2	30" X 80"	A	SC	WD	WD	WD	S.P.	PASSAGE	
3	30" X 80"	A	SC	WD	WD	WD	S.P.	PASSAGE	
4	(E) 28" X 80"	A	SC	WD	WD	WD	S.P.	PRIVACY	
5	(E) 32" X 80"	A	SC	WD	WD	WD	S.P.	D/B KEYED LOCK	FIRE RATED DOOR ON CLOSER
6	(E) 32" X 80"	A	SC	WD	WD	WD	S.P.	LOCKSET	EXTERIOR GRADE DOOR
7	21" X 7"	D	FB/WD	WD	WD	WD	S.P.	LOCKSET	SINGLE LITE, TEMPERED GLASS
8	32" X 80"	A	SC	WD	WD	WD	S.P.	PASSAGE	
9	28" X 80"	A	SC	WD	WD	WD	S.P.	PASSAGE	
10	(E) 30" X 80"	A	SC	WD	WD	WD	S.P.	PRIVACY	
11	(E) 30" X 80"	A	SC	WD	WD	WD	S.P.	PASSAGE	
12	(E) 30" X 80"	A	SC	WD	WD	WD	S.P.	PASSAGE	
13	(E) 28" X 80"	A	SC	WD	WD	WD	S.P.	PRIVACY	
14	(E) 30" X 80"	A	SC	WD	WD	WD	S.P.	LOCKSET	SINGLE LITE, TEMPERED GLASS
15	46" X 80"	C	SC	WD	WD	WD	S.P.	DUMMY SET	BALL CATCH
16	32" X 80"	A	SC	WD	WD	WD	S.P.	PASSAGE	REQUIRED VENT IN DOOR
17	(E) 30" X 80"	A	SC	WD	WD	WD	S.P.	PASSAGE	
18	(E) 30" X 80"	A	SC	WD	WD	WD	S.P.	PRIVACY	
19	32" X 80"	A	SC	WD	WD	WD	S.P.	PRIVACY	
20	60" X 84"	C	SC	WD	WD	WD	S.P.	LOCKSET	SINGLE LITE, TEMPERED GLASS
21	30" X 80"	A	SC	WD	WD	WD	S.P.	PRIVACY	
22	30" X 80"	E	SC	WD	WD	WD	S.P.	PKT. DR. LOCK	
23	30" X 80"	A	SC	WD	WD	WD	S.P.	PASSAGE	
24	24" X 80"	A	SC	WD	WD	WD	S.P.	PASSAGE	
25	32" X 80"	A	SC	WD	WD	WD	S.P.	PASSAGE	
26	30" X 80"	A	SC	WD	WD	WD	S.P.	PRIVACY	
27	96" X 80"	B	SC	WD	WD	WD	S.P.	REC PULLS	H/D BI-PASS HARDWARE
28	(E) 16" X 7"	F	WD	WD	WD	S.P.		GARAGE DOOR	
29	24" X 48"	F						VELUX, FIXED FLAT CURB MTD. SKYLIGHT	
30	30" X 48"	H	FB/WD	WD	WD	WD	S.P.		30" FLANKERS
31	96" X 48"	I	FB/WD	WD	WD	WD	S.P.		30" FLANKERS
32	96" X 48"	I	FB/WD	WD	WD	WD	S.P.		30" FLANKERS
33	96" X 48"	I	FB/WD	WD	WD	WD	S.P.		30" FLANKERS

DOOR AND WINDOW SCHEDULE									
KEY	DOOR/WINDOW SIZE (W x H)	DESCRIPTION	TYPE	FINISH	MATL	TYPE	FINISH	HARDWARE NOTES/ SILL HT.	REMARKS
34	(E) 29" X 34"	I	FB/WD	WD	WD	WD	S.P.		OBSURE, TEMPERED GLASS
35	(E) 94" X 46"	I	FB/WD	WD	WD	WD	S.P.		
36	(E) 94" X 46"	I	FB/WD	WD	WD	WD	S.P.		
37	(E) 94" X 46"	I	FB/WD	WD	WD	WD	S.P.		
38	(E) 94" X 46"	I	FB/WD	WD	WD	WD	S.P.		
39	(E) 30" X 46"	G	FB/WD	WD	WD	WD	S.P.		OBSURE, TEMPERED GLASS
40	(E) 66" X 34"	J	FB/WD	WD	WD	WD	S.P.		
41	30" X 48"	G	FB/WD	WD	WD	WD	S.P.		
42	30" X 48"	G	FB/WD	WD	WD	WD	S.P.		
43	72" X 24"	K	FB/WD	WD	WD	WD	S.P.		
44	48" X 24"	K	FB/WD	WD	WD	WD	S.P.		
45	24" X 48"	F							VELUX, FIXED FLAT CURB MTD. SKYLIGHT
46	24" X 42"	G	FB/WD	WD	WD	WD	S.P.		OBSURE, TEMPERED GLASS
47	24" X 24"	G	FB/WD	WD	WD	WD	S.P.		OBSURE, TEMPERED GLASS
48	30" X 48"	H	FB/WD	WD	WD	WD	S.P.		
49	30" X 42"	G	FB/WD	WD	WD	WD	S.P.		
50	48" X 78"	F	FB/WD	WD	WD	WD	S.P.		
51	24" X 48"	F							VELUX, FIXED FLAT CURB MTD. SKYLIGHT
52	24" X 48"	F							VELUX, FIXED FLAT CURB MTD. SKYLIGHT
53	24" X 48"	F							VELUX, FIXED FLAT CURB MTD. SKYLIGHT
DOOR TYPE AND WINDOW ELEVATIONS					ABBREVIATIONS				
					S.C. SOLID CORE S.P. SATIN PAINT AL ALUMINUM WD WOOD FB FIBERGLASS FB/WD FIBERGLASS/WOOD				



