



839 CROSS WAY ROAD, BURLINGAME, CA.

PROJECT WILL COMPLY WITH THE 2019 CALIFORNIA BUILDING CODE, 2019 CALIFORNIA RESIDENTIAL CODE (WHERE APPLICABLE), 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA ELECTRICAL CODE, AND 2019 CALIFORNIA PLUMBING CODE, INCLUDING ALL AMENDMENTS AS ADOPTED IN ORDINANCE 1889.

"Construction Hours"
 Weekdays: 8:00 a.m. – 7:00 p.m.
 Saturdays: 9:00 a.m. – 6:00 p.m.
 Sundays and Holidays: No Work Allowed
 Construction hours in the City Public right-of-way are limited to weekdays and non-City
 Holidays between 8:00 a.m. and 5:00 p.m.
 Note: Construction hours for work in the public right of way must now be included on the plans.

AN EROSION CONTROL PLAN INCLUDING REMOVAL AND REPLACEMENT OF SIDEWALK, CURB, GUTTER, SEWER LATERAL, AND WATER LINE TO THE PUBLIC WORK DEPARTMENT SHALL BE SUBMITTED AT THE BUILDING PERMIT SUBMITTAL.

DUE TO THE EXTENSIVE NATURE OF THIS CONSTRUCTION PROJECT THE CERTIFICATE OF OCCUPANCY WILL BE RESCINDED ONCE CONSTRUCTION BEGINS. A NEW CERTIFICATE OF OCCUPANCY WILL BE ISSUED AFTER THE PROJECT HAS BEEN FINAL. NO OCCUPANCY OF THE BUILDING IS TO OCCUR UNTIL A NEW CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED.

THE DEMOLITION PERMIT WILL NOT BE ISSUED UNTIL A BUILDING PERMIT IS ISSUED FOR THE PROJECT

A SEPERATE ADDRESS APPLICATION SHALL BE SUBMIT AND ISSUE FROM PUBLIC WORKS.

RESIDENTIAL FIRE SPRINKLER SYSTEM IS REQUIRED FOR MAIN HOUSE AND ADU UNIT. FIRE SPRINKLER SHALL BE DEFFRED SUBMITTAL.

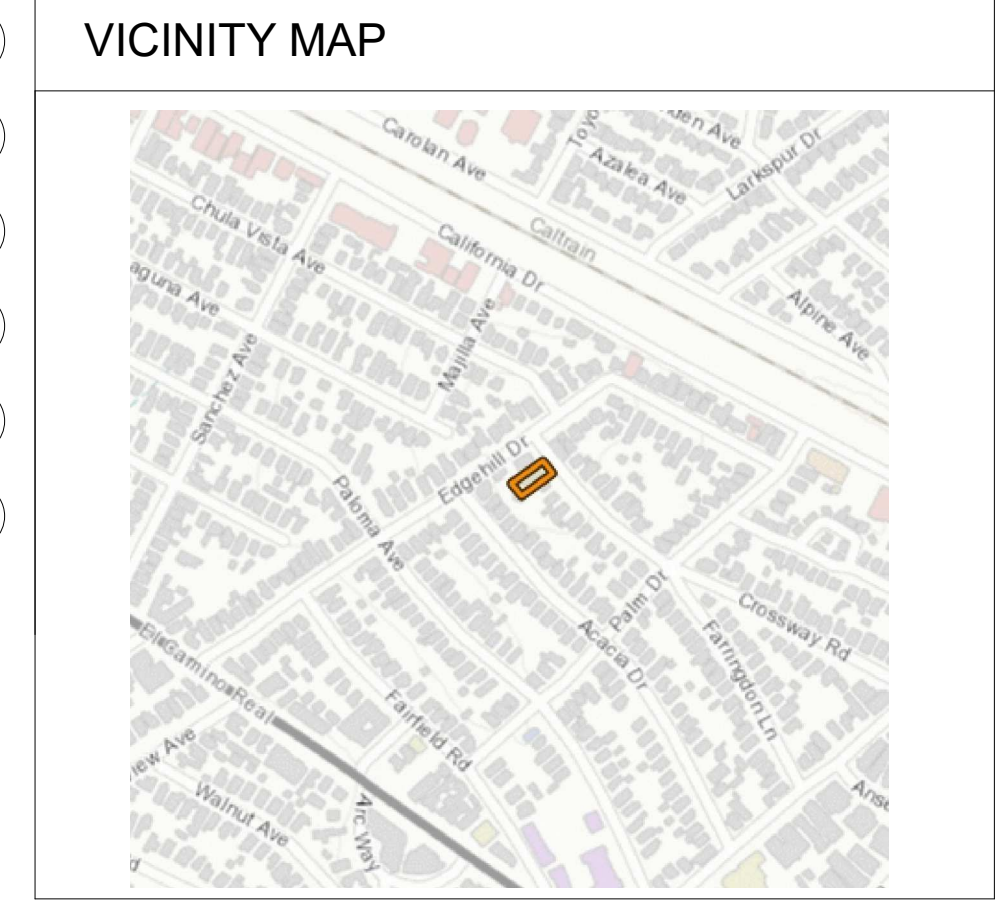
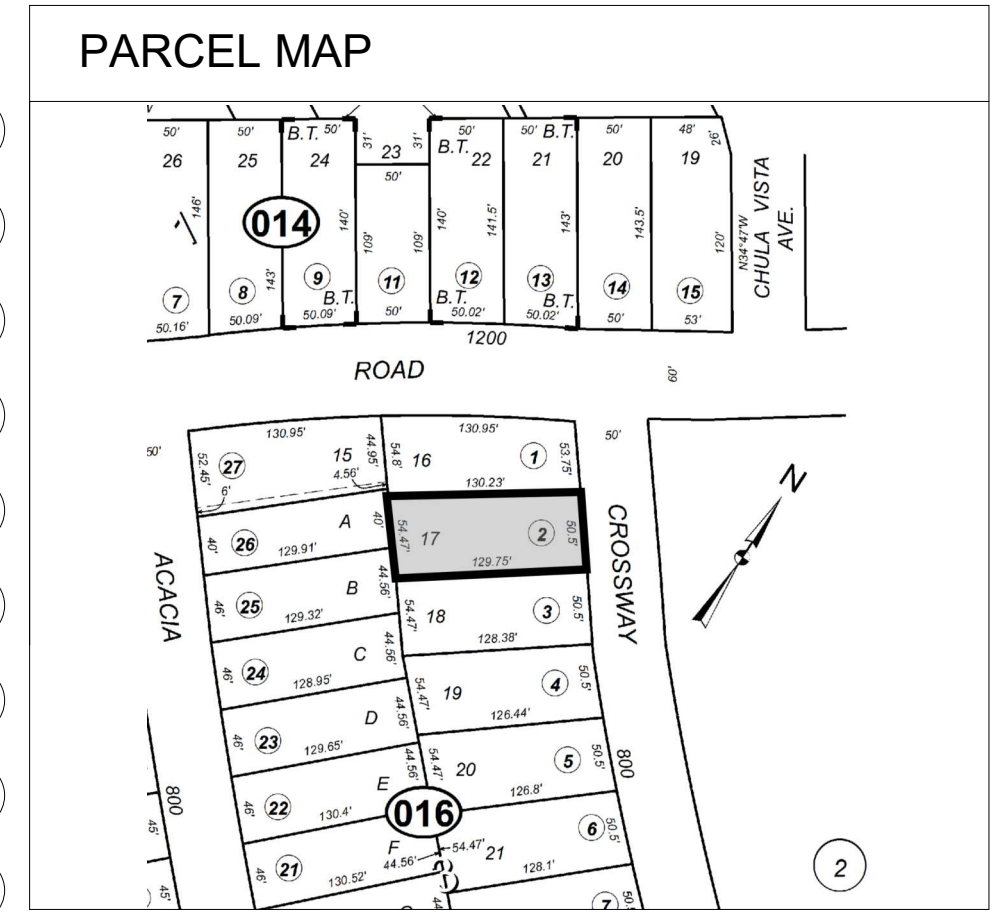
RECEIVED

