

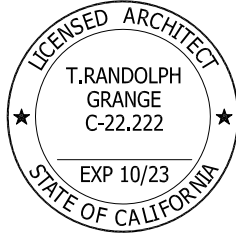
# 720 NEWHALL ROAD

## ADDITION AND REMODEL

**TRG** ARCHITECTURE + INTERIOR DESIGN

1014 Howard Avenue  
San Mateo, California 94401  
FAX 650.579.0115  
650.579.5762  
E-Mail: admin@trgarch.com

Architect:



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Consultant(s):

Project:

**OHLUND  
RESIDENCE**  
Addition and Remodel  
APN: 028-142-290

**720 Newhall Road  
Burlingame, CA 94010**

Owner(s):

**JOHN & KIMBERLY  
OHLUND**

Sheet Contents:

**NEIGHBORHOOD  
PHOTOS**

Scale: AS NOTED

Drawn by:

Checked By: TRG

Job:

Date: 2022-05-16 Planning Submittal

Status:

REVISIONS

No.	Revisions	By	Date	Appr.

Sheet:

**A0.0**

Of      Sheets



728 Newhall

724 Newhall

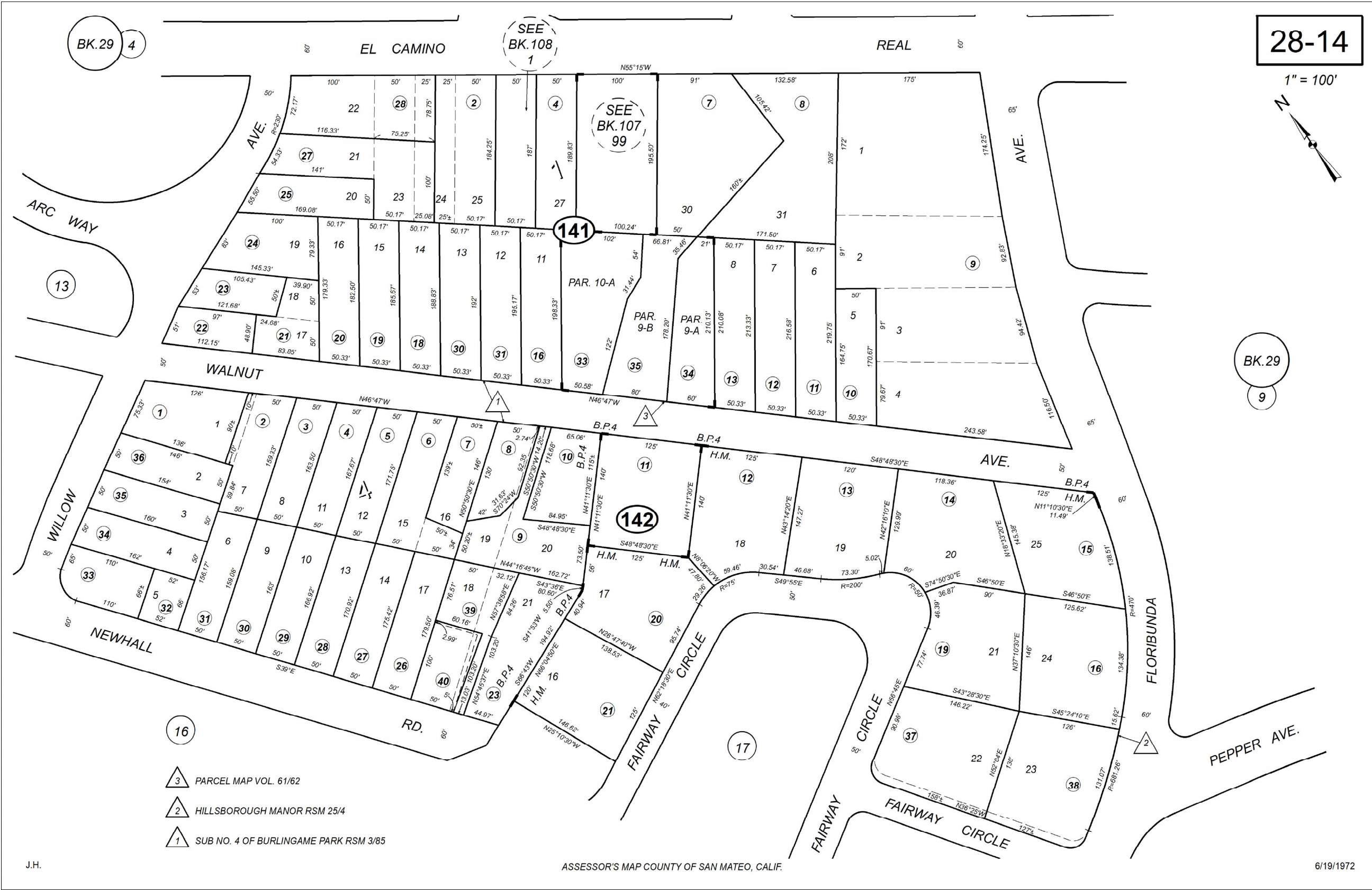
720 Newhall  
(Subject Property)

716 Newhall

712 Newhall

### NEIGHBORHOOD PHOTOS

1



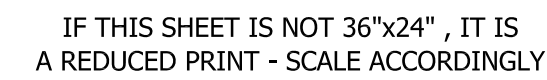
### PARCEL MAP

1










Architect:

The seal is circular with a double-lined border. The outer ring contains the text "LICENSED ARCHITECT" at the top and "STATE OF CALIFORNIA" at the bottom, separated by two five-pointed stars. The center of the seal contains the text "T.RANDOLPH GRANGE" and "C-22,222" in a larger font, with "EXP 10/23" in a smaller font below it.

Consultant(s):

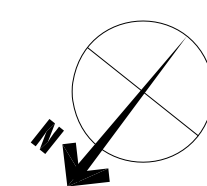
Owner(s):  
**JOHN & KIMBERLY  
OHLUND**

**SITE PLAN**

REVISIONS

Sheet:

Of Sheets



- DO NOT SCALE DRAWINGS.
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DEMOLITION NOTES

- REFER TO LEGEND BELOW 4 NOTES ON DEMO PLAN FOR STRUCTURAL ELEMENTS TO BE ALTERED OR REMOVED. REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- PRIOR TO DEMOLITION, VERIFY w/ OWNER & ARCHITECT ALL MECH. EQUIP. PLUMBING FIXTURES, ELECTRICAL EQUIP., LIGHTING, CABINETRY, WINDOWS, DOORS OR OTHER INTERIOR ELEMENTS TO BE REMOVED, REUSED, RECYCLED OR DISCARDED.
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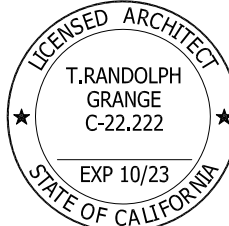
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TRG ARCHITECTURE +  
INTERIOR DESIGN

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**OHLUND  
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**Addition and Remodel**  
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Owner(s):

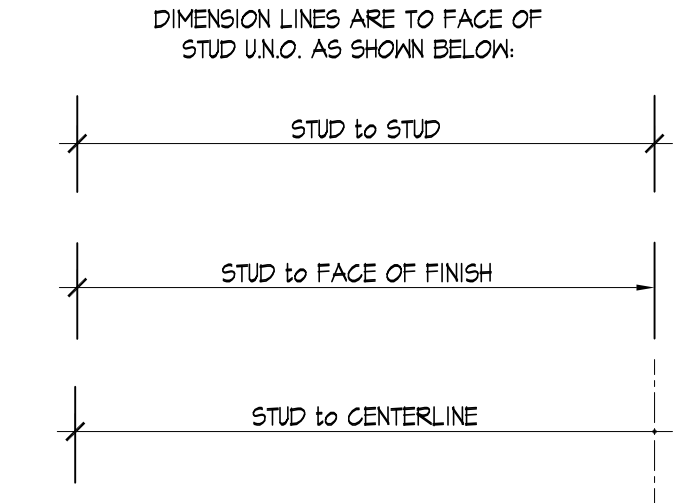
**JOHN & KIMBERLY  
OHLUND**

Sheet Contents:

**EXISTING FLOOR PLAN**

SEE ID SHEETS FOR INTERIOR  
INFORMATION. INCLUDING NICHES  
IN WALLS, FLUSH DRAINS, SHADE  
POCKETS, ADDED BLOCKING, ETC.