2 CONSTRUCTION PLAN - 2ND FLOOR
1/4"=1'-0"



1 CONSTRUCTION PLAN - 1ST FLOOR
1/4"=1'-0"

PROJECT DATA

ZONING DISTRICT: RS-6
CONSTRUCTION TYPE: V-B
OCCUPANCY TYPE:

FLOOR AREA RATIO INFORMATION
LOT SIZE: 15,072 SF
ALLOWABLE FAR FOR THE HOUSE: 32% OF LOT PLUS 1100 SF
ALLOWABLE FAR FOR THE HOUSE: 4,823 SF + 1,100 SF = 5,923 SF
EXISTING FAR HOUSE: HOUSE = 1,983 SF
GARAGE = 467 SF
TOTAL EXISTING FAR HOUSE: 2,450 SF

PROPOSED FAR HOUSE: (E) HOUSE = 1,983 SF
1ST FLOOR ADDITION = 104 SF
(E) GARAGE (NO CHANGE) = 467 SF
2ND FLOOR ADDITION = 918 SF
TOTAL PROPOSED FAR HOUSE: 3,472 SF

LOT COVERAGE INFORMATION
ALLOWABLE LOT COVERAGE - .40 X 15,072 SF = 6,029 SF
EXISTING LOT COVERAGE: 1,983 SF (HOUSE) + 467 SF (GAR) = 2,450 SF
PROPOSED LOT COVERAGE: 2,087 SF (HOUSE 1ST FLOOR) + 467 SF (GAR)
= 2,554 SF

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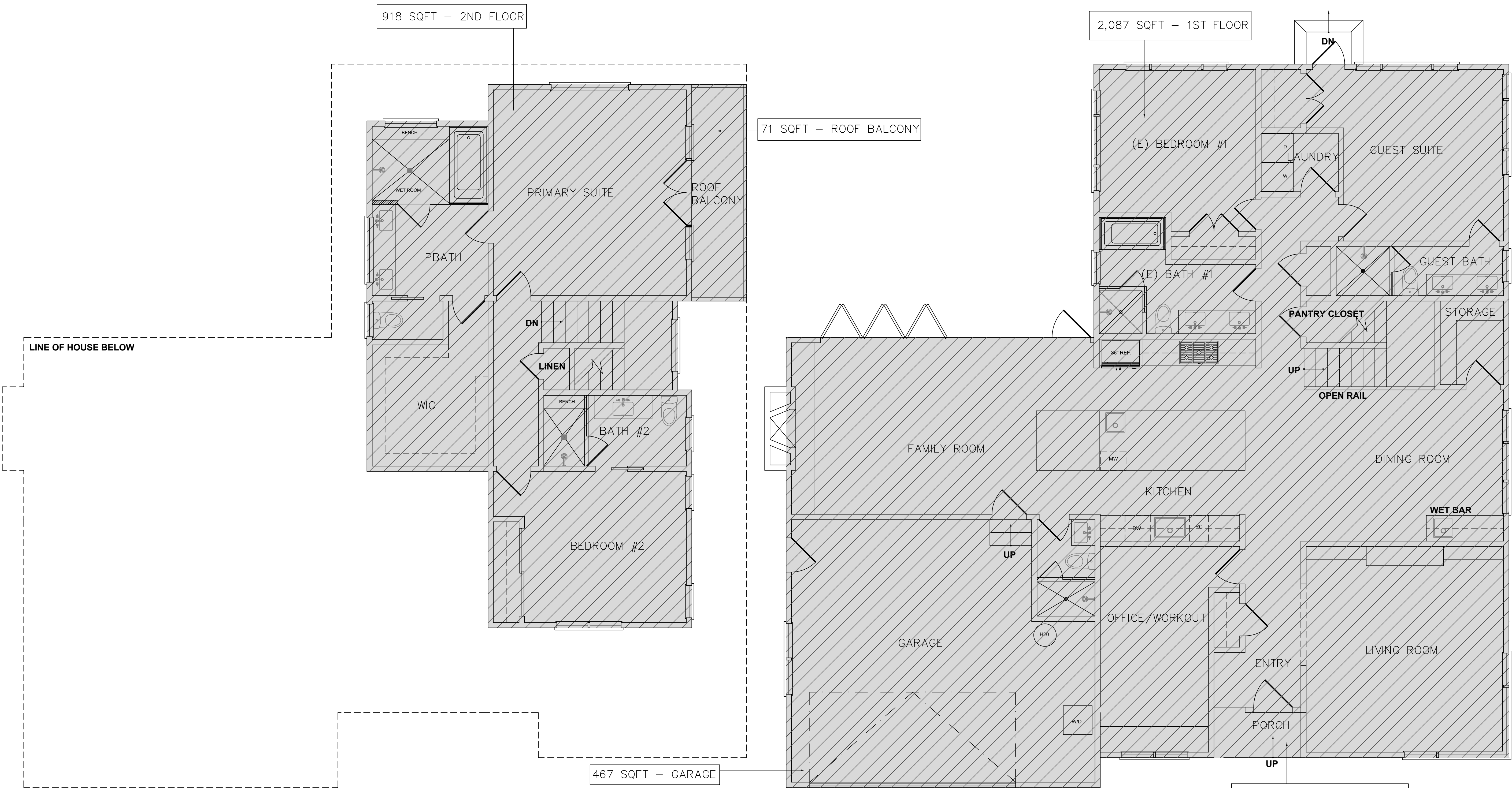
DESIGN REVIEW 6/1/22

