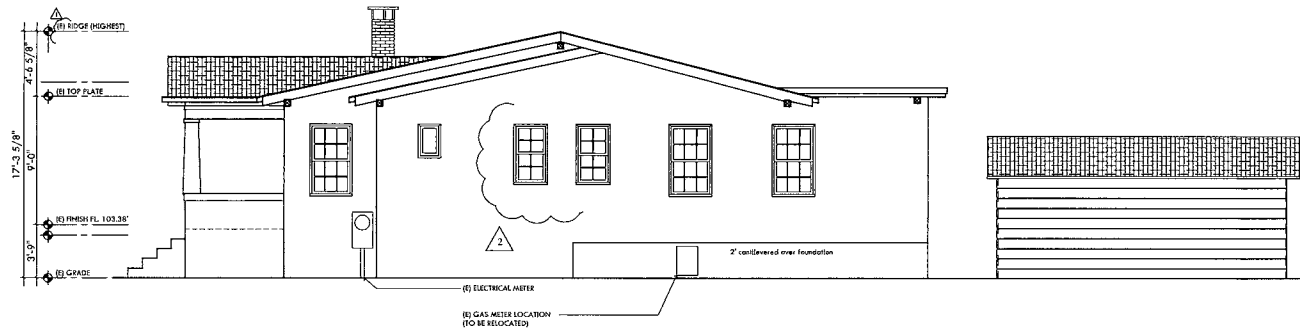
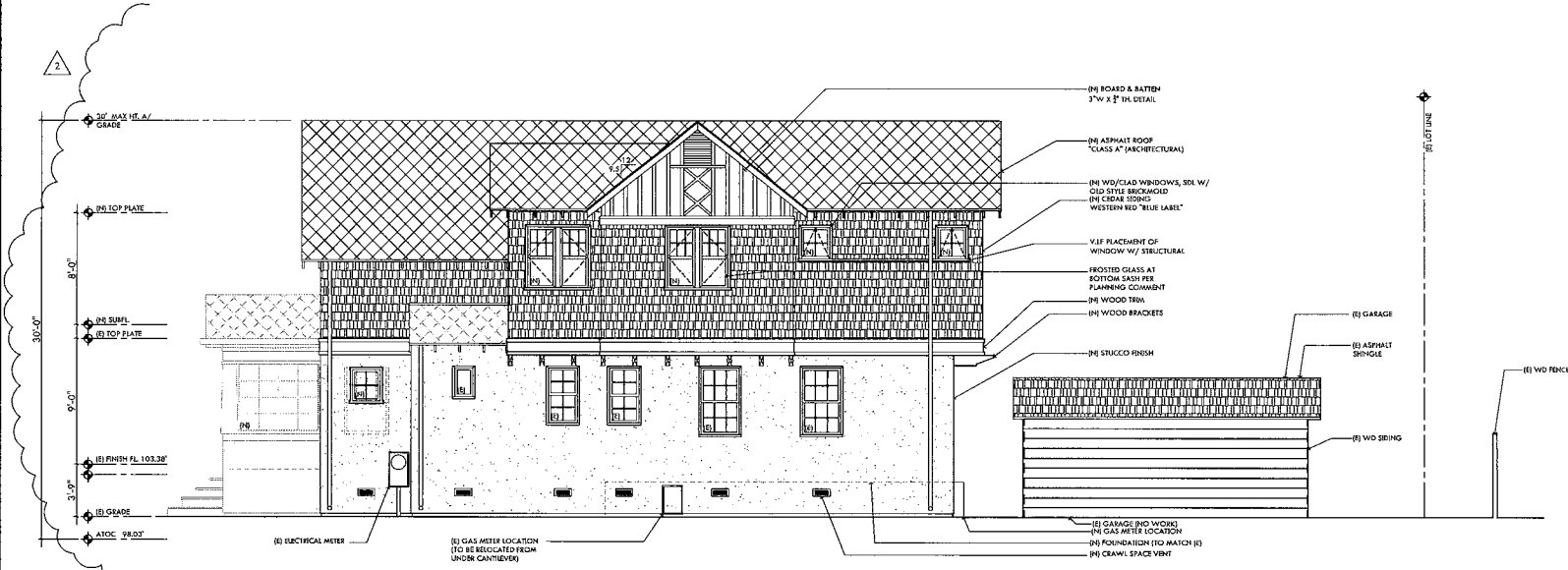


All window & door hardware, including but not limited to, hinges, handles, knobs, pulls, etc., shall be specified by the architect. It is the responsibility of the architect to specify the hardware to be used. It is the responsibility of the contractor to provide the hardware.



