DAN GRIFFIN
1235 CABRILLO AVE.
BURLINGAME, CA 94010

ABBREVIATIONS

&	And	EXH	Exhaust	PBD	Particle Bd.
d	Penny	EXP	Expansion	PFB	Prefabricate(d)
	Angle	EXPO	Exposed	PL	Plate (line)
@	At	EXT	Exterior	PLAS	Plaster
C	Center line	FBO	Furinshed by	PLYWD	Plywood
O	Dia. or round		Owner	PNL	Panel(ing)
	Perpendicular	FDN	Foundation	PNT	Paint(ed)
#	Pound or No.	FIN	Finish	PR	Pair
		FL	Floor (line)	PRCST	Pre Cast
AB	Anchor Bolt	FLASH	Flashing	PT	Pressure Treated
ABV	Above	FLOUR	Fluorescent		
AC	Asphalt Conc.	FLX	Flexiable	QT	Quarry Tile
ACOUS	Acoustical	FOC	Face of Conc.		
ADH	Adhesive	FOF	Face of Fin.	R	Riser
ADJ	Adjustable	FOX	Face of Stud	RAD	Radius
AGG	Aggregrate	FO	Finished Opening	REINF	Reinforce
AL	Aluminum	FPL	Fireplace	RELO	Relocate
AP	Access Panel	FTG	Footing	REMO	Remove
APX	Approximate	FURR	Furring	REQD	Required
		FUT	Future	RESIL	Resilent
BD	Board			RO	Rough Opeing
BEL	Below	GA	Gauge	RWD	Redwood
BLK	Block(ing)	GALV	Galvanized		
BM	Beam	GB	Grab Bar	SSD	See Struct. Dwg.
BOT	Bottom	GI	Grab Iron	SH	Shelf
BRK	Brick	GL	Glass/Glazing	SHR	Sheathing
BS	Both Sides	GR	Grade (Ground)	SIM	Similar
BTWN	Between	GYP	Gypsum	SLR	Sealer
				SPEC	Specification
CAB	Cabinet	HBD	Hard Board	SQ	Square
CEM	Cement	HD	Heavy Duty	SLD	Standard
CER	Ceramic	HDR	Header	S. STL	Stainless Steel
CI	Cast Iron	HWD	Hardware		
CLG	Ceiling	HOR	Horizontal	SUSP	Suspended
CLKG	Caulking			SYM	Symmetrical
CLR	Clear	INT	Interior		
CMU	Conc. Mas. Unit	INSUL	Insulation	T	Tread
CNTR	Counter			TB	Towel Bar
COL	Column	JST	Joist	TEMP	Tempered
COMPO	Composition	JT	Joint	T&G	Tougue & Groove
CONC	Concrete			THRU	Through
CONN	Connect(ion)	LAM	Laminate	TOS	Top of Surface
CONST	Construction	LT	Light	TPD	Toilet Paper
CONT	Continuous	LVR	Louver		Dispenser
CPT	Carpet			TYP	Typical
		MAS	Masonry		
DBL	Double	MC	Medicine Cabinet	UON	Unless Otherwise
DEMO	Demolish	MECH	Mechanical	UNF	Noted
DF	Douglas Fir	MEMB	Membrane		Unfinished
DIA	Diameter	MFR	Manufacturer		
DIAG	Diagonal	MIR	Mirror	VERT	Vertical
DN	Down	MNT	Mount(ed)	VG	Vert. Grain
DR	Door	MTL	Metal		
DS	Down Spout			WB	White Brothers
DRA	Drawer	NIC	Not in Contract	WD	Wood
				WDW	Window
EA	Each	NTS	Not to Scale	WI	Wrought Iron
EL	Elevation			W/O	With (out)
ELEC	Electrical	O/	Over	WP	Waterproof
ENCL	Enclosure	OC	On Center	WR	Water Resistant
EQ	Equal	OPNG	Opening	WSCT	Wainscot
EQPT	Equipment	OPP	Opposite		
EW	Each Way				
(EX)	Existing	P	Plastic		
		PAR	Parallel		

REFERENCE SYMBOLS

GRID LINE REFERENCE

BLDG & WALL SECTION REFERENCE
Arrow indicates direction of view
Letter indicates building section
Sheet number

DETAIL REFERENCE
Number indicates wall section
Sheet number

EXTERIOR ELEVATION REFERENCE
Arrow indicates direction of view
Sheet number

INTERIOR ELEVATION REFERENCE
Arrow indicates direction of view
Letter indicates building elevation
Sheet number

TITLE SYMBOLS
Number indicated elevation, wall section or detail
Sheet number

EXT. DOOR & WINDOW SYMBOL
Indicates door & window number

INTERIOR DOOR SYMBOL
Indicates door number

REVISION SYMBOLS
Cloud around revision

COLOR / MATERIAL SYMBOL
Number indicates color and / or material

ROOM REFERENCE
BED RM 203
Room name
Room number

MATCH LINE, SHADED SIDE IS CONSIDERED
WORK, CONTROL, OR DATUM POINT

PROPERTY LINE

SETBACK LINE

78 EXISTING CONTOURS

92 NEW OR FINISHED CONTOURS

T.W. 12.0 TOP OF WALL

T.C. 14.0 TOP OF CURB

T.P. 15.6 TOP OF PAVEMENT

FIXTURE OR EQUIPMENT SYMBOL

ELECT/MECH SYMBOLS

- Duplex convenience outlet & plate
- Floor convenience outlet
- GFI duplex convenience outlet
- Fourplex outlet
- Duplex conv. outlet, 1/2 hot, 1/2 switched
- 220V amerage as per equipment
- GFI/W.P. weatherproof outlet
- Flush mounted floor & ceiling outlet
- Junction box
- Television outlet
- Telephone outlet & plate
- Flood light
- Ceiling fixture
- Wall light
- Porclein recepticle w/ pull chain
- Indirect cove lighting
- Recessed ceiling can lights
- 4" recessed low voltage w/ directional trim
- Recessed ceiling light
- Waterproof ceiling fan/light & plate
- Recessed waterproof exterior up light
- Single pole switch
- 3 way switch
- Switch w/ dimmer
- Door activated switch
- Motion detector
- Timer (switch)
- Vacancy sensor w/ dimmer "manual on"
- Vacancy sensor "manual on"
- Weatherproof switch
- Countertop air switch
- Doorbell pushbutton
- Chime
- Smoke detector
- Thermostat
- Special outlet
- Instant start florescent light
- Landscape light
- Electrical panel board
- Existing
- Delete existing
- Replace existing
- Gas outlet
- Hose bib
- Ceiling/floor supply register
- Ceiling/floor return register
- Wall diffuser
- T.V./Computer Outlet
- Central vacuum inlet
- Automatic garage door switch
- Alarm control keypad

BUILDING DATA

APN #: :026-171-350

(E) FAR, NO SQ. FT. TO BE ADDED

(E) 1ST FLOOR	=	1,257	SQ.FT.
(E) 2ND FLOOR	=	1,512	SQ.FT.
(N) 1ST FLOOR JADU	=	418	SQ.FT.
(E) GARAGE	=	514	SQ.FT.
(E) COVERED PORCH	=	**113	SQ.FT.
TOTAL :	=	3,283	SQ.FT.

** NOT INCLUDED IN FAR TOTAL

ZONING : RESIDENTIAL
CONSTRUCTION TYPE: VB
OCCUPANCY: R-3

CONSULTANTS

DESIGNER
FORM + ONE DESIGN
CONTACT: TIM RADUENZ
4843 SILVER SPRINGS DRIVE
PARK CITY, UT 84098
PHONE: 415-819-0304
TIM@FORMONEDESIGN.COM

OWNERS
DAN GRIFFIN + JILLIAN LEI
1235 CABRILLO AVE.
BURLINGAME, CA 94010

TITLE 24 ***(IF REQUIRED)***
RICK ROCKLEWITZ
NRG COMPLIANCE INC.
PO BOX 3777
SANTA ROSA, CA 95402
PHONE:707-237-6957

SURVEYOR
SAVIO MICALLEF
COSTAL LAND SURVEYING
421 WILDWOOD DRIVE
SOUTH SAN FRANCISCO, CA 94080
PHONE: 805-709-2423
EMAIL: SAVIOR.MICALLEF@GMAIL.COM

SHEET INDEX

(*) = FUTURE BUILDING SHEETS

RECEIVED
APR 28 2023
CITY OF BURLINGAME
CDD-PLANNING DIVISION

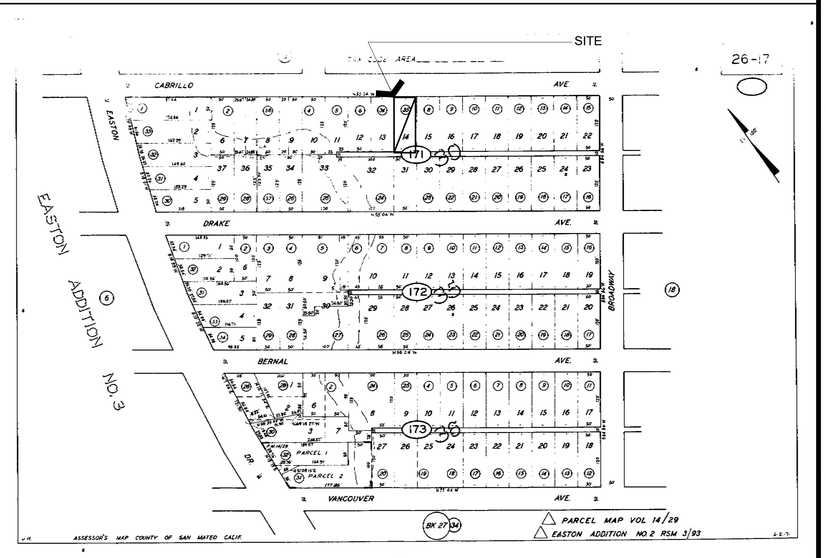
SCOPE OF WORK

1. (N) DORMERS @ FRONT OF (E) SECOND FLOOR
2. (N) WINDOWS + DOORS AS SHOWN ON PLANS
3. (N) J-ADU APPLICATION @ FIRST FLOOR

LANDSCAPE NOTES

1. NO EXISTING TREE OVER 48 INCHES IN CIRCUMFERENCE MEASURED AT 54 INCHES FROM NATURAL GRADE MAY BE REMOVED WITHOUT A PROTECTED TREE REMOVAL PERMIT FROM THE PARKS DIVISION.
2 EXISTING CITY STREET TREE MAY NOT BE CUT, TRIMMED, OR REMOVED WITHOUT PERMIT FROM PARKS DIVISION.
3. ALL (E) LANDSCAPE TO REMAIN AND BE PROTECTED

VICINITY MAP



MATERIAL SYMBOLS

Bituminous paving	Metal	Sand/ Mortar/ Plaster
Batt insulation	Metal Lath	Wood frame construction
Brick Veneer	Marble / tile	Existing construction
Stone Veneer	Earth	Existing const. removed
Concrete	Wood	Precast concrete
Concrete Block	Steel	Rigid insulation
Gravel / Rock fill	Plywood	Gypsum board

CAL GREEN BUILDING MEASURE

1. AN AUTOMATIC IRRIGATION SYSTEM CONTROLLER FOR LANDSCAPING WILL BE PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION. ***2019*** CGC §4.304.1
2. A MINIMUM OF 65% OF THE NON- HAZARDOUS CONSTRUCTION + DEMOLITION WASTER GENERATED AT THE SITE WILL BE DIVERTED TO AN OFFSITE RECYCLE, DIVERSION, OR SALVAGE FACILITY PER CITY OF BURLINGAME ORDINANCE + ***2019*** CGC §4.408
3. AN OPERATION AND MAINTENANCE MANUAL WILL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER. ***2019*** CGC §4.410.1
4. UPON REQUEST, VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE BUILDING DIVISION THAT WILL SHOW SUBSTANTIAL CONFORMANCE WITH THE ***2019*** CODE REQUIREMENT.***2019*** CGC §703.1
5. AT TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE, AND UNTIL FINAL STARTUP OF THE HEATING,
COOLING & VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENTS OPENINGS WILL BE COVERED W/ TAPE, PLASTIC, SHEET METALS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST, OR DEBRIS THAT MAY ENTER THE SYSTEM. (CGC 4.504.1).

HIDDEN CONDITION NOTES

1. Any hidden conditions that require work to be performed beyond the scope of the building permit issued for these plans may require further City approvals including review by the Planning commission.

APPLICABLE CODES

2019 California Building Code
2019 California Residential Code
2019 California Plumbing Code
2019 California Mechanical Code
2019 California Electric Code
2019 California Energy Code
2019 California Fire Code
CITY OF BURLINGAME MUNICIPAL CODE
2019 California Green Building Standards Code
CAL GREEN BUILDING CODE CHECKLIST: Single Family to be attached to jobsite building set

CONSTRUCTION HOURS

1. NO PERSON SHALL ERECT (INCLUDING EXCAVATION AND GRADING), DEMOLISH, ALTER OR REPAIR ANY BUILDING OR STRUCTURE OTHER THAN BETWEEN THE HOURS LISTED BELOW.

CONSTRUCTION HOURS	
WEEKDAYS:	8:00 A.M. - 7:00 P.M.
SATURDAYS:	9:00 A.M. - 6:00 P.M.
SUNDAYS AND HOLIDAYS:	NO WORK ALLOWED

(SEE CITY OF BURLINGAME MUNICIPAL CODE, ***SECTION 18.07.110*** FOR DETAILS)

CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT-OF-WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00 A.M. AND 5:00 P.M.

DEFERRED SUBMITTAL

1. PLUMBING CONTRACTOR WILL PROVIDE A SINGLE LINE DIAGRAM AT TIME OF INSPECTION AND ANY INSTALLATION PRIOR TO PLAN CHECK + APPROVAL IS AT CONTRACTORS RISK.

Revisions

Rev.:	Description :	Date :
001	Response to City Comments	1/20/23
002	Response to City Comments	3/16/23
003		
004	Response to City Comments	4/27/23
005		
006		

PLANNING SET

Contractor :

Owner :
Dan Griffin + Jillian Lei
1235 Cabrillo Ave.
Burlingame, CA 94010

Lot Size:

APN#: 026-171-350

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

form+ one
DESIGN ■ PLANNING

Title : TITLE PAGE
Project : Dan Griffin + Jillian Lei
1235 Cabrillo Ave.
Burlingame, CA 94010

Date : 03.16.22
Drawn : TIM RADUENZ
Job No. : 22_12

T1.0

Sheet

Scale: See Details

MECHANICAL NOTES:
1. ALL WORK SHALL COMPLY WITH THE CALIFORNIA MECHANICAL CODE (CMC) AND ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES.
2. MECHANICAL CONTRACTOR TO ACCEPT SOLE RESPONSIBILITY FOR PROPER DESIGN AND INSTALLATION OF MECHANICAL SYSTEM. SEE MECHANICAL DWGS. BY OTHER FOR SPECIFIC INFORMATION.
3. MECHANICAL CONTRACTOR TO COORDINATE WITH GENERAL CONTRACTOR TO DESIGN AND INSTALL SUITABLE DISTRIBUTION SYSTEM PER TITLE 24. MECH. CONTRACTOR TO FIELD VERIFY AND DETERMINE SIZE AND CONFIGURATION OF DUCTS AND REGISTER. SEE SHEET INDEX FOR LOCATION OF TITLE 24 CONFORMANCE WORKSHEETS AND ENERGY COMPLIANCE NOTES WITHIN THIS SET. HVAC DUCTS LOCATED IN ATTIC SPACE SHALL BE PLACED AS CLOSE TO PERIMETER AS POSSIBLE SO AS NOT TO INTERFERE WITH USEABLE ATTIC STORAGE SPACE.
4. MECHANICAL LAYOUT SHOWN IS SCHEMATIC AND IS SHOWN FOR DESIGN INTENT ONLY.
5. PROVIDE COMBUSTION AIR SUPPLY TO GAS FIRED APPLIANCES BY COMBUSTION AIR DUCTS PER (CMC) & CPC. VERIFY DUCT SIZE WITH MANUFACTURER'S SPECIFICATIONS.
6. FURNACES OR BOILERS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA MECHANICAL CODE (CMC)
7. PER CMC, COMBUSTION AIR DUCTS FROM THE ATTIC SHALL BE LOCATED WITHIN THE UPPER AND LOWER 12 INCHES OF THE ENCLOSURE. DUCTS SHALL BE SEPARATE AND SHALL NOT BE OBSTRUCTED.
8. APPLIANCES DESIGNED TO BE FIXED IN POSITION SHALL BE SECURELY FASTENED IN PLACE. SUPPORTS FOR APPLIANCES SHALL BE DESIGNED AND CONSTRUCTED TO SUSTAIN VERTICAL AND HORIZONTAL LOADS AS REQUIRED BY CMC. WATER HEATERS TO BE SECURED WITH A MINIMUM OF 2 STRAPS, ONE EACH TO BE LOCATED IN THE UPPER AND LOWER THIRD OF THE UNIT.
9. UNDERCUT ALL INTERIOR DOORS (AS APPROPRIATE) FOR AIR RETURN CIRCULATION TO VENTS, TYPICAL OF INTERIOR CONDITIONED SPACES.
10. VERIFY ALL FIXTURE LOCATIONS WITH OWNER PRIOR TO INSTALLATION.
11. ALL FIXTURES TO BE SELECTED (OR APPROVED) BY OWNER.
12. EXHAUST FANS IN LAUNDRY AND BATHROOMS MUST CONNECT DIRECTLY TO THE OUTSIDE AND PROVIDE A MINIMUM OF 5 AIR CHANGES PER HOUR. EXHAUST FAN VENTS MUST TERMINATE A MINIMUM OF 3 FEET FROM ANY OPENINGS INTO THE BUILDING AND BE PROVIDED WITH BACKDRAFT DAMPERS.
13. AT NEW FORCED AIR FURNACE INSTALLATIONS PROVIDE 3' MIN. WORKING SPACE ALONG EACH SIDE (WITH A TOTAL OF AT LEAST 12" ON BOTH SIDES COMBINED), BACK AND TOP OF FURNACE.
14. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION.

