720 NEWHALL ROAD

ADDITION AND REMODEL



1014 Howard Avenue
San Mateo, California 94401
FAX 650.579.0115
650.579.5762
E-Mail: admin@trgarch.com

Architect:

T.RANDOLPH
GRANGE
C-22.222

EXP 10/23
EXP 10/23

These plans are copyrighted and are subject to copyright protection as an "architectural work" under Sec. 102 of the Copyright Act, 17 U.S.O. as amended December 1990 and known as Architectural Works Copyright Protection Act of 1990. This protection includes, but is not limited to the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, work, or project represented, can legally result in the cessation of construction or building being seized and/or monetary compensation to TRG Architects.

Consultant(s):

Project:

OHLUND RESIDENCE

Additiona and Remodel

APN: 028-142-290

720 Newhall Road Burlingame, CA 94010

Owner(s):

JOHN & KIMBERLY OHLUND

Sheet Contents:

NEIGHBORHOOD PHOTOS

AS NOTED

Checked By: TRG

Job:

Date: 2022-05-16 Planning Submittal

Status:

REVISIONS

No. Revisions By Date Appr.

A0.0



728 Newhall

724 Newhall

720 Newhall (Subject Property)

716 Newhall

712 Newhall

NEIGHBORHOOD PHOTOS



PARCEL MAP 1

ARCHITECTURE +
INTERIOR DESIGN

0 5' 25' 0 1' 5' 10' 15' 0 1' 5' 10' 12' 0 1' 4' 0 1' 3' 0 1' 2' 1/8" = 1'-0" 3/4" = 1'-0" 3/4" = 1'-0" 1" = 1'-0"

ADDITION AND REMODEL

GENERAL PROJECT NOTES

		<u>G</u> ENERAL NOTES:
FI FVATIO	ON NUMBER	GENERAL CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS PRIOR TO COMMENCEMENT OF
125	RE ELEVATION IS DRAWN	WORK.
		<u>DO NOT SCALE DRAWINGS</u> . VERIFY ALL DIMENSIONS IN FIELD. REPORT ANY DISCREPANCIES TO ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO STARTING WORK IN QUESTION.
RIIII DING	SECTION NUMBER	ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE. WHERE DIMENSIONS ARE SHOWN TO A COUNTERTOP, DIMENSION IS TO EDGE OF CABINET BELOW, U.N.O
	RE SECTION IS DRAWN	ALL ANGLES ARE 45 OR 90 DEGREES, U.N.O.
T		PRIOR TO COMMENCEMENT OF WORK, THE GENERAL CONTRACTOR AND SUB-CONTRACORS SHALL REVIEW THE PLANS, VERIFY DIMENSIONS AND
_		CONDITIONS IN THE FIELD AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES WHICH MIGHT AFFECT THE WORK TO BE DONE.
DETAIL N	IUMBER	CONTRACTOR SHALL PROTECT ALL MATERIALS AND CONSTRUCTION FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION,
A7.I SHEET WHER	RE DETAIL IS DRAWN	DUST, WATER, ETC. AND SHALL LEAVE THE PREMISES CLEAN AND IN AN ORDERLY MANNER. CONTRACTOR IS RESPONSIBLE FOR MAKING ALL WORK PLUMB, LEVEL, OF SOUND CONSTRUCTION, AND IN COMPLIANCE WITH ALL LOCAL BUILDING CODES.
 <u>+100.50'</u> SPOT (GRADE ELEVATION IN PLAN	GENERAL CONTRACTOR TO VERIFY EXISTING STRUCTURAL & LOAD TRANSFER CONDITIONS PRIOR TO ANY DEMOLITION & INSURE ADEQUATE
+98.50' ELEVA	ATION ABOVE DATUM POINT	TEMPORARY SHORING IS PROVIDED AS NEEDED DURING CONSTRUCTION. PRIOR TO DEMOLITION, VERIFY W/ OWNER & ARCHITECT <u>ALL</u> MECH, EQUIP. PLUMBING FIXTURES, ELECTRICAL EQUIP., LIGHTING, CABINETRY, WINDOWS, DOORS OR OTHER INTERIOR ELEMENTS TO BE REMOVED, REUSED, RECYCLED OR DISCARDED.
4		ANY REMOVAL OF ASBESTOS SHALL COMPLY WITH ALL APPLICABLE LAWS AND LOCAL ORDINANCES.
(1) WINDOW 1	TAG	THESE DRAWINGS ARE NOT ALL INCLUSIVE OF THE REQUIREMENTS OF THIS PROJECT. THE CONTRACTOR SHALL REFER TO SOILS REPORT
A DOOR TA		PREPARED BY A LICENSED GEOTECHNICAL ENGINEER FOR THIS PROJECT. THE CONTRACTOR SHALL REFER TO STRUCTURAL CALCULATIONS PREPARED BY A LICENSED PROFESSIONAL ENGINEER FOR THIS PROJECT. THE CONTRACTOR SHALL REFER TO TITLE 24 ENERGY DOCUMENTS PREPARED FOR THIS PROJECT. THE CONTRACTOR SHALL REFER TO ANY OTHER DOCUMENTS THAT HAVE BEEN UTILIZED FOR OR PREPARED FOR THIS PROJECT.
001 INTERIOR	R DOOR TAG	IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT SHOWN, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME
1.141.1.0		CHARACTER AS FOR SIMILAR CONDITIONS WHICH ARE SHOWN OR CALLED FOR. CONTRACT ARCHITECT TO VERIFY.
<u>WALLS</u>		ALL MANUFACTURED PRODUCTS INSTALLED ON PROJECT SHALL MEET AS A MINIMUM THE REQUIREMENTS SHOWN IN MANUFACTURER'S INSTALLATION RECOMMENDATIONS.
(E)) WALL TO REMAIN	APPLICABLE CODES:
MA	ALL OR ITEM TO BE REMOVED	THIS PROJECT SHALL COMPLY COMPLY WITH ALL THE REQUIREMENTS OF THE CURRENT EDITION OF THE 2019 CALIFORNIA BUILDING CODE, 2019 CALIFORNIA RESIDENTIAL CODE, 2019 CALIFORNIA ELECTRICAL CODE, 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA PLUMBING CODE, 2019 CALIFORNIA ENERGY CODE, 2019 CALIFORNIA FIRE CODE, 2019 CALIFORNIA GREEN BUILDING CODE AND LOCAL AMENDMENTS
OF	PENING TO BE INFILLED	PROJECT NOTES:
		A SEPARATE BUILDING PERMIT SHALL BE REQUIRED FOR A LANDSCAPE PLAN. PRIOR TO BUILDING INSPECTOR'S FINAL INSPECTION, THE
(N)) WALL	INSTALLATION OF THE LANDSCAPE PLAN REQUIRES CERTIFICATION BY THE LANDSCAPE ARCHITECT.
	1	A DEMOLITION PERMIT IS REQUIRED FOR SIDEWALK, SEWER AND WATER REPLACEMENT. DEFERRED SUBMITTALS:
 	STUD to STUD	PROVIDE DEFERRED SUBMITTALS FOR THE FOLLOWING ITEMS:
	I	I. FIRE SPRINKLER SYSTEM
<u></u> 5π	UD to FACE OF FINISH	ALL DEFERRED SUBMITTALS SHALL FIRST BE SUBMITTED TO THE PROJECT ARCHITECT AND/OR ENGINEER FOR REVIEW AND COORDINATION, A SUBMITTAL TO THE CITY SHALL BE MADE (FOR TOWN REVIEW AND APPROVAL), WHICH SHALL INCLUDE A LETTER STATING THIS REVIEW AND COORDINATION HAS BEEN PERFORMED AND COMPLETED AND PLANS AND CALCULATIONS FOR THE DEFERRED ITEMS ARE FOUND TO BE ACCEPTABLE (E.G., WITH REGARD TO GEOMETRY, LOAD CONDITIONS, ETC.) WITH NO EXCEPTIONS.
<u>l</u>	STUD to CENTERLINE	FIRE SPRINKLER SYSTEM:
1		THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM. PLANS AND SPECIFICATIONS FOR THE AUTOMATIC FIRE
'	Ę.	SPRINKLER SYSTEM SHALL BE SUBMITTED TO THE TOWN OF HILLSBOROUGH FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. THE FIRE ALARM SYSTEM, INCLUDING WATER FLOW AND VALVE TAMPER, SHALL HAVE PLANS AND SPECIFICATIONS SUBMITTED TO FIRE PREVENTION FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. ALL REQUIRED INSPECTIONS AND WITNESSING OF TESTS SHALL BE COMPLETED PRIOR TO FINAL INSPECTION AND OCCUPANCY OF THE BUILDING.
		AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED THROUGHOUT CONFORMING TO NFPA STANDARD I3D. A SEPARATE FIRE SPRINKLER SYSTEM PERMIT AND APPROVAL IS REQUIRED AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
		CONSTRUCTION:
		NO PERSON SHALL ERECT (INCLUDING EXCAVATE AND GRADING), DEMOLISH, ALTER OR REPAIR ANY BUILDING OR STRUCTURE OTHER THAN BETWEEN THE FOLLOWING HOURS STATED BELOW. HOLIDAYS ARE THE FIRST DAY OF JANUARY, THE THIRD MONDAY OF FEBRUARY, THE LAST
CONTA	CT INFORMATION	MONDAY OF MAY, THE FOURTH DAY OF JULY, THE FIRST MONDAY OF SEPTEMBER, THE ELEVENTH DAY OF NOVEMBER, THE FOURTH THURSDAY OF NOVEMBER AND THE TWENTY-FIFTH DAY OF DECEMBER, OR IF THE TWENTY-FIFTH DAY OF DECEMBER FALLS ON A SUNDAY, THE FOLLOWING
		MONDAY IS A HOLIDAY.
RCHITECT	SURVEYOR	CONSTRUCTION HOURS: MONDAY THROUGH FRIDAY: 8:00AM TO 5:00PM
RG ARCHITECTS, INC.	BGT LAND SURVEYING, INC.	SATURDAYS: IO:00AM TO 5:00PM SUNDAYS AND HOLIDAYS: NO WORK IS PERMITTED
014 HOWARD AVENUE	871 WOODSIDE WAY SAN MATEO, CA 94401	BUILDING DEPARTMENT NOTES:
AN MATEO, CA 94401 50.579.5762 tel	650.212.1030 tel	WHEN ADDITIONS, ALTERATIONS OR REPAIRS WITHIN ANY TWELVE-MONTH PERIOD EXCEED FIFTY PERCENT OF THE CURRENT REPLACEMENT
50.579.0115 fax	bgtinfo@bgtsurveying.com	VALUE OF AN EXISTING BUILDING OR STRUCTURE, AS DETERMINED BY THE BUILDING OFFICIAL, SUCH BUILDING OR STRUCTURE SHALL BE MADE IN ITS ENTIRETY TO CONFORM WITH THE REQUIREMENTS OF NEW BUILDINGS OR STRUCTURES.
		AN EROSION CONTROL PLAN TO BE SUBMITTED AS PART OF BUILDING DEPARTMENT DOCUMENTS.
		NOTE: CERTIFICATE OF OCCUPANCY WILL BE RESCINDED ONCE CONSTRUCTION BEGINS. A NEW CERTIFICATE OF OCCUPANCY WILL BE ISSUED AFTER THE PROJECT HAS BEEN FINAL. NO OCCUPANCY SHALL OCCUR UNTIL A NEW CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED.
		A DEMOLITION PERMIT WILL NOT BE ISSUED UNTIL A BUILDING PERMIT IS ISSUED FOR THE PROJECT
		PUBLIC WORKS COMMENTS:
		SEWER LATERAL, AND WATER LINE TO BE REMOVED AND REPLACED AS PART OF PROJECT. (NO SIDEWALK, CURB OR GUTTER EXIST ON STREET)
		ENCROACHMENT PERMIT MUST BE OBTAINED FOR ANY WORK PERFORMED IN CITY RIGHT OF WAY.
		ALL WATER LINE CONNECTIONS TO CITY WATER MAINS FOR SERVICES OR FIRE LINE ARE TO BE INSTALLED PER CITY STANDARD PROCEDURE AND SPECIFICATIONS. ALL ABANDONED SEWER LATERAL OR WATER SERVICE SHALL BE DISCONNECTED AT THE MAIN AND PER CITY REQUIREMENTS.
		1