AS BUILT RIGHT ELEVATION (EAST)

Scale: 1/4" = 1'-0" (A3.1)



(PROPOSED) RIGHT ELEVATION (EAST)

Scale: 1/4" = 1'-0" (A3.1)

Revisions

Rev.	Description	Date
1	Designation	01/20/23
2	Revised Planning Comments	02/24/23
3	Revised Foundation	02/24/23

Sheet: 1
 Designer: J. M. BACHMANN
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 BURLINGAME, CA 94010
 Phone: 415-333-8333
 Email: jmbachm@builditgreen.com

APN # 026-091-280
 PLANNING SET



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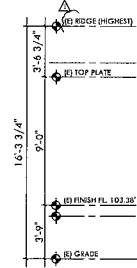
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 DESIGN ■ PLANNING

Title: As Built and Proposed Elevations
 Project: MR. & MRS. PHILIPPE BACHMANN
 112 LINCOLN AVE
 BURLINGAME CA 94010

A3.1

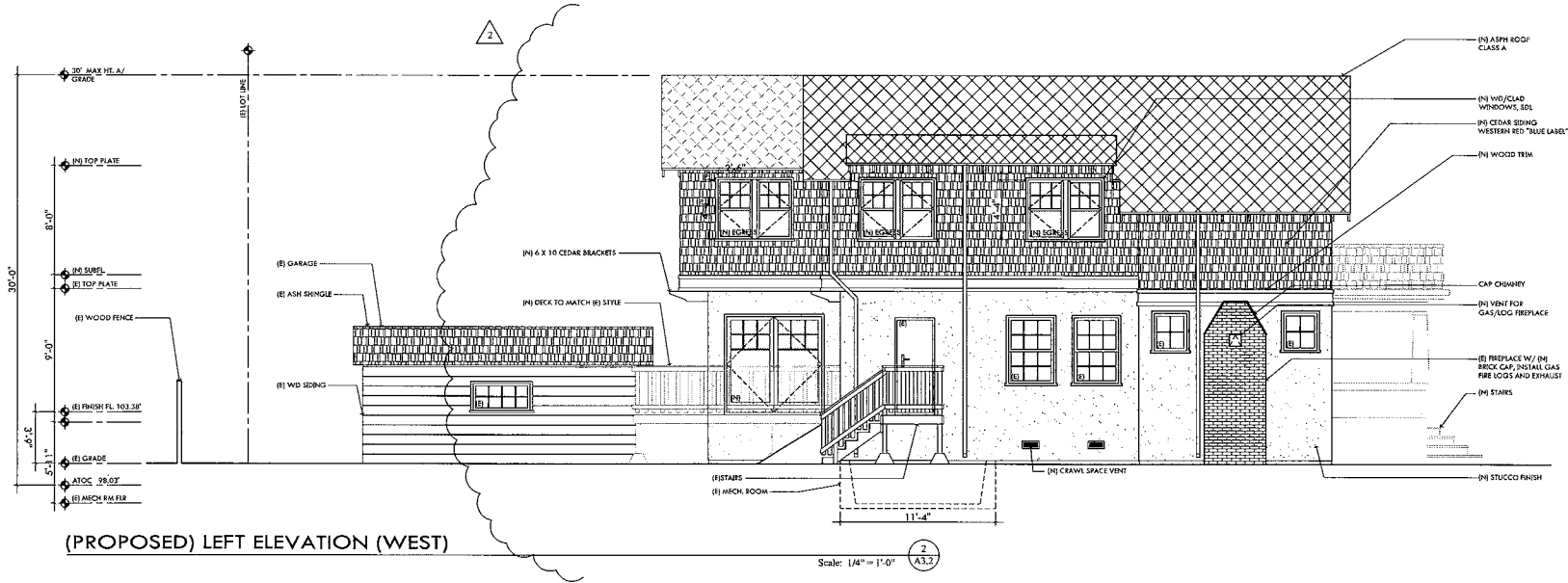
Sheet
 Scale: See Details

All members of the professional staff are duly licensed and registered in the State of California. The professional seal of the architect is a condition of the contract and shall be a condition of any agreement or contract. The architect shall not be responsible for any errors or omissions in the drawings or specifications, or for any consequences thereof, which may result from the use of these drawings or specifications, or for any consequences thereof, which may result from the use of these drawings or specifications, or for any consequences thereof, which may result from the use of these drawings or specifications.