LEGEND



- (E) WALL TO REMAIN
- WALL OR ITEM TO BE REMOVED
- (E) OPENING TO BE INFILLED
- (N) WALL

Scale: AS NOTED

Drawn by:

Checked By: TRG

Job:

Date: 2022-05-16 Planning Submittal

Status:

REVISIONS

No.	Revisions	By	Date	Appr.

Sheet:

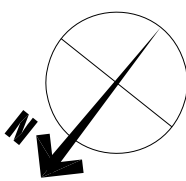
**A2.1e**

Of      Sheets

EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"

1





IF THIS SHEET IS NOT 36"x24" , IT IS  
A REDUCED PRINT - SCALE ACCORDINGLY

- DO NOT SCALE DRAWINGS.
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DEMOLITION NOTES

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- b. PRIOR TO DEMOLITION, VERIFY w/ OWNER & ARCHITECT ALL MECH. EQUIP., PLUMBING FIXTURES, ELECTRICAL EQUIP., LIGHTING, CABINETRY, WINDOWS, DOORS OR OTHER INTERIOR ELEMENTS TO BE REMOVED, REUSED, RECYCLED OR DISCARDED.
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- e. ANY REMOVAL OF ASBESTOS SHALL COMPLY w/ ALL APPLICABLE LAWS AND ORDINANCES.

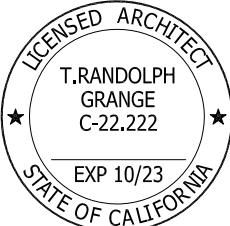
GENERAL NOTES

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- b. VERIFY ALL DIMENSIONS IN FIELD.
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TRG ARCHITECTURE + INTERIOR DESIGN

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Consultant(s):

Project:

**OHLUND  
RESIDENCE**  
**Addition and Remodel**  
**APN: 028-142-290**  
**720 Newhall Road**  
**Burlingame, CA 94010**

Owner(s):

**JOHN & KIMBERLY  
OHLUND**

Sheet Contents:

**EXISTING ROOF PLAN**

SEE ID SHEETS FOR INTERIOR  
INFORMATION. INCLUDING NICHES  
IN WALLS, FLUSH DRAINS, SHADE  
POCKETS, ADDED BLOCKING, ETC.

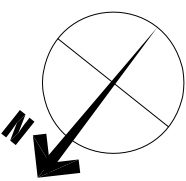
LEGEND

- DIMENSION LINES ARE TO FACE OF STUD U.N.O. AS SHOWN BELOW:
- STUD to STUD
- STUD to FACE OF FINISH
- STUD to CENTERLINE
- (E) WALL TO REMAIN
- WALL OR ITEM TO BE REMOVED
- (E) OPENING TO BE INFILLED
- (N) WALL

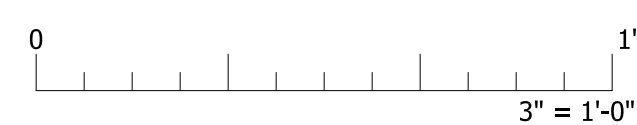
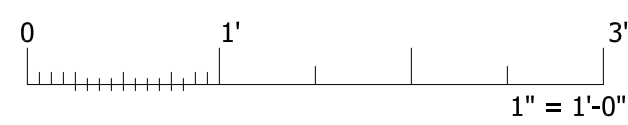
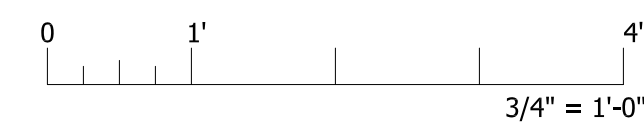
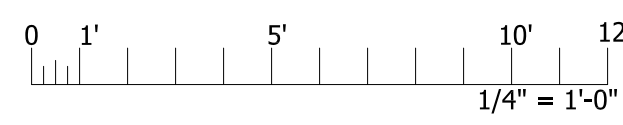
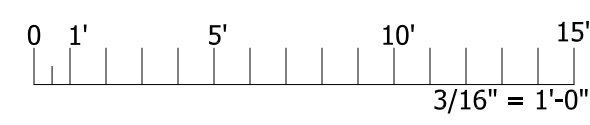
EXISTING ROOF PLAN

SCALE: 1/4" = 1'-0"

1

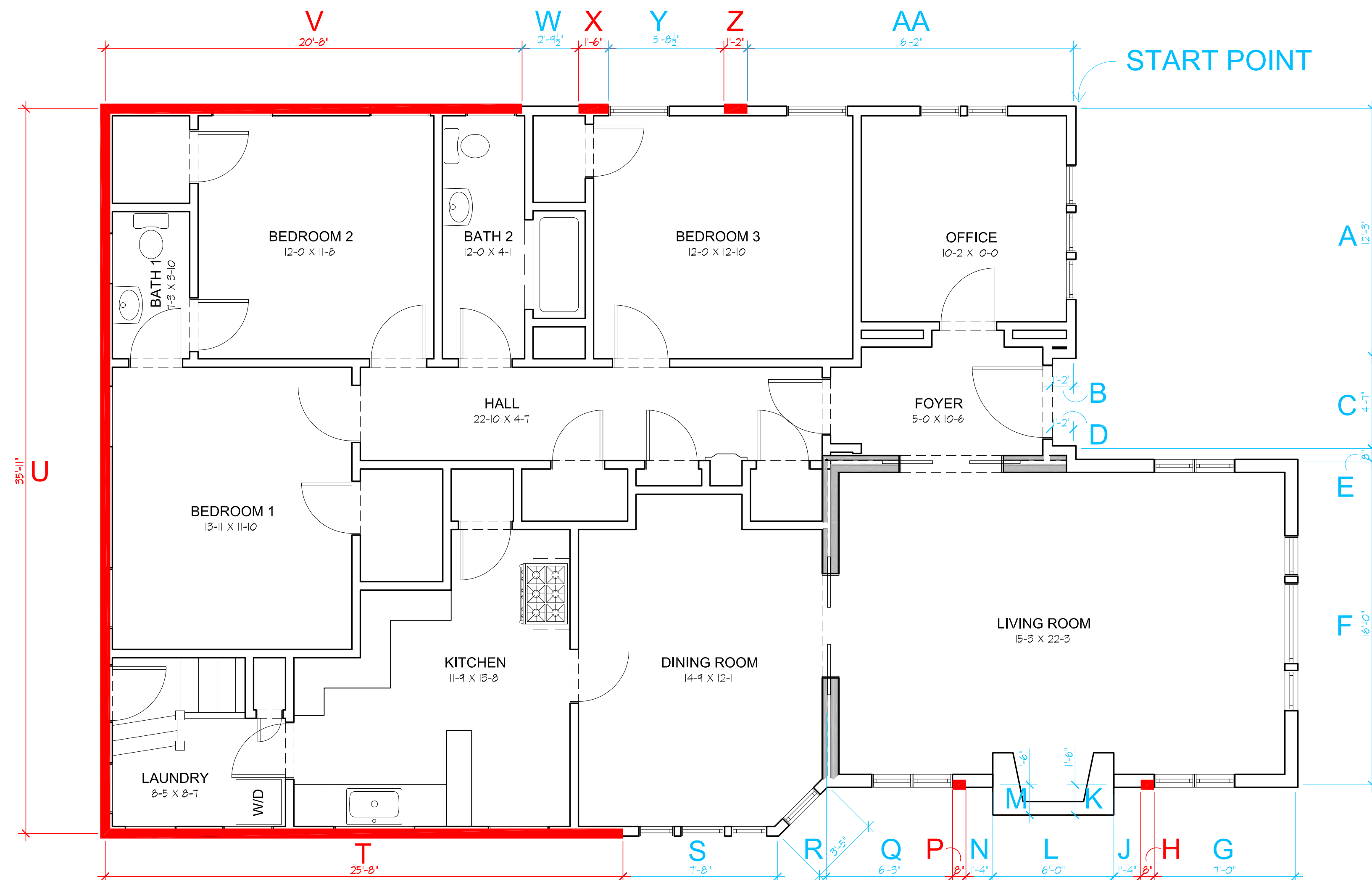






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A REDUCED PRINT - SCALE ACCORDINGLY