SHEET TITLE
AREA CALCULATIONS

PROJECT #: 2021-D
DRAWN BY: LL
DATE: 5/6/22
SCALE: 1/4" = 1'-0"

DRAWING NUMBER

A2.1A



2 AREA CALCULATION - 2ND FLOOR
1/4"=1'-0"

1 AREA CALCULATION - 1ST FLOOR
1/4"=1'-0"

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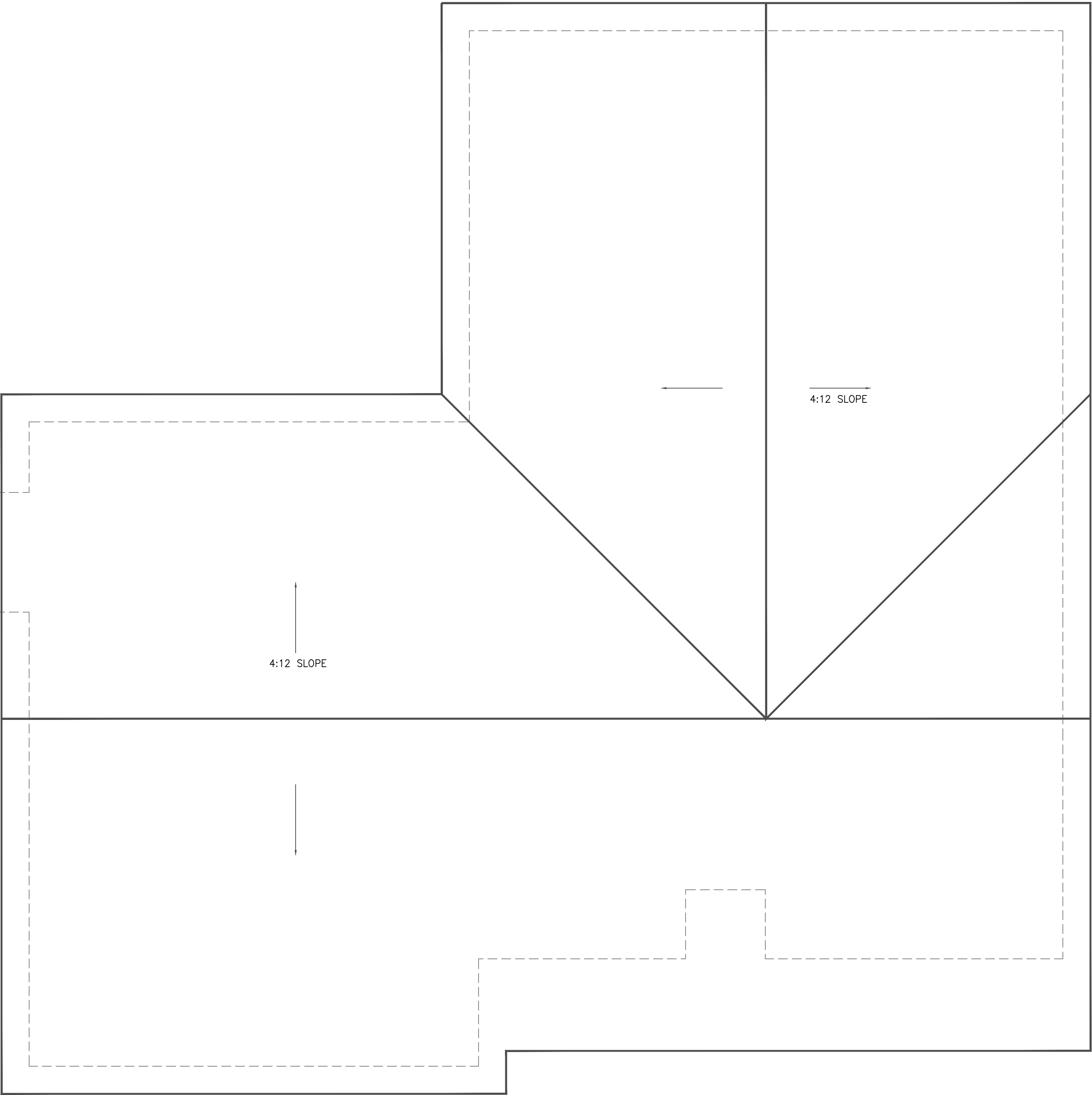
DESIGN REVIEW 6/1/22

SHEET TITLE
EXISTING ROOF PLAN

PROJECT #: 2021-D
DRAWN BY: LL
DATE: 4/18/22
SCALE: 1/4" = 1'-0"