AS BUILT LEFT ELEVATION (WEST)

Scale: 1/4" = 1'-0" 1
A3.2



(PROPOSED) LEFT ELEVATION (WEST)

Scale: 1/4" = 1'-0" 2
A3.2

REV.	DESCRIPTION	DATE
01	REVISION/ISSUE	01/20/13
02	REVISION/ISSUE	03/20/13
03	REVISION/ISSUE	03/20/13
04	REVISION/ISSUE	03/20/13

ARCHITECT: PHILIPPE BACHMANN
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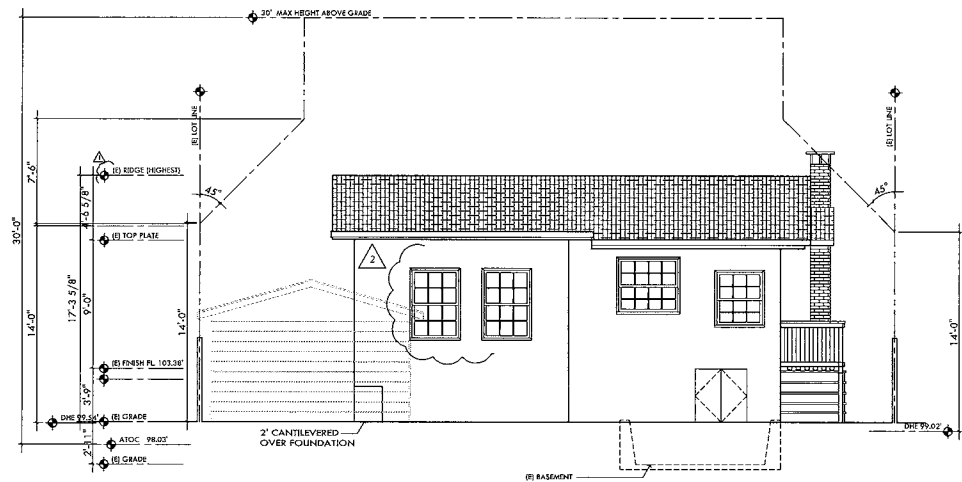
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Project: MR. & MRS. PHILIPPE BACHMANN
1123 LINCOLN AVE
BURLINGAME, CA 94010

A3.2

Sheet: 6 of 10
Scale: See Details

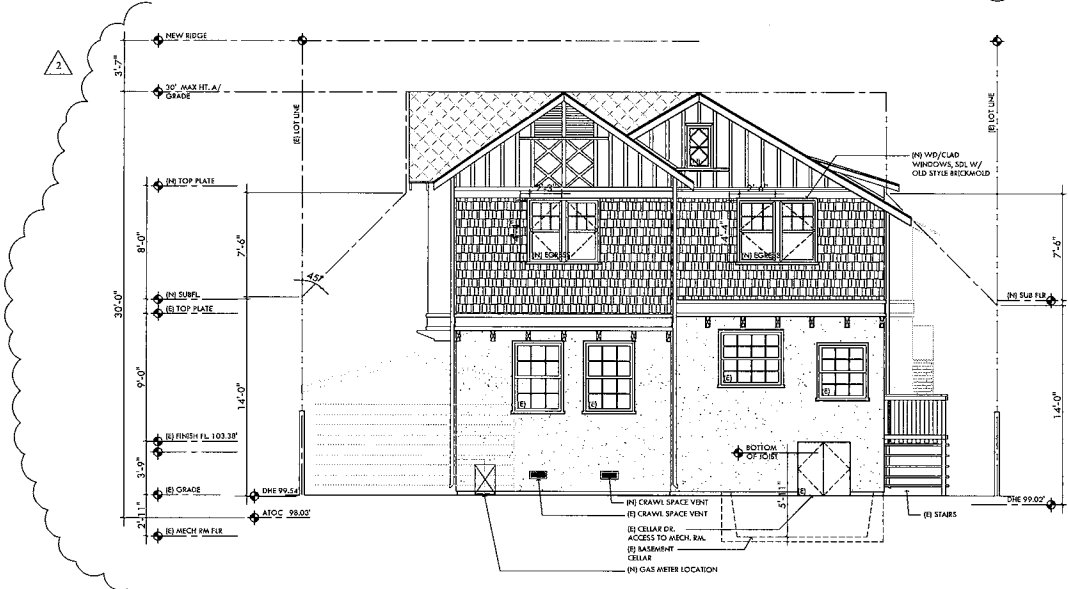
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AS BUILT REAR ELEVATION (NORTH)