NOTE: DETACHED GARAGE NOT INCLUDED IN CALCULATIONS



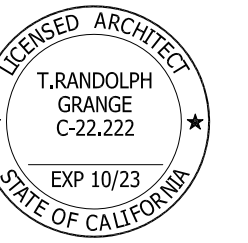
FIRST FLOOR EXISTING WALL LENGTHS			
LABEL	DIMENSIONS (LF)		REMOVED (LF)
A	12.25		
B	1.17		
C	4.58		
D	1.17		
E	0.67		
F	16.00		
G	7.00		
H	0.67		0.67
J	1.33		
K	1.50		
L	6.00		
M	1.50		
N	1.33		
P	0.67		0.67
Q	6.25		
R	3.42		
S	7.67		
T	25.67		25.67
U	35.92		35.92
V	20.67		20.67
W	2.79		
X	1.50		1.5
Y	5.71		
Z	1.17		1.17
AA	16.17		
	TOTAL EXISTING		TOTAL REMOVED
	283.92		86.27
	50% of existing wall		
	141.96		86.27

TOTAL EXISTING WALL = 283.92 lf  
TOTAL WALL REMOVED = 86.27 lf  
30% OF (E) REMOVED  
(55 lf remaining for unforeseen work  
before removing 50% of existing wall)

**TRG** ARCHITECTURE + INTERIOR DESIGN

1014 Howard Avenue  
San Mateo, California 94401  
FAX 650.579.0115  
650.579.5762  
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Consultant(s):

Project:

**OHLUND  
RESIDENCE**  
*Additional and Remodel*  
**APN: 028-142-290**

**720 Newhall Road  
Burlingame, CA 94010**

Owner(s):

**JOHN & KIMBERLY  
OHLUND**

Sheet Contents:

**EXISTING WALLS TO BE  
REMOVED DIAGRAM**

Scale: AS NOTED

Drawn by:

Checked By: TRG

Job:

Date: 2022-05-16 Planning Submittal

Status:

REVISIONS

[illegible]

Sheet:

***GEO***

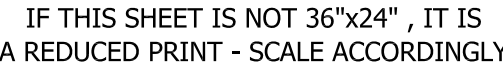
Of Sheets

### ***FIRST FLOOR PLAN***

**SCALE: 1/4" = 1'-0"**

**1**





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*Addition and Remodel*  
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**720 Newhall Road  
Burlingame, CA 94010**

**JOHN & KIMBERLY  
OHLUND**

## PROPOSED BASEMENT PLAN



(N) WALL

Sheet:

Of Sheet

## A2.0



DEMOLITION NOTES

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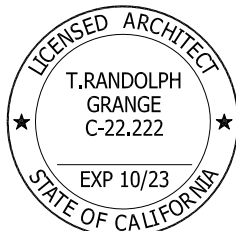
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720 Newhall Road  
Burlingame, CA 94010

Owner(s):

**JOHN & KIMBERLY  
OHLUND**

Sheet Contents:

**PROPOSED FIRST FLOOR  
PLAN**

LEGEND

DIMENSION LINES ARE TO FACE OF STUD U.N.O. AS SHOWN BELOW:

STUD to STUD

STUD to FACE OF FINISH

STUD to CENTERLINE

(E) WALL TO REMAIN

WALL OR ITEM TO BE REMOVED

(E) OPENING TO BE INFILLED

(N) WALL

Scale: AS NOTED

Drawn by:

Checked By: TRG

Job:

Date: 2022-05-16 Planning Submittal

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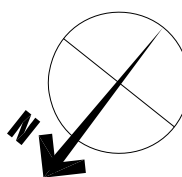
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Of \_\_\_\_\_ Sheets

PROPOSED FLOOR PLAN

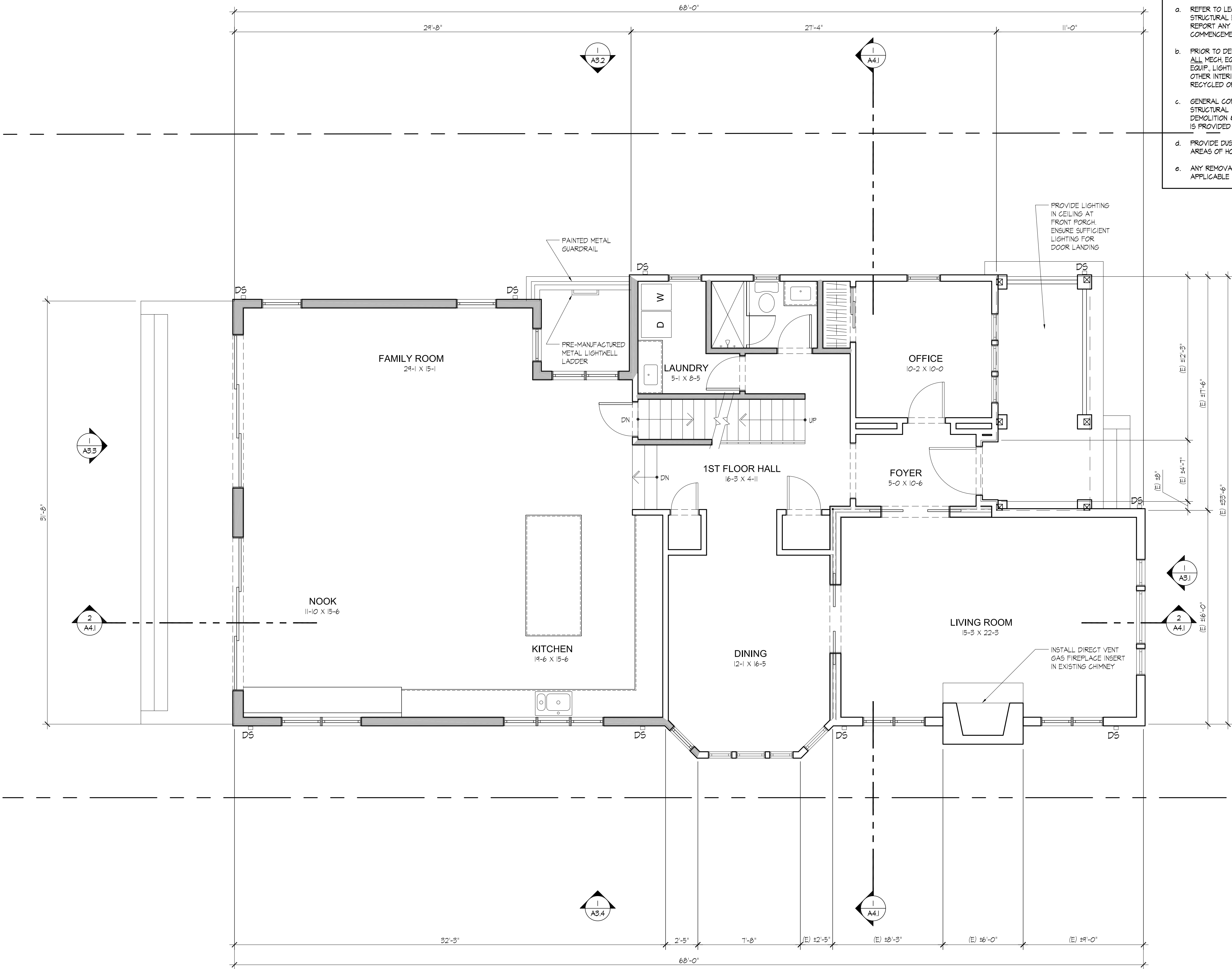
SCALE: 1/4" = 1'-0"