PLUMBING NOTES:
1. VERIFY ALL FIXTURE LOCATIONS WITH OWNER PRIOR TO INSTALLATION.
2. ALL FIXTURES TO BE SELECTED AND (OR APPROVED) BY OWNERS.
3. ALL NEW WATER CLOSETS SHALL BE 1.28 GALLON/FLUSH MAXIMUM.
4. NO DISHWASHER MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD DISPOSER WITHOUT THE USE OF AN APPROVED AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHING MACHINE. LISTED AIR-GAPS SHALL BE INSTALLED WITH THE FLOOD LEVEL MARKING AT OR ABOVE FLOOD LEVEL OF SINK OR DRAINBOARD, WHICHEVER IS HIGHER
5. (E) ON-DEMAND SYSTEM, CONFIRM WITH OWNER, ***RECIPROCATING PUMP AS OPTION***.

ELECTRICAL NOTES:
1. ALL WORK SHALL COMPLY WITH THE CALIFORNIA ELECTRIC CODE (CEC) AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND ORDINANCES.
2. PER CEC, ALL ELECTRICAL RECEPTACLES INSTALLED AT CRAWL SPACES AT OR BELOW GRADE, AND OUTDOORS SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER (G.F.C.I.) PROTECTION. ALL RECEPTACLES LOCATED IN BATHROOMS SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER (G.F.C.I.) PROTECTION.
3. SMOKE DETECTORS SHALL BE INSTALLED PER CBC. A DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO ROOMS USED FOR SLEEPING PURPOSES. A DETECTOR SHALL BE INSTALLED ON EACH LEVEL OF A MULTI-STORY DWELLING, INCLUDING BASEMENT LEVELS. IN SPLIT-LEVEL OR MULTI-LEVEL FLOORS, A SMOKE DETECTOR SHALL BE INSTALLED ON THE UPPER LEVEL, OR ON BOTH LEVELS IF THE LOWER LEVEL CONTAINS SLEEPING AREAS. WHERE THE CEILING HEIGHT OF A ROOM OPEN TO THE HALLWAY SERVING THE BEDROOMS EXCEEDS THAT OF THE HALLWAY BY 24 INCHES, SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH APPROVED MANUFACTURER'S INSTRUCTIONS. WHEN THE VALUATION OF AN ADDITION OR REPAIR EXCEEDS $1,000.00, OR WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN AN EXISTING DWELLING, THE ENTIRE DWELLING SHALL BE PROVIDED WITH SMOKE DETECTORS LOCATED AS REQUIRED FOR NEW DWELLINGS. IN NEW CONSTRUCTION, REQUIRED SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. THE DETECTOR SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. SMOKE DETECTORS MAY BE SOLELY BATTERY OPERATED WHEN INSTALLED IN EXISTING BUILDINGS, OR IN BUILDINGS WITHOUT COMMERCIAL POWER, OR IN BUILDINGS WHICH UNDERGO ALTERATION, REPAIRS, OR ADDITIONS REGULATED AS OUTLINED ABOVE.
4. TELEPHONE OUTLETS TO BE PREWIRED BY SUBCONTRACTOR. CONTRACTOR TO COORDINATE AS REQUIRED. VERIFY LOCATION OF ALL TELEPHONE OUTLETS WITH OWNER PRIOR TO INSTALLATION.
5. ELECTRICAL OPENINGS (SWITCHES, RECEPTACLES, ETC.) ON OPPOSITE SIDES OF FIRE RATED WALLS SHALL BE MAINTAINED AT LEAST 24 INCHES APART.
6. PER CEC, RECEPTACLE SPACING SHALL NOT EXCEED 12 FEET MEASURED HORIZONTALLY ALONG THE WALL.
7. PER CEC, AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM; IN BATHROOMS, HALLWAYS, STAIRWAYS, ATTACHED GARAGES, AND DETACHED GARAGES WITH ELECTRICAL POWER, AND OUTDOOR ENTRANCES OR EXITS.
8. PER CEC, LIGHTING FIXTURES LOCATED WITHIN CLOTHES CLOSETS SHALL BE MOUNTED ON THE WALL ABOVE THE DOOR OR ON THE CEILING. CLEARANCES SHALL BE AS FOLLOWS:
A. SURFACE MOUNTED INCANDESCENT FIXTURES - 12"
B. SURFACE MOUNTED FLUORESCENT FIXTURES - 6" 9. ELECTRICAL CONTRACTOR RESPONSIBLE FOR PROVIDING NECESSARY TEMPORARY POWER.
10. VERIFY ANY AND ALL LANDSCAPE LIGHTING AND SWITCHES WITH OWNER PRIOR TO INSTALLATION OF ROUGH ELECTRICAL.
11. ALL ELECTRICAL HANGING FIXTURES TO BE SELECTED AND PURCHASED BY OWNER. VERIFY EXACT LOCATIONS WITH OWNER PRIOR TO INSTALLATION.
13. ALL INCANDESCENT LIGHTING FIXTURES RECESSED INTO INSULATED AREAS SHALL BE APPROVED FOR ZERO CLEARANCE INSULATION COVER PER ***2019*** CALIFORNIA ENERGY CODE AND RATED IC OR APPROVED EQUAL MEETING UL RATING OR OTHER TESTING /RATING LABORATORIES RECOGNIZED BY THE ICC.
14. THIS DRAWING IS FOR LAYOUT PURPOSES ONLY. NEW ELECTRICAL SHALL BE DESIGN-BUILD. NEW ELECTRICAL WORK SHALL BE DESIGNED AND BUILT IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND APPLICABLE CODES, STANDARDS AND REGULATIONS FOR BUILDING LIFE SAFETY, EMERGENCY, EGRESS AND NIGHT LIGHTING. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING SEPARATE PERMIT. ELECTRICAL CONTRACTOR TO PROVIDE COMPLETE DESIGN-BUILD ELECTRICAL SYSTEM AS REQUIRED TO PROVIDE THE (NEW) SERVICE SHOWN (SCHEMATICALLY) ON THE DRAWINGS.

GENERAL NOTES:
ALL WORK SHALL COMPLY W/ THE ***2019*** EDITION OF THE CA. BUILDING CODE AND ALL OTHER CODES AND REQUIREMENTS, IN THEIR MOST RECENT EDITION INCLUDING THE FOLLOWING:
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA ELECTRICAL CODE
2. THE INTENTION OF THE CONSTRUCTION DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIAL, EQUIPMENT FACILITIES AND TRANSPORTATION NECESSARY FOR A COMPLETE AND PROPER EXECUTION OF THE WORK IN AN ACCEPTABLE INDUSTRY'S STANDARDS. CONTRACTOR IS TO OBTAIN ANY REQUIRED PERMITS FOR THIS OR HER WORK.
3.THE MIN. ACCEPTABLE QUALITY OF MATERIALS, WORKMANSHIP, AND METHOD OF INSTALLATION SHALL MEET THE FOLLOWING CRITERION: CONFORM TO THE AMERICAN NATIONAL INSTITUTE STANDARDS WHERE SUCH STANDARDS EXISTS.
4. CONTRACTOR SHALL PERFORM ALL ADDITIONAL ELECTRICAL, PLUMBING, AND FIRE PROTECTION WORK REQUIRED BY THE BUILDING DEPARTMENT.
5. CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMISSION OF BID TO REVIEW SCOPE OF WORK, DEMOLITION, ETC.
6. DO NOT SCALE DRAWINGS, CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO STARTING WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER FOR REVIEW.
7. DIMENSIONS ARE TO FACE OF FRAMING, UNLESS OTHERWISE NOTED, (U.O.N.)
8. DIMENSIONS NOTED CLEAR (CLR.) ARE NOT ADJUSTABLE WITHOUT APPROVAL FROM THE DESIGNER.
9. SAFETY MEASURES: AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF PERSONS AND PROPERTY.
10. CUTTING AND DEMOLITION SHALL BE DONE BY METHODS, WHICH WILL AND WILL NOT JEOPARDIZE STRUCTURAL INTEGRITY OF EXISTING CONSTRUCTION AND WILL NOT DAMAGE PORTIONS TO REMAIN.
11. CONTRACTORS SHALL REMOVE, CUT, CAP, AND REPAIR, AS NECESSARY, ANY UTILITES. INCLUDING BUT NOT LIMITED TO: ELECTRICAL, MECHANICAL, PLUMBING, AND FIRE SPRINKLERS, WHERE PARTITIONS ARE SCHEDULED FOR DEMOLITION OR ARE NO LONGER OPERATIONAL OR IN SERVICE. ALL OTHER EXISTING UTILITES ARE TO REMAIN FULLY OPERATIONAL.
12. IN GENERAL, THE OWNER RESERVES THE RIGHT TO RETAIN ALL MATERIALS AND EQUIPMENT REMOVED FROM THE PROJECT. ANY ITEMS OR MATERIAL NOT DESIRED BY THE OWNER ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.
13.CONTRACTOR IS TO PROVIDE ALL NECESSARY DUST PROTECTION AND/OR BARRICADING REQUIRED TO PROTECT ADJACENT SPACES AND EXISTING FINISHES. CONTRACTOR OS RESPONSIBLE TO REPAIR ANY DAMAGES CAUSED BY CONTRACTOR OR THEIR SUB-CONTRACTORS.
14. PATCH AND REPAIR ANY DAMAGES TO FLOORS, WALLS, CEILINGS, HARDWARE, FIXTURES, WINDOWS, ETC. AS A RESULT OF THE DEMOLITION PROCESS. MATCH EXISTING ADJACENT FINISHES AS CLOSELY AS POSSIBLE.
15. IF ANY QUESTIONS ARISE TO THE INSTALLATION OF ANY MATERIALS AND/OR EQUIPMENT, OR WITH THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL CLARIFY THE QUESTIONS W/ THE DESIGNER BEFORE PROCEEDING. NO SUBSTITUTIONS SHALL BE MADE W/O THE DESIGNERS AND OR OWNERS APPROVAL.
16. TOTAL THICKNESS OF NEW WALLS SHALLMATCH THAT OF ADJACENT WALLS.
17. THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF WORK THAT MAY BE REQUIRED TO MAKE ITS PARTS FIT TOGETHER PROPERLY AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, EXCAVATION, OR OTHERWISE ALTERING THE TOTAL WORK OR ANY PART OF IT. ALL PATCHING REPAIRING, AND REPLACING OF MATERIALS AND SURFACES, CUT OR DAMAGE IN EXECUTION OF WORK, SHALL BE DONE W/ APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
18. ALL WORK SHALL BE SCHEDULED AND PERFORMED SO AS NOT TO DISTURB ANY OTHER TENANTS IN THE BUILDING. ANY WORK THAT WILL DISTURB ANOTHER TENANT, ABOVE OR BELOW, OR IN THE FLOOR , SHALL BE PERFORMED MOST EXPEDITIOUSLY AND THE DISTURBED TENANT SHALL HAVE FULL USE OF THE PREMISE.
19. ALL TRADES SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS, AND PERFORM ALL NECESSARY, INDICATED, REASONABLY INFERRED OR REQUIRED BY ANY CODE W/ JURISDICTION TO COMPLETE THEIR SCOPE OF WORK FOR A COMPLETE AND PROPER FINISHED JOB. ANY CUSTOMARY AND NECESSARY ITEMS WHICH ARE REASONABLY IMPLIED AND REQUIRED TO COMPLETE PROPERLY THE WORK OUTLINED SHALL BE FURNISHED, EVEN IF NOT SPECIFICALLY SHOWN ON THE DRAWINGS OR MENTIONED IN THE SPECIFICATION.
20. CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION CLEAN-UP, DURING AND FINAL.
21. THE AMERICANS WITH DISABILITIES ART (ADA) IS SUBJECT TO VARIOUS AND POSSIBLY CONTRADICTORY INTERPRETATIONS. THESE PLANS AND ANY ACCOMPANYING SPECIFICATIONS ("PLANS") REPRESENT THE DESIGNER'S OPINION REGARDING ITS INTERPRETATION OF THE ADA AS IT APPLIES TO THE SUBJECT PROJECT. IT IS NOT IN ANY WAY A WARRANTY OR GUARANTEE THAT SAID PLANS COMPLY WITH ANY OR ALL POSSIBLE INTERPRETATIONS OF THE ADA BY OTHERS.

Revisions

Rev.:	Description :	Date :
001		
002		
003		
004		
005		
006		

Contractor :

Owner :
Dan Griffin + Jillian Lei
1235 Cabrillo Ave.
Burlingame, CA 94010

Lot Size:

APN#: 026-171-350

PLANNING SET

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

form+ one
DESIGN ■ PLANNING

Title : General Notes

Project : Dan Griffin + Jillian Lei
1235 Cabrillo Ave.
Burlingame, CA 94010

Job No. : 22_12 | Drawn : TIM RADUENZ | Date : 03.16.22

GN

Sheet

Scale: See Details

GREEN BUILDING MEASURE

1. AN AUTOMATIC IRRIGATION SYSTEM CONTROLLER FOR LANDSCAPING WILL BE PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION. 2019 CGC §4.304.1
2. A MINIMUM OF 65% OF THE NON- HAZARDOUS CONSTRUCTION AND DEMOLITION WASTER GENERATED AT THE SITE WILL BE DIVERTED TO AN OFFSITE RECYCLE, DIVERSION, OR SALVAGE FACILITY PER CITY OF BURLINGAME AND 2019 CGC §4.408
3. AN OPERATION AND MAINTENANCE MANUAL WILL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER. 2019 CGC §4.410.1
4. UPON REQUEST, VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE BUILDING DIVISION THAT WILL SHOW SUBSTANTIAL CONFORMANCE WITH THE 2019 CODE REQUIREMENT. 2019 CGC §703.1
5. AT TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE, AND UNTIL FINAL STARTUP OF THE HEATING, COOLING & VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENTS OPENINGS WILL BE COVERED W/ TAPE, PLASTIC, SHEET METALS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST, OR DEBRIS THAT MAY ENTER THE SYSTEM. (CGC 4.504.1).

CAL GREEN SITE DEVELOPMENT

1. PROJECTS THAT DISTURB LESS THAN 1 ACRE SHALL DEVELOP AND IMPLEMENT A PLAN TO MANAGE STORM WATER DRAINAGE (DURING CONSTRUCTION). *A BMP PAGE IS SUFFICIENT.* ***2019*** CGC 4.106.2

2. PLANS SHALL INDICIATE HOW GRADING + PAVING WILL PREVENT SURFACE WATER FLOWS FROM ENTERING BUILDINGS. EXCEPTION: PROJECTS THAT DO NOT ALTER THE DRAINAGE PATH. ***2019*** CGC 4.106.3

GENERAL NOTES

1. PROVIDE 30" MIN. CLEAR WIDTH, 15" ON BOTH SIDES FROM CENTERLINE OF W.C.) AND 24" CLEARANCE IN FRONT OF THE W.C. PER CPC 402.5
2. PROVIDE MIN. SHOWER AREA - 1024 SQ. INCHES, CAPABLE OF ENCOMPASSING A 30" CIRCLE. SEE PLANS PER CPC 408.6
3. TEMPERED GLAZING, TYP. AT ALL DOORS AND REQUIRED BY CODE
4. PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM THE WASHER & DISHWASHER, ETC., PER CPC
5. *NA*
6. EXHAUST VENT FOR DRYER SHALL TERMINATE TO THE OUTSIDE OF THE BUILDING AND SHALL BE EQUIPPED WITH A DRAFT DAMPER AND SHALL BE RIGID METAL DUCT WITH SMOOTH INTERIOR SURFACES PER CMC SECT. 504.

2019 CALIFORNIA GREEN BUILDING CODE RESIDENTIAL CHECKLIST

New residential buildings must be designed to include the Green Building Mandatory Measures specified in this checklist. These Green Building Mandatory Measures also apply to additions or alterations of existing residential buildings which increase the building's conditioned area, volume, or size. These requirements apply only to the specific area of addition or alteration. 2019 CGC §301.1.1

Permit Number: - Project Address: 1235 CABRILLO

Specify which sheet includes the Measure, and add specific details listing where the measure is located on that page. Include exact code sections on plans.