JUL 19 2022

CITY OF BURLINGAME
CDD-PLANNING DIVISION

SHEET INDEX

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PROJECT DATA

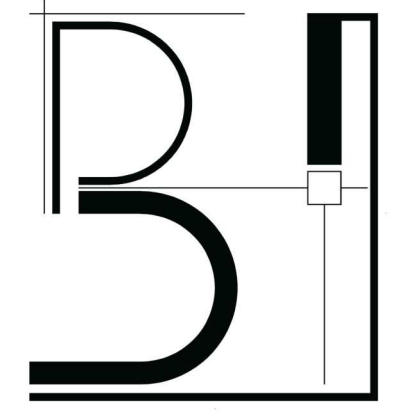
PROJECT ADDRESS	839 CROSSWAY RD BURLINGAME, CA 94010	
OWNER	MR. KAMBIZ ZOMORODI	
PROJECT TYPE	ADDITION	
APN	029-016-020	
ZONING	R-1	
NUMBER OF FLOORS	EXISTING	1 STORY
	PROPOSED	2 STORY
OCCUPANCY GROUP	R-3	
FIRE PROTECTION	SPRINKLERED	
CONSTRUCTION TYPE	V - B	

AREA CALCULATION

EXISTING	PROPOSED	MAXIMUM ALLOWABLE
LOT SIZE	6,802 SF	6,802 SF
EXISTING FIRST FLOOR LIVING AREA	1834 SF	1834 SF
EXISTING DETACHED GARAGE AREA	716 SF	716 SF
EXISTING DETACHED STORAGE AREA	305 SF	305 SF
EXISTING COVERD PORCH AREA	211 SF	211 SF
EXISTING F.A.R	2855 SF	2855 SF
PROPOSED FIRST FLOOR LIVING AREA	1621 SF	1621 SF
PROPOSED SECOND FLOOR LIVING AREA	1440 SF	1440 SF
PROPOSED LIVING AREA	3061 SF	3061 SF
PROPOSED DETACHED GARAGE AREA	536 SF	536 SF
PROPOSED F.A.R	3597 SF	3597 SF
MAXIMUM ALLOWABLE F.A.R 0.32 X 6,802 + 1,100 SQ.FT + 400	3676 SF	3676 SF
EXISTING STORAGE TO BE CONVERTED TO NEW ADU	305 SF	305 SF
PROPOSED DEATCHED ADU	458 SF	458 SF
MAXIMUM ALLOWABLE LOT COVERAGE 40%	2720 SF	2720 SF
PROPOSED LOT COVERAGE	2697 SF	2697 SF
PROPOSED FIRST FLOOR	1621 SF	1621 SF
PROPOSED ENTRY COVERED PORCH	77 SF	77 SF
DETACHED GARAGE	536 SF	536 SF
DEATCHED ADU	458 SF	458 SF
FIRE PLACE CHIMNEY	5 SF	5 SF

BAVAND DESIGN

ARCHITECTURAL DESIGNER:
 SHARAZ FARIDNA
 BABAK NEMATOLLAHI
 EMAIL:
 PHONE: (650) 690 - 6639
 ADDRESS: 512 RAILWAY AVENUE,
 CAMPBELL, CA 95008



RESTRICTIONS:
 THESE PLANS & INCORPORATED DESIGNS EMBODIED THEREON ARE THE PROPERTY OF BAVAND DESIGN. THE USE OF THESE PLANS ARE RESTRICTED TO THE ORIGINAL SITE AND OWNER FOR WHICH THEY WERE PREPARED. PUBLICATION AND REPRODUCTION IS RESTRICTED TO SUCH USE. PUBLICATION AND REPRODUCTION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND DESIGNS REMAIN WITH BAVAND DESIGN. VISUAL CONTACT WITH THEM CONSTITUTE APPROVAL WITH THESE RESTRICTIONS.