SYMBOL LEGEND

MAX. LOT COVER (40%): MAX. FLOOR AREA	3,299 sf 4,139 sf
(32%+1,100sf+400sf for	7,100 31
detached garage)	
CONSTRUCTION TYPE AND	
OCCUPANCY	VB / R-3
PROPOSED FLOOR AREA:	
(E) 1st FLOOR:	1,738 sf
(N) 1st FLOOR:	292 sf
(N) 2nd FLOOR:	1,447 sf
(E) DETACHED GARAGE (removed)	(680 sf)
(N) DETACHED GARAGE	441 sf
(N) BASEMENT (up to 600 sf	724 sf
exempt	-600 sf
(N) BASEMENT MECH. 100 sf	(100 sf)
(100 sf exempt)	
(N) COVERED FRONT	128 sf
PORCH:(200sf deduction)	-128 sf
TOTAL FLOOR AREA:	4,042 sf
EXISTING LOT COVERAGE:	
(E) HOUSE & CHIMNEY:	1,738 sf
(E) GARAGE:	680 sf
(E) COVERED PORCH:	30 sf
(N) REAR DECK OVER 30" TALL:	0 sf
(F) TOTAL LOT COVERAGE	0.440.5
(E) TOTAL LOT COVERAGE:	2,448 sf
LOT COVERAGE %:	29.68 %
PROPOSED LOT COVERAGE:	
(N) HOUSE & CHIMNEY:	2,023 sf
(N) 2nd STORY CANTILEVER:	0 sf
(N) GARAGE:	441 sf
(N) COVERED PORCH:	128 sf
(N) REAR DECK OVER 30" TALL:	0 sf
(AL) TOTAL LOT COVER 105	
(N) TOTAL LOT COVERAGE:	2,592 sf
LOT COVERAGE %:	31.43 %
PROJECT SCOPE	
THUJLUT SUUFL	

1-1/2" = 1'-0"

SHEET INDEX

REMAINING VS. REMOVED WALL DIAGRAM

EXISTING AND PROPOSED EXTERIOR ELEVATIONS EXISTING AND PROPOSED EXTERIOR ELEVATIONS EXISTING AND PROPOSED EXTERIOR ELEVATIONS EXISTING AND PROPOSED EXTERIOR ELEVATIONS

PROPOSED DETACHED GARAGE PLANS AND ELEVATIONS

COVER SHEET SITE PLAN

(E) ROOF PLAN

SITE SECTION

LANDSCAPE PLAN

TOPOGRAPHIC SURVEY

(E) FIRST FLOOR PLAN

PROPOSED BASEMENT PLAN PROPOSED FIRST FLOOR PLAN

PROPOSED ROOF PLAN

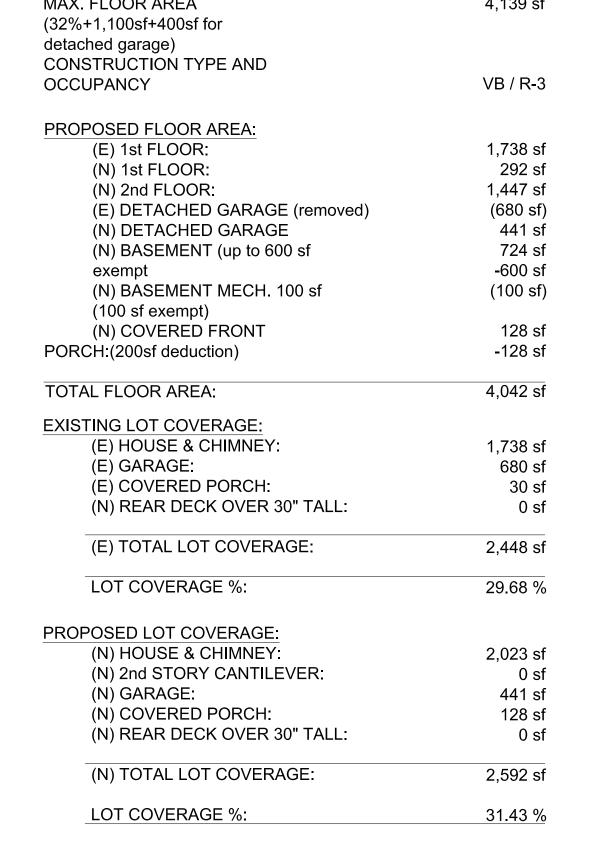
PROPOSED SECOND FLOOR PLAN

PROJECT ADDRESS:

PARCEL NUMBER:

OWNER:

LOT AREA:



ADDITION AND REMODEL OF EXISTING (I) STORY RESIDENCE WITH BASEMENT. INCLUDES SECOND STORY

AVERAGE FRONT SETBACK

DEMOLITION OF EXISTING DETACHED GARAGE.

720 NEWHALL: 35'-I" (SUBJECT PROPERTY)

PROPOSED SECOND STORY SETBACK 39'-1"

AVERAGE FRONT SETBACK (EXCLUDING GREATEST AND LEAST): 28'-7"

702 NEWHALL: 19'-8" 708 NEWHALL: 19'-10"

712 NEWHALL: 30'-9" 716 NEWHALL: 40'-0"

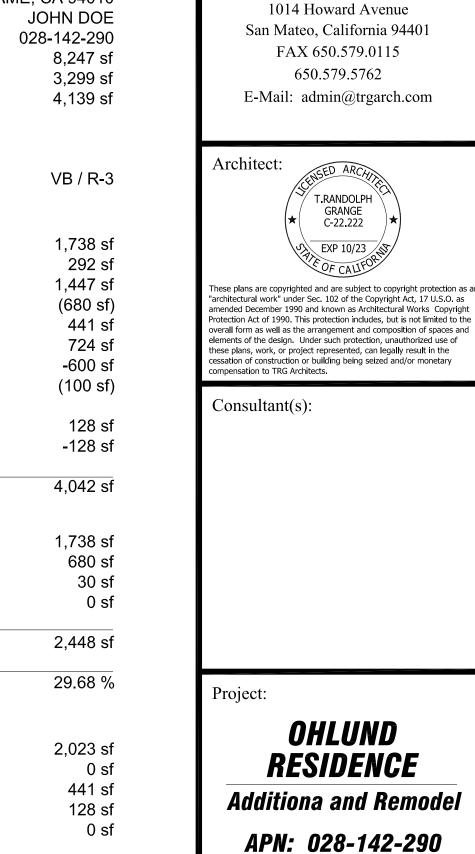
724 NEWHALL: 39'-11" 728 NEWHALL: 26'-0" 752 NEWHALL: 11'-0"

CONSTRUCTION OF NEW (2) CAR DETACHED GARAGE.

PROJECT DATA

720 NEWHALL RD

BURLINGAME, CA 94010



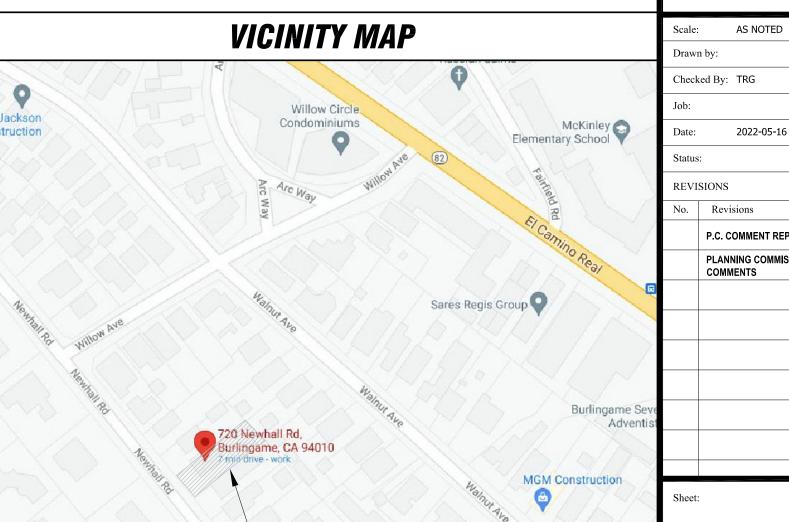
Owner(s): **JOHN & KIMBERLY** OHLUND

720 Newhall Road

Burlingame, CA 94010

Sheet Contents:

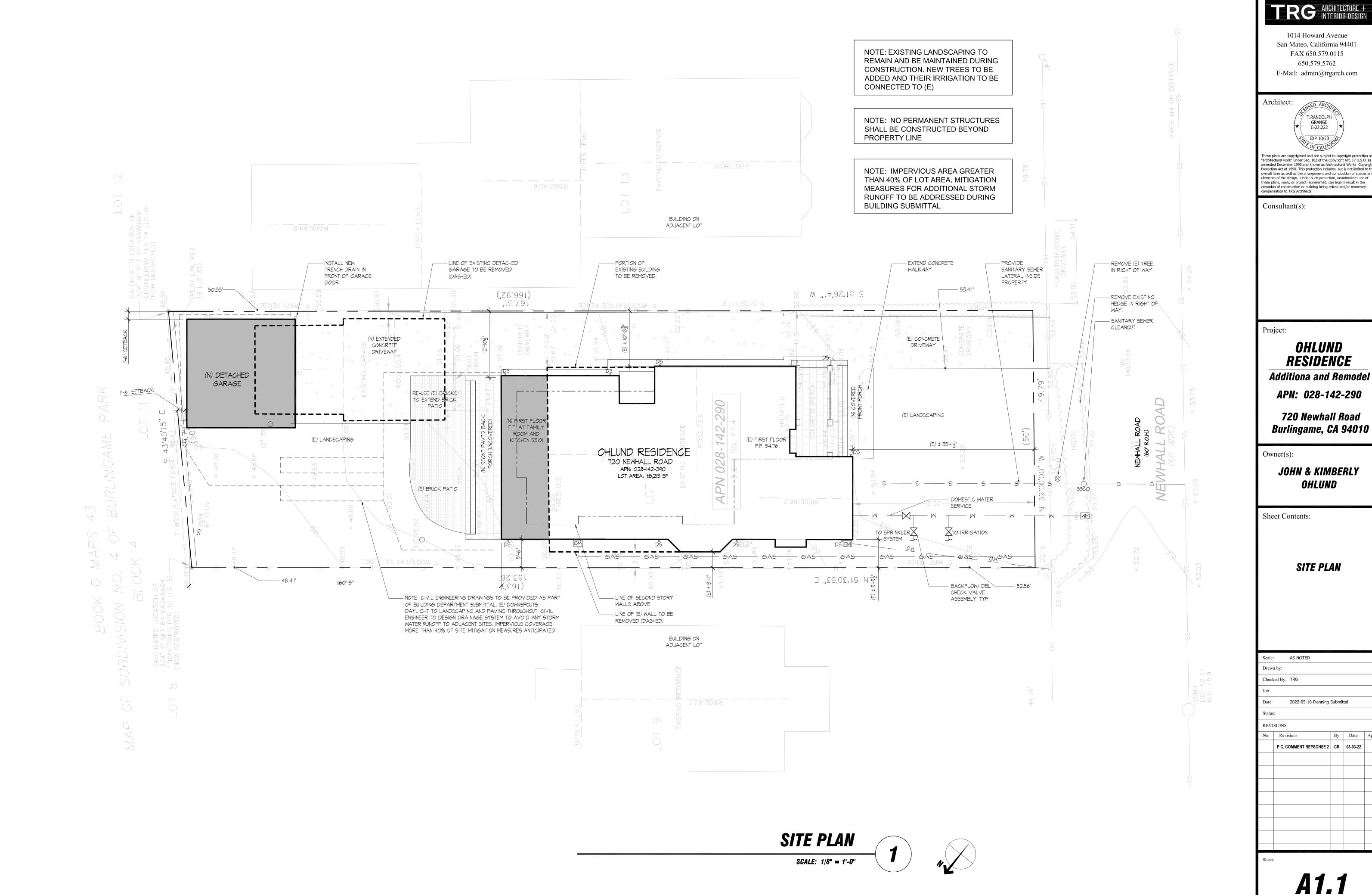
COVER SHEET PROJECT DATA GENERAL NOTES



SUBJECT PROPERTY

Hillsborough

2022-05-16 Planning Submittal By Date Ap No. Revisions P.C. COMMENT REPSONSE 2 | CR | 08-03-22 CR 09-27-22



ARCHITECTURE +
INTERIOR DESIGN

San Mateo, California 94401 FAX 650.579.0115 650.579.5762

T.RANDOLPH GRANGE C-22,222

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> **OHLUND** RESIDENCE

APN: 028-142-290

720 Newhall Road Burlingame, CA 94010

JOHN & KIMBERLY OHLUND

SITE PLAN

2022-05-16 Planning Submittal By Date Ap P.C. COMMENT REPSONSE 2 | CR | 08-03-22

- DO NOT SCALE DRAWINGS.
- VERIFY ALL DIMENSIONS IN FIELD. REPORT ANY DISCREPANCIES TO ARCHITECT
 - PRIOR TO PROCEEDING w/ WORK.

DEMOLITION NOTES GENERAL NOTES

- REFER TO LEGEND BELOW & NOTES ON DEMO PLAN FOR STRUCTURAL ELEMENTS TO BE ALTERED OR REMOVED. REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO b. VERIFY ALL DIMENSIONS IN FIELD.
- COMMENCEMENT OF WORK. b. PRIOR TO DEMOLITION, VERIFY W/ OWNER & ARCHITECT ALL MECH, EQUIP. PLUMBING FIXTURES, ELECTRICAL EQUIP., LIGHTING, CABINETRY, WINDOWS, DOORS OR
- GENERAL CONTRACTOR TO VERIFY EXISTING STRUCTURAL & LOAD TRANSFER CONDITIONS PRIOR TO DEMOLITION & INSURE ADEQUATE TEMPORARY SHORING IS PROVIDED AS NEEDED DURING CONSTRUCTION.

OTHER INTERIOR ELEMENTS TO BE REMOVED, REUSED,

d. PROVIDE DUST SCREENING AS NECESSARY TO PROTECT

1-1/2" = 1'-0"

RECYCLED OR DISCARDED.

AREAS OF HOUSE NOT UNDER CONSTRUCTION. e. ANY REMOVAL OF ASBESTOS SHALL COMPLY W/ ALL

APPLICABLE LAWS AND ORDINANCES.

- a. DO NOT SCALE DRAWINGS.
- REPORT ANY DISCREPANCIES TO ARCHITECT AND STRUCTURAL ENGINEER BEFORE PROCEEDING W/ WORK.
- d. ALL DIMENSIONS ARE TO FACE OF CONCRETE FOOTING OR STUD, U.N.O. SEE LEGEND.
- e. ALL NEW EXTERIOR WALLS ARE 2 x 6 STUDS @ 16" O.C.,

ALL NEW INTERIOR WALLS ARE 2 x 4 STUDS @ 16" O.C.,

ALL INTERIOR WALLS & CEILINGS TO BE 5/8" GYPSUM BOARD U.N.O.

RC ARCHITECTURE + INTERIOR DESIGN

1014 Howard Avenue San Mateo, California 94401 FAX 650.579.0115 650.579.5762 E-Mail: admin@trgarch.com

Architect: T.RANDOLPH GRANGE C-22.222 EXP 10/23

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720 Newhall Road Burlingame, CA 94010

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Sheet Contents:

EXISTING FLOOR PLAN

AS NOTED

SEE ID SHEETS FOR INTERIOR INFORMATION. INCLUDING NICHES IN WALLS, FLUSH DRAINS, SHADE POCKETS, ADDED BLOCKING, ETC.

(E) OPENING TO BE INFILLED

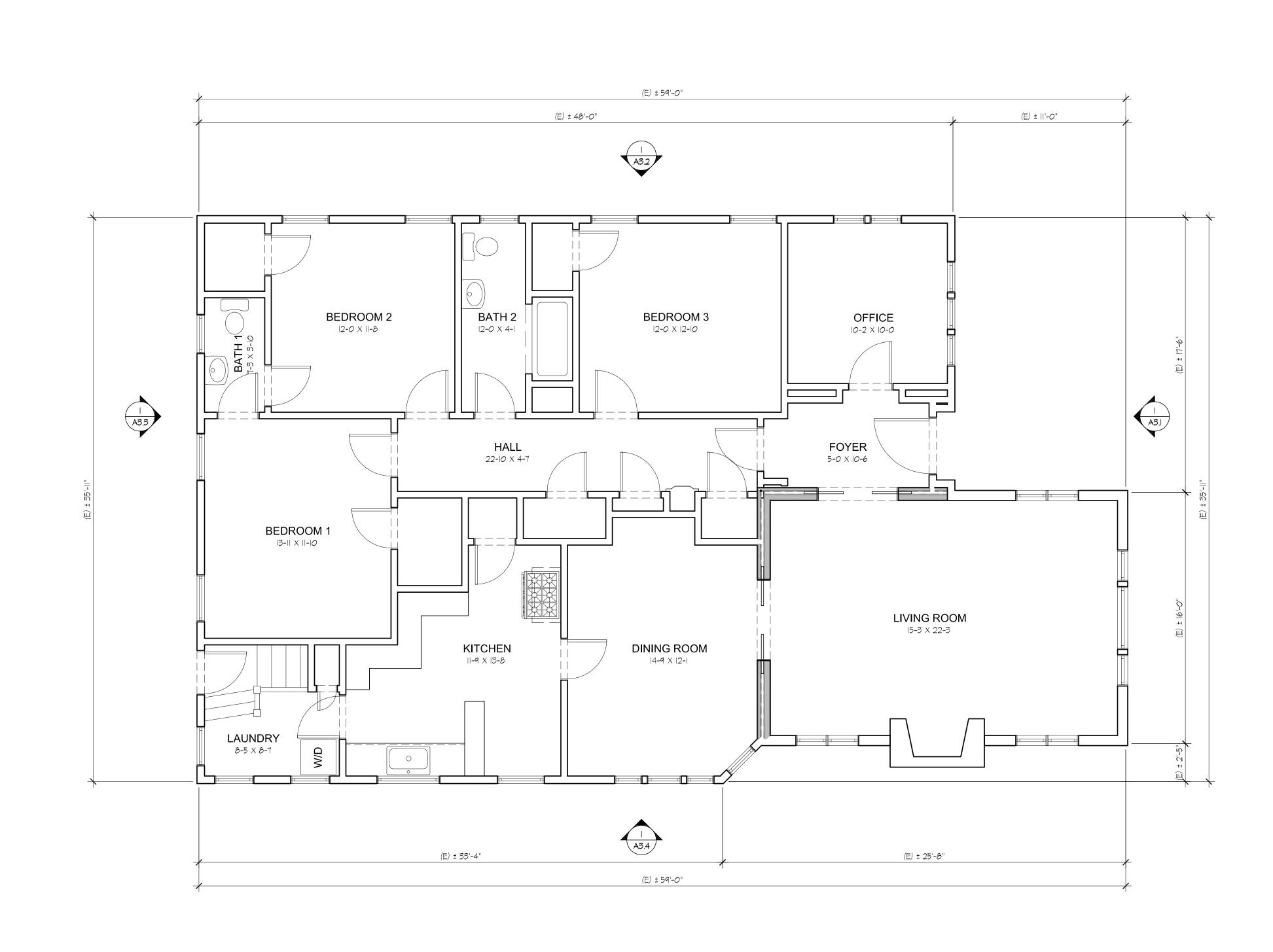
(N) WALL

LEGEND Checked By: TRG DIMENSION LINES ARE TO FACE OF STUD U.N.O. AS SHOWN BELOW: 2022-05-16 Planning Submittal STUD to STUD REVISIONS By Date Ap STUD to FACE OF FINISH STUD to CENTERLINE (E) WALL TO REMAIN [_ _ _ _] WALL OR ITEM
TO BE REMOVED