1



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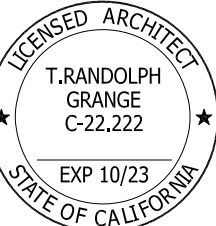
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Consultant(s):

Project:

**OHLUND RESIDENCE**  
**Addition and Remodel**  
**APN: 028-142-290**  
**720 Newhall Road**  
**Burlingame, CA 94010**

Owner(s):

**JOHN & KIMBERLY OHLUND**

Sheet Contents:

**PROPOSED SECOND FLOOR PLAN**

SEE ID SHEETS FOR INTERIOR INFORMATION. INCLUDING NICHES IN WALLS, FLUSH DRAINS, SHADE POCKETS, ADDED BLOCKING, ETC.

LEGEND

DIMENSION LINES ARE TO FACE OF STUD U.N.O. AS SHOWN BELOW:

STUD to STUD

STUD to FACE OF FINISH

STUD to CENTERLINE

(E) WALL TO REMAIN

WALL OR ITEM TO BE REMOVED

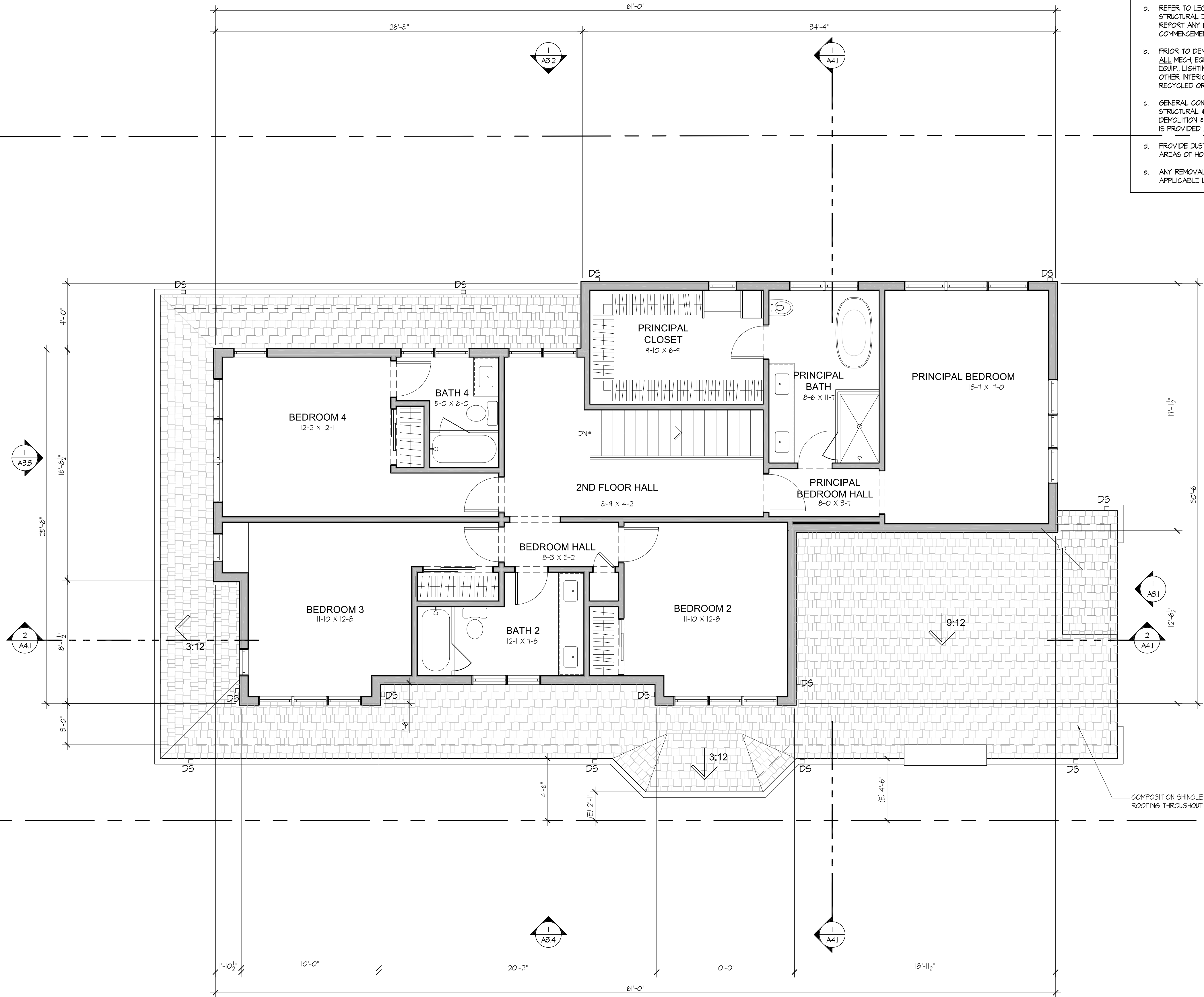
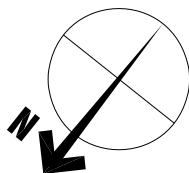
(E) OPENING TO BE INFILLED

(N) WALL

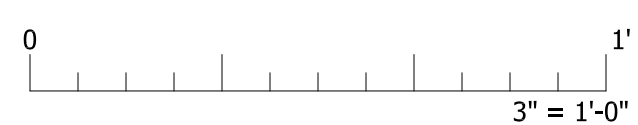
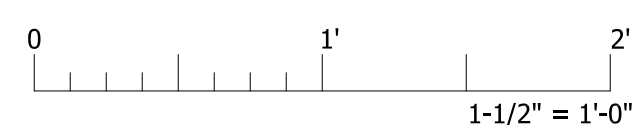
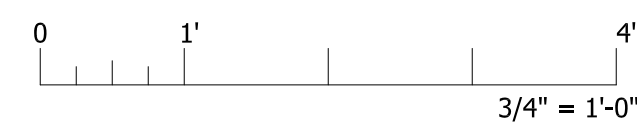
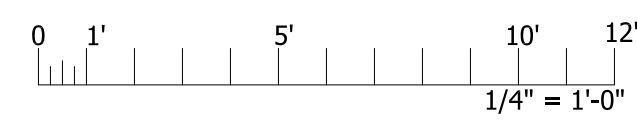
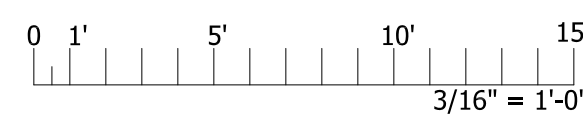
PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

1







IF THIS SHEET IS NOT 36"x24" , IT IS  
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**DEMOLITION NOTES**

- a. REFER TO LEGEND BELOW & NOTES ON DEMO PLAN FOR STRUCTURAL ELEMENTS TO BE ALTERED OR REMOVED. REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- b. PRIOR TO DEMOLITION, VERIFY W/ OWNER & ARCHITECT ALL MECH. EQUIP. PLUMBING FIXTURES, ELECTRICAL EQUIP., LIGHTING, CABINETRY, WINDOWS, DOORS OR OTHER INTERIOR ELEMENTS TO BE REMOVED, REUSED, RECYCLED OR DISCARDED.
- c. GENERAL CONTRACTOR TO VERIFY EXISTING STRUCTURAL & LOAD TRANSFER CONDITIONS PRIOR TO DEMOLITION & INSURE ADEQUATE TEMPORARY SHORING IS PROVIDED AS NEEDED DURING CONSTRUCTION.
- d. PROVIDE DUST SCREENING AS NECESSARY TO PROTECT AREAS OF HOUSE NOT UNDER CONSTRUCTION.
- e. ANY REMOVAL OF ASBESTOS SHALL COMPLY W/ ALL APPLICABLE LAWS AND ORDINANCES.