COVER SHEET - PROJECT INFORMATION	839 CROSSWAY ROAD, BURLINGAME, CA
PROJECT ADDRESS	MR. KAMBIZ ZOMORODI
PROJECT OWNER	ADDITION AND REMODELING
PROJECT TYPE	

REVISION

Revision Number	Revision Description	Revision Date
REV.1	PLANNING COMMENTS	8/11/2019

PROJECT NO.

21-1205

DATE

11/3/2021

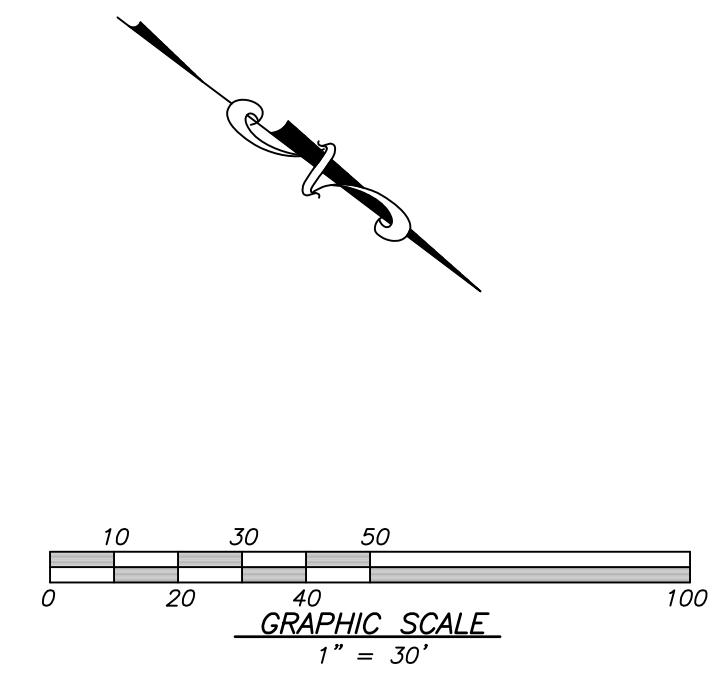
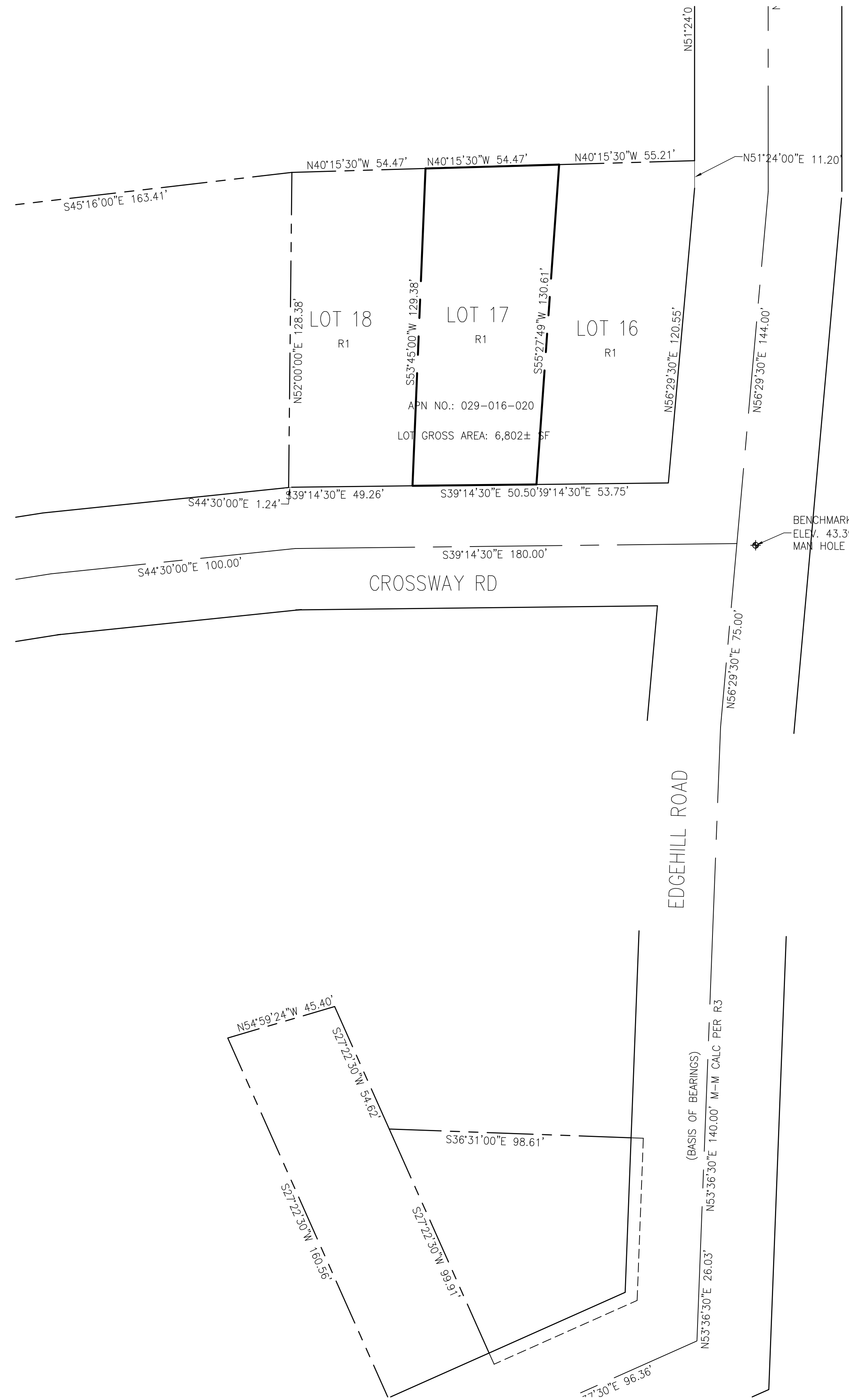
SCALE

1/2" = 1'-0"