Green Building Measure	Plan Sheet, And details
SITE DEVELOPMENT (2019 CGC §4.106)	
Projects that disturb less than less than one acre shall develop and implement a plan to manage storm water drainage **DURING CONSTRUCTION**. A BMP page is sufficient. 2019 CGC §4.106.2	SW
Plans shall indicate how Grading and Paving will prevent surface water flows from entering buildings. Exception: Projects that do not alter the drainage path. 2019 CGC §4.106.3	A1.0
Electric Vehicle (EV) Charging, parking spaces: comply with relevant sections. 2019 CGC §4.106.4	NA
ENERGY EFFICIENCY (2019 CGC and the 2019 California Building Energy Efficiency Standards)	
2019 Energy Code performance (T-24) compliance documentation must be provided in 8-1/2" X 11" format, and must be replicated on the plans. 2019 CEC §150.1 (b)	ME4.0/4.1
BUILDING ENVELOPE INSULATION, climate zone 3, Table 150.1-A, and B:	A2.0
Below Roof Deck, No Insulation is required.	Not Required
Ceiling Insulation, Minimum R-30 Insulation Required.	A2.0, #1
Radiant Barrier, Required, per Section 110.8(j) and Reference Residential Appendix RA4.	A2.0, #2
Walls, Above or Below Grade, meet standards in Table 150.1-A, or B.	A2.0, #3
Floors, Slab perimeter NR, Raised R-19, Concrete Raised U Factor 0.269.	A2.0, #4
Quality Insulation Installation Inspection (QII) is Required by a third party.	A2.0, #5
Hot water piping insulation required: 3/4 inch or larger. 2019 CEC §150.0 (j) 2 A i, ii, iii	ME2.0, #36
Lighting: luminaires shall meet the requirements in Table 150.0-A, 2019 CEC §150.0 (k)	ME2.0, #37
Fenestration Maximum U-factor 0.30. No SHGC requirement. Table 150.1-A, and B	A2.0, #31
Maximum Total Area, 20%, no maximum for West Facing Area Table 150.1-A, and B	A2.0, #6
Door Maximum U-factor 0.20. Table 150.1-A, and B	A2.0, #7
Whole House Fan, none required in climate zone 3. Table 150.1-A, and B	ME2.0, #20 /NA
PV: new low-rise residential only, per equation 150.1-C, Annual Photo Voltaic Output	A2.0 / A2.2

Green Building Measure	Plan Sheet, And details
Duct insulation: minimum (R-6) required. 2019 CEC §150.0 (m) 5	ME2.0, #38
Duct leakage testing: 5% with air handler. 2019 CEC §150.0 (m) 11	ME2.0, #39
Water heating: 120 volt, 20 Amp receptacle < 3 ft., Cat III or IV vent, condensate drain, and gas supply line capacity of at least 200,000 Btu / hour. 2019 CEC §150.0 (n)	ME2.0, #41
Third-party HERS verification for ventilation and indoor air quality. 2019 CEC §150.0 (o)	ME2.0, #42
Maximum U-factor (0.58) for fenestration and skylights. 2019 CEC §150.0 (q)	A2.0, #24
INDOOR WATER USE (2019 CGC §4.3)	
The effective flush volume of water closets will not exceed 1.28 gal / flush. 2019 CGC §4.303.1.1 For dual flush toilets average two reduced flushes with one full flush. The effective flush volume of urinals will not exceed 0.125 gal / flush. 2019 CGC §4.303.1.2 Maximum flow rate for showers shall be 1.8 GPM, at 80 psi. 2019 CGC §4.303.1.3 Maximum flow rate for lavatory faucets shall be 1.2 GPM, at 60 psi. 2019 CGC §4.303.1.4.1 Maximum flow rate for kitchen faucets shall be 1.8 GPM, at 60 psi. Can temporarily increase to 2.2 GPM, but must default back to maximum flow rate of 1.8 GPM 2019 CGC §4.303.1.4.4	A2.0 / ***NOTE #37***
OUTDOOR WATER USE (2019 CGC §4.4)	
Residential developments shall submit a California Department of Water Resources' Model Water Use Efficient Landscape (MWELO) checklist. 2019 CGC §4.304.1	NA, MAIN HOUSE HAS IT COMP.
ENHANCED DURABILITY AND REDUCED MAINTENANCE (2019 CGC §4.406)	
Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls, shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry, or similar method acceptable to the enforcing agency. 2019 CGC §4.406.1	ME2.0, #47
CONSTRUCTION WASTE MANAGEMENT (2019 CGC §4.408)	
Recycle and/or salvage a minimum 65% of the non-hazardous construction and demolition waste. This is not applicable to soil and land clearing debris. 2019 CGC §4.408	T1.0, #2
BUILDING MAINTENANCE AND OPERATION (2019 CGC §4.410)	
An operation and maintenance manual will be provided at final inspection. 2019 CGC §4.410.1 For buildings with more than 4 multi-family units provide for recycling. 2019 CGC §4.410.2	T1.0, 33
FIREPLACES (2019 CGC §4.503)	
Any installed gas fireplaces will be direct-vent, sealed-combustible type. 2019 CGC §4.503.1 Any installed woodstove or pellet stove shall comply with U.S. EPA NSPS emission limits.	A2.0, #23 + #26
POLLUTANT CONTROL (2019 CGC §4.504)	
At the time of rough installation, during storage on the construction site, and until final startup of the HVAC equipment, all duct and other related air distribution components openings will be covered with tape, plastic, sheet metals, or other methods acceptable to the enforcing agency to reduce the amount of water, dust, or debris that may enter the system. 2019 CGC §4.504.1	ME2.0, #48
Adhesives, sealants, and caulks used on the project shall follow local and regional air pollution or air quality management district standards. 2019CGC §4.504.2.1	A2.0, CG #7
Paints and coatings will comply with VOC limits. 2019CGC §4.504.2.2	A2.0, CG #1
Aerosol paints and coatings will meet the Product-weighted MIR limits for ROC, and comply with percent VOC by weight of product limits, Regulation 8, Rule 49. 2019 CGC §4.504.2.3	A2.0, CG #6
Documentation shall verify compliance for VOC finish materials. 2019 CGC §4.504.2.4	A2.0, CG #2
Carpet systems will meet CALGREEN testing and product requirements. 2019 CGC §4.504.3	A2.0, CG #3

Green Building Measure	Plan Sheet, And details
Where resilient flooring is installed, at least 80% of the floor area receiving resilient flooring will comply with the California Green Building Code requirements. 2019 CGC §4.504.4	A2.0, CG #4
Hardwood plywood, particleboard, and medium density fiberboard composite wood products shall comply with the low formaldehyde emission standards. 2019 CGC §4.504.5	A2.0, CG #5
INTERIOR MOISTURE CONTROL (2019 CGC §4.505)	
A capillary break will be installed if a slab on grade foundation system is used. 2019 CGC §4.505.2	A2.0, #20
Building materials with visible signs of water damage will not be installed. Wall and floor framing will not be enclosed when the framing members exceed 19% moisture content. Moisture content will be verified prior to finish material being applied. Replace wet insulation products, or allow to dry before enclosure. 2019 CGC §4.505.3	A2.0, #21
INDOOR AIR QUALITY AND EXHAUST (2019 CGC §4.506)	
Exhaust fans that are ENERGY STAR compliant, ducted and that terminate outside the building will be provided in every bathroom (bathtub, shower, or shower/tub combo).2019 CGC §4.506.1 Unless functioning as a component of a whole-house ventilation system, fans must be controlled by a humidity control. 2019 CGC §4.506.1	ME2.0, #17
ENVIRONMENTAL COMFORT (2019 CGC §4.507)	
The heating and air-conditioning system will be sized, designed and have their equipment selected using the following methods: Heat Loss/Heat Gain values in accordance with ANSI/ACCA 2 Manual J-2016 or equal; Duct systems are sized according to ANSI/ACCA 1, Manual D-2016 or equivalent; Select heating and cooling equipment in accordance with ANSI/ACCA 3, Manual S-2014 or equivalent. 2019 CGC §4.507	ME2.0, #51
INSTALLER AND SPECIAL INSPECTOR QUALIFICATION (2019 CGC §702)	
HVAC system installers will be trained and certified in the proper installation of HVAC systems and equipment by a recognized training/certification program. 2019 CGC §702.1	ME2.0, #52
When required by the enforcing agency, shall employ Special Inspectors 2019 CG §702.2	ME2.0, #50
VERIFICATION (2019 CGC §703)	
Upon request, verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the Building Division that will show substantial conformance with the 2019 Code requirements. . 2019 CGC §703.1	T1.0,#4

Responsible Designer's Declaration Statement	Contractor's Declaration Statement
I hereby certify that this project has been designed to meet the requirements of the 2019 Green Building Code.	I hereby certify, as the builder or installer, under permit listed herein, that this project will be constructed to meet the requirements of the 2019 Green Building Code.
Name: TIM RADUENZ - FORM+ONE	Name:
Address: 4843 SILVER SPRINGS DRIVE	Address:
City/State/Zip Code PARK CITY, UT 84098	City/State/Zip Code
Signature:	Signature:
Date: 10/31/22	Date:

Revisions
Rev.: | Description: | Date:
001
002
003
004
005
006

Contractor:

PLANNING SET

Owner: Dan Griffin + Jillian Lei
1235 Cabrillo Ave.
Burlingame, CA 94010

Lot Size:

APN#: 026-171-350

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

form+ one
DESIGN ■ PLANNING

Title: Cal Green
Project: Dan Griffin + Jillian Lei
1235 Cabrillo Ave.
Burlingame, CA 94010

Date: 03.16.22
Drawn: TIM RADUENZ
Job No.: 22_12

CG

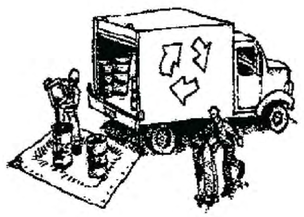
Sheet
Scale: See Details

SAN MATEO COUNTYWIDE
Water Pollution Prevention Program
Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control

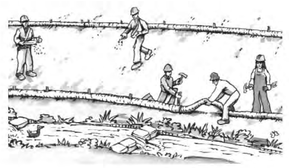
Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

Paving/Asphalt Work

- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

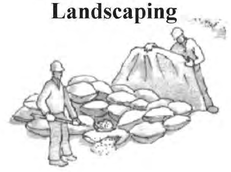
Sawcutting & Asphalt/Concrete Removal

- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, abosorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application

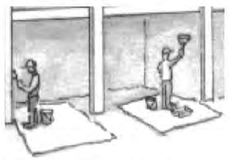
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Painting & Paint Removal



Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering

- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to $10,000 per day!

Revisions

Rev.:	Description :	Date :
001		
002		
003		
004		
005		
006		

PLANNING SET

Contractor :

Owner :
Dan Griffin + Jillian Lei
1235 Cabrillo Ave.
Burlingame, CA 94010

Lot Size:

APN#: 026-171-350

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
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form+ one
DESIGN ■ PLANNING

Title : BMPS & Pollution Prevention

Project : Dan Griffin + Jillian Lei
1235 Cabrillo Ave.
Burlingame, CA 94010

Date : 03.16.22

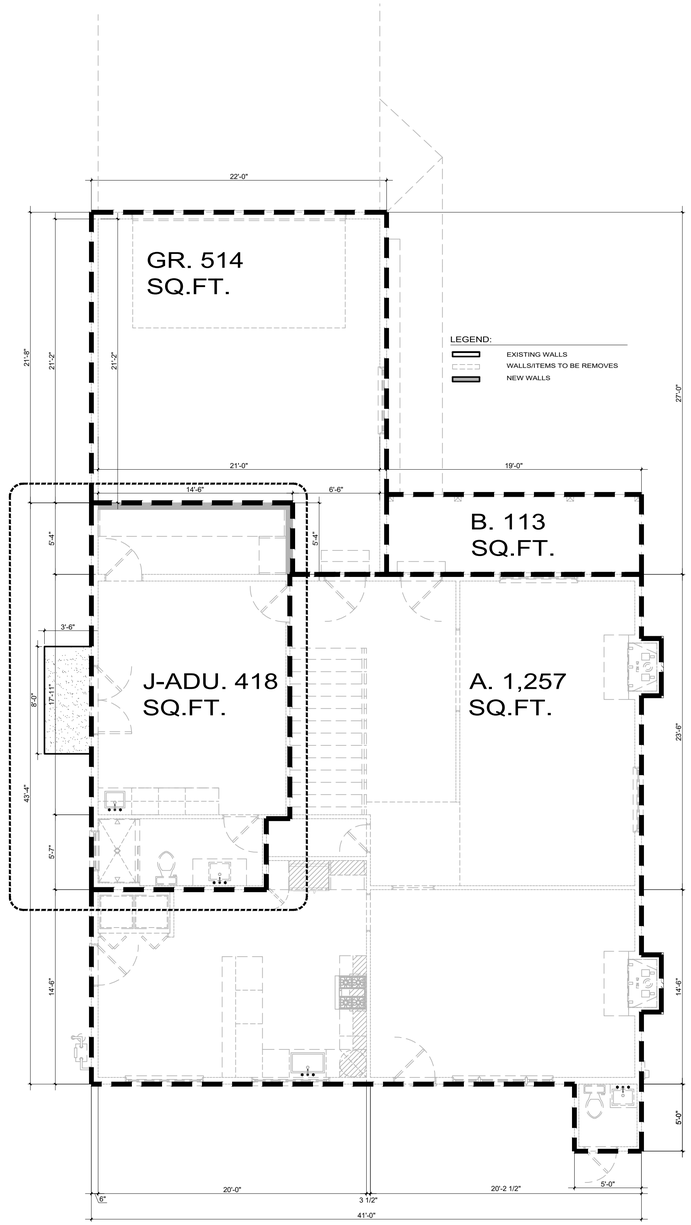
Drawn : TIM RADUENZ

Job No. : 22_12

SW

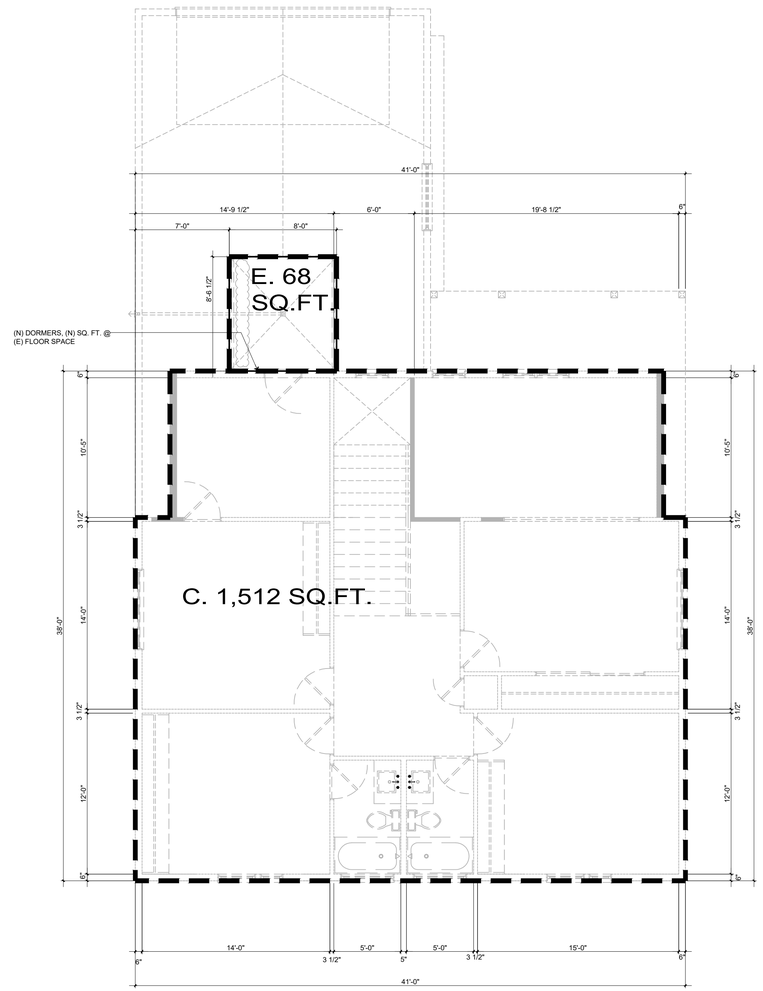
Sheet

Scale: See Details



1ST FLOOR FAR

Scale: 3/16 = 1'-0" (1 FAR)



2ND FLOOR FAR

Scale: 3/16 = 1'-0" (2 FAR)

DETAILS

APN = 026-171-350

LOT SIZE: 6,000 SQ. FT.

MAX ALLOWABLE LOT COVERAGE
= LOT SIZE X 40% = ALLOWABLE LOT COVERAGE
6,000 SQ FT. X 40% = 2,400 SQ FT.

MAX ALLOWABLE FAR=
FAR = LOT SIZE X 32% + 900 = LIVEABLE SQ. FT.
6,000 SQ FT. X 32% + 900 = ***2,820 SQ. FT.***

COMPLETE FAR

	LOCATION	FAR SQ. FT.:	LOT COVERAGE SQ. FT.:	REMARKS:
1ST FLR	A	1,257	1,257	EXISTING HOME
	B	-	113	EXISTING COVERED PORCH
	J-ADU	418	418	EXISTING HOME/(N) JADU
2ND FLR	C	1,512	-	EXISTING HOME
GARAGE	GR	514	514	EXISTING GARAGE
	SUB-TOTAL:	3,283	2,303	(E) LOT COVERAGE INCLUDES J-ADU
TOTAL:	3	3,283		

Revisions

Rev.:	Description :	Date :
001	Response to City Comments	1/20/23
002	Response to City Comments	3/16/23
003		
004		4/27/23
005		
006		

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Lot Size:

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4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.9304
E-mail: TIM@FORMONEDESIGN.COM

form+ one
DESIGN ■ PLANNING

PLANNING SET

Title : Floor Area Calc.
Project : Dan Griffin + Jillian Lei
1235 Cabrillo Ave.
Burlingame, CA 94010

Date : 03.16.22
Dwgn. : TIM RAUDENS
Job No. : 22_12

FAR

Sheet

Scale: See Details

GENERAL NOTES & SCOPE

1. PROTECT ALL EXISTING LANDSCAPING AND TREES DURING CONSTRUCTION, CONSULT ARBORIST AS REQUIRED.
2. NO EXISTING TREES OVER 48" IN CIRCUMFERENCE AT 54" FROM BASE OF TREE MAY BE REMOVED WITHOUT A PROTECTED TREE PERMIT FROM THE PARKS DIVISION (558-7330) NO TREES ARE TO BE REMOVED FOR THIS PROJECT.
3. WATER CONSERVATION IN LANDSCAPE ORDINANCE NOT REQUIRED SINCE LANDSCAPE WILL NOT BE REHABILITATED AS NOTED ON PLANS.
4. A PLAN HAS BEEN DEVELOPED, AND WILL BE IMPLEMENTED, TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. CGC 4.106.2 & CGC 4.106.3
5. ALL SPRINKLER DRAINAGE SHALL BE PLACED INTO LANDSCAPING AREAS.
6. EXISTING CITY STREET TREES MAY NOT BE, CUT, TRIMMED, OR REMOVED WITHOUT PERMIT FROM PARKS DIVISION.
7. ALL (E) LANDSCAPE TO REMAIN AND BE PROTECTED.