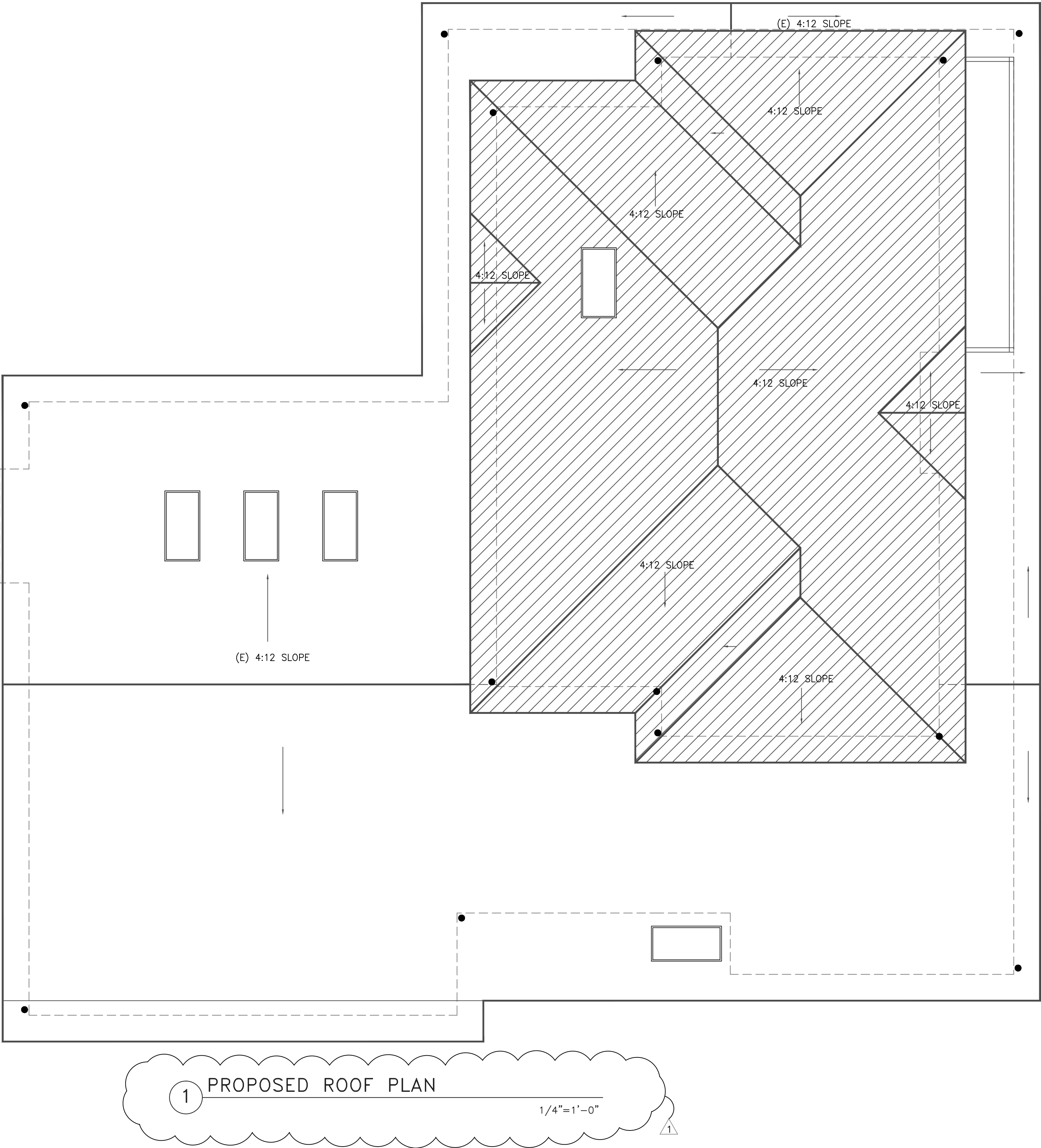
DRAWING NUMBER

A2.3



1 EXISTING ROOF PLAN

1/4"=1'-0"



SHEET NOTES

- ① ROOF EAVES WILL NOT PROJECT WITHIN TWO FEET OF PROPERTY LINE. 2019 CRC TABLE R302.1(1). EAVES THAT DO PROJECT WITHIN 2 FEET OF THE PROPERTY LINE ARE REQUIRED TO BE CONSTRUCTED OF ONE-HOUR FIRE-RESISTANCE RATED CONSTRUCTION. 2019 CRC R302.1(1)
- ② HATCHED AREA INDICATES NEW ROOF
- ③ MATCH (E) ROOF MATERIAL
- ④ ● – DOWNSPOUTS, TIE INTO (E) DOWNSPOUT AND STORM DRAINAGE SYSTEM
- ⑤ ROOF MATERIAL: 50 YEAR COMPOSITE SHINGLE ROOF WITH DOUBLE UNDERLAYMENT APPLICATION PER CRC 308.4
- ⑥ COMPLY WITH 2019 CALIFORNIA ENERGY FOR COOL ROOF REQUIREMENTS.

ATTIC VENTILATION

ATTIC VENTILATION CALCULATION –
AREA OF PROPOSED NEW ATTIC SPACE
1 SQUARE FOOT FOR 150 SQFT OF ATTIC SPACE

1ST FLOOR ATTIC SPACE –
REQUIRED VENTILATION – SQFT/150 SQFT = SQFT
PROVIDE–12X24 DORMER ATTIC VENTS – 1 VENT = .69 SQFT VENTILATION
PROVIDE– ATTIC VENTS = SQFT VENTILATION

2ND FLOOR ATTIC SPACE –
REQUIRED VENTILATION – SQFT/150 SQFT = SQFT
PROVIDE–12X24 DORMER ATTIC VENTS – 1 VENT = .69 SQFT VENTILATION
PROVIDE– ATTIC VENTS = SQFT VENTILATION