A-0

LEGEND

---	200	EXISTING CONTOUR LINE
---	200	NATURAL GRADE CONTOUR LINE
⊙		FOUND CITY MONUMENT BOX, OR AS NOTED
---		BOUNDARY OF PROPERTY SURVEYED
()		RECORD INFORMATION
---		CENTERLINE
△		CURB INLET
---		CURB LINE
---		DRIVEWAY APRON
○		ELECTROLIER
-x-x-x-		FENCE
⊕		FIRE HYDRANT
■		FLAT GRATE INLET
O.H. PWR		OVERHEAD POWER LINE
O.H. TEL		OVERHEAD TELEPHONE LINE
SS		SANITARY SEWER LINE
○		SANITARY SEWER MANHOLE
⊕		SANITARY SEWER CLEANOUT
⊖		SIGN
SD		STORM DRAIN LINE
⊕		STORM DRAIN MANHOLE
□		UTILITY BOX
○		UTILITY POLE
W		WATER LINE
⊕		WATER METER
⊕		WATER VALVE
⊕		ELECTRIC METER
⊕		WATER HEATER
⊕		GAS



BASIS OF BEARINGS
THE BEARING NORTH 53°36'30" EAST OF THE CENTER LINE OF EDGEHILL ROAD AS SHOWN ON THAT MAP NO. 2 ENTITLED BURLINGAME TERRACE FILED FOR RECORD IN BOOK 7 OF MAPS PAGE 38, SANTA CLARA COUNTY RECORDS, AND AS FOUND MONUMENTED, WAS TAKEN AS THE BASIS OF BEARING FOR THIS SURVEY.

REFERENCES:
R1 MAP NO. 2 OF BURLINGAME TERRACE BURLINGAME CALIFORNIA 07-M-38

BENCH MARK
DESCRIPTION: ASSUMED BENCHMARK, MAN HOLE ON STREET, NEAR THE NORTHERLY CORNER OF LOT AS SHOWN.
PROJECT BENCHMARK 43.39' (NAVD88 DATUM)

ABBREVIATIONS

APN	ASSESSOR'S PARCEL NUMBER
BM	BENCH MARK
CATV	CABLE TELEVISION OVERHEAD
D	CURVE DELTA
DRWY	DRIVEWAY
DS	DOWNSPOUT
FF	FINISH FLOOR
FL	FLOW LINE ELEVATION
GFF	GARAGE FINISH FLOOR
IP	IRON PIPE
L	CURVE LENGTH
R#	REFERENCE DOCUMENT
M-M	MONUMENT TO MONUMENT
O.H. PWR	OVERHEAD POWER LINE
O.H. TEL	OVERHEAD TELEPHONE LINE
PCL	PARCEL
P.M.	PARCEL MAP
PTN	PORTION
R	RADIUS
SD	STORM DRAIN
SS	SANITARY SEWER
TC	TOP OF CURB ELEVATION
TEMP.	TEMPORARY
PUE	PUBLIC UTILITY EASEMENT
WLE	WATER LINE EASEMENT

- NOTES:**
- DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
 - THE DISTINCTIVE BORDER LINE DENOTES THE BOUNDARY.
 - TREES SPECIES NAMES ARE APPROXIMATE, AND LABELED BY THEIR COMMON NAME TO THE BEST OF OUR KNOWLEDGE. IT IS NOT BASED ON AN ARBORIST REPORT.
 - TOPOGRAPHY SHOWN ON THIS MAP REPRESENTS THE SURFACE FEATURES ONLY.
 - UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
 - BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
 - FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
 - A TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY OSUNA ENGINEERING, INC. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.

NO.	DATE	BY	CITY	REVISIONS

PROFESSIONAL LAND SURVEYOR
PORFIRIO OSCAR OSUNA
No. 8921
Exp. 9-30-22
STATE OF CALIFORNIA

P. Oscar Osuna
PORFIRIO OSCAR OSUNA
P.L.S. 8921 EXP. 9-30-22

OSUNA ENGINEERING INC.
Planning | Surveying | Civil Engineering

CONSULTING CIVIL ENGINEERS & LAND SURVEYORS
TEL. (408) 772-4381
Info@osunaengineering.com