CAL GREEN SITE DEVELOPMENT

1. PROJECTS THAT DISTURB LESS THAN 1 ACRE SHALL DEVELOP AND IMPLEMENT A PLAN TO MANAGE STORM WATER DRAINAGE (DURING CONSTRUCTION). *A BMP PAGE IS SUFFICIENT.* ***2019*** CGC 4.106.2

2. PLANS SHALL INDICIATE HOW GRADING + PAVING WILL PREVENT SURFACE WATER FLOWS FROM ENTERING BUILDINGS. EXCEPTION: PROJECTS THAT DO NOT ALTER THE DRAINAGE PATH. ***2019*** CGC 4.106.3

3. ELECTRICAL VEHICLE (EV(CHARGING, PARKING SPACES: COMPLY W/ RELEVANT SECTIONS ***2019*** CGC 4.106.4

PUBLIC WORKS NOTES

1. A REMOVE/REPLACE UTILITES ENCHROACHMENT PERMIT IS REQUIRED TO (1) REPLACE ALL CURB, GUTTER, DRIVEWAY AND SIDEWALK FRONTING SITE, (2) PLUG ALL EXISTING SANITARY SEWER LATERAL CONNECTIONS AND INSTALL A NEW 4" LATERAL, (3) ALL WATER LINE CONNECTIONS TO CITY WATER MAINS FOR SERVICES OF FIRE LINE ARE TO BE INSTALLED PER =CITY STANDARD PROCEDURES AND SPECIFICATION. (4) AND OTHER UNDERGROUND UTILITY WORKS WITHIN CITY'S RIGHT-OF WAY.
2. ALL WATER LINES CONNECTIONS TO CITY WATER MAINS FOR SERVICES OR FIRE LINE PROTECTION ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND MATERIAL SPECIFICATIONS. CONTACT THE CITY WATER DEPARTMENT FOR CONNECTION FEES. IF REQUIRED, ALL FIRE SERVICES AND SERVICES 2" AND OVER WILL BE INSTALLED BY BUILDER. ALL UNDERGROUND FIRE SERVICE CONNECTIONS SHALL BE SUBMITTED AS SEPARATE UNDERGROUND FIRE SERVICE PERMIT FOR REVIEW AND APPROVAL.

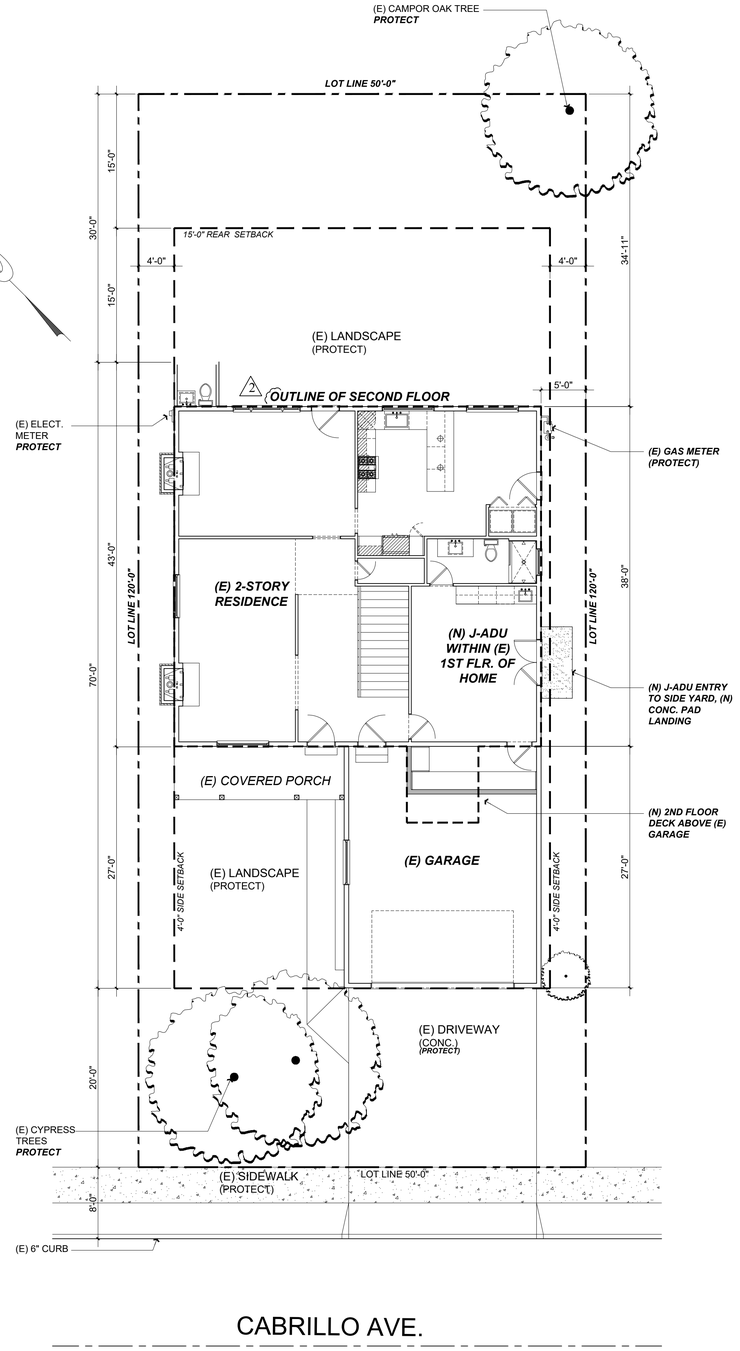
STORMWATER CHECKLIST NOTES

1. DIRECT ROOF RUNOFF INTO CISTERNS OR RAIN BARRELS AND USE RAINWATER FOR IRRIGATION OR OTHER NON-POTABLE USE.
2. DIRECT RUNOFF FROM SIDEWALKS, WALKWAYS, AND/OR PATIOS ONTO VEGETATED AREAS.
3. DIRECT RUNOFF FROM DRIVEWAYS AND/OR UNCOVERED PARKING LOTS ONTO VEGETATED AREAS.
4. CONSTRUCT SIDEWALKS, WALKWAYS AND/OR PATIOS WITH PERMEABLE SURFACES.
5. USE MICOR-DETENTION, INCLUDING DISTRIBUTED LANDSCAPE-BASED DETENTION.
6. PROTECT SENSITIVE AREAS, INCLUDING WETLAND AND RIPARIAN AREAS, AND MINIMIZE CHANGES TO THE NATURAL TOPOGRAPHY.
7. MARK ON SITE INLETS WITH THE WORDS "NO DUMPING! FLOWS TO BAY" OR EQUIVALENT.
8. (A.) RETAIN EXISTING VEGETATION AS PRACTICABLE (B) SELECT DIVERSE SPECIES APPROPRIATE TO THE SITE. INCLUDE PLANTS THAT ARE PEST- AND/OR DISEASE-RESISTANT, DROUGHT-TOLERANT, AND/OR ATTRACT BENEFICIAL INSECTS. (C) MINIMIZE USE OF PESTICIDES AND QUICK -RELEASE FERTILIZERS.
9. DESIGN FOR DISCHARGE OF FIRE SPRINKLERS TEST WATER TO LANDSCAPE OR SANITARY SEWER.
10. TEMPORARY EROSION CONTROLS TO STABILIZE ALL DENUDED AREAS UNTIL PERMANENT EROSION CONTROLS ARE ESTABLISHED.
11. DELINEATE WITH FIELD MARKERS THE FOLLOWING AREAS: CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS,BUFFER ZONES, TREES TO BE PROTECTED AND RETAINED, DRAINAGE COURSES.
12. PROVIDE NOTES, SPECIFICATIONS OR ATTACHEMENTS DESCRIBING THE FOLLOWING: (A) CONSTRUCTION, OPERATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS, INCLUDE INSPECTION FREQUENCY; (B) METHODS AND SCHEDULE FOR GRADING, EXCAVATION, FILLING, CLEARING OF VEGETATION , AND STORAGE AND DISPOSAL OF EXCAVATED OR CLEARED MATERIAL, (C) SPECIFICATIONS FOR VEGETATIVE COVER & MULCH, INCLUDE METHODS AND SCHEDULES FOR PLANTING AND FERTILIZATION (D) PROVISIONS FOR TEMPORARY AND OR PERMANENT IRRIGATION
13. PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER
14. USE SEDIMENT CONTROLS OF FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING AND OBTAIN ALL NECESSARY PERMITS.
15. PROTECT ALL STORM DRAIN INLETS IN VICINITY OF SITE USING SEDIMENT CONTROLS (E.G. BERMS, SOCKS, FIBER ROLLS OR FILTERS)
16. TRAP SEDIMENT ON-SITE, USING BMP'S SUCH AS SEDIMENT BASINS OR TRAPS, EARTHEN DIKES OR BERMS, SILT FENCES, CHECK DAMS, COMPOST BLANKETS OR JUTE MATS, COVERS FOR SOIL STOCK PILES, ETC.
17. DIVERT ON-SITE RUNOFF AROUND EXPOSED AREAS; DIVERT OFF-STE RUNOFF AROUND THE SITE (E.G SWALES AND DIKES)
18. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES,MULCHING OR OTHER MEASURES AS APPROPRIATE.
19. LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS.
20. NO CLEANING, FUELING OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASHWATER IS CONTAINED AND TREATED.
21. STORE, HANDLE AND DISPOSE OF CONSTRUCTION MATERIALS/WASTES PROPERLY TO PREVENT CONTACT WITH STORMWATER.
22. CONTRACTOR SHALL TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES/SUBCONTRACTORS RE: CONSTRUCTION BMP'S.
23. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTINGWASTES,PAINTS,CONCRETE, PETROLEUM PRODUCTS,CHEMICALS,WASHWATEROR SEDIMENTS, RINSE WATER FROM ARCHITECTURAL COPPER, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.

EXISTING PROTECTED TREES

Scale: N/A

2 / A1.0



PROPOSED SITE PLAN

Scale: 1/16 = 1'-0"

1 / A1.0

Revisions

Rev.:	Description :	Date :
001	Response to City Comments	1/20/23
002	Response to City Comments	3/16/23
003	Response to City Comments	4/27/23
004		
005		
006		

PLANNING SET

Contractor :

Owner :
Dan Griffin + Jillian Lei
1235 Cabrillo Ave.
Burlingame, CA 94010

Lot Size:

APN#: 026-171-350

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

form+ one
DESIGN ■ PLANNING

Title : Site Plan

Project : Dan Griffin + Jillian Lei
1235 Cabrillo Ave.
Burlingame, CA 94010

Date : 03.16.22

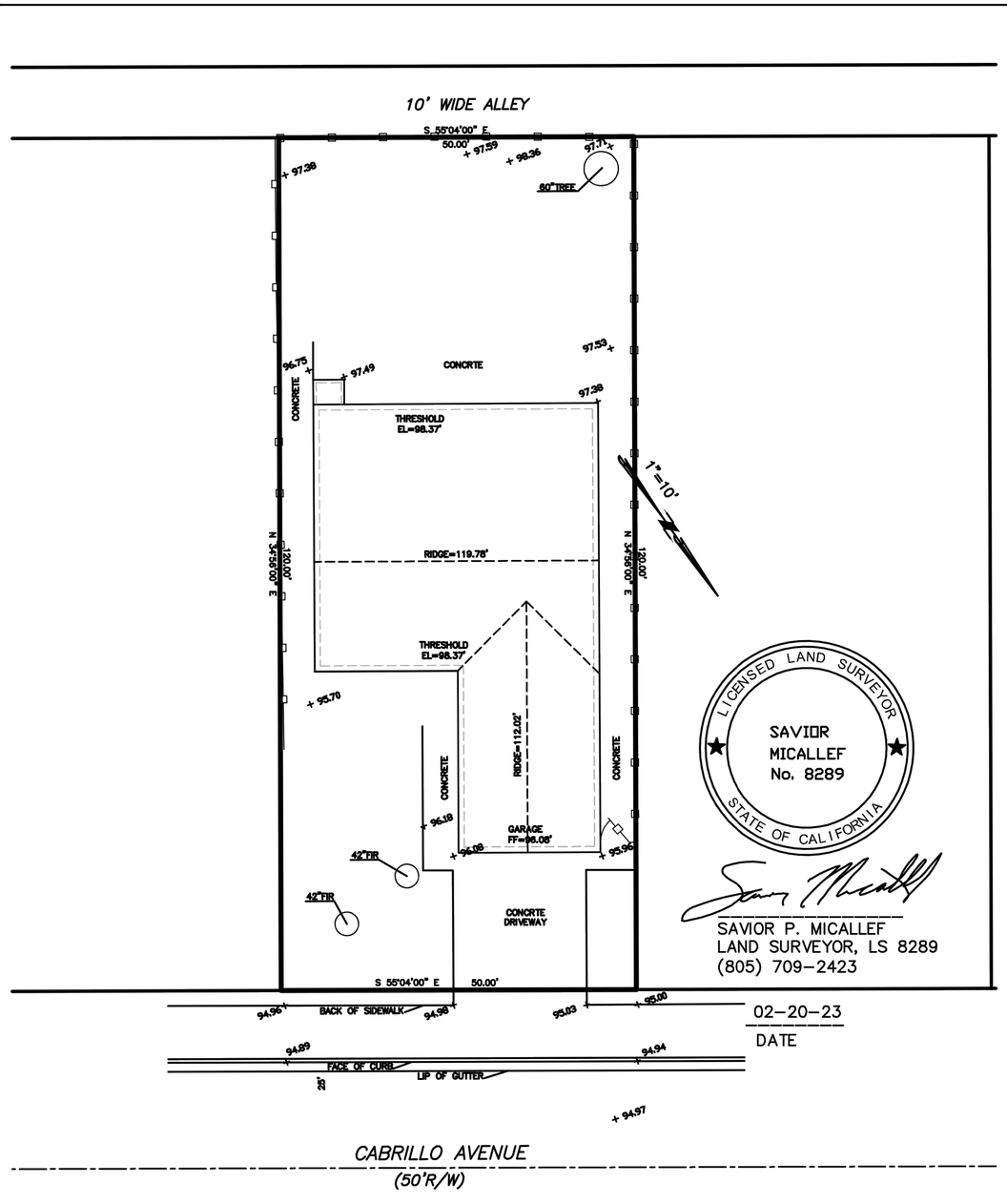
Drawn : TIM RADUENZ

Job No. : 22_12

A1.0

Sheet

Scale: See Details



SCALE ; 1" = 10' FEBRUARY 20, 2023 SHEET 1 OF 3	PARTAIL TOPOGRAPHIC SURVEY 1235 CABRILLO AVE, BURLINGAME, CA	SAVIOR P. MICALLEF 421 WILDWOOD DR SOUTH SAN FRANCISCO CA, 94080

Revisions

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Dan Griffin + Jillian Lei
1235 Cabrillo Ave.
Burlingame, CA 94010

Lot Size:

APN#: 026-171-350

PLANNING SET

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
PH: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

form+ one
DESIGN ■ PLANNING

Title : Partial Survey

Project : Dan Griffin + Jillian Lei
1235 Cabrillo Ave.
Burlingame, CA 94010

Job No. : 22_12 | Drawn : TIM RADUENZ | Date : 03.16.22

A1.1

Sheet

Scale: See Details

RELATED CODE REQUIREMENTS: (EGRESS + WINDOWS + DRS.)

1. EGRESS WINDOWS SHALL HAVE A MIN. NET CLEAR OPERABLE AREA OF 5.7 SQUARE FEET.
2. THE MINIMUM NET CLEAR WIDTH DIMENSION SHALL BE 20"
3. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24"
4. MAX. U-FACTOR (0.58) FOR FENESTRATION + SKYLIGHTS ***2019*** CEC 150.0 (Q)
5. MAX. TOTAL AREA, 20%, NO MAXIMUM FOR WEST FACING AREA TABLE 150.1-A, & B
6. FENESTRATION MAX. U-FACTOR 0.30. NO SHGC REQUIREMENT TABLE 150.1-A, & B
7. DOOR MAX. U-FACTOR: 0.20 TABLE 150.1A, & B

2019 CODE REQUIREMENTS: (PLUMBING)

1. REQUIRES NON-COMPLIANT PLUMBING FIXTURES TO BE REPLACED BY WATER-CONSERVING PLUMBING FIXTURES WHEN A PROPERTY IS UNDERGOING ALTERATIONS OR IMPROVEMENTS. THIS LAW APPLIES TO ALL RESIDENTIAL AND COMMERCIAL PROPERTY BUILT PRIOR TO JANUARY 1, 1994. DETAILS CAN BE FOUND AT HTTP://LEGINFO.CA.GOV/PUB/09-10/BILL/SEN/SB0401-0450/SB407 BILL 20091011 CHAPTERED.HTML.
2. PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CAL GREEN SECTION 301.1,FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO A SINGLE FAMILY RESIDENTIAL PROPERTY, EXISTING PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET COMPLIANT FLOW RATES WILL NEED TO BE UPGRADED. WATER CLOSETS WITH A FLOW RATE EXCESS OF ***1.6 GPF*** WILL NEED TO BE REPLACED WITH W.C. W/ A MAX. FLOW RATE OF ***1.28 GPF***. SHOWER HEADS W/ A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED W/ A MAX. ***1.8 GPM*** SHOWER HEAD. LAVATORY & KITCHEN FAUCETS W/ A FLOW RATE GREATER THAN ***1.8 GPM*** WILL NEED TO BE REPLACED W/ A FAUCET W/ MAX. FLOW RATE OF 1.5 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS)

RELATED CODE REQUIREMENTS: (BATHS) (CONT.):

PLUMBING:
- SHOWER MUST BE PROVIDED W/ TEMPERATURE CONTROL (ANIT-SCALD) TYPE VALVE. TOILETS MUST HAVE A MIN. CLEAR SPACE OF 30" WIDE, & 24" CLEAR SPACE IN FRONT. IF NEW, TOILETS MUST BE WATER CONSERVING 1.28 GALLON. SHOWER DOORS SHALL OPEN OUTWARD AND SHALL BE A MIN. 22" WIDE, THE SHOWERHEAD CANNOT DISCHARGE DIRECTLY AT ENTRANCE. ALL SHOWER COMPARTMENTS, REGARDLESS OF SHAPE,
MUST BE CAPABLE OF ENCOMPASSING A 30" CIRCLE. JOB-FORMED SHOWER PAN LINER MUST SLOPE ¼" PER FOOT TO WEEP HOLES IN DRAIN, AND BE INSPECTED UNDER TEST PRIOR TO COVERING.