Scale: 1/4" = 1'-0"
A3.3



(PROPOSED) REAR ELEVATION (NORTH)

Scale: 1/4" = 1'-0"
A3.3

REVISIONS	
REV.	DESCRIPTION
1	Revised Planning Documents (12/17/13)
2	Revised Planning Documents
3	
4	
5	

NAME: MR. & MRS. PHILIPPE BAGMANN
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Sheet: A3.3
 Scale: See Details

Sheet: A3.3
 Scale: See Details

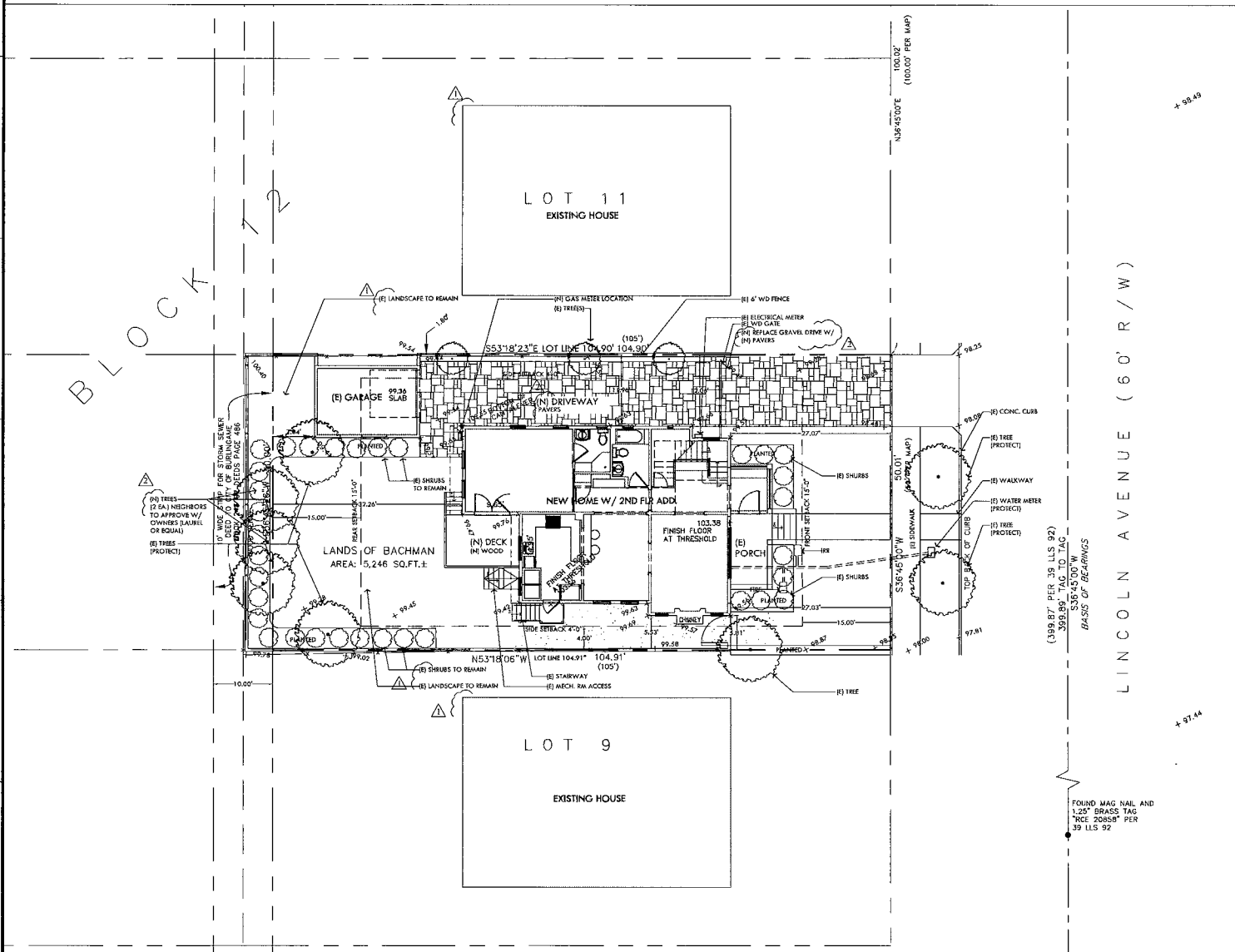
STREET TREES

1. PROTECT ALL STREET TREES DURING CONSTRUCTION

GENERAL NOTES & SCOPE

1. PROTECT ALL EXISTING LANDSCAPING AND TREES DURING CONSTRUCTION, CONSULT ARBORIST AS REQUIRED.
2. (E) SPRINKLER SYSTEM TO REMAIN
3. (E) DRIVEWAY TO REMAIN DURING CONSTRUCTION, REMOVE (E) GRAVEL AND REPLACE WITH (N) PAVERS AT END OF "PROJECT"
4. NO EXISTING TREES OVER 48" IN CIRCUMFERENCE AT 5' FROM BASE OF TREE MAY BE REMOVED WITHOUT A PROTECTED TREE PERMIT FROM THE PARKS DIVISION (558-7330) NO TREES ARE TO BE REMOVED FOR THIS PROJECT.