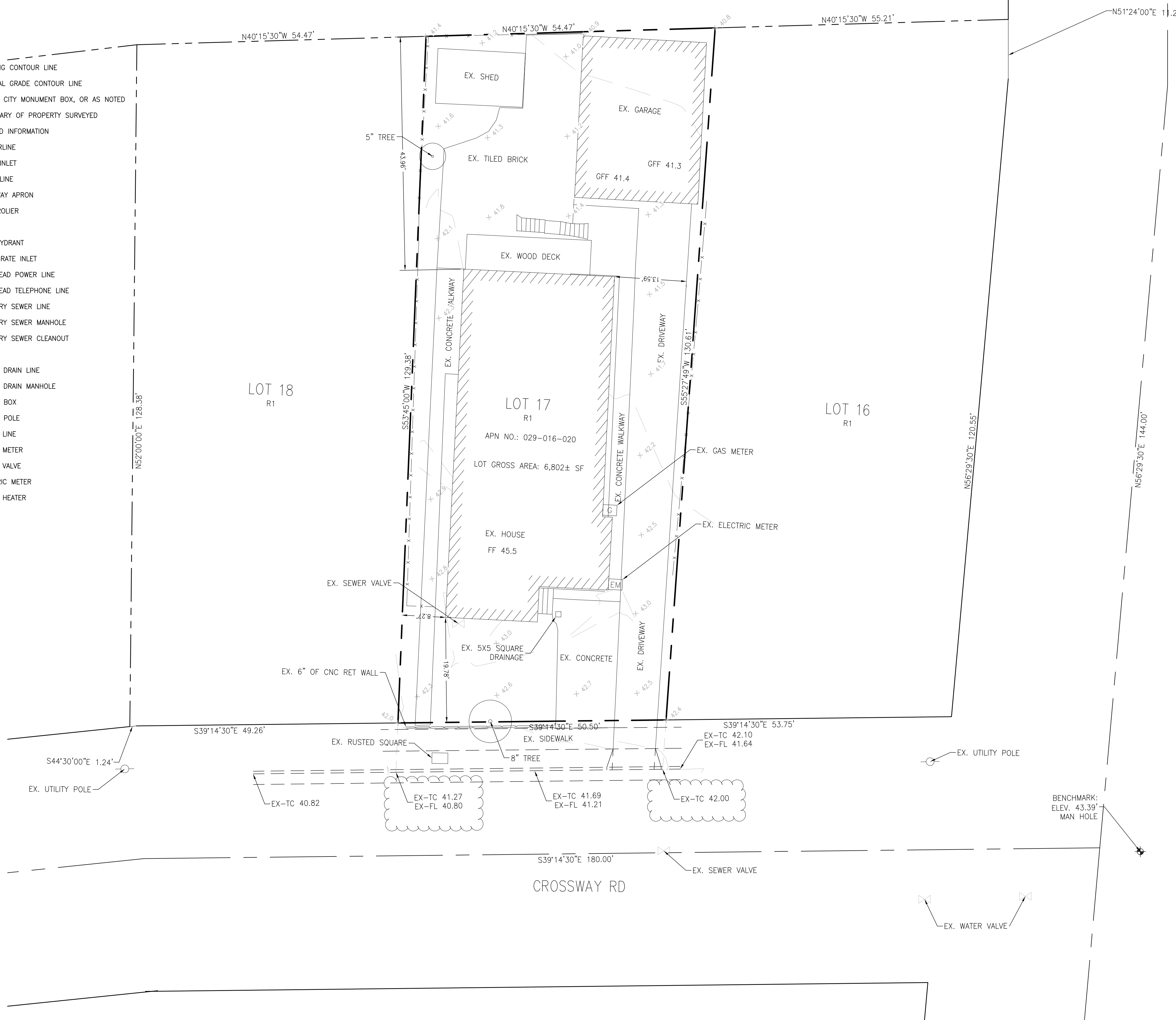
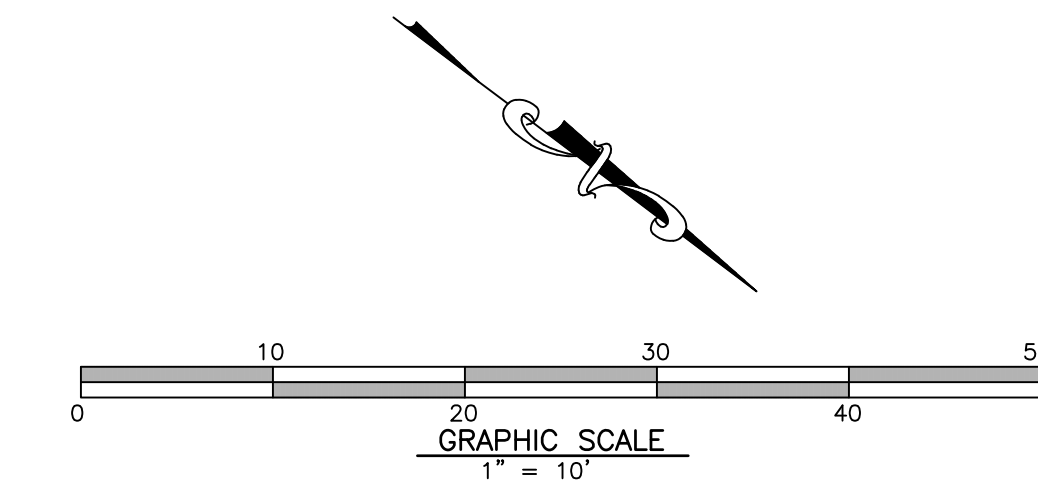
117 BERNAL RD. STE. 70-336
SAN JOSE, CA 95119