A2.1e

EXISTING FLOOR PLAN





0 5' 50' 0 5' 25' 0 1' 5' 10' 15' 0 1' 5' 10' 12' 0 1' 4' 0 1' $\frac{1}{1}$ GRAPHIC SCALES: $\frac{1}{16} = 1'-0''$ $\frac{1}{18} = 1'-0''$ $\frac{3}{16} = 1'-0''$

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DEMOLITION NOTES GENERAL NOTES

- REFER TO LEGEND BELOW & NOTES ON DEMO PLAN FOR STRUCTURAL ELEMENTS TO BE ALTERED OR REMOVED. REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO
- b. PRIOR TO DEMOLITION, VERIFY W/ OWNER & ARCHITECT ALL MECH, EQUIP. PLUMBING FIXTURES, ELECTRICAL EQUIP., LIGHTING, CABINETRY, WINDOWS, DOORS OR OTHER INTERIOR ELEMENTS TO BE REMOVED, REUSED,

1-1/2" = 1'-0"

COMMENCEMENT OF WORK.

RECYCLED OR DISCARDED.

- GENERAL CONTRACTOR TO VERIFY EXISTING STRUCTURAL & LOAD TRANSFER CONDITIONS PRIOR TO DEMOLITION & INSURE ADEQUATE TEMPORARY SHORING IS PROVIDED AS NEEDED DURING CONSTRUCTION.
- d. PROVIDE DUST SCREENING AS NECESSARY TO PROTECT AREAS OF HOUSE NOT UNDER CONSTRUCTION.

e. ANY REMOVAL OF ASBESTOS SHALL COMPLY W/ ALL

APPLICABLE LAWS AND ORDINANCES.

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RC ARCHITECTURE + INTERIOR DESIGN

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JOHN & KIMBERLY OHLUND

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EXISTING ROOF PLAN

SEE ID SHEETS FOR INTERIOR INFORMATION. INCLUDING NICHES IN WALLS, FLUSH DRAINS, SHADE POCKETS, ADDED BLOCKING, ETC.

AS NOTED

2022-05-16 Planning Submittal

By Date Ap

Checked By: TRG

REVISIONS

LEGEND

DIMENSION LINES ARE TO FACE OF STUD U.N.O. AS SHOWN BELOW:

STUD to STUD STUD to FACE OF FINISH

STUD to CENTERLINE

(E) WALL TO REMAIN

[_ _ _ _] WALL OR ITEM
TO BE REMOVED

(E) OPENING TO BE INFILLED

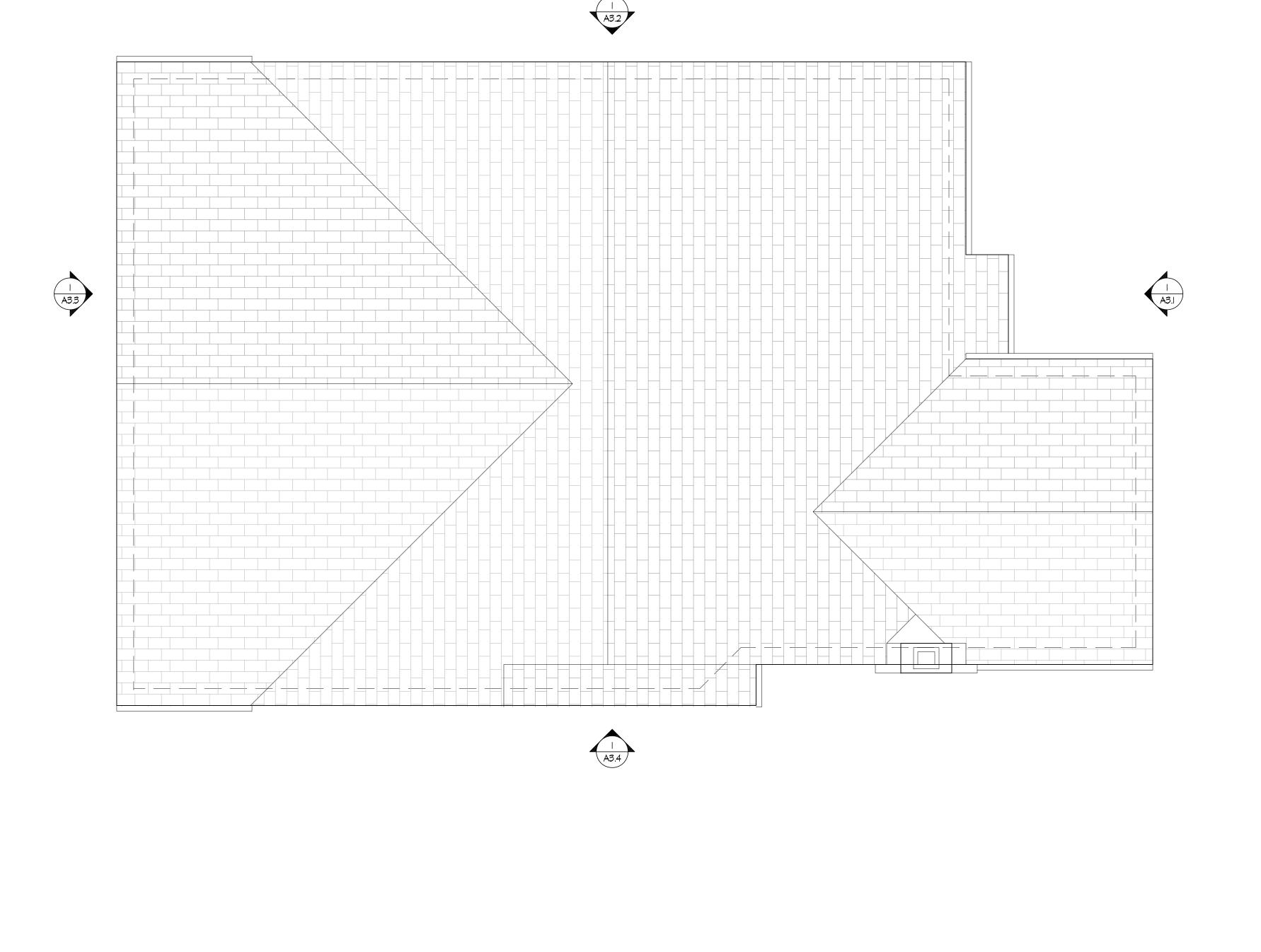
A2.2e

(N) MALL

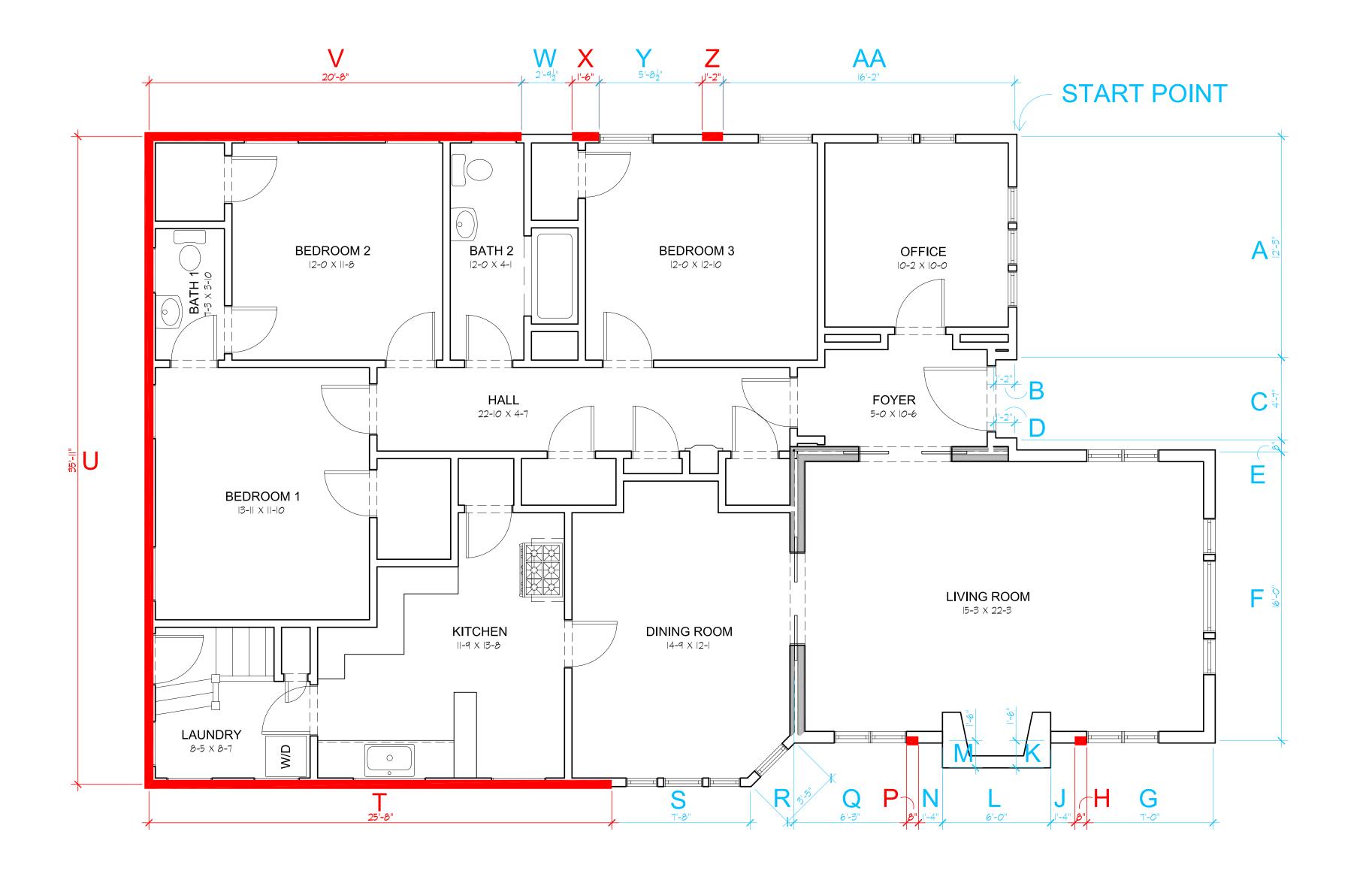
EXISTING ROOF PLAN

SCALE: 1/4" = 1'-0"