5. WALKER CONSERVATION IN LANDSCAPE ORDINANCE NOT REQUIRED SINCE LANDSCAPE WILL NOT BE REHABILITATED AS NOTED ON PLANS.

LANDSCAPE & SITE PLAN NOTES



BASIS OF ELEVATIONS:

ELEVATIONS ARE BASED UPON AN ASSUMED DATUM.
 * 1984 FOUND MAG NAIL AND TAG AT INTERSECTION OF LINCOLN AVE. AND LAGUNA AVE.
 ELEVATION = 103.00

BASIS OF BEARINGS:

THE BEARING N 55°45'00" E OF THE CENTERLINE OF LINCOLN AVENUE AS MEASURED BETWEEN FOUND MAG NAILS WITH 1.25" BRASS TAGS "ICE ZERO" SET PER 39 LLS 92 WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

LEGEND:

- FOUND MAG NAIL AND 1.25" BRASS TAG "ICE ZERO" SET PER 39 LLS 92
- ⊕ CENTERLINE

NOTE:

THE BLOCK WAS CALCULATED FROM CENTERLINE OF LAGUNA AVENUE, SANTA ANITA AVENUE AND CALIFORNIA DRIVE AS ESTABLISHED BY CURB SPLITS.

AVERAGE FRONT SETBACK:

ADDRESS	SETBACK
#108	4.7'
#109	26.9'
#110	16.3'
#111	20.1'
#112 (OUR LOT)	27.1'
#113	24.4'
#115	24.4'
AVERAGE	20.5'