PRELIMINARY BOUNDARY & TOPOGRAPHIC SURVEY
839 CROSSWAY RD
APN.: 029-016-020

BURLINGAME
Project No.: 2212 Drawn By: TN/JL Checked: JO Date: 7/20/2021

LEGEND

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NO.	DATE	BY	CITY	REVISIONS



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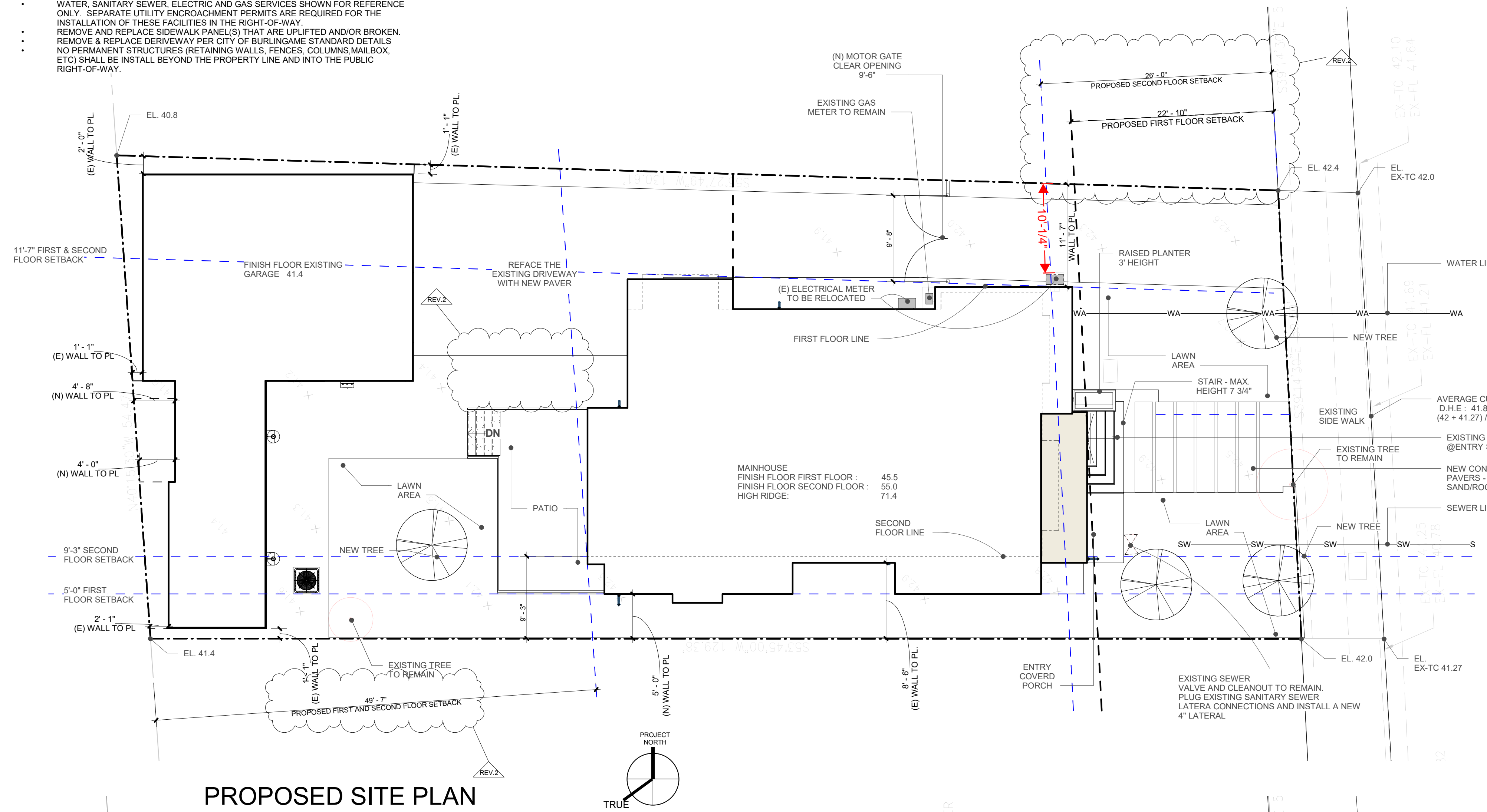
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 APN.: 029-016-020

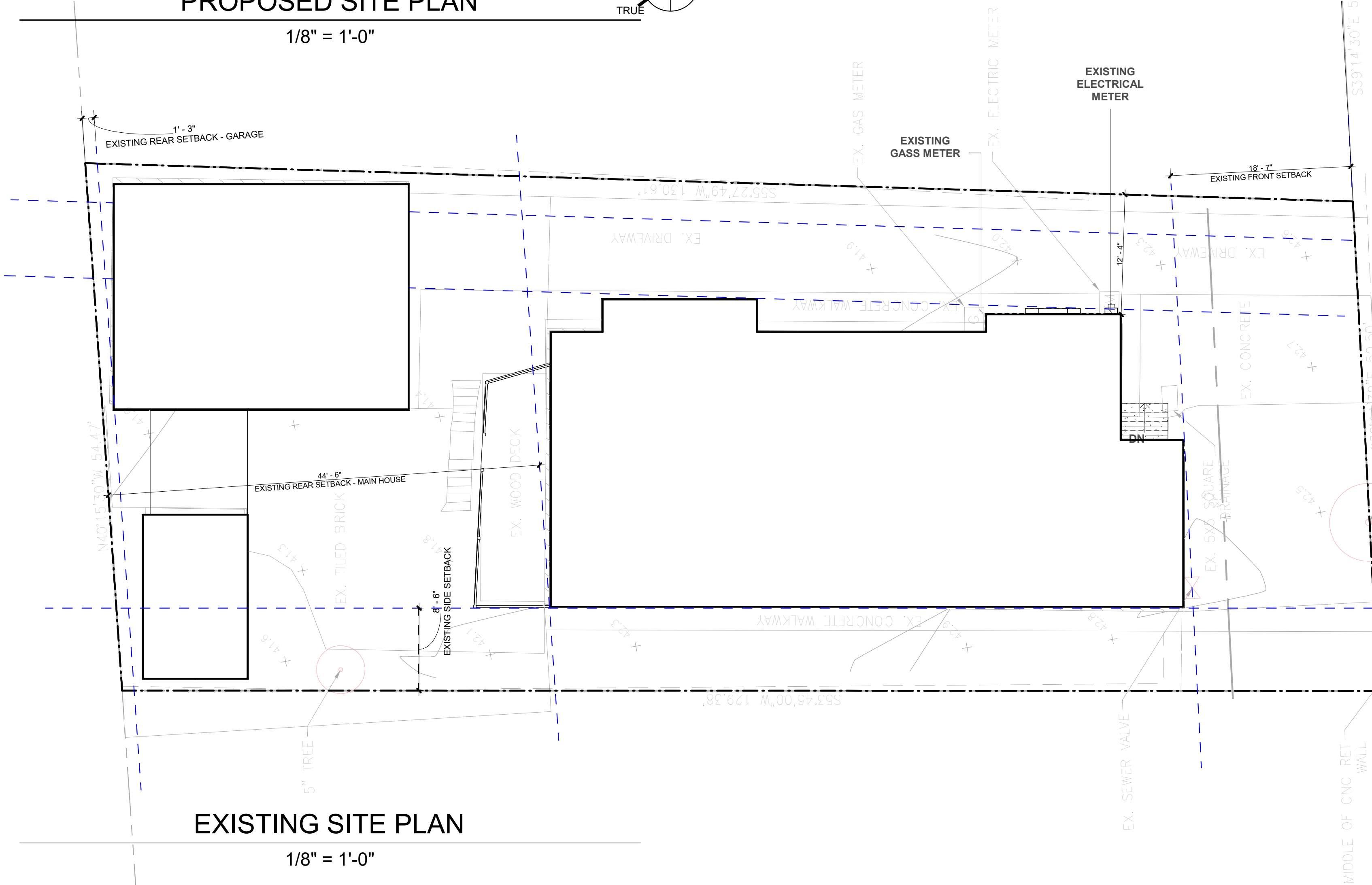
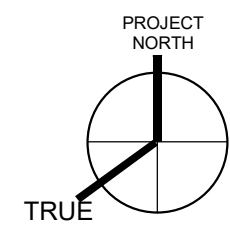
Project No.: 2212 Drawn By: TN/JL Checked: OO Date: 10-20-21