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DESIGN REVIEW

△ DESIGN REVIEW COMMENTS

7/25/22

SHEET TITLE
PROPOSED ROOF PLAN

PROJECT #: 2021–D
DRAWN BY: LL
DATE: 5/3/22
SCALE: 1/4” = 1’–0”

DRAWING NUMBER

A2.4

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DESIGN REVIEW 6/1/22

DESIGN REVIEW COMMENTS

7/25/22

SHEET TITLE
EXISTING AND
PROPOSED FRONT
ELEVATION

PROJECT #: 2022-D
DRAWN BY: LL
DATE: 4/21/22
SCALE: 1/4" = 1'-0"

DRAWING NUMBER

A4.0

EXTERIOR FINISHES

1. (N) WINDOWS AND EXTERIOR DOORS - FIBERGLASS/WOOD CLAD WINDOWS
2. (N) FRONT DOOR - STAINED GRADE EXTERIOR WOOD
3. (N) 4 PANEL ROLL-UP GARAGE DOOR - STAIN GRADE EXTERIOR WOOD
4. EXTERIOR FINISH #1 - STAINED CEDAR SIDING
5. EXTERIOR FINISH #2 - INTEGRATED COLOR STUCCO
6. TRIM - PAINTED WOOD TRIM - WINDOW TRIM, FASCIA
7. ROOF - COMPOSITE SHINGLE TO MATCH EXISTING - DARK GREY
8. MAIN HOUSE FRONT PORCH - (N) STONE TILES
9. ROOF BALCONY RAIL - DARK BRONZE POST AND HORIZONTAL FLAT BARS

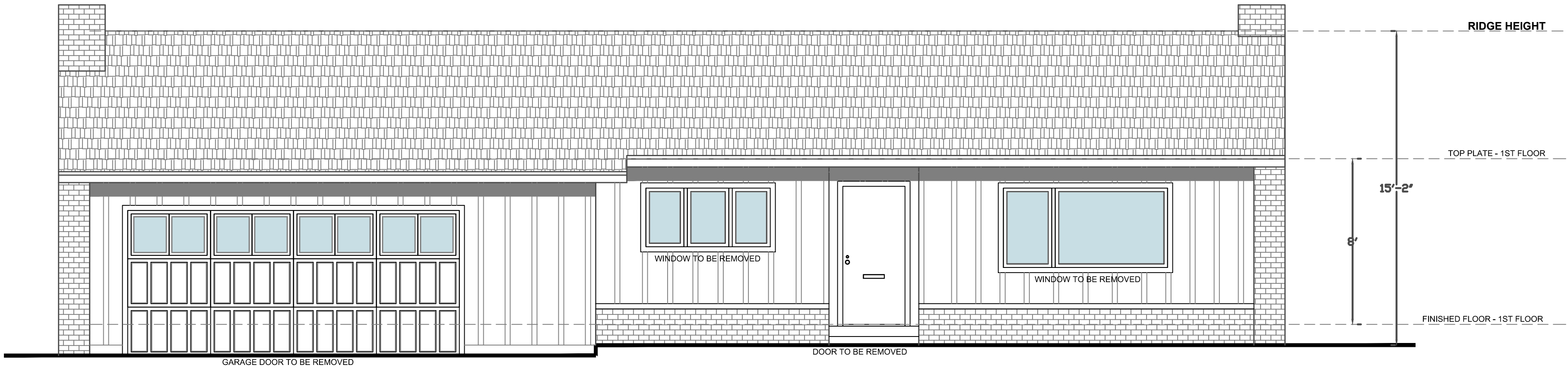
CRAWL SPACE VENTILATION

CRAWL SPACE VENTILATION CALCULATION

AREA OF CRAWL SPACE = 2,006 SQFT
1 SQUARE FOOT FOR 150 SQFT OF CRAWL SPACE
REQUIRED VENTILATION - 2,006 SQFT/150 SQFT = 13.37 SQFT

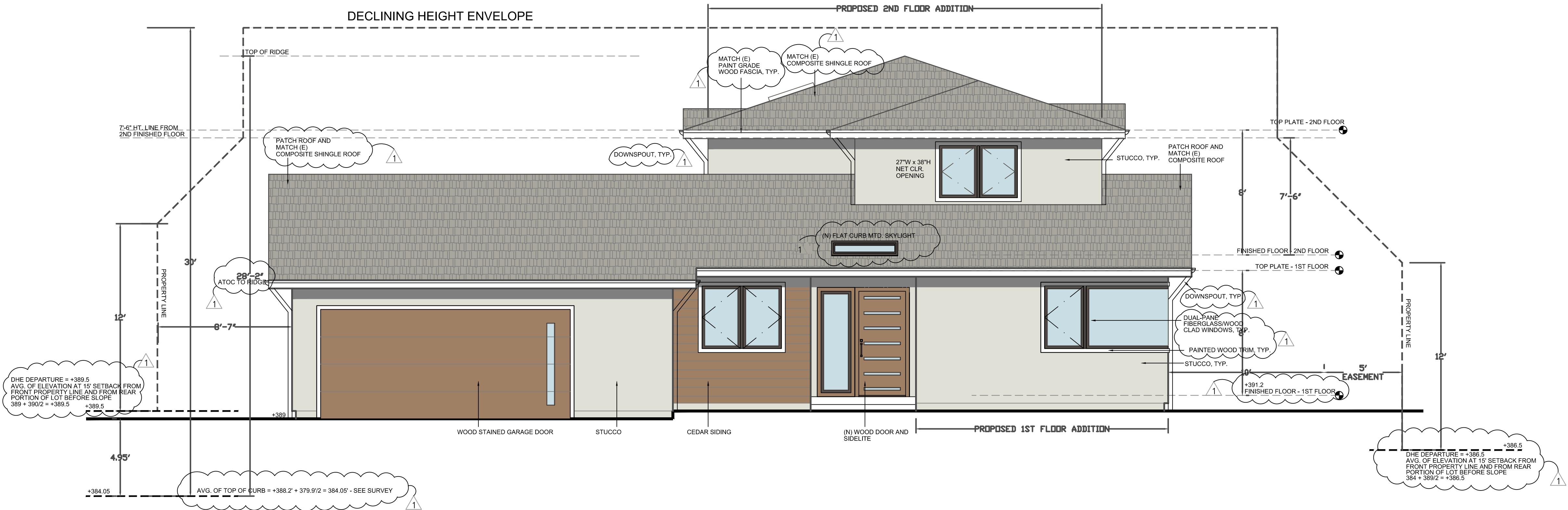
PROVIDE - 14 - 6X24 CRAWL SPACE VENTS - 1 VENT = 1 SQFT VENTILATION