RELATED CODE REQUIREMENTS: (BATHS) (CONT.):

BUILDING:
- SHOWER WALL SHALL BE FINISHED TO A HEIGHT 72" ABOVE THE DRAIN INLET WITH MATERIAL THAT IS NOT AFFECTED BY MOISTURE. GREEN BO. CANNOT BE USED AS A BACKER FOR MASTIC TILE WHERE IT WILL BE EXPOSED TO SPLASHING WATER AND IS NOT ALLOWED ON CEILINGS.
CEMENT BOARD WITH A MOISTURE BARRIER AND CORROSION-RESISTANT FASTENERS IS AN APPROPRIATE BACKING MATERIAL IN WET LOCATIONS. MIN. CEILING HEIGHT FOR ALL BATHROOMS IS 7'-0". SAFETY GLAZING IS REQUIRED FOR WINDOWS IN TUB OR SHOWER LOCATIONS WHERE THE BOTTOM EDGE OF GLASS IS LESS THAN 5'-0" ABOVE THE DRAIN. AS PART OF REMODEL SMOKE DETECTORS WILL BE REQUIRED IN ALL BEDROOMS, ADJOINING HALL, AND AT EACH LEVEL PER THE BUILDING CODE.

RELATED CODE REQUIREMENTS: (BATHS)(CONT.)

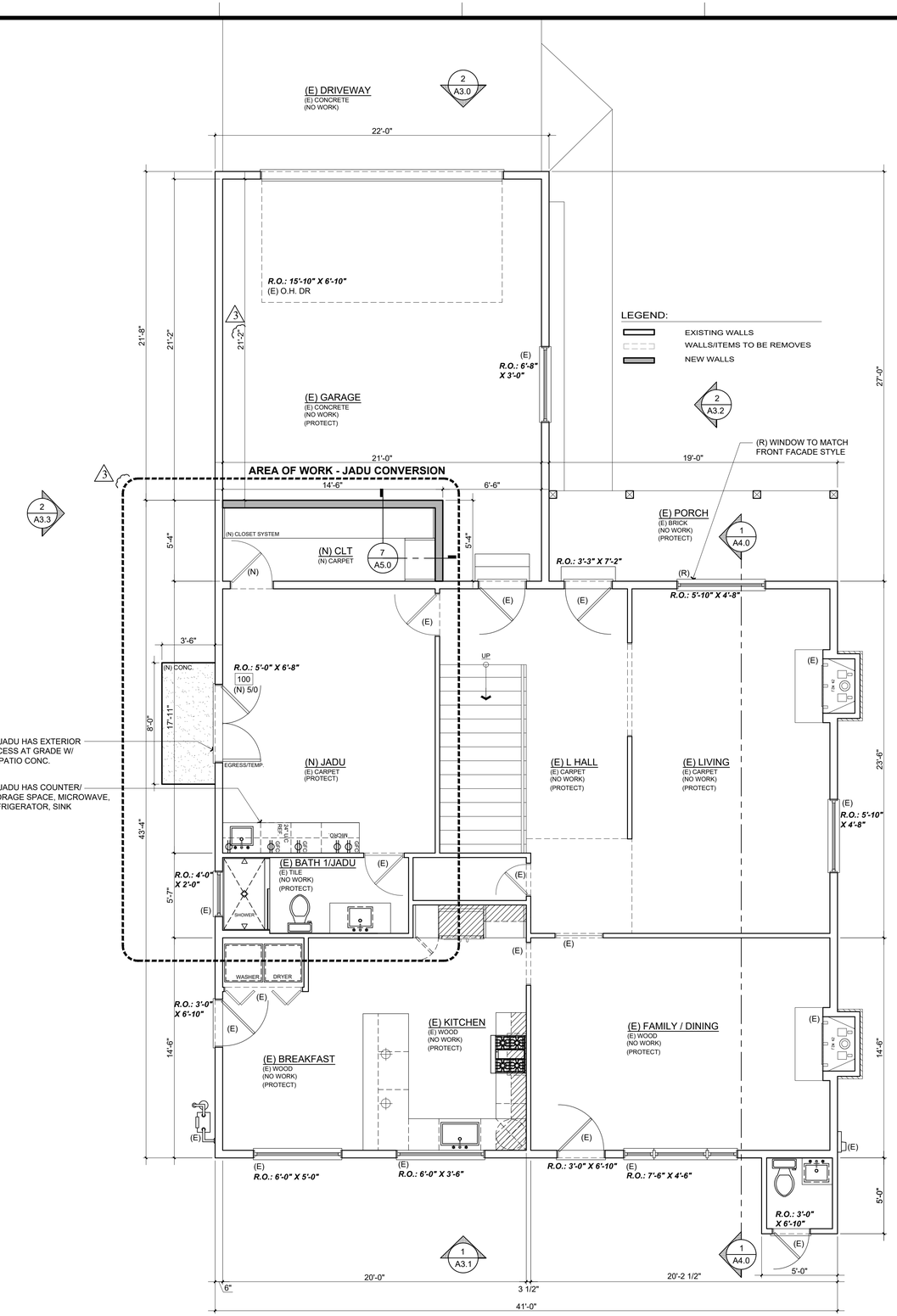
ELECTRICAL:
- IT IS REQUIRED TO HAVE AT LEAST ONE RECEPTACLE WITHIN 3-FEET OF THE OUTSIDE EDGE OF EACH BASIN, THIS RECEPTACLE AND ANY OTHERS LOCATED WITHIN THE BATHROOM MUST BE GFCI PROTECTED.
- A SEPARATE 20-AMP CIRCUIT IS REQUIRED TO SUPPLY BATHROOM OUTLETS ONLY, OR A SINGLE BATHROOM.
- LIGHTING WILL BE REQUIRED TO BE HIGH EFFICACY OR CONTROLLED BY A MANUAL ON OCCUPANT
SENSOR SWITCH. (TYPICALLY HIGH EFFICACY LIGHT FIXTURES ARE PIN BASE FLUORESCENT WITH ELECTRONIC BALLAST.
MECHANICAL:
- A FAN CONNECTED TO THE OUTSIDE CAN BE PROVIDED, FAN EXHAUST SHOULD BE 3-FEET FROM BUILDING OPENINGS AND PROPERTY LINES.
BE INSPECTED UNDER TEST PRIOR TO COVERING.

GENERAL NOTES:

1. PROVIDE 30" MIN. CLEAR WIDTH, 15" ON BOTH SIDES FROM CENTERLINE OF W.C.) AND 24" CLEARANCE IN FRONT OF THE W.C. PER CPC 402.5
2. PROVIDE MIN. SHOWER AREA - 1024 SQ. INCHES, CAPABLE OF ENCOMPASSING A 30" CIRCLE. SEE PLANS PER CPC 408.6
3. TEMPERED GLAZING, TYP. AT ALL DOORS AND REQUIRED BY CODE
4. PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM THE WASHER & DISHWASHER, ETC., PER CPC
5.WATER CLOSETS SHALL BE AN ULTRA LOW FLUSH TYPE W/ ***1.28 GALLONS MAX.*** PER FLUSH, PER CPC & GCG 4.303.1.1
6. EXHAUST VENT FOR DRYER SHALL TERMINATE TO THE OUTSIDE OF THE BUILDING AND SHALL BE EQUIPPED WITH A DRAFT DAMPER AND SHALL BE RIGID METAL DUCT WITH SMOOTH INTERIOR SURFACES PER CMC SECT. 504.
7. VERIFY ALL FINISH FLOOR CALL-OUTS W/ OWNERS, TYP.
8. SUB- PANEL ELECT., VERIFY LOCATION W/ OWNER.
9. ALL SHOWER HEADS TO HAVE ***1.8 GPM @ 60 PSA*** FLOW MAX. PER ***2019*** CPC SECT. 408.2 & (CGC 4.303.1.2)
10. ALL SHOWER WALLS TO BE WATERPROOF TO 72" ABOVE DRAIN INLET, WALL FINISHES TO BE OF SMOOTH HARD NONABSORBENT SURFACE, PER CRC R307.2 (CEMENT BASED)
11. NA
12. ALL LAVATORY FAUCETS TO HAVE ***1.2 GPM***, + KITCHEN FAUCETS TO HAVE ***1.8 GPM*** FLOW MAX. PER ***2019*** CPC SECT. 403.7, & 403.6 (CGC 4.303.1.4.4)
13. WATER HAMMER ARRESTORS AT ALL APPLIANCES THAT HAVE QUICK-ACTING VALVES (I.E.) DISHWASHERS HOT WATER LINE AND THE HOT/COLD LINES OF THE CLOTHES WASHER) ***2019*** CPC 609.10.
14. CONTROL VALVE FOR SHOWER OR TUB/SHOWER SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE, PER CPC 420.0.
15. THRESHOLD FOR IN-SWING DOORS SHALL BE 7.75" MAX. AND 7" MAX. FOR OUTSWING DOORS.
16. (E) GAS METER LOCATION, PG&E, TYPICAL 36" FROM OPERABLE WINDOWS.
17. (E) ELECTRICAL METER LOCATION ***TO BE MOVED PER PLANS***.
18. MAX. DROP FROM TOP OF THRESHOLD TO THE EXT. LANDING AT ALL SLIDING AND IN-SWINGING DOORS SHALL BE LIMITED TO 7.75", AND NOT MORE THAN 1.5" LOWER THAN THRESHOLD FOR OUTSWING DRS. PER ***2019*** CRC R311.3
19. (N) STAIRS TO HAVE MAX. RISER HEIGHT OF 7.75" AND A MIN. TREAD DEPTH OF 10" PER CRC R311.7.4.
20. A CAPILLARY BREAK WILL BE INSTALLED IF A SLAB ON GRADE FOUNDATION SYSTEM IS USED. THE USE OF A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE UNDER A 6 MIL VAPOR RETARDER WITH JOINT LAPPED NOT LESS THAN 6" WILL BE PROVIDED UNLESS AND ENGINEERED DESIGN HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING DIVISION . ***2019*** CGC §4.505.2 AND CALIFORNIA RESIDENTIAL CODE (CRC) §R506.2.3
21. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE WILL NOT BE INSTALLED. WALL AND FLOOR FRAMING WILL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT WILL BE VERIFIED PRIOR TO FINISH MATERIAL BEING APPLIED. ***2019*** CGC §4.505.3

GENERAL NOTES: (cont.)

22. FITTINGS (FAUCETS AND SHOWER HEADS) HAVE ALL REQUIRED STANDARDS LISTED ON PLANS AND ARE IN ACCORDANCE TO CGC 4.303.1.3 AND CGC 403.1.4
23. ANY GAS FIREPLACE SHALL BE DIRECT-VENT SEALED-COMBUSTIBLE TYPE. ***2019*** CGC 4.503.1
24. PROVIDE 36 INCH MIN. DEEP LANDING OUTSIDE ALL EXTERIOR DOORS (NOT MORE THAN 7.75 INCHES LOWER THAN THE THRESHOLD FOR IN-SWINGING DOORS AND SLIDING DOORS, AND NOT MORE THAN 1.5 INCHES LOWER THAN THE THRESHOLD FOR OUT-SWINGING DOORS) ***2019*** CRC R311.3
25. WALLS WITH 2 X 6 AND LARGER FRAMING REQUIRE R-19 INSULATION 150.0(C)2
26 CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT OF WAY ARE LIMITED TO THE WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00 A.M AND 5:00 P.M.



EXISTING 1ST FLOOR FLOOR PLAN

MIN. WORK - CONVERSION OF BEDROOM/BATH TO J-ADU

Scale: 1/4 = 1'-0"

1 / A2.0

Revisions

Rev.:	Description :	Date :
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Contractor :

PLANNING SET

Owner :
Dan Griffin + Jillian Lei
1235 Cabrillo Ave.
Burlingame, CA 94010

Lot Size:

APN#: 026-171-350

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

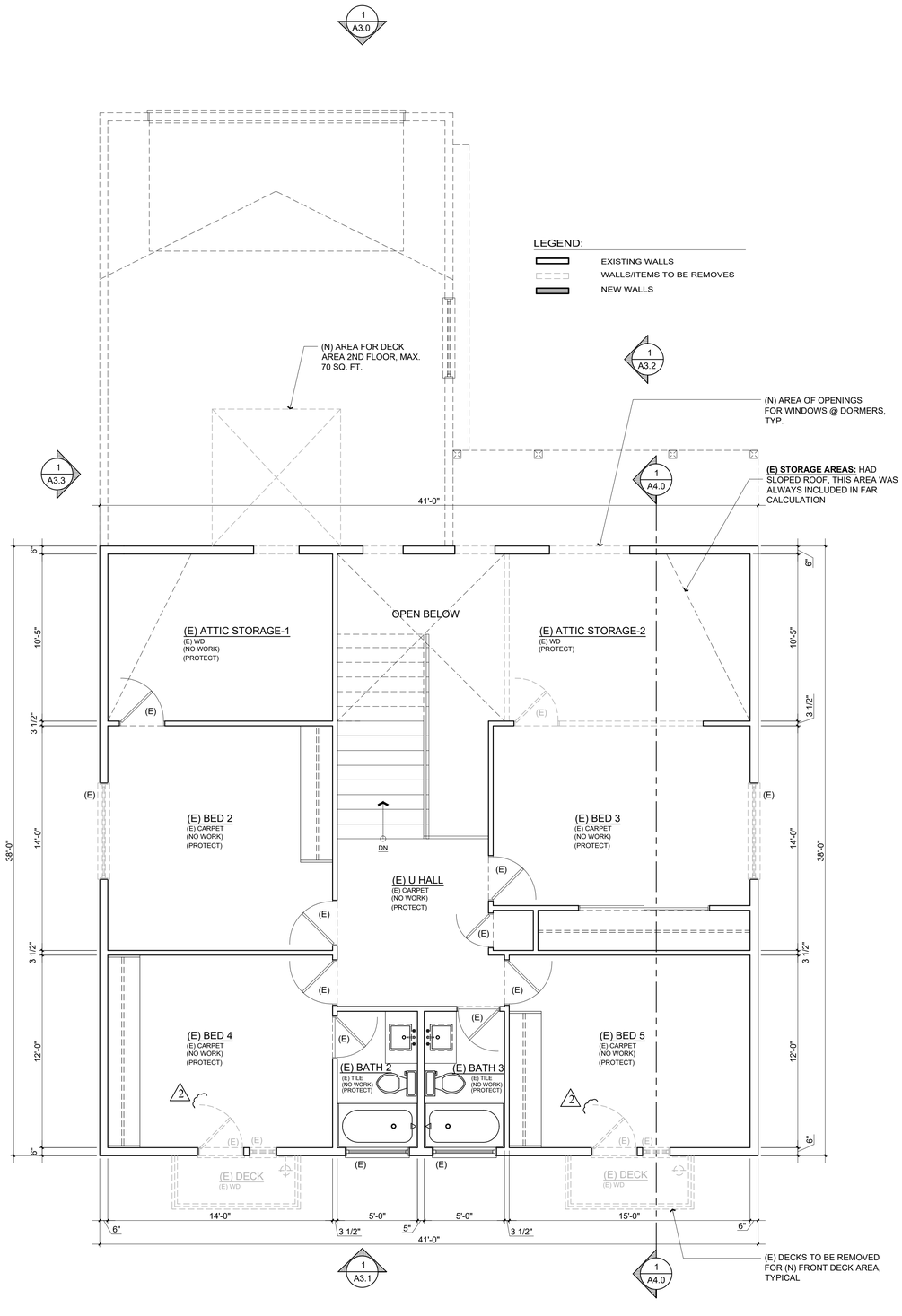
form+ one
DESIGN ■ PLANNING

Title : Existing First Floor Plan
Project : Dan Griffin + Jillian Lei
1235 Cabrillo Ave.
Burlingame, CA 94010

Date : 03.16.22
Drawn : TIM RADUENZ
Job No. : 22_12

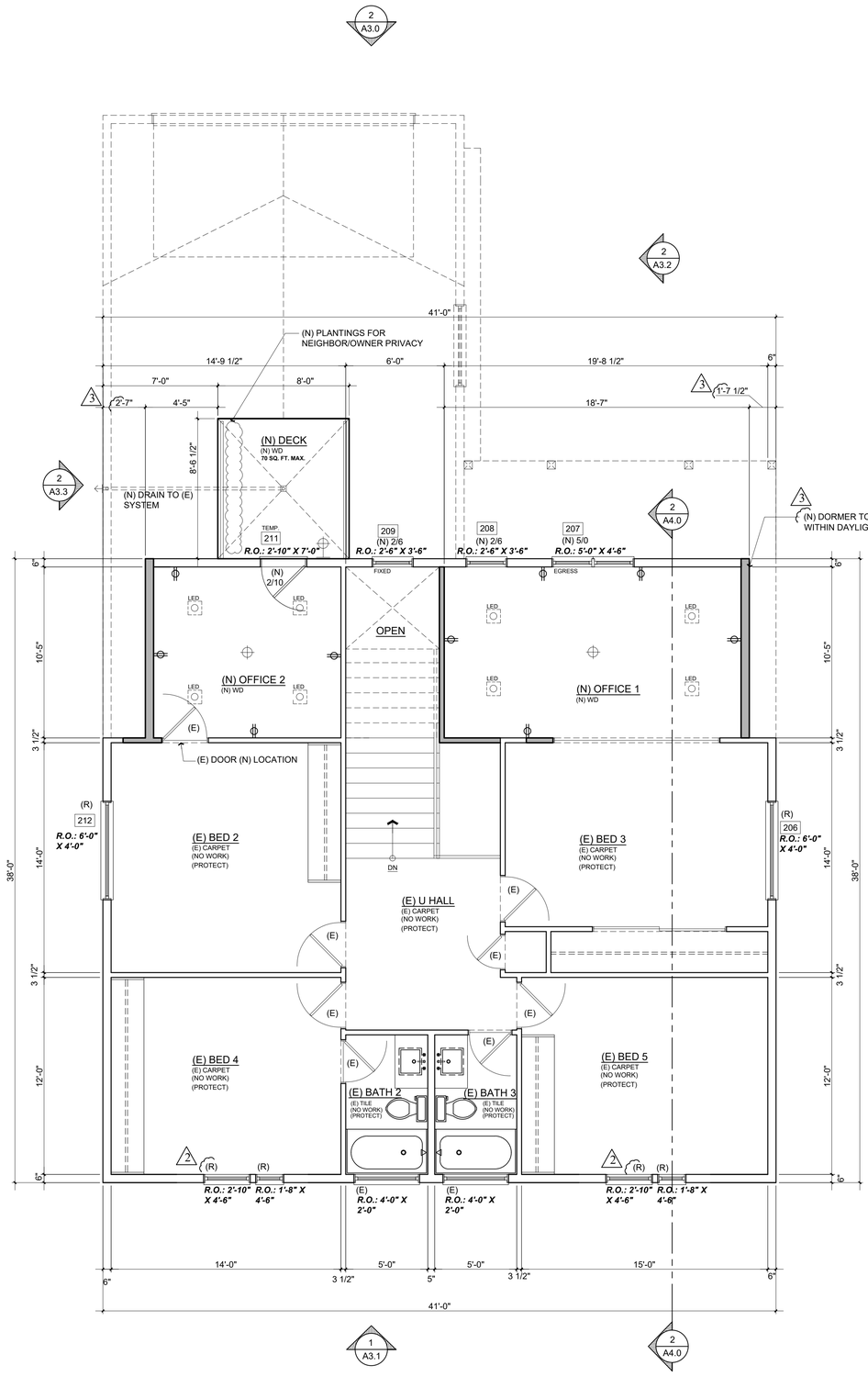
A2.0

Sheet
Scale: See Details



EXISTING/ DEMO 2ND FLOOR PLAN

Scale: 1/4 = 1'-0"



PROPOSED 2ND FLOOR PLAN

Scale: 1/4 = 1'-0"

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1235 Cabrillo Ave.
Burlingame, CA 94010

Lot Size:

APN#: 026-171-350

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

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DESIGN ■ PLANNING

PLANNING SET

Title : As Built / Demo + Proposed Floor Plan
Project : Dan Griffin + Jillian Lei
1235 Cabrillo Ave.
Burlingame, CA 94010
Date : 03.16.22
Drawn : TIM RADUENZ
Job No. : 22_12

A2.1

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Scale: See Details

NOTES:
1. (EXISTING) (OGEE) G.S.M. GUTTERS, & (3" GSM) DOWNSPOUTS (MATCH EXISTING AS REQUIRED), LINE ALL VALLEYS WITH GSM, AT LEAST 20" WIDE WITH WITH 1/4" EDGE TURNED OVER AND FASTENED WITH CLEATS. LAP JOINTS AT LEAST 4", BUT DO NOT SOLDER.