WATER, SANITARY SEWER, ELECTRIC AND GAS SERVICES SHOWN FOR REFERENCE ONLY. SEPARATE UTILITY ENCROACHMENT PERMITS ARE REQUIRED FOR THE INSTALLATION OF THESE FACILITIES IN THE RIGHT-OF-WAY.
 REMOVE AND REPLACE SIDEWALK PANEL(S) THAT ARE UPLIFTED AND/OR BROKEN.
 REMOVE & REPLACE DRIVEWAY PER CITY OF BURLINGAME STANDARD DETAILS
 NO PERMANENT STRUCTURES (RETAINING WALLS, FENCES, COLUMNS, MAILBOX, ETC.) SHALL BE INSTALLED BEYOND THE PROPERTY LINE AND INTO THE PUBLIC RIGHT-OF-WAY.



PROPOSED SITE PLAN

1/8" = 1'-0"



EXISTING SITE PLAN

1/8" = 1'-0"

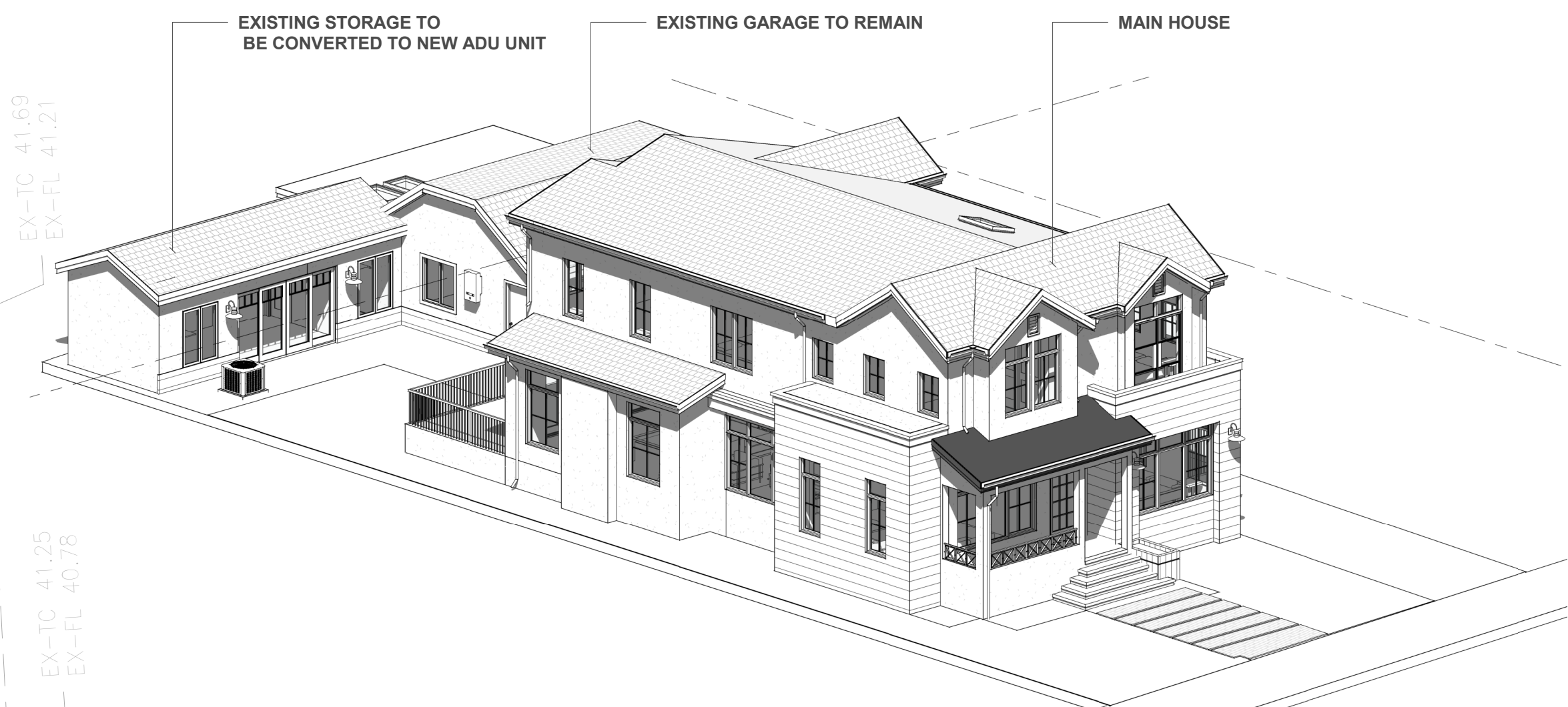
BLOCK AVERAGE SETBACK CALCULATION :

- 843 CROSSWAY ROAD CORNER LOT
- 839 CROSSWAY ROAD 18'-7"
- 835 CROSSWAY ROAD 19'
- 831 CROSSWAY ROAD 29' MAX.
- 827 CROSSWAY ROAD 28'
- 823 CROSSWAY ROAD 20'
- 819 CROSSWAY ROAD 18' MIN.
- 815 CROSSWAY ROAD 22'
- 811 CROSSWAY ROAD 25'
- 807 CROSSWAY ROAD 20'
- 801 CROSSWAY ROAD CORNER LOT

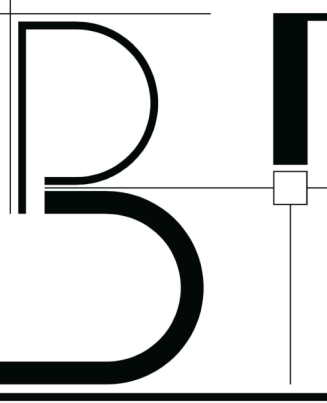
$(19'+28'+20'+22'+25'+20')/6 = 22' - 10"$