0 5' 50' 0 5' 25' 0 1' 5' 10' 15' 0 1' 5' 10' 12' 0 1' 1' 2' 0 1' 5' 10' 15' 0 1' 5' 10' 1' 3/4" = 1'-0" 3/4" = 1'-0" 3/4" = 1'-0" 3/4" = 1'-0" 3/4" = 1'-0" 3/4" = 1'-0"



25' 0 1' 5' 10' 15' 0 1' 5' 10' 12' 0 1' 4' 0 1' 3' 0 1' 1' 1/8" = 1'-0" 3/4" = 1'-0" 3/4" = 1'-0"	1-1/2" = 1'-0" 3" = 1'-0" FIRST FLOOR EXISTING WALL L	LENGTHS
	LABEL DIMENSIONS (LF)	
NOTE: DETACHED GARAGE NOT	A 12.25	REMOVED (LF) ARC INTE
INCLUDED IN CALCULATIONS	B 1.17	101477
	C 4.58	1014 Howard A San Mateo, Califo
	D 1.17	FAX 650.579
	E 0.67	650.579.5
	F 16.00	E-Mail: admin@t
	G 7.00	
	H 0.67	0.67
	J 1.33	Architect:
	K 1.50	T.RANDC GRANC
	L 6.00	★ GRANN C-22.2
	M 1.50	EXP 10,
	N 1.33	
	P 0.67	0.67 These plans are copyrighted and are su "architectural work" under Sec. 102 of t amended December 1990 and known as
	Q 6.25	Protection Act of 1990. This protection i overall form as well as the arrangement elements of the design. Under such pro
	R 3.42	these plans, work, or project represente
	S 7.67	compensation to TRG Architects.
	T 25.67	25.67 Consultant(s):
	0 35.92	35.92
$V \longrightarrow X \longrightarrow Z \longrightarrow AA$	V 20.67	20.67
$ \begin{array}{cccccccccccccccccccccccccccccccccccc$	W 2.79	
START POINT	X 1.50	1.5
	Y 5.71	4.47
	Z 1.17	1.17
	AA 16.17	
	TOTAL EXISTING	TOTAL REMOVED
	283.92	86.27
	50% of existing wall	
BEDROOM 2 BATH 2 BEDROOM 3 OFFICE	141.96	86.27 Project:

TOTAL EXISTING WALL = 283.92 If TOTAL WALL REMOVED = 86.27 If 30% OF (E) REMOVED (55 If remaining for unforeseen work before removing 50% of existing wall) RESIDENCE

Additiona and Remodel APN: 028-142-290

720 Newhall Road Burlingame, CA 94010

Owner(s):

JOHN & KIMBERLY OHLUND

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EXISTING WALLS TO BE REMOVED DIAGRAM

AS NOTED 2022-05-16 Planning Submittal REVISIONS By Date Ap

FIRST FLOOR PLAN

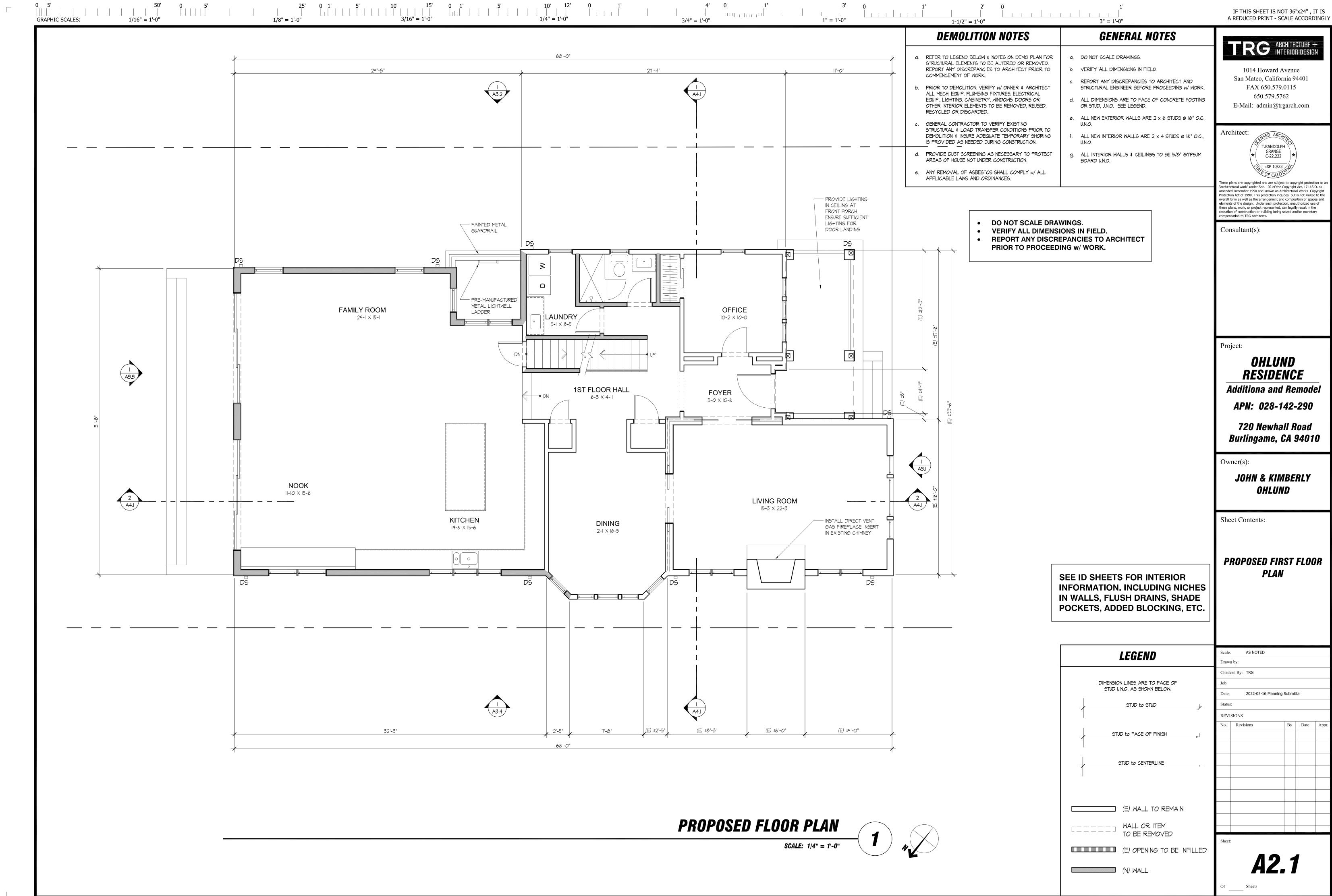
SCALE: 1/4" = 1'-0"