2. N/A

3. WHEN INSULATION IS INSTALLED IN ENCLOSED RAFTER SPACES WHERE CEILINGS ARE APPLIED DIRECT TO THE UNDERSIDE OF ROOF RAFTERS, A MINIMUM AIR SPACE OF 1 INCH MUST BE PROVIDED, INSULATION BAFFLE NEEDED.

4. FLASHINGS AND COUNTER FLASHINGS SHALL NOT BE LESS THAN 0.016-INCH (28-GAGE) CORROSION RESISTANT METAL, AND VALLEY FLASHING

5. AT THE JUNCTURE OF THE ROOF & VERTICAL SURFACES, FLASHING & COUNTERFLASHINGS SHALL NOT BE LESS THAN 0.019-INCH (26 GAUGE)

6. NA

7. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MIN. OF 3'-0" FROM PROPERTY LINES OR ANY OPENING INTO THE BUILDING (I.E. DRYERS, BATH& UTILITY FANS, ETC., MUST BE 3'-0" AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS, PER CODE

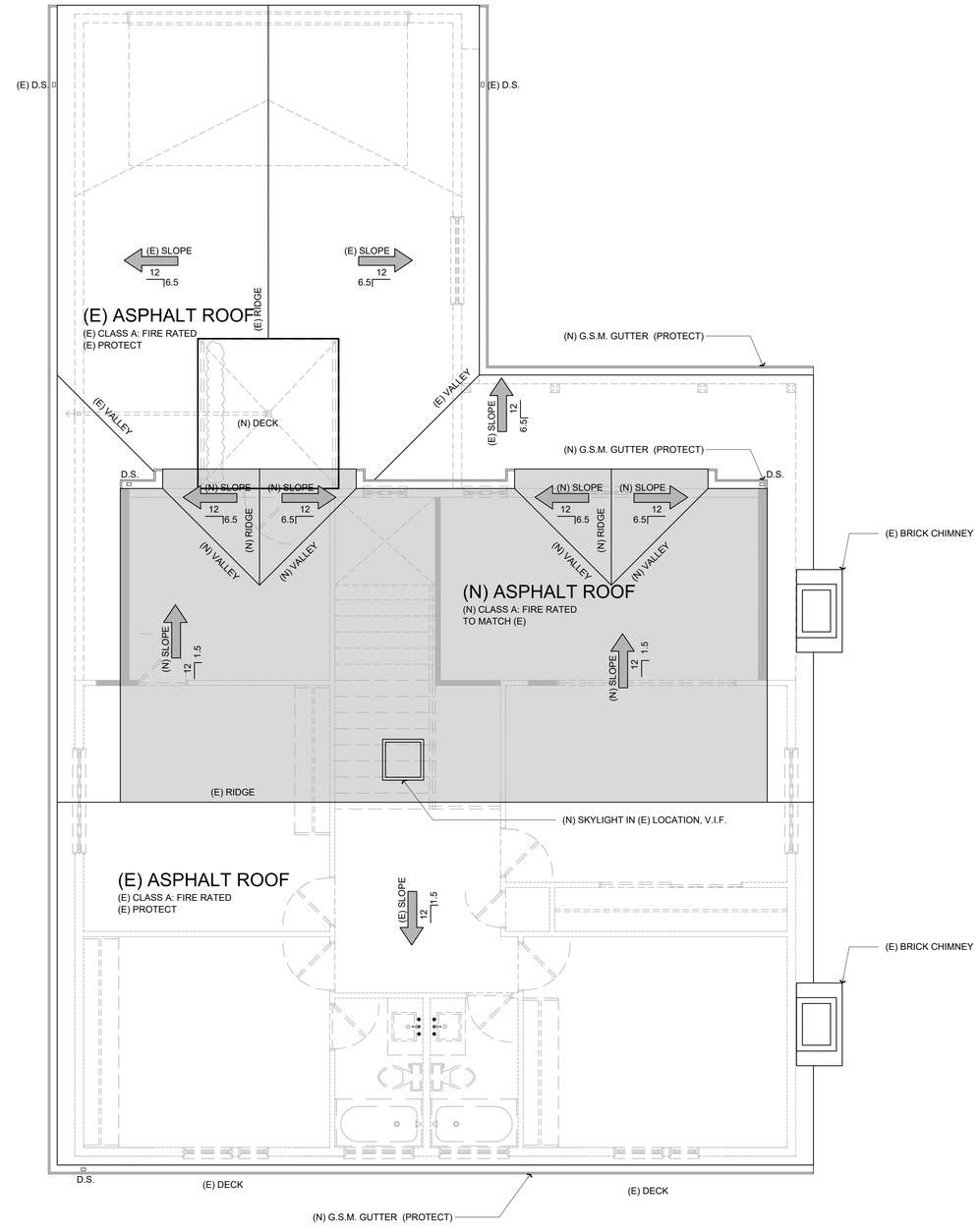
8. N/A

9. N/A

10. ATTIC VENTILATION AT CALIFORNIA FRAMING TO RECEIVE LOW PROFILE VENTS OR OPENING IN THE ROOF SHEATHING BELOW

11. (AS REQUIRED) ALL TRUSS/RAFTER BLOCKING TO RECEIVE 2" DIA HOLES IN EVERY BLOCK TYPICAL FOR EVEN DISTRIBUTION OF AIR FLOW.

12. ATTIC IS GETTING NEW INSULATION,VERIFY (E) FANS/VENTS TO WHAT IS REQUIRED ER CURRENT CODE.



PROPOSED ROOF PLAN

Scale: 1/4 = 1'-0"

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A2.2

Revisions

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1235 Cabrillo Ave.
Burlingame, CA 94010

Lot Size:

APN#: 026-171-350

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

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DESIGN ■ PLANNING

PLANNING SET

Title : Proposed Roof Plan
Project : Dan Griffin + Jillian Lei
1235 Cabrillo Ave.
Burlingame, CA 94010
Job No. : 22_12
Drawn : TIM RADWENZ
Date : 03.16.22

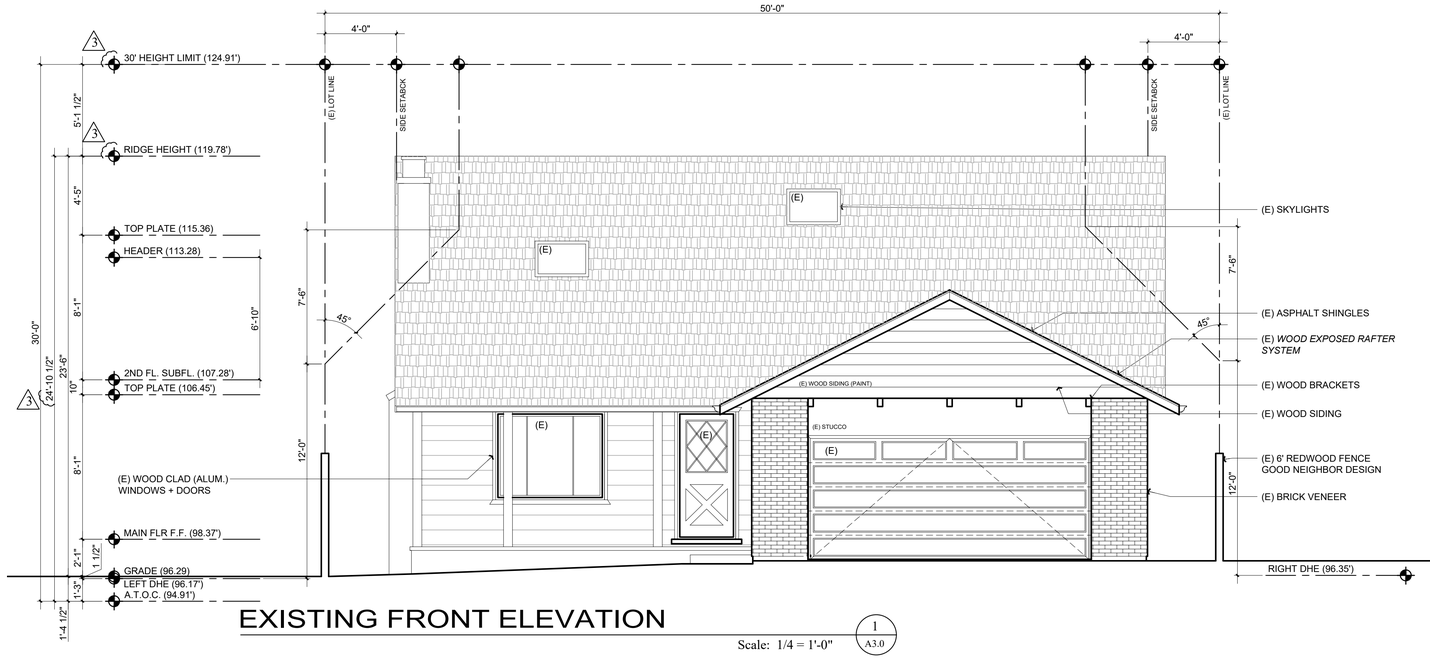
A2.2

Sheet
Scale: See Details

INSPIRATION PHOTO

Scale: N/A

3 / A3.0



EXISTING FRONT ELEVATION

Scale: 1/4 = 1'-0"

1 / A3.0

PROPOSED FRONT ELEVATION

Scale: 1/4 = 1'-0"

2 / A3.0

ADDRESS NUMBERING POLICY:

1. NUMBERS + ADDRESSES SHALL BE PLACED ON ALL NEW + EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE + LEGIBLE FRONT THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST W. THEIR BACKGROUND, SHALL BE A MINIMUM OF ONE-HALF INCH STROKE BY FOUR INCHES HIGH, AND SHALL BE EITHER INTERNALLY OR EXTERNALLY ILLUMINATED IN ALL NEW CONSTRUCTION. ALTERATIONS OR REPAIR OF EXISTING CONSTRUCTION. THE POWER OF SUCH ILLUMINATION SHALL NOT BE NORMALLY SWITCHABLE. ***CITY OF BURLINGAME MUNICAPAL CODE 18.08.010. CBC 2016 CBC 501.2***

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4943 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

form+ one
DESIGN ■ PLANNING

Title : As Built + Proposed Elevations

Project : Dan Griffin + Jillian Lei
1235 Cabrillo Ave.
Burlingame, CA 94010

Date : 03.16.22

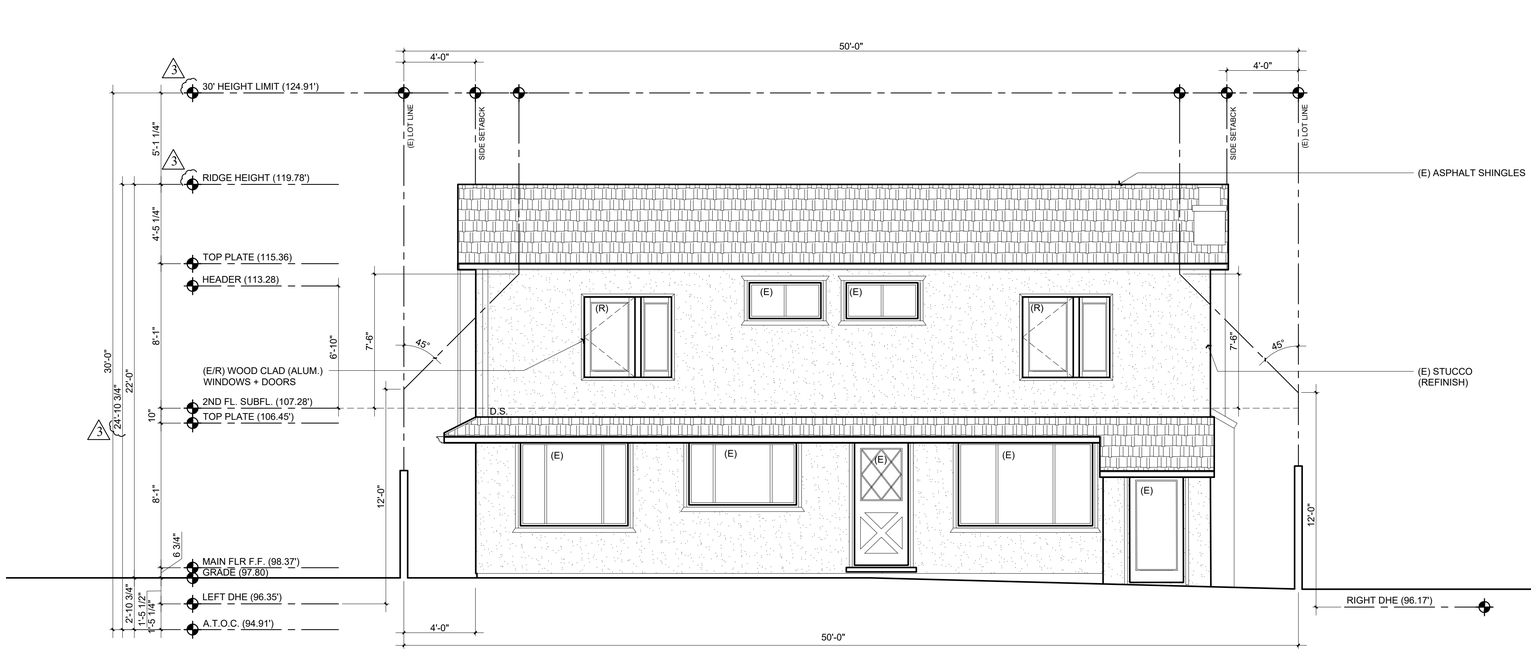
Drawn : TIM RADUENZ

Job No. : 22_12

A3.0

Sheet

Scale: See Details



EXISTING REAR ELEVATION

NO WORK

Scale: 1/4 = 1'-0"

1 / A3.1

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APN#: 026-171-350

PLANNING SET

4943 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

form+ one
DESIGN ■ PLANNING

Title : As Built Elevations

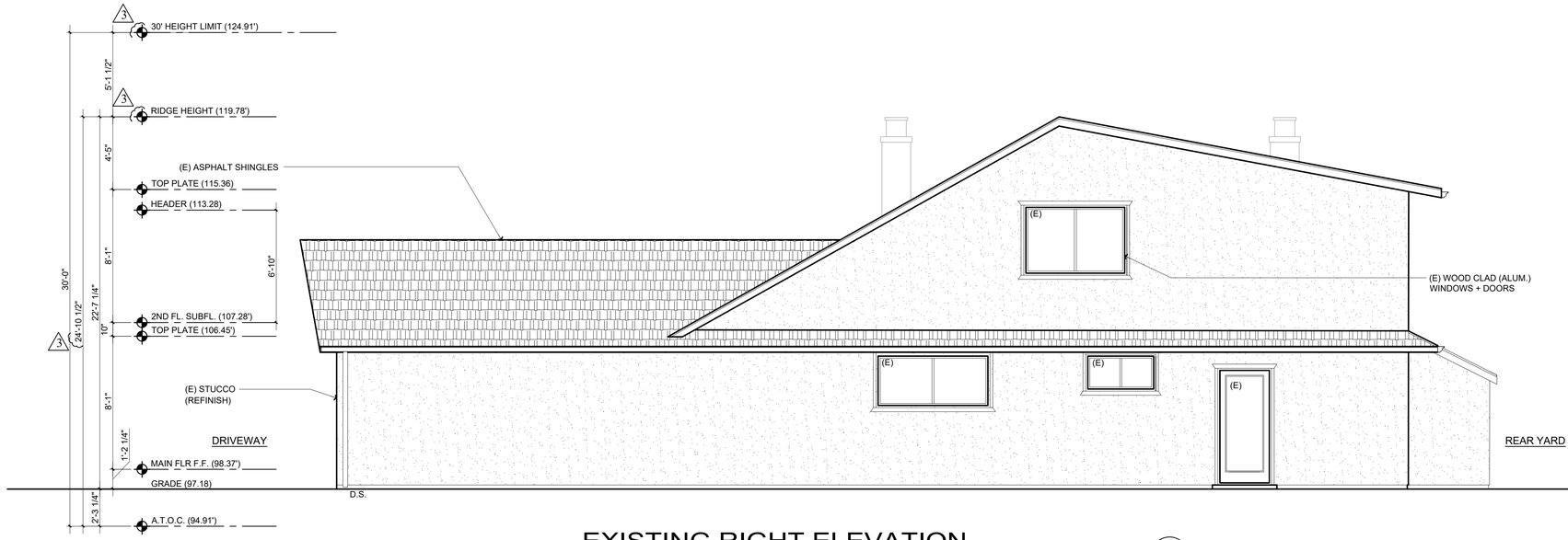
Project : Dan Griffin + Jillian Lei
1235 Cabrillo Ave.
Burlingame, CA 94010