TOTAL VENTILATION PROVIDED - 14 SQFT



1 EXISTING FRONT ELEVATION

1/4"=1'-0"



2 PROPOSED FRONT ELEVATION

1/4"=1'-0"

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DESIGN REVIEW 6/1/22

DESIGN REVIEW COMMENTS

7/25/22

SHEET TITLE
EXISTING AND
PROPOSED REAR
ELEVATION

PROJECT #: 2022-D
DRAWN BY: LL
DATE: 4/21/22
SCALE: 1/4" = 1'-0"

DRAWING NUMBER

A4.1

EXTERIOR FINISHES

1. (N) WINDOWS AND EXTERIOR DOORS - FIBERGLASS/WOOD CLAD WINDOWS
2. (N) FRONT DOOR - STAINED GRADE EXTERIOR WOOD
3. (N) 4 PANEL ROLL-UP GARAGE DOOR - STAIN GRADE EXTERIOR WOOD
4. EXTERIOR FINISH #1 - STAINED CEDAR SIDING
5. EXTERIOR FINISH #2 - INTEGRATED COLOR STUCCO
6. TRIM - PAINTED WOOD TRIM - WINDOW TRIM, FASCIA
7. ROOF - COMPOSITE SHINGLE TO MATCH EXISTING - DARK GREY
8. MAIN HOUSE FRONT PORCH - (N) STONE TILES
9. ROOF BALCONY RAIL - DARK BRONZE POST AND HORIZONTAL FLAT BARS

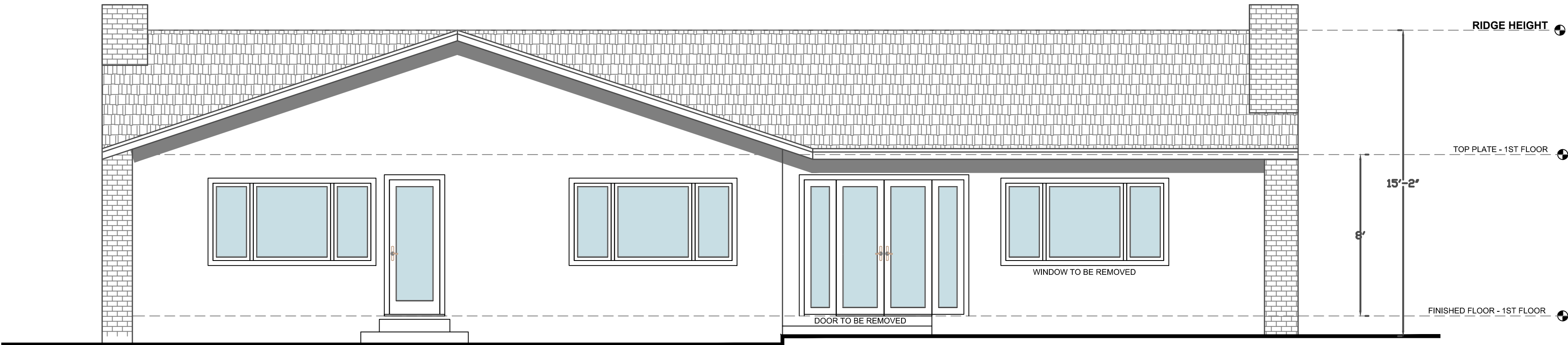
CRAWL SPACE VENTILATION

CRAWL SPACE VENTILATION CALCULATION

AREA OF CRAWL SPACE = 2,006 SQFT
1 SQUARE FOOT FOR 150 SQFT OF CRAWL SPACE
REQUIRED VENTILATION - 2,006 SQFT/150 SQFT = 13.37 SQFT