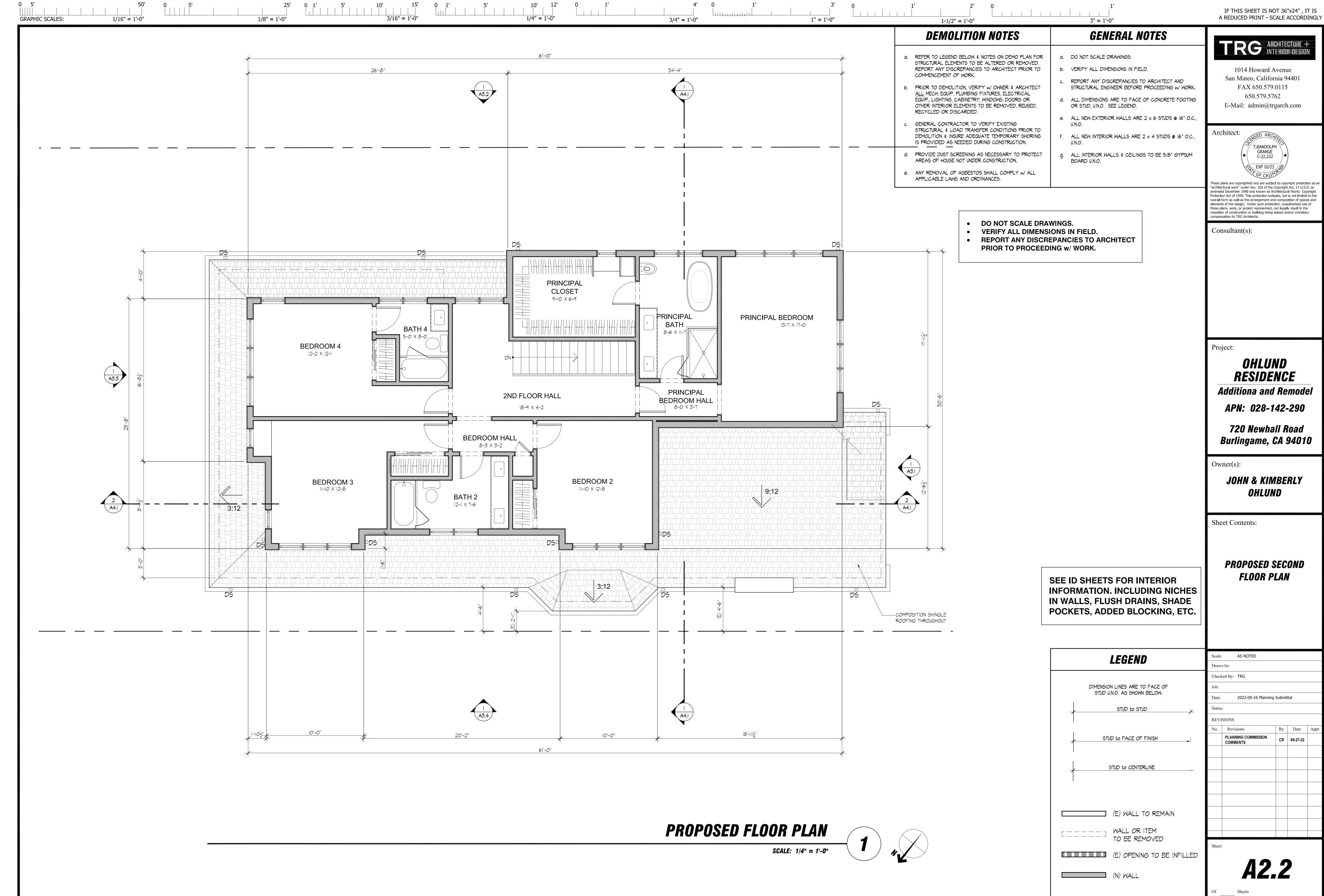


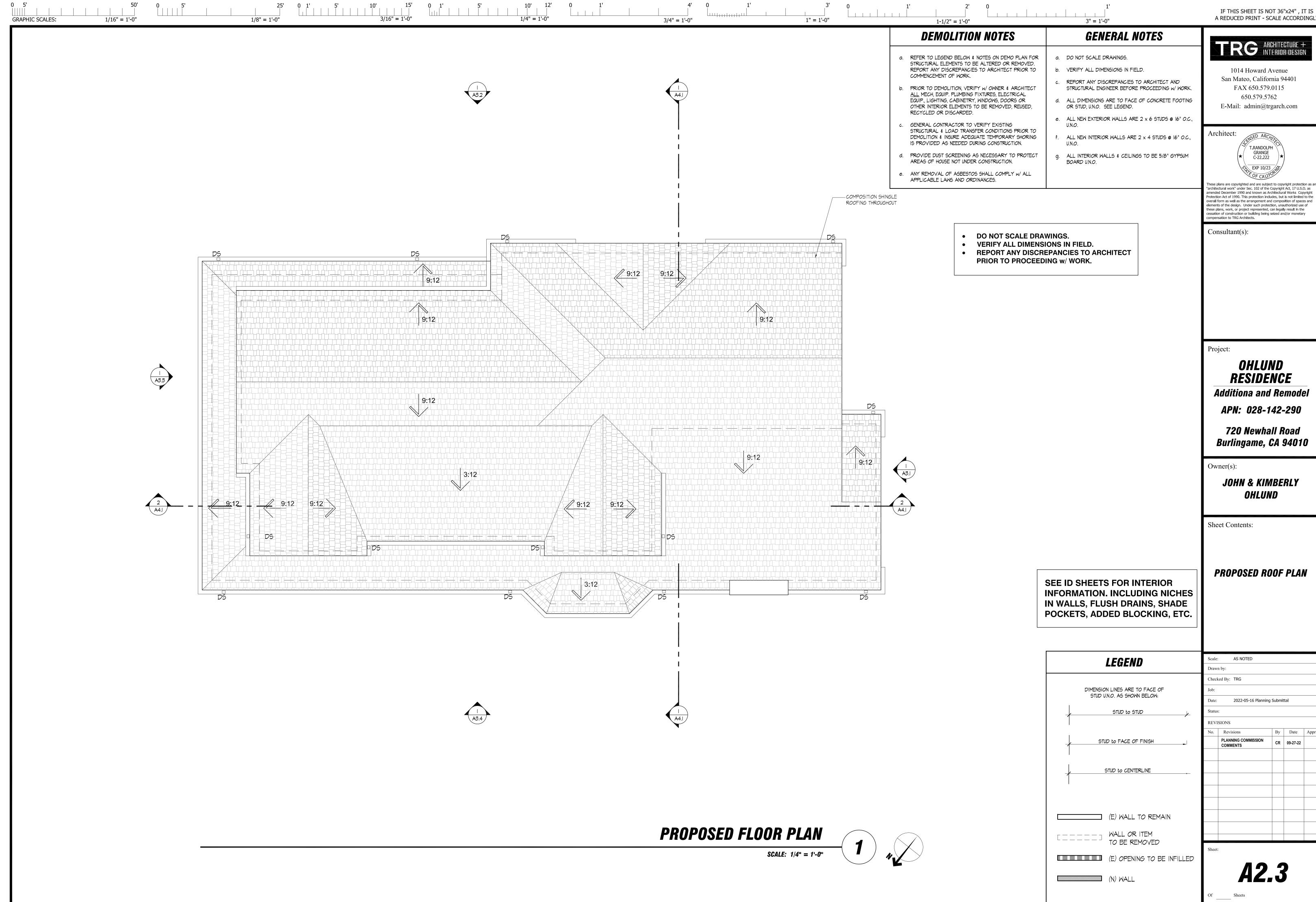
DIMENSION OF EXISTING WALL DIMENSION OF EXISTING WALL TO BE REMOVED

LEGEND

GEO



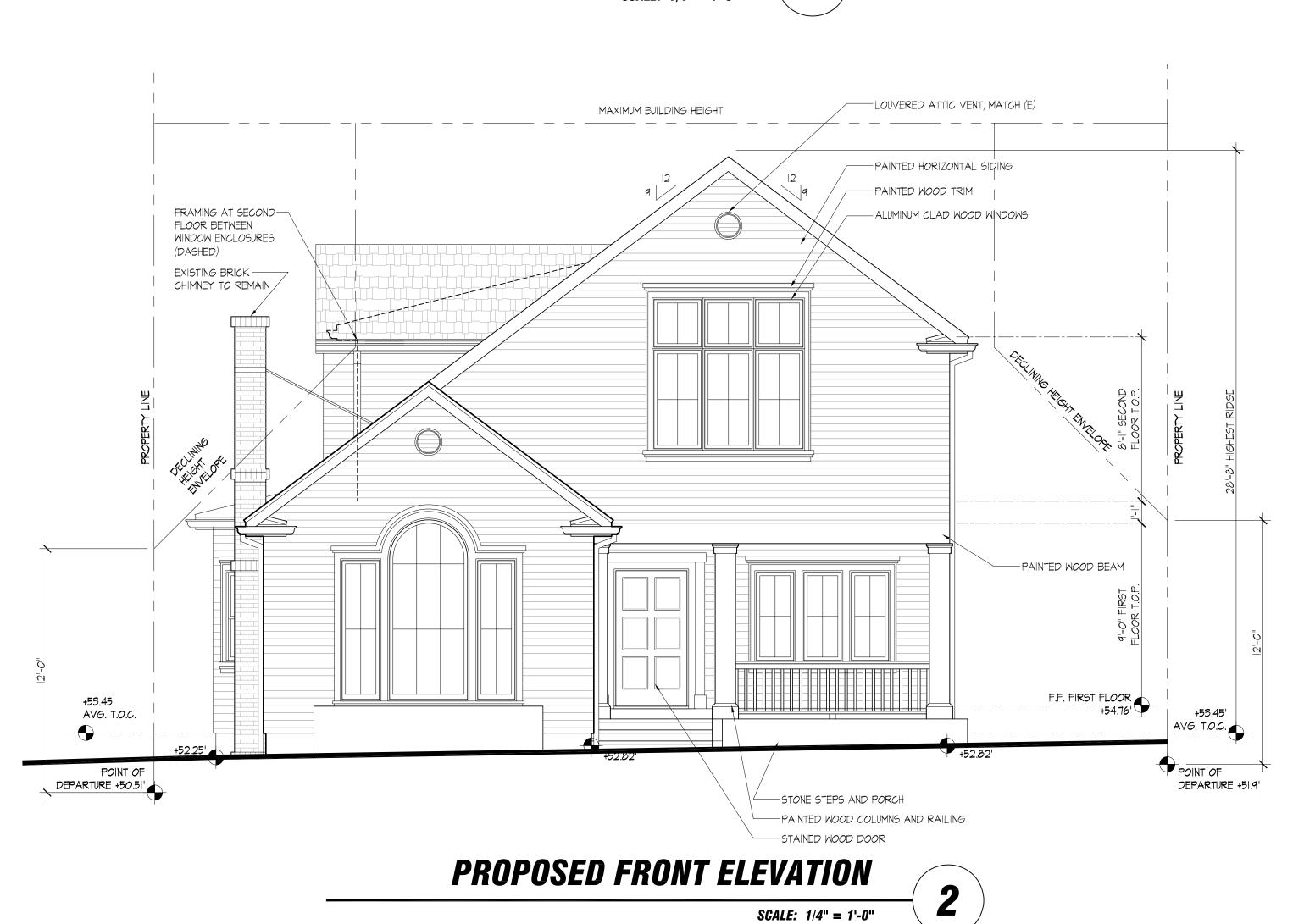






EXISTING FRONT ELEVATION

SCALE: 1/4" = 1'-0"

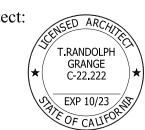


ARCHITECTURE + INTERIOR DESIGN

San Mateo, California 94401 FAX 650.579.0115 650.579.5762 E-Mail: admin@trgarch.com

1014 Howard Avenue

Architect:



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Consultant(s):

Project:

OHLUND RESIDENCE

Additiona and Remodel

APN: 028-142-290

720 Newhall Road

Burlingame, CA 94010

Owner(s):

JOHN & KIMBERLY OHLUND

Sheet Contents:

EXTERIOR ELEVATIONS

Scale:	•	AS NOTED				
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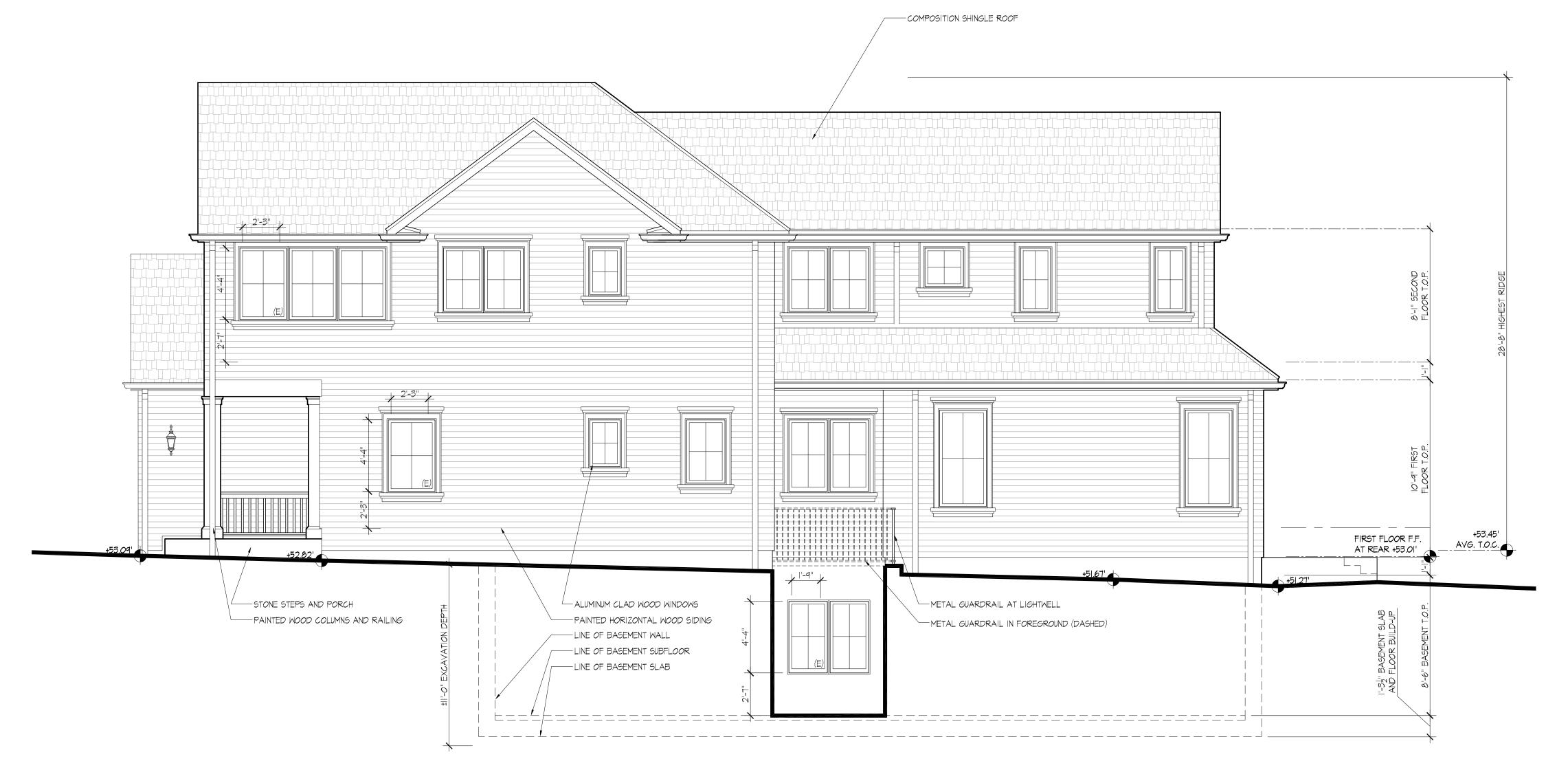
Sheets



GRAPHIC SCALES: 1/16" = 1'-0" 1/8" = 1'-0" 25' 0 1' 5' 10' 15' 0 1' 5' 10' 12' 0 1' 4' 0 1' 3' 1" = 1'-0" 1/4" = 1'-0" 1/4" = 1'-0"

EXISTING RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



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OHLUND

Sheet Contents:

EXTERIOR ELEVATIONS

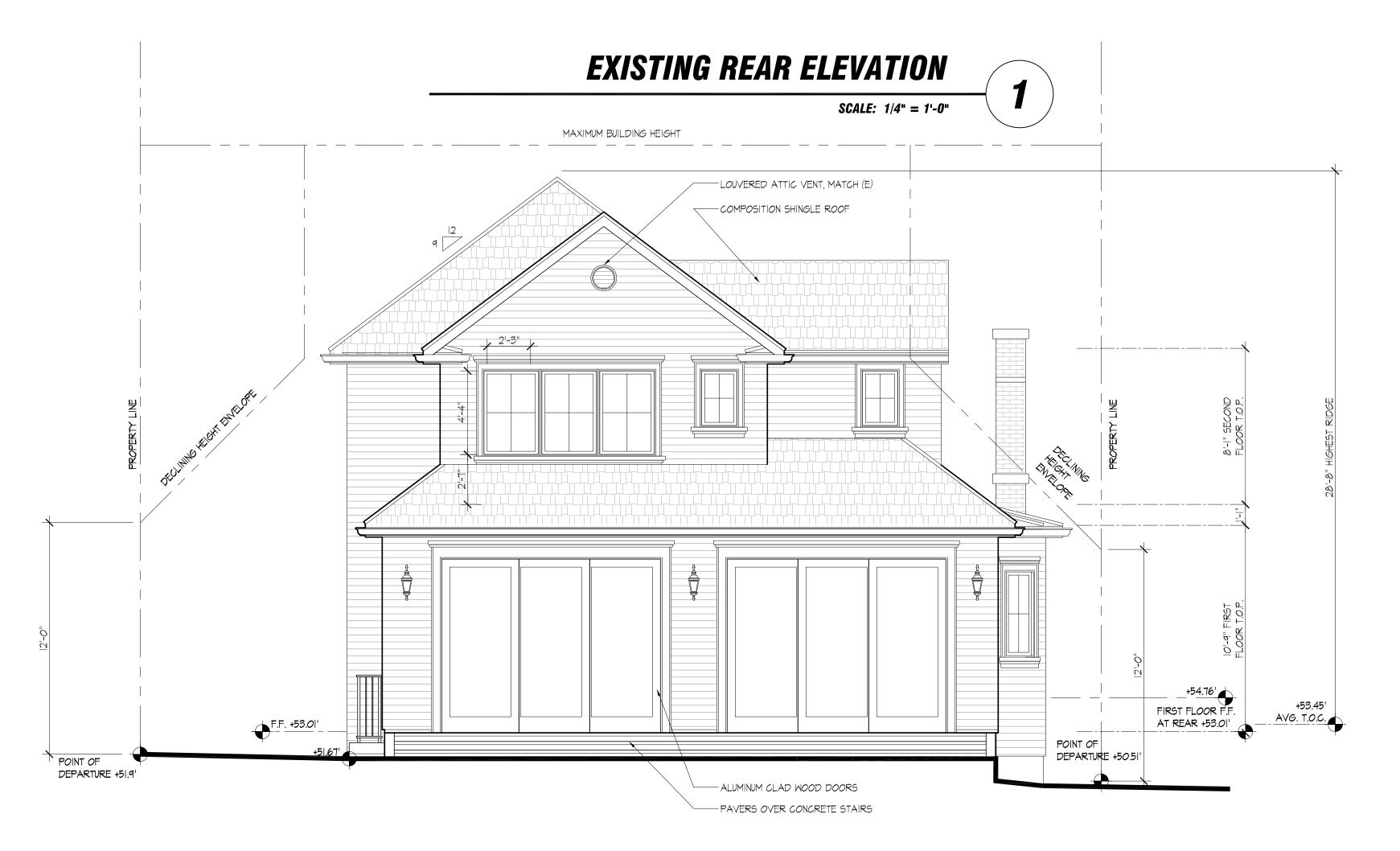
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GRAPHIC SCALES: 1/16" = 1'-0" 1/8" = 1'-0" 25' 0 1' 5' 10' 15' 0 1' 5' 10' 12' 0 1' 4' 0 1' 3' 0 1' 1' 2' 0 1' 1' 1-1/2" 1-1/2" 1-1/2" = 1'-0" 3/4" = 1'-0"



PROPOSED REAR ELEVATION

SCALE: 1/4" = 1'-0"

RC ARCHITECTURE +
INTERIOR DESIGN

1014 Howard Avenue

San Mateo, California 94401 FAX 650.579.0115 650.579.5762 E-Mail: admin@trgarch.com

Architect:

T.RANDOLPH GRANGE C-22,222

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Consultant(s):

Project:

OHLUND RESIDENCE

Additiona and Remodel APN: 028-142-290

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Owner(s):

JOHN & KIMBERLY OHLUND

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EXTERIOR ELEVATIONS

AS NOTED 2022-05-16 Planning Submittal REVISIONS By Date Ap A3.3



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INTERIOR DESIGN 1014 Howard Avenue