REVISIONS

NO.	DESCRIPTION	DATE
1	PRELIMINARY CONCEPT DRAWING	01/20/13
2	REVISED CONCEPT DRAWING	02/04/13

REVISIONS

NO.	DESCRIPTION	DATE
1	PRELIMINARY CONCEPT DRAWING	01/20/13
2	REVISED CONCEPT DRAWING	02/04/13

PLANNING SET
 APN # 026-091-280



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 DESIGN ■ PLANNING

DATE: 10/24/14
 SHEET: 4 OF 14
 PROJECT: MR. & MRS. PHILIPPE BACHMANN
 1123 LINCOLN AVE
 BURLINGAME CA 94010

Scale: See Details

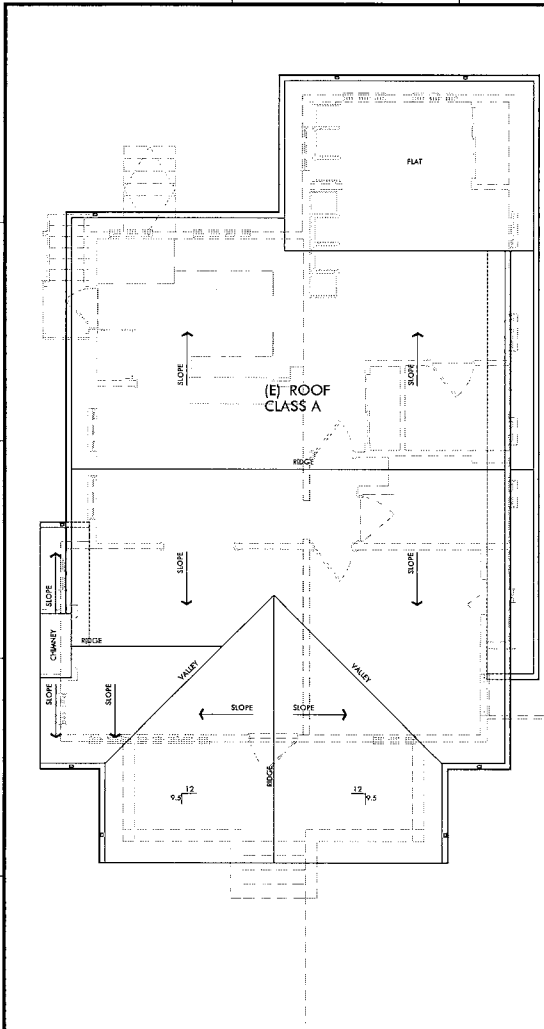


HOUSE LOCATION
SURVEY
 LANDS OF BACHMAN
 LOT 10, BLOCK 12
 "MAP OF BURLINGAME GROVE"
 VOLUME 4 OF MAPS AT PAGE 46
 ASSessor'S PARCEL NUMBER: 026-091-280
 (1123 LINCOLN AVENUE)

BURLINGAME SAN MATEO COUNTY CALIFORNIA
 SCALE: 1" = 8' OCTOBER, 2014
B & H SURVEYING, INC.
 PROFESSIONAL LAND SURVEYING
 901 WAL TERRELL ST.
 BELMONT, CA 94002
 OFFICE (510) 837-1590
 FAX (510) 837-1059

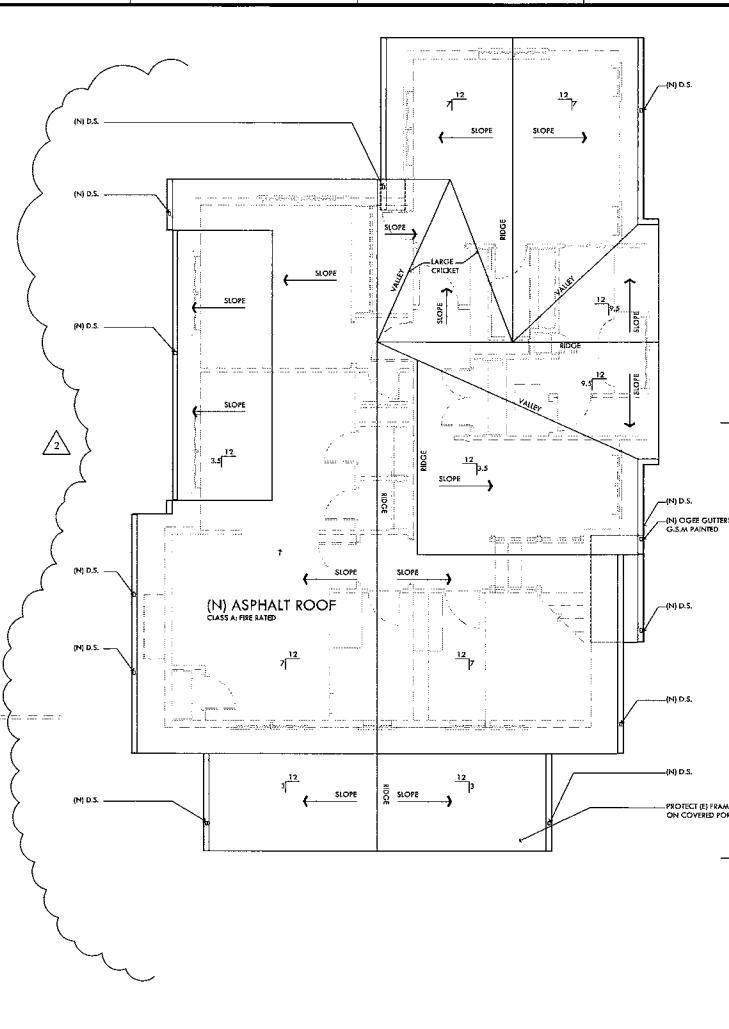
JOB: 6628-14
 DWG: 6628-14-01
 BY: [Signature]

Sheet: A1.0
 Scale: See Details



AS BUILT ROOF PLAN

Scale: 1/4" = 1'-0" A2.1



(PROPOSED) ROOF PLAN

Scale: 1/4" = 1'-0" A2.2

PLUMBING & HVAC NOTE:
 1. LOCATE ALL DRAINAGE LINES THROUGH ROOF PENETRATION & LOCATE ON ROOF SLOPING TO THE REAR OF HOUSE TYP. VERIFY LOCATION W/ OWNER.