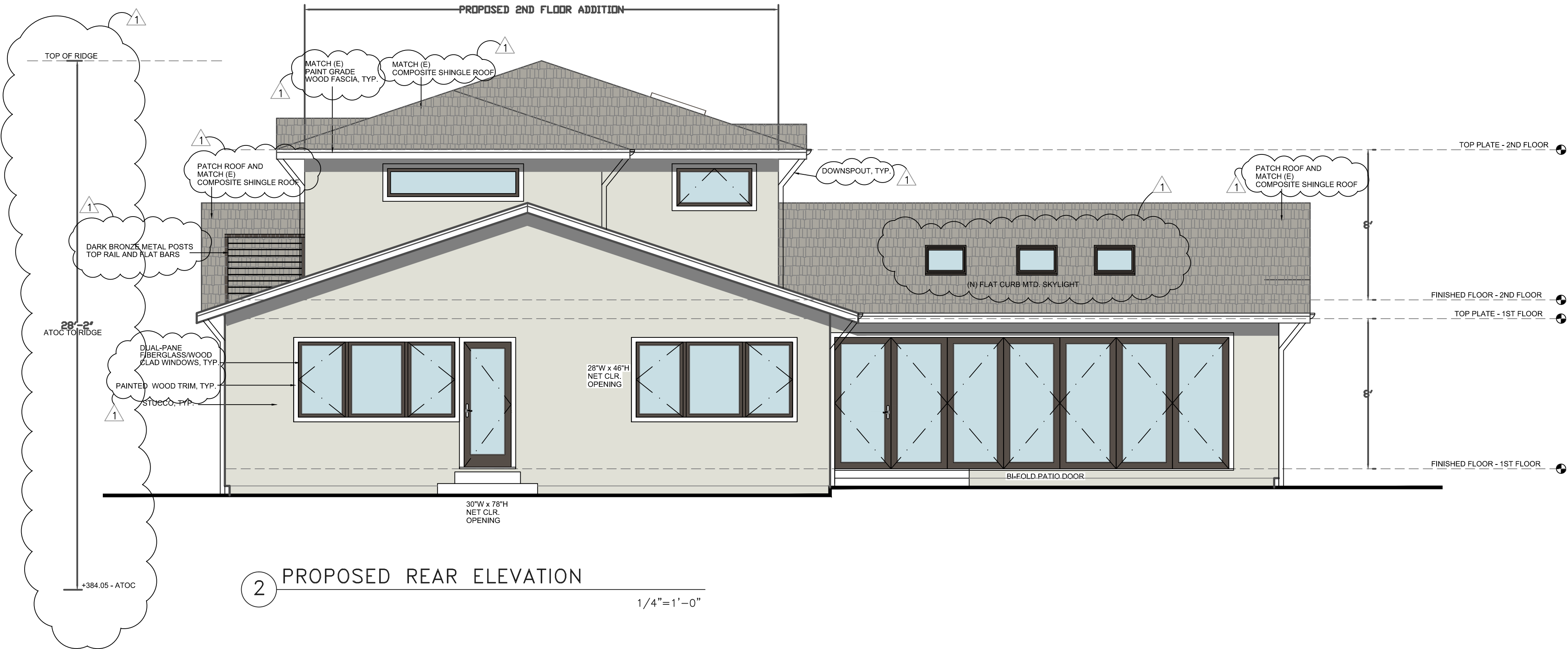
PROVIDE - 14 - 6X24 CRAWL SPACE VENTS - 1 VENT = 1 SQFT VENTILATION

TOTAL VENTILATION PROVIDED - 14 SQFT



1 EXISTING REAR ELEVATION

1/4"=1'-0"



2 PROPOSED REAR ELEVATION

1/4"=1'-0"

PRAKASH -
RAO
RESIDENCE

2836 MARIPOSA DR.
BURLINGAME, CA

[inSite]

architecture design interiors

1534 PLAZA LN. #318
BURLINGAME, CA 94010
(650) 235-9566 tel.
(650) 235-9569 fax

DESIGN REVIEW 6/1/22

DESIGN REVIEW COMMENTS

7/25/22

SHEET TITLE
EXISTING AND
PROPOSED SIDE
ELEVATIONS

PROJECT #: 2022-D
DRAWN BY: LL
DATE: 4/21/22
SCALE: 1/4" = 1'-0"

DRAWING NUMBER

A4.2

EXTERIOR FINISHES

1. (N) WINDOWS AND EXTERIOR DOORS - FIBERGLASS/WOOD CLAD WINDOWS
2. (N) FRONT DOOR - STAINED GRADE EXTERIOR WOOD
3. (N) 4 PANEL ROLL-UP GARAGE DOOR - STAIN GRADE EXTERIOR WOOD
4. EXTERIOR FINISH #1 - STAINED CEDAR SIDING
5. EXTERIOR FINISH #2 - INTEGRATED COLOR STUCCO
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CRAWL SPACE VENTILATION