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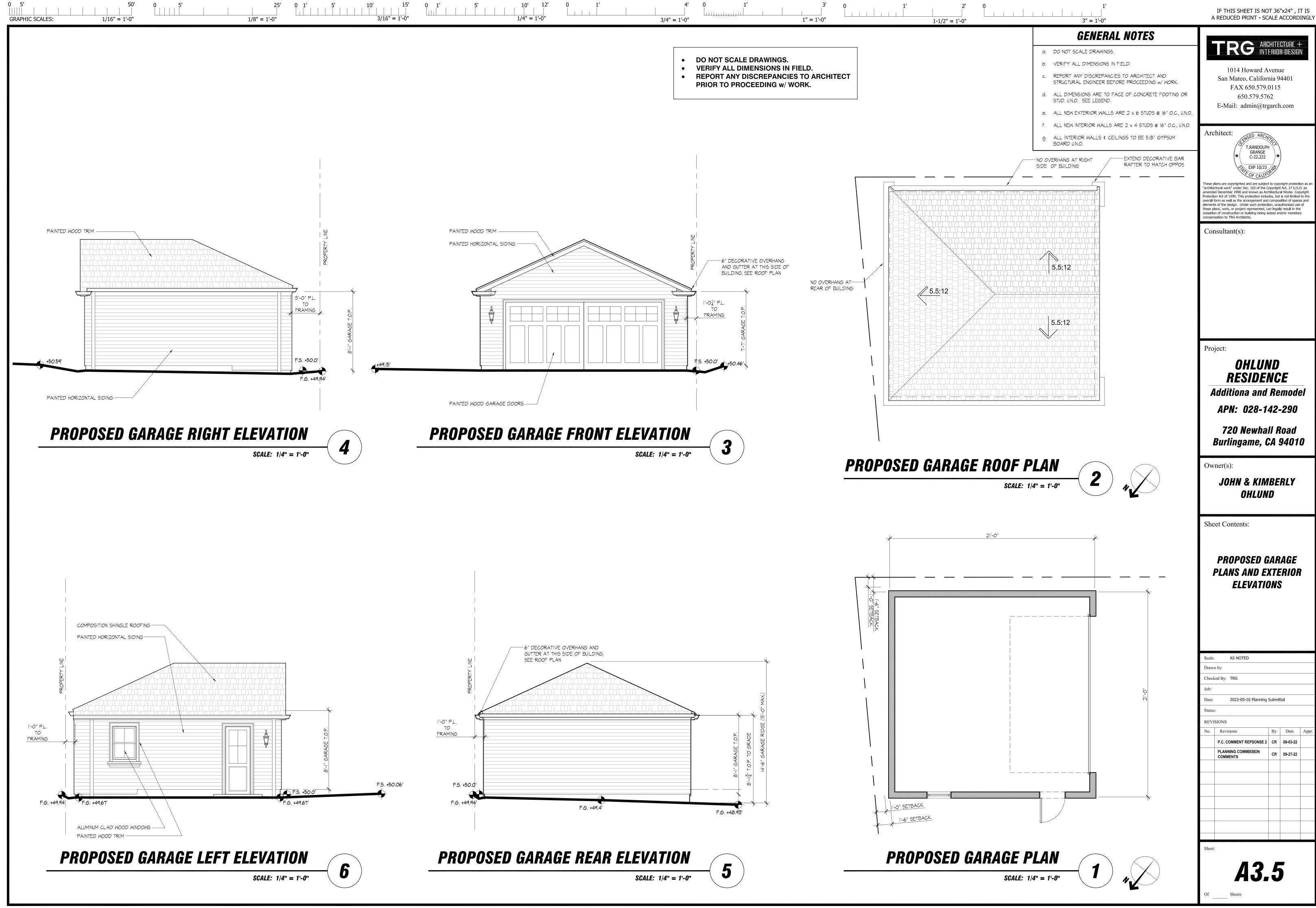
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> **JOHN & KIMBERLY** OHLUND

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EXTERIOR ELEVATIONS

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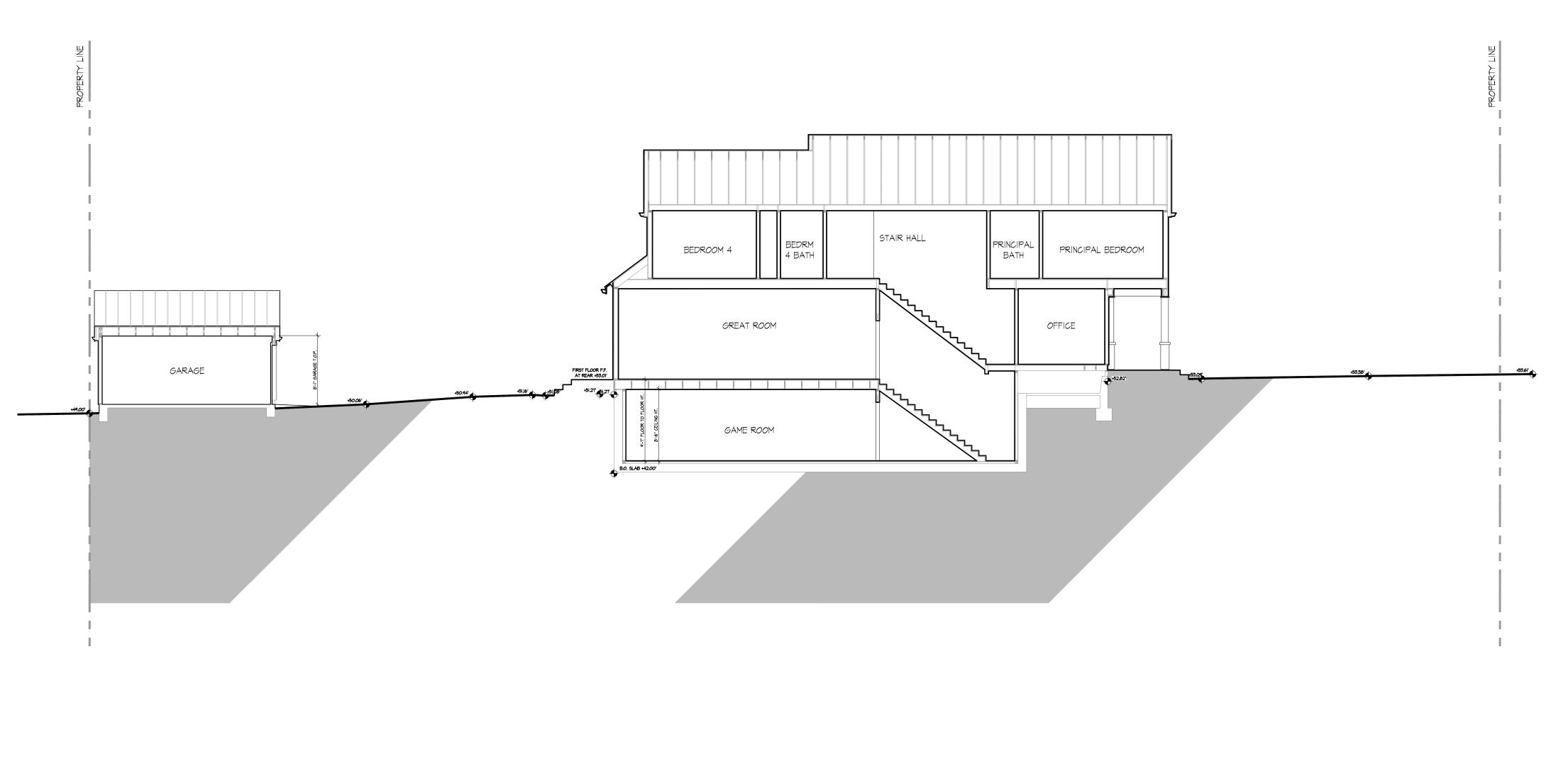
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SITE SECTION

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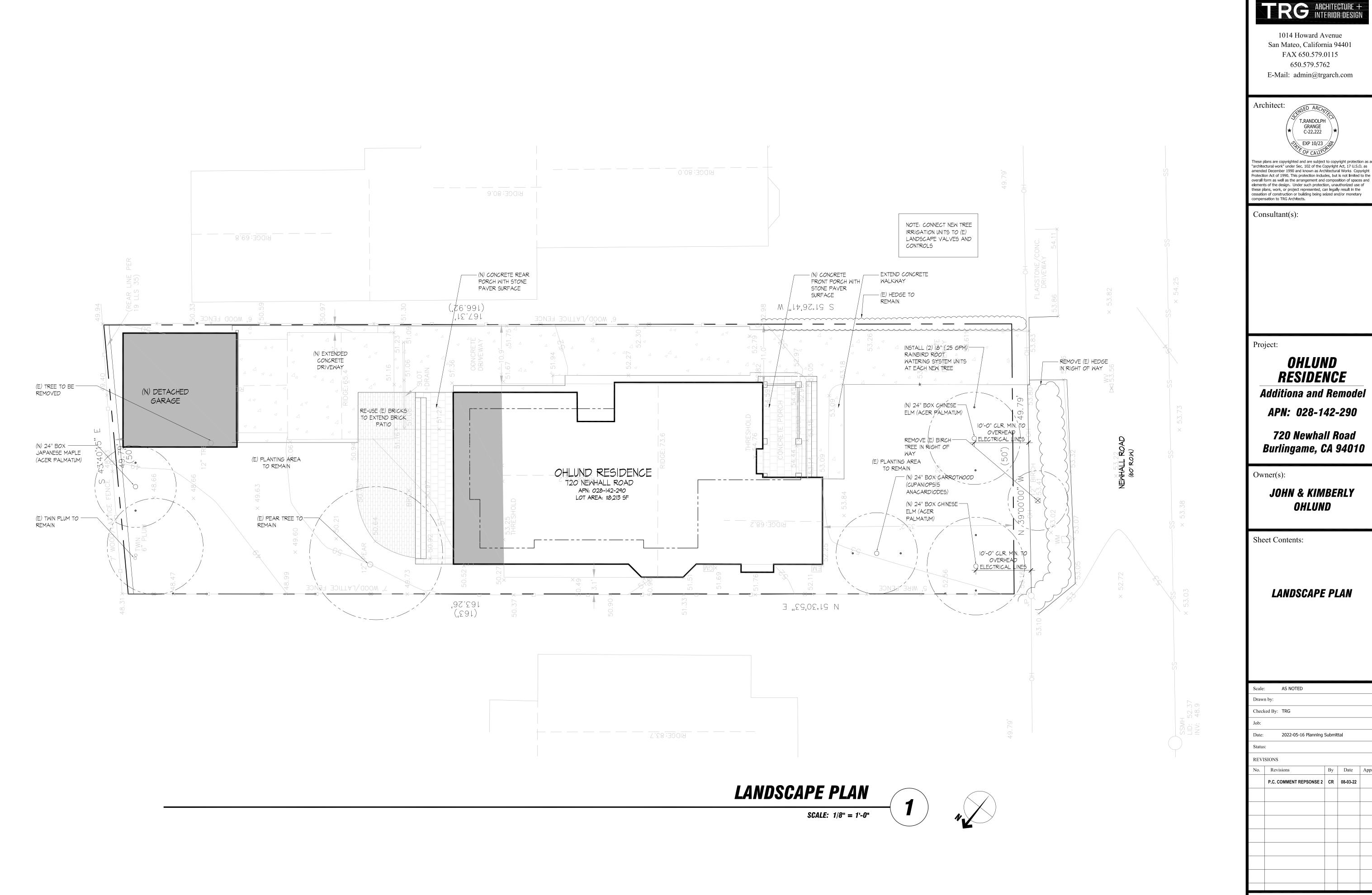
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GRAPHIC SCALES: 1/16" = 1'-0" 25' 0 1' 5' 10' 15' 0 1' 5' 10' 12' 0 1' 3' 0 1' 2' 0 1' 1-1/2" = 1'-0" 3/4" = 1'-0" 3/4" = 1'-0"

SITE SECTION

SCALE: 1/8" = 1'-0"



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LANDSCAPE PLAN

2022-05-16 Planning Submittal

P.C. COMMENT REPSONSE 2 | CR | 08-03-22