NOTES:
 1. OGEEE GUTTERS & 1" (2") DOWNSPOUTS LINE ALL VALLEYS WITH GUTTER AT LEAST 20" WIDE WITH 1/4" TYP. EDGE FINISH OVER AND FLASHING WITH CURTS. LAP JOINTS AT LEAST 2", BUT DO NOT SOLDER.
 2. ROOFING MATERIAL TO BE ASYMBLICAL ASPHALT FLASHING. SEE DETAIL FOR ASHLE, COLOR TO BE DETERMINED, ANTIQUE BLACK OR PRINTER GREY.

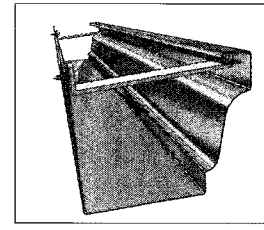
3. WHEN INSULATION IS INSTALLED IN ENCLOSED RAFTER SPACES WHERE CEILING IS APPLIED DIRECTLY TO THE EXPOSURE OF ROOF RAFTERS, A MINIMUM AIR SPACE OF 1/2" MUST BE PROVIDED; INSULATION BARRIER NEEDED.
 4. FLASHINGS AND COUPLER FLASHINGS SHALL NOT BE LESS THAN 60 GA. (26 GA. SHEET) CORROSION RESISTANT METAL, AND MUST FLASHING.
 5. AT THE INTERSECTION OF THE ROOF & VERTICAL SURFACES, FLASHING & COUNTERFLASHING SHALL NOT BE LESS THAN 26 GA. (26 GA. SHEET).
 6. NA.
 7. TERMINATION OF ALL R/VP/DOWNHALL AIR PIPES SHALL BE A MIN. OF 3"Ø FROM PROPERTY LINES OR ANY OTHER BOUNDING RESISTANCE BARRIERS, VENTS, UTILITY PIPES, ETC., MUST BE 7'-0" AWAY FROM DOORS, WINDOWS, OPENING BARRIERS OR AIRC VENTS, PER CODE.

8. JAYS REQUIRED BY THIS PLAN AND THE TRUSS CALC. SHALL BE REVIEWED & APPROVED BY THE BUILDING DEPARTMENT FOR APPROVAL PRIOR TO PERMITTING. TRUSS FRAME SHALL BE VET SIGNED & WET STAMPED BY TRUSS DESIGN ENGINEER.
 9. PUMPHOUSE LOCATED IN ATTIC SPACE SHALL BE USED FOR ATTIC LOCATION AND PROVIDED WITH 24" VENT SOLID FLOORING ACCESS WAY AND 20" WORKING SPACE AT CONTROLS.
 10. AT THE INTERSECTION OF CALIFORNIA FLASHING TO RECEIVE LOW PROFILE VENTS OR OPENING IN THE ROOF, FLASHING SHALL BE AS FOLLOWS:

11. ALL PENETRATIONS AT TRUSS/JUNCTION FLASHING TO RECEIVE 2" DIA HOLES IN EVERY ROOF TYPICAL FOR EVEN DISTRIBUTION OF AIR FLOW.

NOTES GREEN BUILDING MEASURE:

1. BURNST BARRETT NOW REQUIRED IN CLIMATE ZONE 3 (3150) (A) 2



TYP. OGEEE GUTTER

Scale: 1/4" = 1'-0" A2.3

ROOF SHEETING CUTSHEET

Scale: 1/4" = 1'-0" A2.4

ROOF SHINGLE CUTSHEET

Scale: 1/4" = 1'-0" A2.5

REV.	DESCRIPTION	DATE
001	Building Planning Comments (12/1/14)	01/20/15
002	Final Comments (12/1/14)	02/05/15
003		
004		
005		

Revision:
 Description: Building Planning Comments (12/1/14)
 Date: 01/20/15
 02/05/15



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 DESIGN ■ PLANNING

Title: As Built & Proposed Roof Plan
 Project: MR. & MRS. PHILLIPPE BACHMANN
 1123 LINCOLN AVE.
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A2.2

Sheet:
 Scale: See Details