Job No. : 22_12 | Drawn : TIM RADUENZ | Date : 03.16.22

A3.1

Sheet

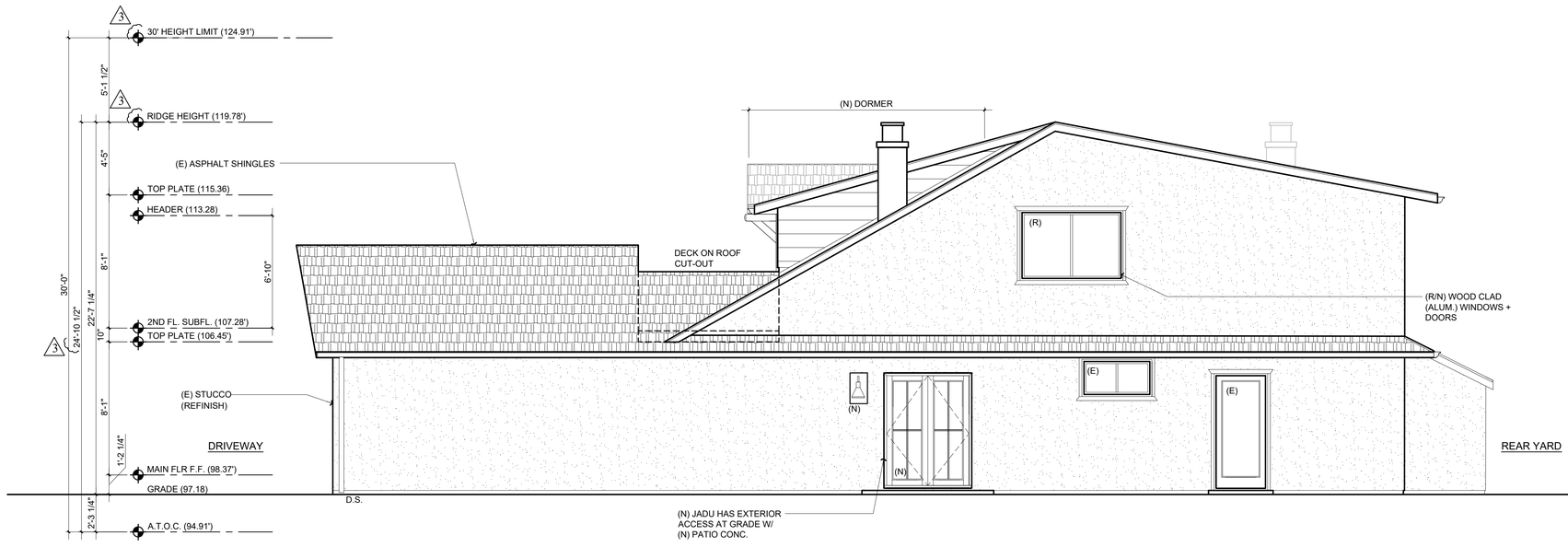
Scale: See Details



EXISTING RIGHT ELEVATION

Scale: 1/4 = 1'-0"

1 / A3.2



PROPOSED RIGHT ELEVATION

Scale: 1/4 = 1'-0"

2 / A3.2

Revisions

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001	Response to City Comments	1/20/23
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Contractor :

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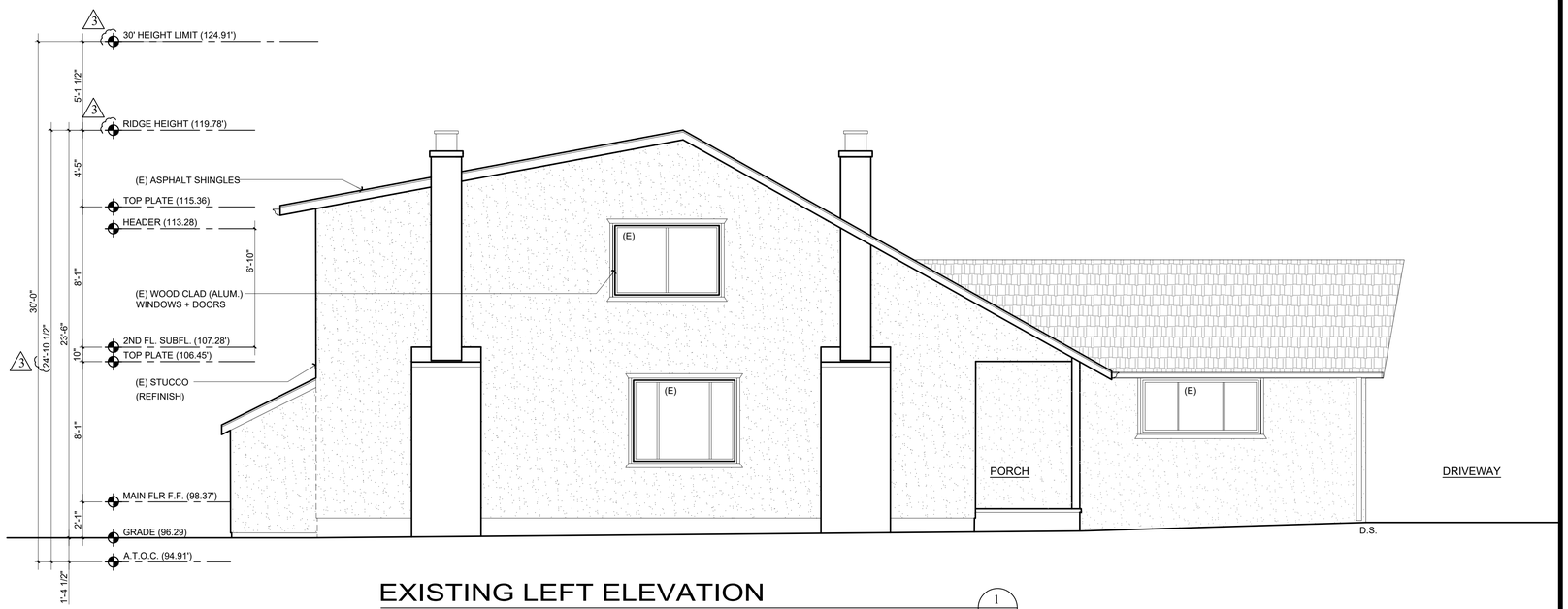
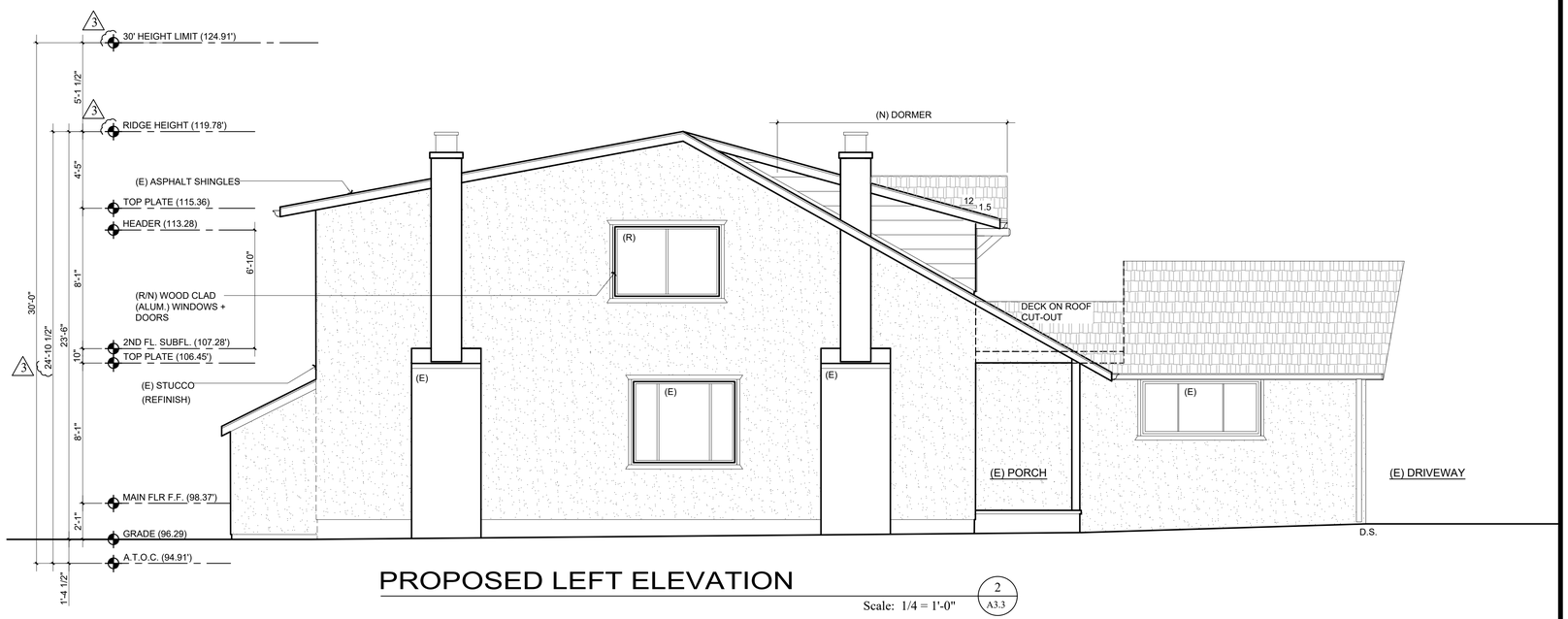
Scale: See Details



EXISTING LEFT ELEVATION

Scale: 1/4 = 1'-0"

1 / A3.3



PROPOSED LEFT ELEVATION

Scale: 1/4 = 1'-0"

2 / A3.3

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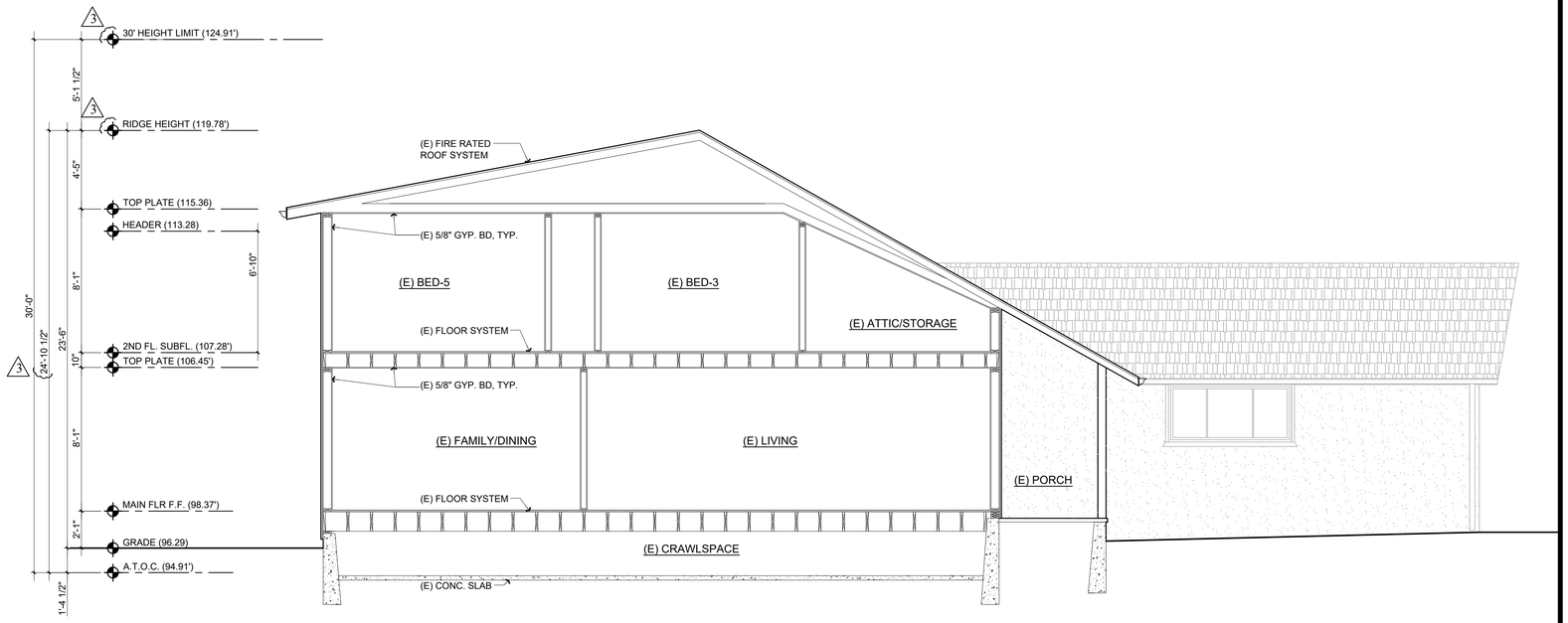
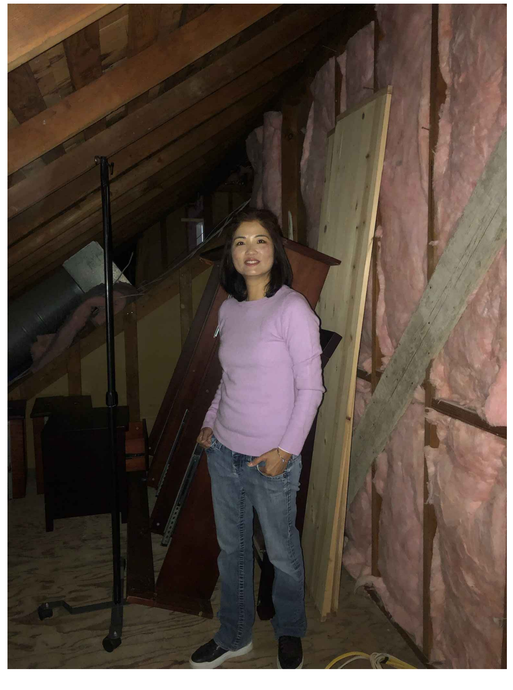


EXISTING BUILDING SECTION

Scale: 1/4 = 1'-0"

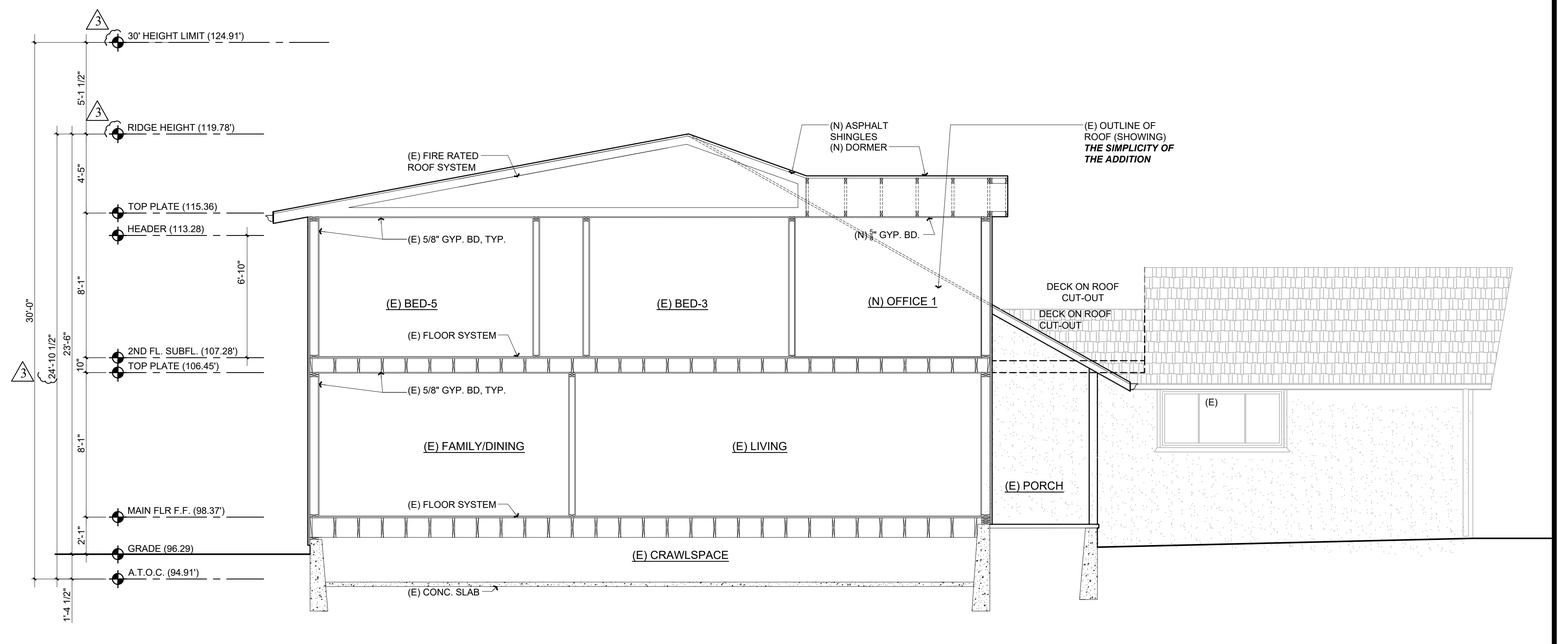
1 / A4.0



EXISTING ATTIC

Scale: N/A

3 / A4.0



PROPOSED BUILDING SECTION

Scale: 1/4 = 1'-0"

2 / A4.0

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DESIGN ■ PLANNING

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1235 Cabrillo Ave.
Burlingame, CA 94010

Date : 03.16.22

Drawn : TIM RADUENZ

Job No. : 22_12

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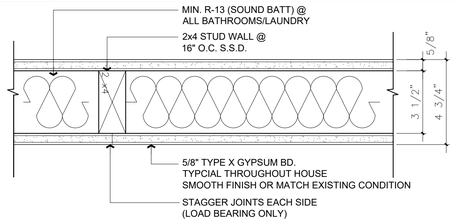
Scale: See Details

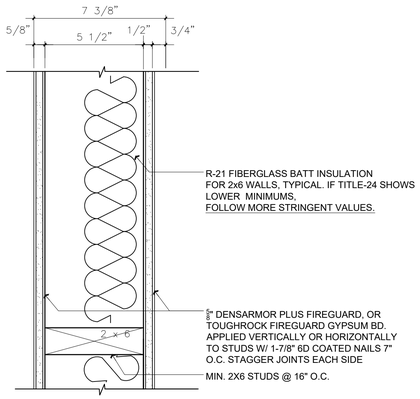


NOTES:
SEE WWW.GPGYPSUM.COM FOR
TECHNICAL SPEC'S

INTERIOR WALL DTLS.