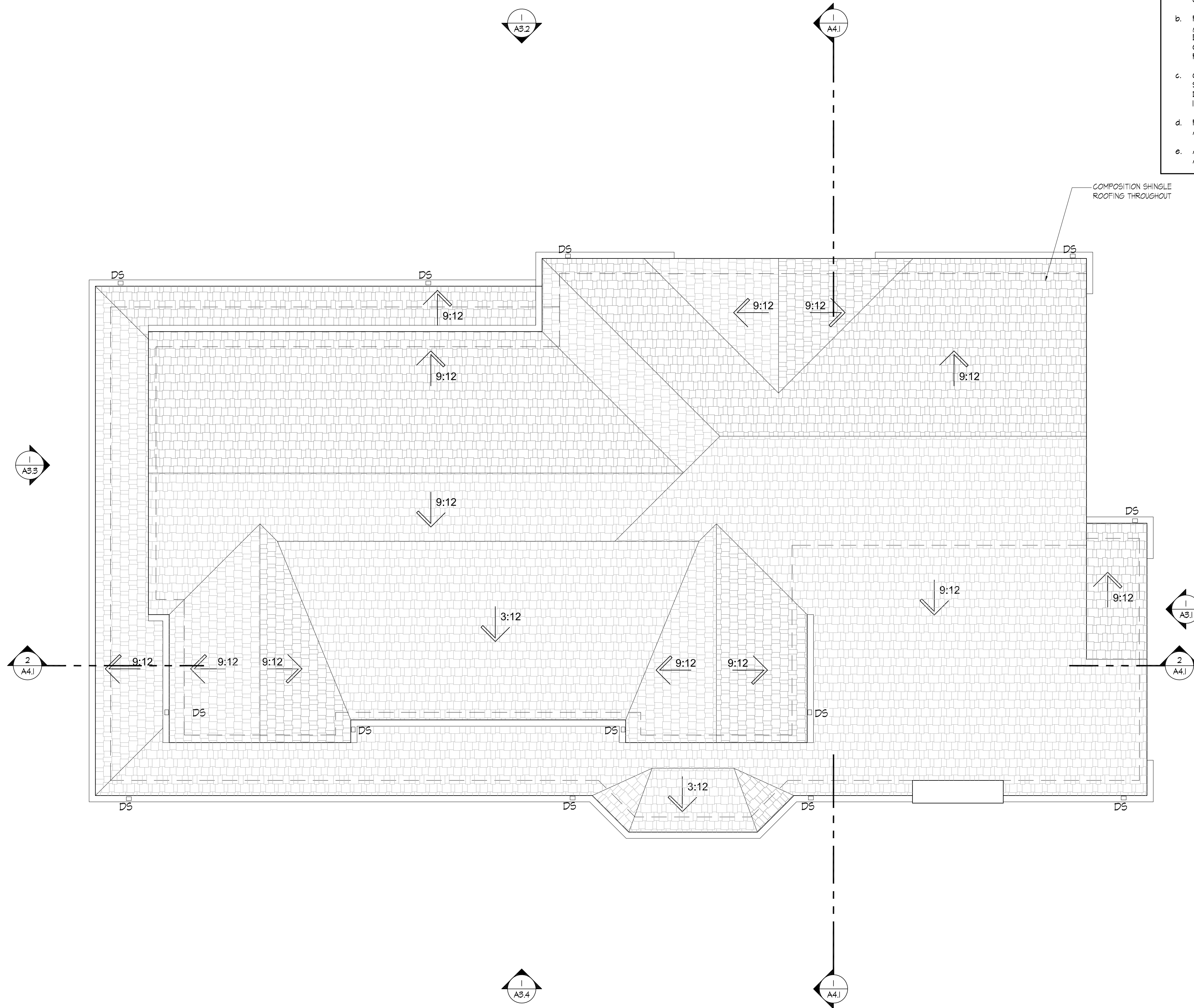
### GENERAL NOTES

- a. DO NOT SCALE DRAWINGS.
- b. VERIFY ALL DIMENSIONS IN FIELD.
- c. REPORT ANY DISCREPANCIES TO ARCHITECT AND STRUCTURAL ENGINEER BEFORE PROCEEDING w/ WORK.
- d. ALL DIMENSIONS ARE TO FACE OF CONCRETE FOOTING OR STUD, U.N.O. SEE LEGEND.
- e. ALL NEW EXTERIOR WALLS ARE 2 x 6 STUDS @ 16" O.C., U.N.O.
- f. ALL NEW INTERIOR WALLS ARE 2 x 4 STUDS @ 16" O.C., U.N.O.
- g. ALL INTERIOR WALLS & CEILINGS TO BE 5/8" GYPSUM BOARD U.N.O.

- DO NOT SCALE DRAWINGS.
- VERIFY ALL DIMENSIONS IN FIELD.
- REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO PROCEEDING w/ WORK.

- **VERIFY ALL DIMENSIONS IN FIELD.**

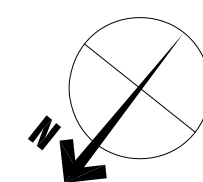
- **REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO PROCEEDING w/ WORK.**



## ***PROPOSED FLOOR PLAN***

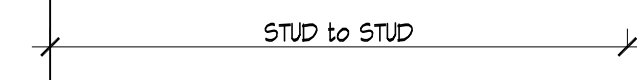
**SCALE: 1/4" = 1'-0"**

1



### LEGEND

DIMENSION LINES ARE TO FACE OF  
STUD U.N.O. AS SHOWN BELOW:



☐ (E) WALL TO REMAIN

[-----] WALL OR ITEM  
TO BE REMOVED

 (E) OPENING TO BE INFILLED



Scale: AS NOTED

Drawn by:

Checked By: TRG

Job:

Date: 2022-05-16 Planning Submittal

Status:

## REVISIONS

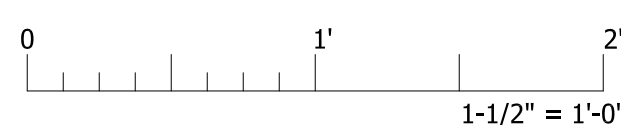
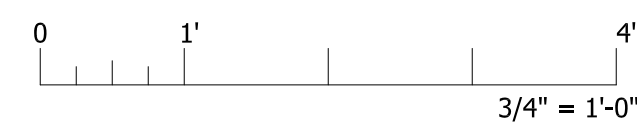
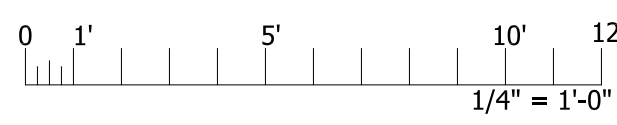
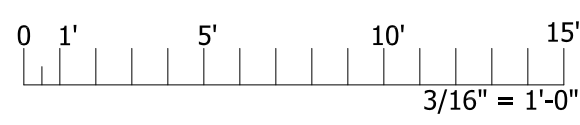
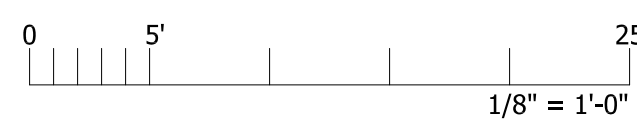
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Sheet:

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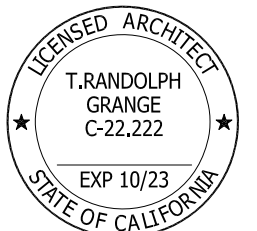


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1014 Howard Avenue  
San Mateo, California 94401  
FAX 650.579.0115  
650.579.5762  
E-Mail: [admin@trgarch.com](mailto:admin@trgarch.com)

Architect:



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Consultant(s):

Project:

**OHLUND  
RESIDENCE**  
*Additional and Remodel*  
**APN: 028-142-290**

**720 Newhall Road  
Burlingame, CA 94010**

Owner(s):

**JOHN & KIMBERLY  
OHLUND**

Sheet Contents:

## EXTERIOR ELEVATIONS

Scale: AS NOTED

Drawn by:

Checked By: TRG

Job:

Date: 2022-05-16 Planning Submittal

Status:

## REVISIONS

[illegible]

Sheet:

### A3.1

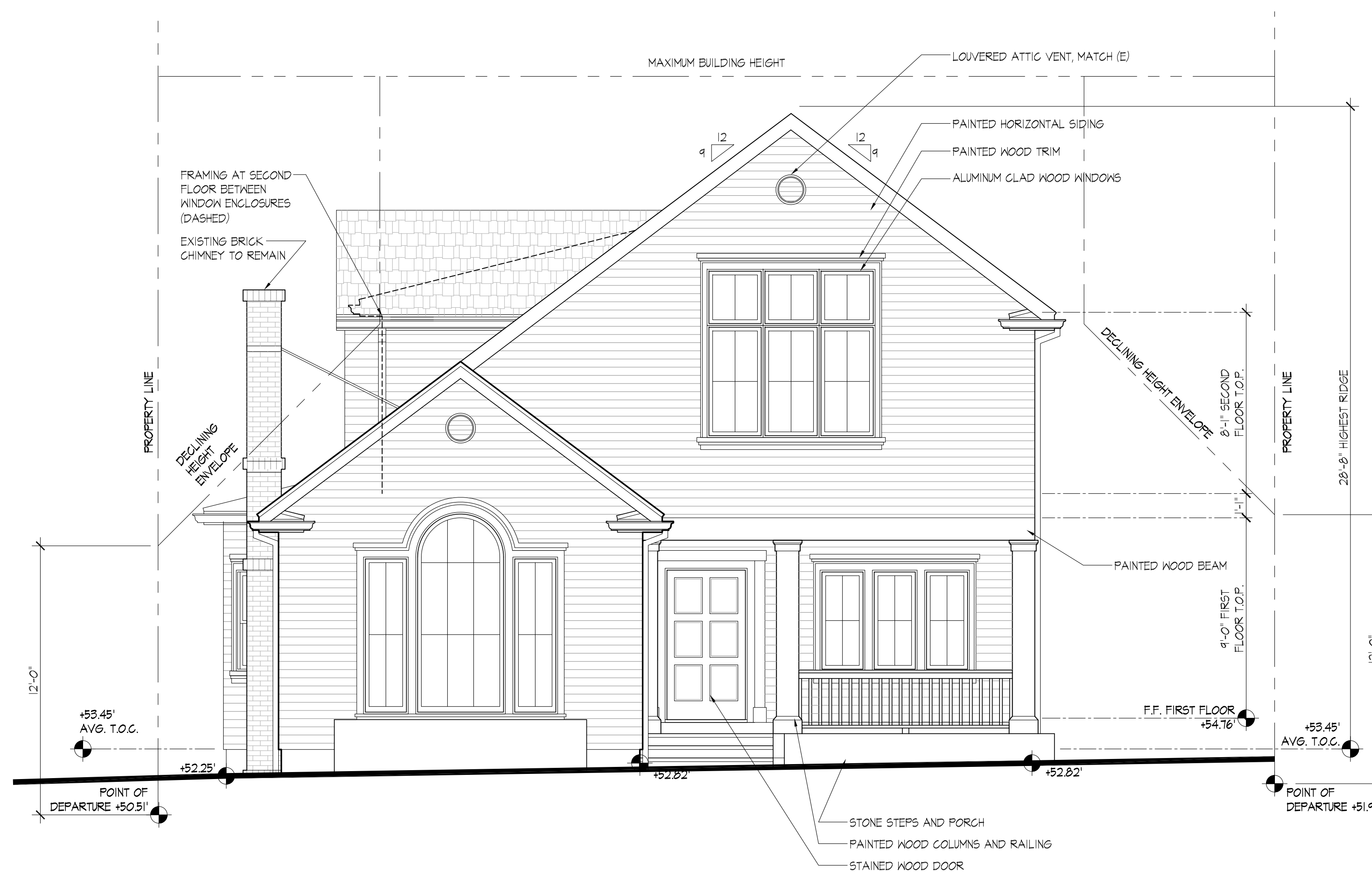
Of Sheets



**EXISTING FRONT ELEVATION**

**SCALE: 1/4" = 1'-0"**

1



***PROPOSED FRONT ELEVATION***

**SCALE: 1/4" = 1'-0"**

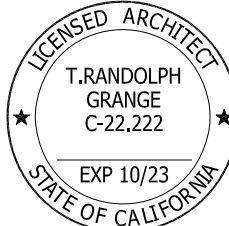
2



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INTERIOR DESIGN

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Addition and Remodel  
APN: 028-142-290  
720 Newhall Road  
Burlingame, CA 94010

Owner(s):

**JOHN & KIMBERLY  
OHLUND**

Sheet Contents:

**EXTERIOR ELEVATIONS**

Scale: AS NOTED

Drawn by:

Checked By: TRG

Job:

Date: 2022-05-16 Planning Submittal

Status:

REVISIONS

No.	Revisions	By	Date	Appr.
	PLANNING COMMISSION COMMENTS	CR	09-27-22	

Sheet:

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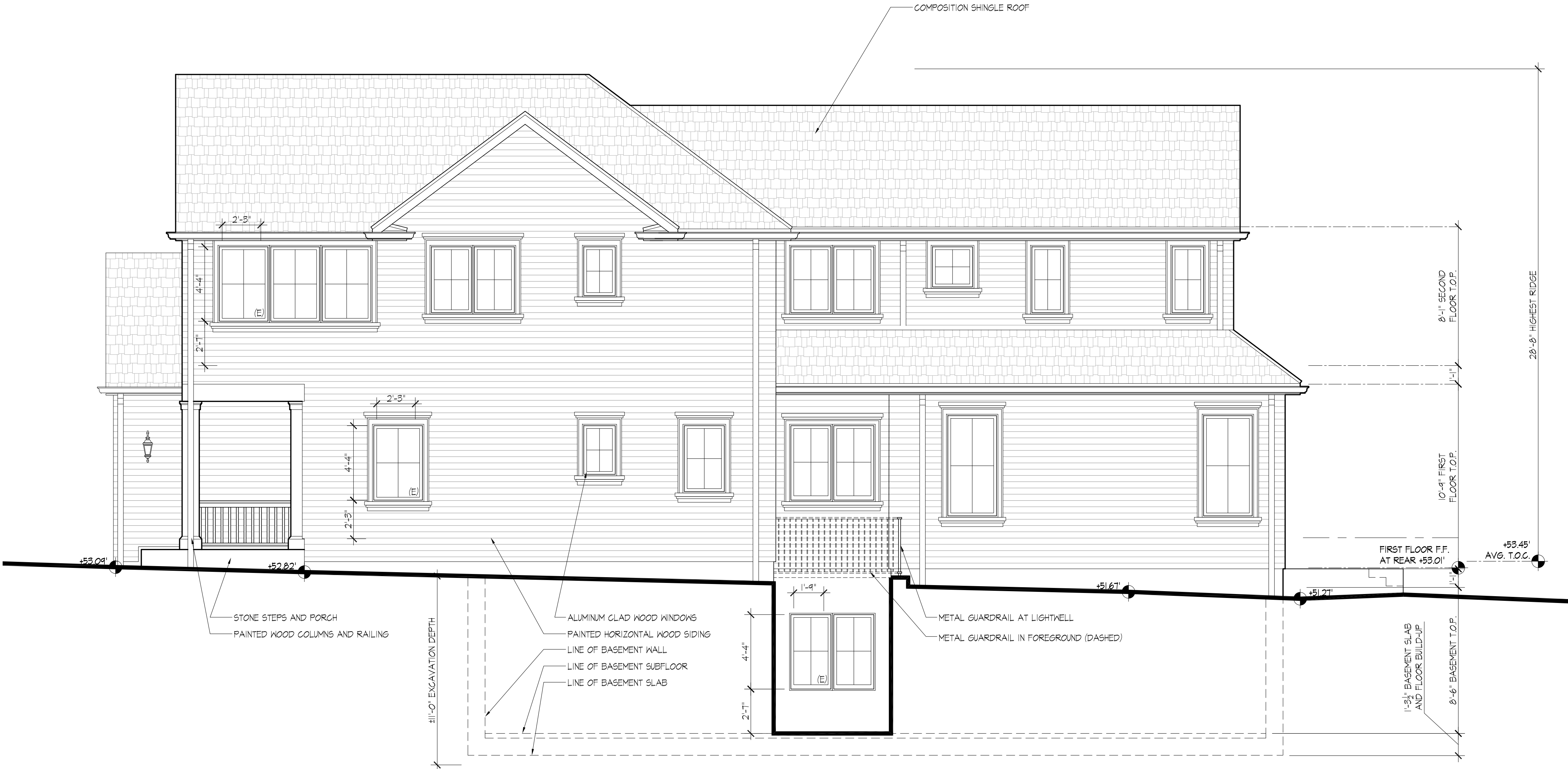
Of      Sheets



**EXISTING RIGHT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

1



**PROPOSED RIGHT SIDE ELEVATION**

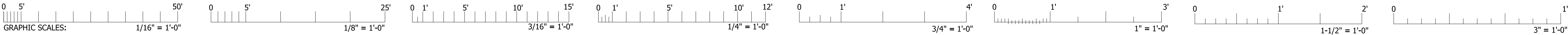
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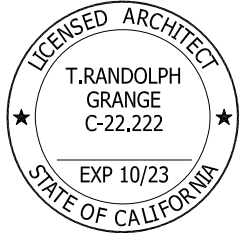


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Addition and Remodel  
APN: 028-142-290

720 Newhall Road  
Burlingame, CA 94010

Owner(s):

**JOHN & KIMBERLY  
OHLUND**

Sheet Contents:

**EXTERIOR ELEVATIONS**

Scale: AS NOTED

Drawn by:

Checked By: TRG

Job:

Date: 2022-05-16 Planning Submittal

Status:

REVISIONS

No.	Revisions	By	Date	Appr.

Sheet:

**A3.4**

Of      Sheets



**EXISTING LEFT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

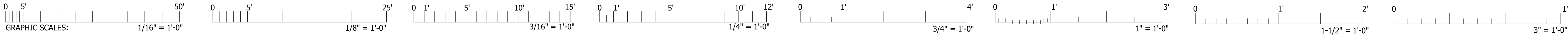
1



**PROPOSED LEFT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

2



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### GENERAL NOTES

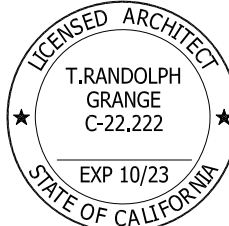
- DO NOT SCALE DRAWINGS.
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- ALL INTERIOR WALLS & CEILINGS TO BE 5/8" GYPSUM BOARD U.N.O.

- DO NOT SCALE DRAWINGS.
- VERIFY ALL DIMENSIONS IN FIELD.
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Addition and Remodel  
APN: 028-142-290

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Burlingame, CA 94010

Owner(s):

**JOHN & KIMBERLY  
OHLUND**

Sheet Contents:

**PROPOSED GARAGE  
PLANS AND EXTERIOR  
ELEVATIONS**

Scale: AS NOTED

Drawn by:

Checked By: TRG

Job:

Date: 2022-05-16 Planning Submittal

Status:

REVISIONS

No.	Revisions	By	Date	Appr.
	P.C. COMMENT RESPONSE 2	CR	08-03-22	
	PLANNING COMMISSION COMMENTS	CR	09-27-22	

Sheet:

**A3.5**

Of \_\_\_\_\_ Sheets

### PROPOSED GARAGE RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

4

### PROPOSED GARAGE FRONT ELEVATION

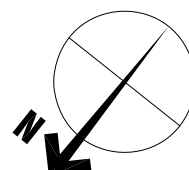
SCALE: 1/4" = 1'-0"

3

### PROPOSED GARAGE ROOF PLAN

SCALE: 1/4" = 1'-0"

2



### PROPOSED GARAGE LEFT ELEVATION

SCALE: 1/4" = 1'-0"

6

### PROPOSED GARAGE REAR ELEVATION

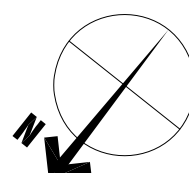
SCALE: 1/4" = 1'-0"

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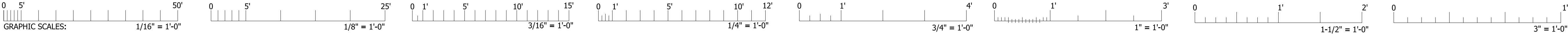
### PROPOSED GARAGE PLAN

SCALE: 1/4" = 1'-0"

1





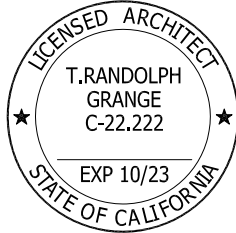


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Consultant(s):

Project:

**OHLUND  
RESIDENCE**  
**Addition and Remodel**  
**APN: 028-142-290**  
**720 Newhall Road**  
**Burlingame, CA 94010**

Owner(s):

**JOHN & KIMBERLY  
OHLUND**

Sheet Contents:

**SITE SECTION**

Scale: AS NOTED

Drawn by:

Checked By: TRG

Job:

Date: 2022-05-16 Planning Submittal

Status:

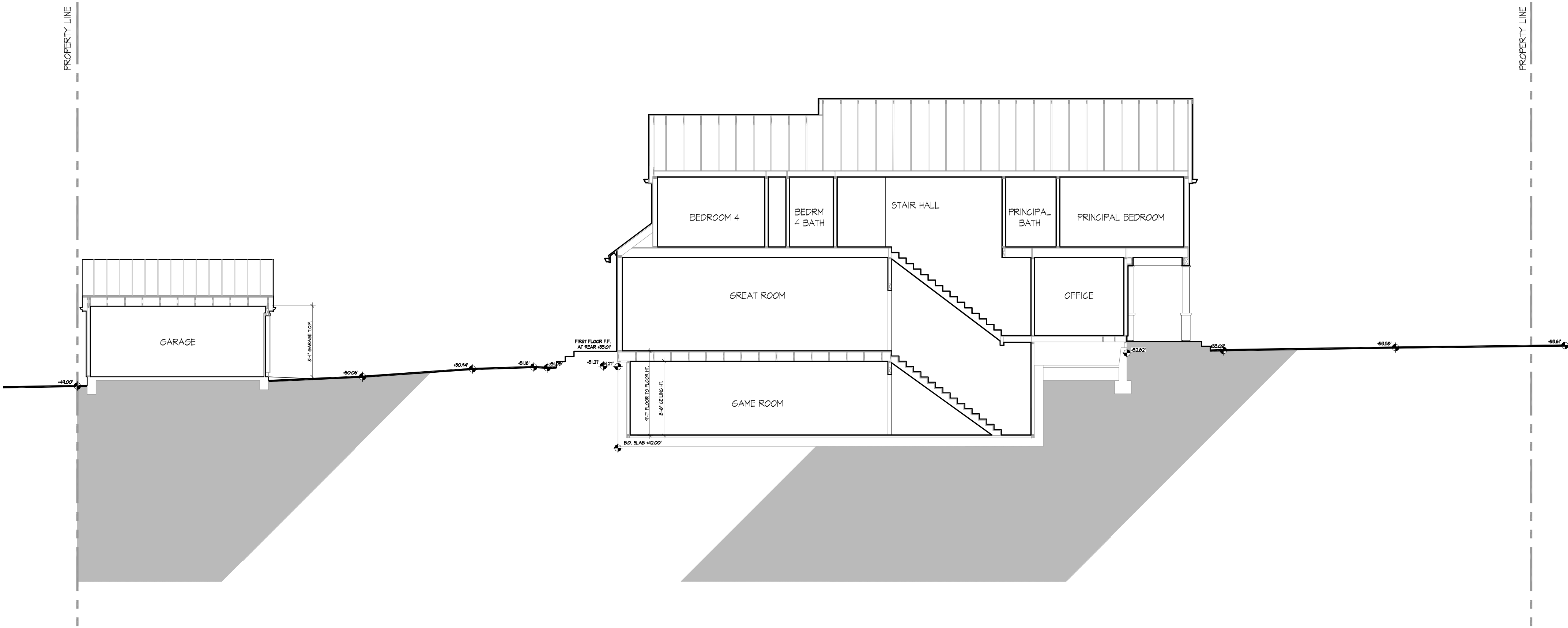
REVISIONS

No.	Revisions	By	Date	Appr.

Sheet:

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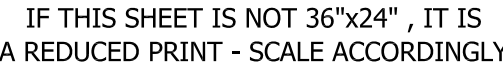
Of      Sheets




**SITE SECTION**

SCALE: 1/8" = 1'-0"

**1**



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Project:

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**Addition and Remodel**  
**APN: 028-142-290**

**720 Newhall Road  
Burlingame, CA 94010**

**JOHN & KIMBERLY  
OHLUND**

## LANDSCAPE PLAN

Statr

Sheo

Of Sheet



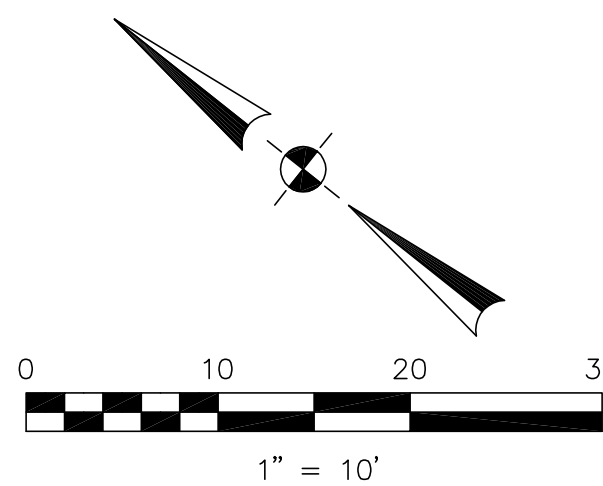
BOOK D MAPS 43  
MAP OF SUBDIVISION NO. 4 OF BURLINGAME PARK  
BLOCK 4

LOT 8  
CALCULATED LOCATION OF  
3/4" IP SET BY KAVANAGH  
ENGINEERING PER 19 LLS 35  
(NOW DESTROYED)

LOT 11

LOT 12

LOT 15



**BASIS OF BEARINGS**

THE BEARING, NORTH 39°00'00" WEST, OF NEWHALL AVENUE, AS SHOWN ON THE RECORD OF SURVEY BY BGT WHICH WAS FILED FOR RECORD IN VOLUME 24 OF LLS MAPS PAGE 30 ON NOVEMBER 4, 2002, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

**BENCHMARK**

ELEVATIONS SHOWN HEREON ARE BASED UPON NAVD 88 DATUM. BENCHMARK USED WAS THE NGS DISK "J 553" (PID 0554), BEING A DISK ON THE TOP OF THE NORTHWEST SIDE OF THE "MECHANICALLY SPEAKING" BUILDING WITH A PUBLISHED ELEVATION OF 15.5 FEET. SITE BENCHMARK IS THE MAG NAIL WITH STAINLESS STEEL WASHER WITH AN ELEVATION OF 53.11 FEET.

**NOTES:**

BGT RELIED UPON A FIRST AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT, ORDER NO. 5026900-6671713, AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

THE LOCATION OF THE SEWER CLEANOUT WAS NOT FOUND BY THE FIELD CREW. THEREFORE, THE CLEANOUT(S), AND THE PROBABLE LOCATION OF THE SEWER LATERAL COULD NOT BE VERIFIED. VERIFICATION TO BE DONE BY OTHERS.

TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELD CREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING  
www.bgtssurveying.com

DATE OF FIELD SURVEY: SEPTEMBER 24, 2021  
JOB NUMBER: 21-150

**LEGEND**

AC	ASPHALT CONCRETE
BW	BACK OF WALK
CB	CATCH BASIN
C/L	CENTERLINE
CMP	CORRUGATED METAL PIPE
CI	CAST IRON PIPE
CO	CLEAN OUT BOX
CP	SURVEY CONTROL POINT
CPP	CORRUGATED PLASTIC PIPE
CTV	CABLE TELEVISION LINE
DI	DROP INLET
EM	ELECTRIC METER
EV	ELECTRIC VAULT
FF	FINISHED FLOOR
FL	FLOWLINE
FH	FIRE HYDRANT
GM	GAS METER
GRD	GROUND
GUY	GUY ANCHOR
GV	GAS VALVE
HCR	HANDICAP RAMP
HVE	HIGH-VOLT ELECTRIC
INV.	INVERT
IP	IRON PIPE
JP	JOINT POLE
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
WM	WATER METER BOX
WV	WATER VALVE
-CTV-	CABLE TELEVISION LINE
-E-	ELECTRICAL LINE
-G-	GAS LINE
-OH-	OVERHEAD LINE
-SD-	STORM DRAIN LINE
-SS-	SANITARY SEWER LINE
-T-	TELEPHONE LINE
-W-	WATER LINE

LOT 6

LOT 9

LOT 10

LOT 13

LOT 14

APN 028-142-290  
8,213 SQ. FT.±

NEWHALL ROAD  
(60' WIDE)

246± MH-MH DISTANCE

SSMH  
LID: 56.44  
INV: 50.7

BOUNDARY AND TOPOGRAPHIC SURVEY

LOT 10, BLOCK 4, "MAP OF SUBDIVISION NO. 4 OF BURLINGAME PARK" (BOOK D MAPS 43)

720 NEWHALL ROAD

BURLINGAME, SAN MATEO COUNTY, CALIFORNIA

Assessor Parcel Number:  
028-142-290

Prepared For:  
JOHN OHLUND  
14442 Skyline Blvd.  
Woodside, CA 94062

Date: SEPT. 2021  
Scale: 1" = 10'  
Contour Interval: 1'  
Drawn by: LHL  
Revisions:

SU-1

Job No. 21-150