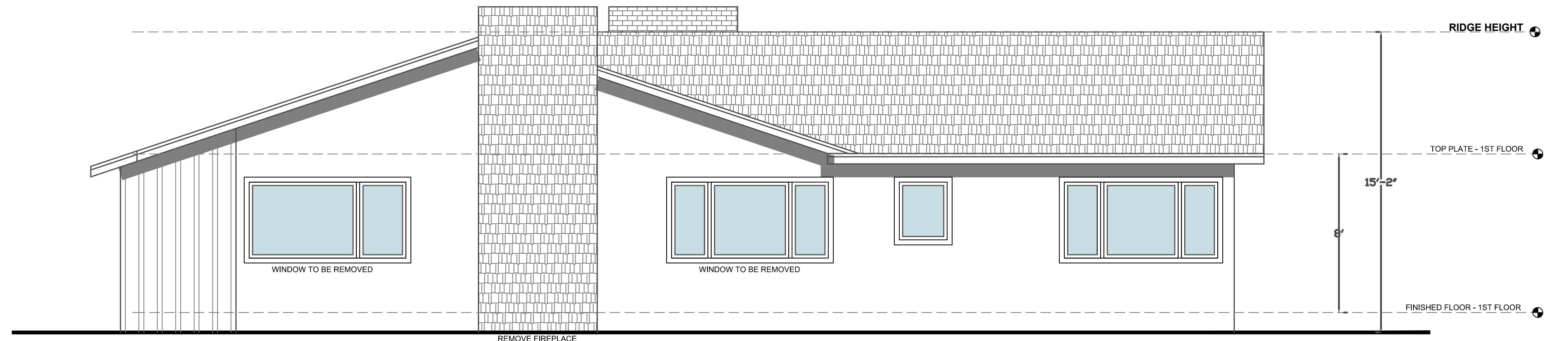
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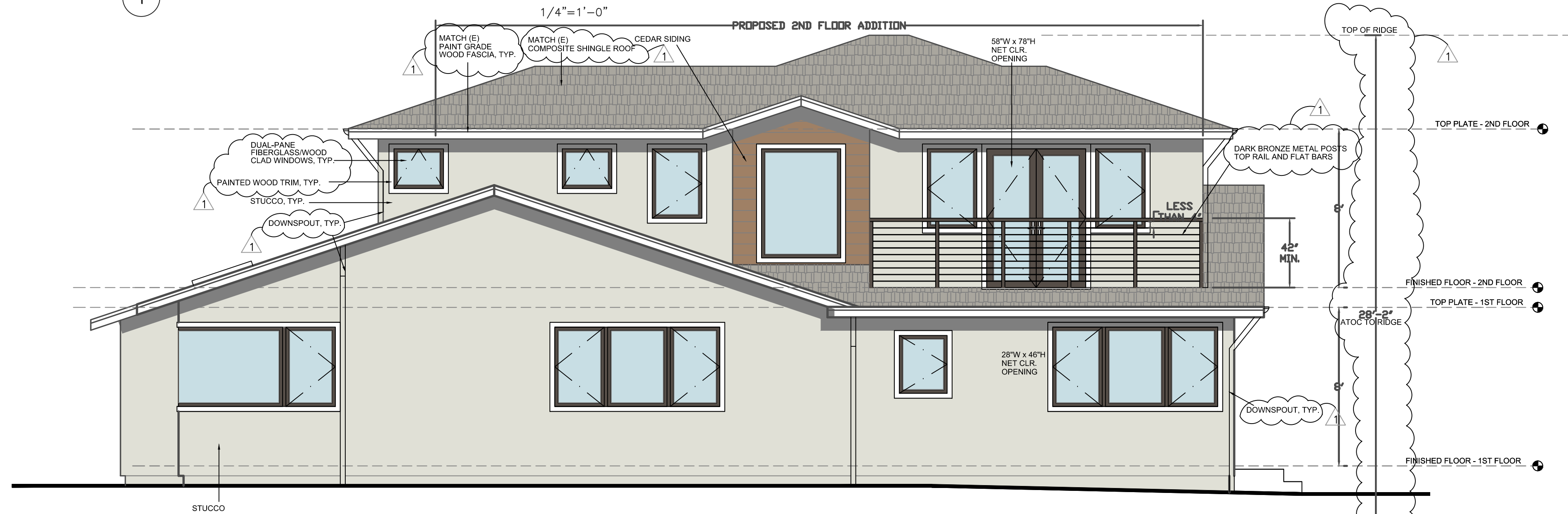
PROVIDE - 14 - 6X24 CRAWL SPACE VENTS - 1 VENT = 1 SQFT VENTILATION

TOTAL VENTILATION PROVIDED - 14 SQFT

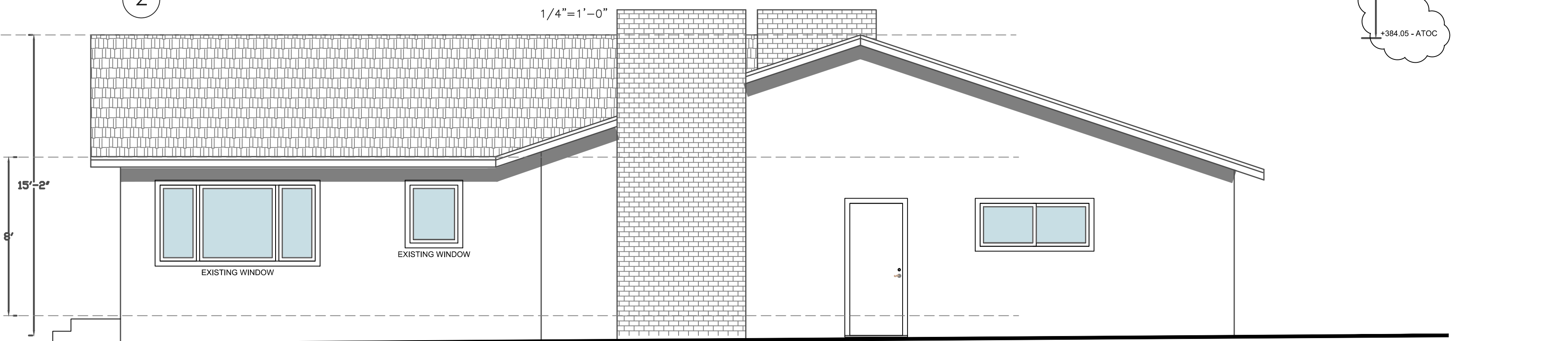
1 EXISTING RIGHT SIDE ELEVATION



2 PROPOSED RIGHT SIDE ELEVATION



3 EXISTING LEFT SIDE ELEVATION



4 PROPOSED LEFT SIDE ELEVATION