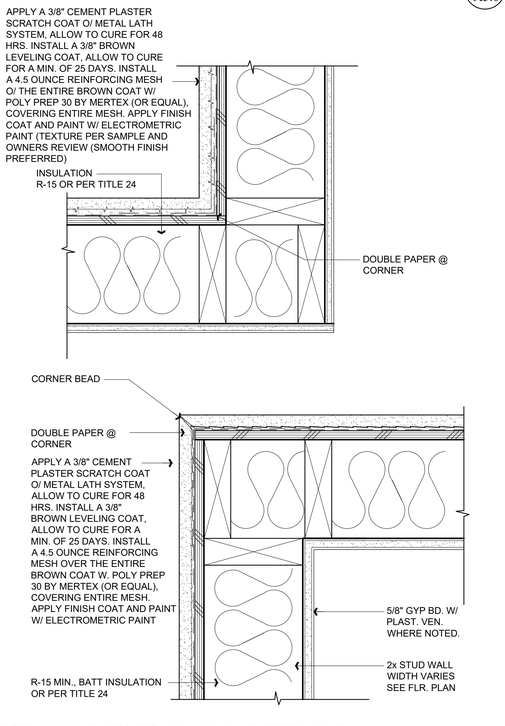
1 A5.0

Scale: 3" = 1'-0"



EXT. WALL DTLS.

2 A5.0



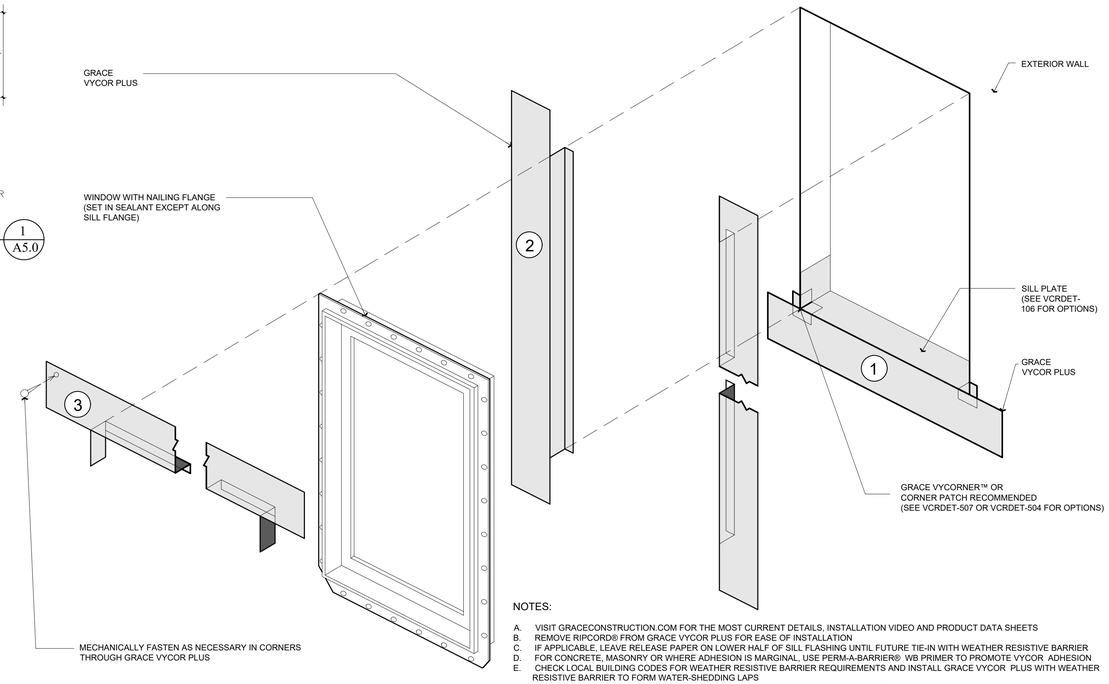
STUCCO EXT. WALL DETAILS

5 A5.0

-

Scale: 3" = 1'-0"

WINDOW FLASHING DTLS.



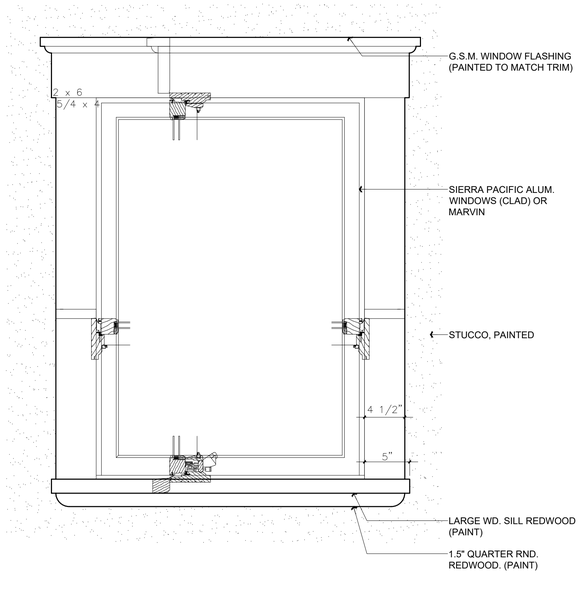
NOTES:

A. VISIT GRACECONSTRUCTION.COM FOR THE MOST CURRENT DETAILS, INSTALLATION VIDEO AND PRODUCT DATA SHEETS
B. REMOVE RIPCORD® FROM GRACE VYCOR PLUS FOR EASE OF INSTALLATION
C. IF APPLICABLE, LEAVE RELEASE PAPER ON LOWER HALF OF SILL FLASHING UNTIL FUTURE TIE-IN WITH WEATHER RESISTIVE BARRIER
D. FOR CONCRETE, MASONRY OR WHERE ADHESION IS MARGINAL, USE PERM-A-BARRIER® WB PRIMER TO PROMOTE VYCOR ADHESION
E. CHECK LOCAL BUILDING CODES FOR WEATHER RESISTIVE BARRIER REQUIREMENTS AND INSTALL GRACE VYCOR PLUS WITH WEATHER RESISTIVE BARRIER TO FORM WATER-SHEDDING LAPS
F. INSTALL WINDOW PER MANUFACTURER'S RECOMMENDATION AND USE APPROPRIATE SEALANT FOR WINDOW AND WOOD BUCK
G. DETAIL ALSO RELEVANT FOR GRACE VYCOR V40 AND VYCOR BUTYL

WINDOW FLASHING DTLS.

3 A5.0

Scale: N.A.



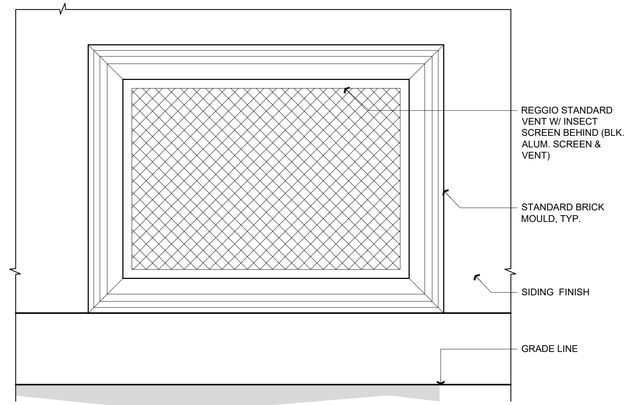
TYPICAL WINDOW DETAIL

Sierra Pacific or Marvin or Equal

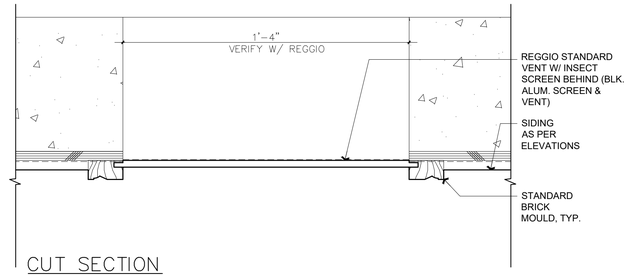
Scale: 3" = 1'-0"

6 A5.0

ELEVATION



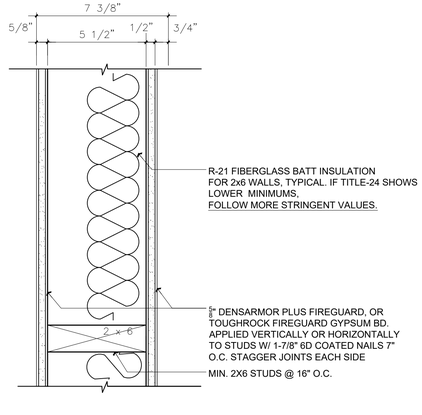
CUT SECTION



(N) EXT. WALL VENT DTLS.

4 A5.0

Scale: 3" = 1'-0"



1 HR RATED INTERIOR WALL

7 A5.0 (3)

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PLANNING SET

Contractor :

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1235 Cabrillo Ave.
Burlingame, CA 94010

Lot Size:

APN#: 026-171-350

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form+ one
DESIGN ■ PLANNING

Title : Building Details
Project : Dan Griffin + Jillian Lei
1235 Cabrillo Ave.
Burlingame, CA 94010

Date : 03.16.22
Drawn : TIM RADUENZ
Job No. : 22_12

A5.0

Sheet

Scale: See Details

ROOM FINISH SCHEDULE

	ROOM	FLOORING	PAINT WALLS	PAINT CEILING	PAINT MILLWORK	PAINT CROWN	REMARKS
FIRST FLOOR	(E) GARAGE	(E) CONC.	TBS	TBS	PAINT (TBS)	TBS	
	(E) BED-1	(E) CARPET	TBS	TBS	PAINT (TBS)	TBS	BEDRM AREA CONVERTED TO JADU
	(E) L-HALL	(E) CARPET	TBS	TBS	PAINT (TBS)	TBS	
	(E) LIVING	(E) CARPET	TBS	TBS	PAINT (TBS)	TBS	
	(E) BATH-1	(E) TILE	TBS	TBS	PAINT (TBS)	TBS	BATH AREA CONVERTED TO JADU
	(E) BREAKFAST	(E) WOOD	TBS	TBS	PAINT (TBS)	TBS	
	(E) KITCHEN	(E) WOOD	TBS	TBS	PAINT (TBS)	TBS	
	(E) FAMILY/ DINING	(E) WOOD	TBS	TBS	PAINT (TBS)	TBS	
SECOND FLR	(N) OFFICE 2	(N) WOOD	TBS	TBS	PAINT (TBS)	TBS	
	(E) BED-2	(E) CARPET	TBS	TBS	PAINT (TBS)	TBS	
	(N) OFFICE 1	(N) WOOD	TBS	TBS	PAINT (TBS)	TBS	
	(E) BED-3	(E) CARPET	TBS	TBS	PAINT (TBS)	TBS	
	(E) U-HALL	(E) CARPET	TBS	TBS	PAINT (TBS)	TBS	
	(E) BED-4	(E) CARPET	TBS	TBS	PAINT (TBS)	TBS	
	(E) BATH-2	(E) TILE	TBS	TBS	PAINT (TBS)	TBS	
	(E) BATH-3	(E) TILE	TBS	TBS	PAINT (TBS)	TBS	
	(E) BED-5	(E) CARPET	TBS	TBS	PAINT (TBS)	TBS	

PAINT SPECS.

INTERIORS:
MAIN ROOMS:
AURA, NATURA(GREEN OPTION), REGAL SELECT, OR APPROVED EQUIVALENT
CEILINGS:
WATERBORNE CELING PAINT, OR APPROVED EQUIVALENT
BATHROOMS:
AURA BATH AND SPA, OR APPROVED EQUIVALENT
EXTERIORS:
HOUSE:
AURA, REGAL SELECT, OR APPROVED EQUIVALENT

CAL GREEN NOTES:

1. PAINTS AND COATINGS WILL COMPLY WITH VOC LIMITS PER CGC §4.504.2.2
2. DOCUMENTATION PROVIDED THAT VERIFIES COMPLIANCE WITH VOC FINISH MATERIALS. 2019 CGC §4.504.2.4
3. CARPET SYSTEM INSTALLED IN THE BUILDING INTERIOR WILL MEET THE TESTING AND PRODUCT REQUIREMENTS FOUND IN THE 2019 CALIFORNIA GREEN BUILDING CODE. 2019 CGC §4.504.3
4. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80% OF THE FLOOR AREA RECEIVING RESILIENT FLOORING WILL COMPLY WITH THE CALIFORNIA GREEN BUILDING CODE REQUIREMENTS. 2019 CGC §4.504.4
5. HARDWOOD PLYWOOD, PARTICLEBOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR AND EXTERIOR OF THE BUILDING WILL COMPLY WITH THE LOW FORMALDEHYDE EMISSION STANDARDS. 2019 CGC §4.504.5
6. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC AND OTHER REQUIREMENTS PER CGC 4.504.2.3
7. ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL FOLLOW LOCAL AND REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT STANDARDS 2019 CGC §4.504.2.1

8. NEW MANDATORY U-FACTOR (0.58) FOR FENESTRATION + SKYLIGHTS §150.0 (q)
9. REDUCED ***U-FACTOR (0.30)*** FOR HIGH PERFORMANCE WINDOWS 2019 CAL ENERGY CODE §150.1 (c)3 A
10. MAX. TOTAL AREA, 20%, NO MAX. FOR WEST FACING AREA, TABLE 150.1-A, AND B
11. DOOR MAX. U-FACTOR 0.20, TABLE 150.1-A, AND B

ROOM FINISH SCHEDULE

Scale: NA

1 / A9.0

EXTERIOR DOORS & WINDOWS

		LOCATION	DOORS			MATERIALS				DETAILS				HDWR.		REMARKS
			DOOR SIZE WxH	TYPE	SYM.	CORE	EXT. FIN.	INT.FIN.	GLASS	HEAD	JAMB	SILL	TRIM	TYPE	FIN.	
	100	BED-1 / JADU	5'-0" X 6'-8" +	FRENCH DR.	F	PINE	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1 + #5 + #6
SECOND FLOOR	206	BED-3	6'-0" X 4'-0"	CASE	E	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1 + #5
	207	OFFICE-1	5'-0" X 4'-0"	CASE	A	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	208	OFFICE-1	2'-6" X 3'-0"	CASE	B	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	209	STAIRS	2'-6" X 3'-0"	FIXED	B	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	211	OFFICE-2	2'-10" X 6'-8"	ENTRY DR.	C	D.F.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	212	BED-2	6'-0" X 4'-0"	CASE	E	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1 + #5

NOTES

1. WOOD/CLAD KOLBE ULTRA WINDOWS + DOORS, WITH S.D.L 3/4" MUNTIN BARS
2. EGRESS PER CODE
3. DOOR BY ***SIMPSON*** OR EQUAL, VERIFY DESIGN WITH OWNER & DESIGNER
4. VERIFY OPENING SIZE W/ CONTRACTOR
5. (*) FIELD MEASURE
6. CONVERTING OF BEDROOM TO J-ADU

HARDWARE FINISH SPECIFICATION:
ENTRY DOOR HARDWARE: (BY OWNER) AND INSTALLED BY CONTRACTOR
WINDOW HARDWARE: WHITE, TYP. (VERIFY W/ OWNER)

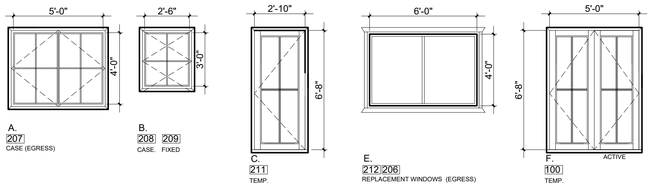
CAL. GREEN REQUIREMENTS
1. SEE CAL GREEN REQUIREMENTS IN ROOM SCHEDULE

SAFETY GLAZING NOTES (CRC R308.4)
A. ALL SLIDING + SWINGING GLASS DOORS TO HAVE SAFETY GLAZING.
B. GLAZING IN SHOWER/TUB/SAUNA ROOMS LESS THAN 60" ABOVE THE STANDING SURFACE AND LESS THAN 60" MEASURED HORIZONTIALLY FROM THE WATER'S EDGE OF A BATHTUB, HOT TUB, SPA, WHIRLPOOL OR SWIMMING POOL.
C. GLAZING WITHIN A 24" ARC OF A DOOR THAT IS LESS THAN 60" ABOVE THE FLOOR.
D. GLAZING WHERE THE EXPOSED AREA IS GREATER THAN 9 SQ. FT., BOTTOM IS LESS THAN 18" AND AT LEAST 36" ABOVE THE FLOOR, AND ADJACENT TO WALKING SURFACES.
E. WITHIN 60" OF THE BOTTOM TREAD OF A STAIRWAY AND LESS THAN 36" ABOVE THE FLOOR
F. GLAZING IN GUARDS & RAILINGS.
G. GLAZING ADJACENT TO STAIRWAYS, LANDINGS, AND RAMPS WITHIN 36" HORIZONTALLY OF THE WALKING
SURFACE LESS THAN 36" ABOVE FINISH FLOOR.

EXT. DOORS & WINDOWS SCHEDULE

Scale: NA

2 / A9.0



EXT. DOORS & WINDOWS ELEVATIONS

Scale: 1/4" = 1'-0"

3 / A9.0

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DESIGN ■ PLANNING

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Drawn : TIM RANDENE

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