		PROPOSED	ALLOWED REQUIRED
FRONT	1ST FLOOR	21'-10"	22'-4"
	2ND FLOOR	26'-0"	22'-4"
SDIE RIGHT	1ST FLOOR	11'-7"	4'-0"
	2ND FLOOR	11'-7"	7'-6"
SIDE LEFT	1ST FLOOR	5'-0"	4'-0"
	2ND FLOOR	9'-3"	7'-6"
REAR	1ST FLOOR	51'-0"	15'-0"
	2ND FLOOR	51'-0"	20'-0"

ELECTRONIC GATE SHALL BE EQUIPPED WITH A KNOX KEY SWITCH FOR EMERGENCY ACCESS BY THE FIRE DEPT.



OVERAL VIEW - PROPOSED

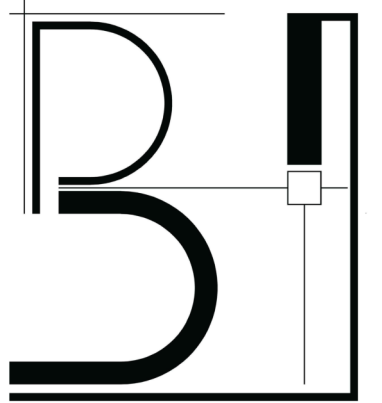


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SHEET NAME	EXISTING & PROPOSED SITE PLAN
PROJECT ADDRESS	839 CROSSWAY ROAD, BURLINGAME, CA
PROJECT OWNER	MR. KAMBIZ ZOMORODI
PROJECT TYPE	ADDITION AND REMODELING

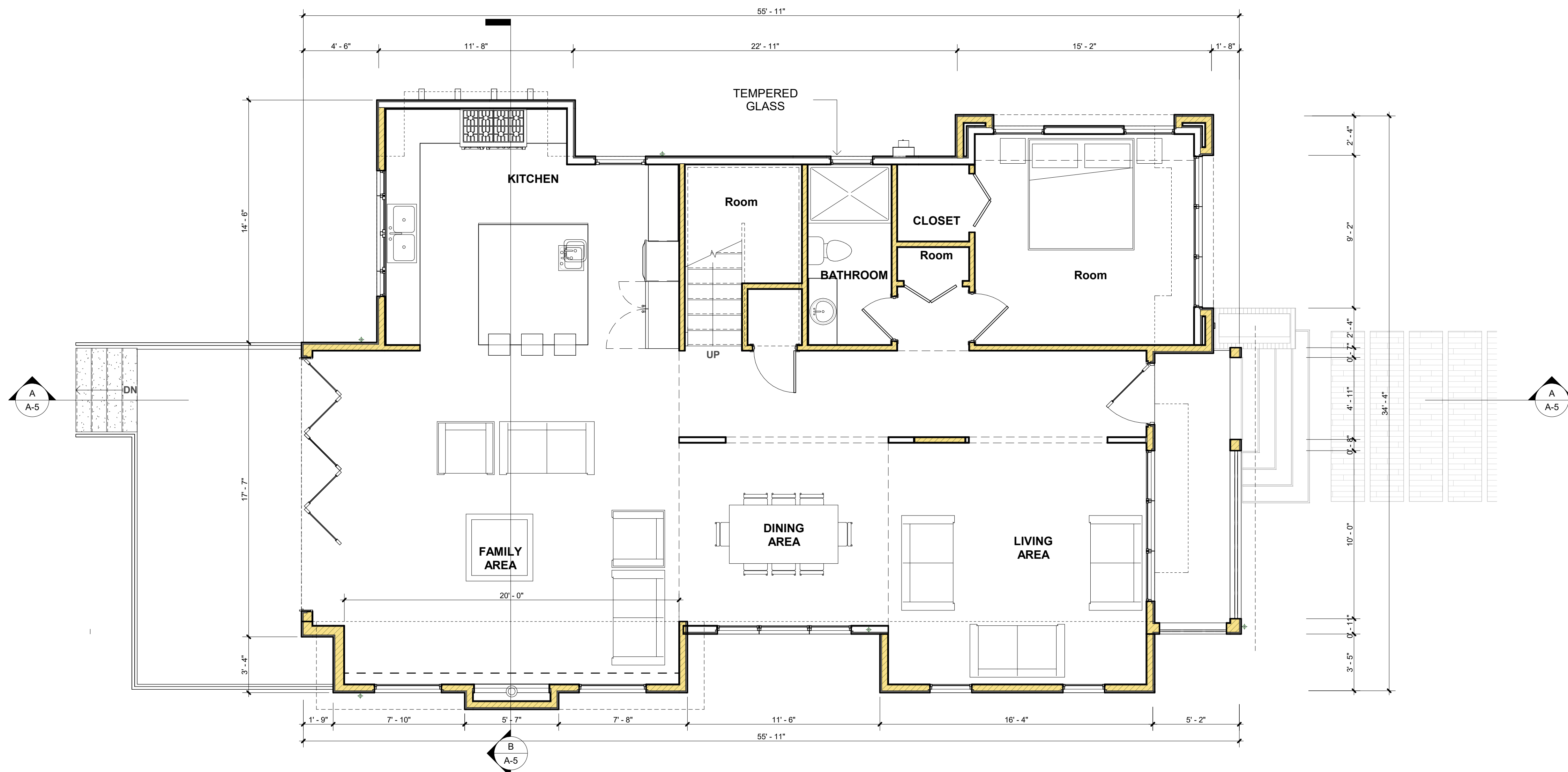
REVISION		
Revision Number	Revision Description	Revision Date
REV.1	PLANNING COMMENTS	8/11/2019
REV.2	2ND PLANNING COMMENTS	7/2/2022

PROJECT NO.	21-1205
DATE	11/3/2021
SCALE	As indicated



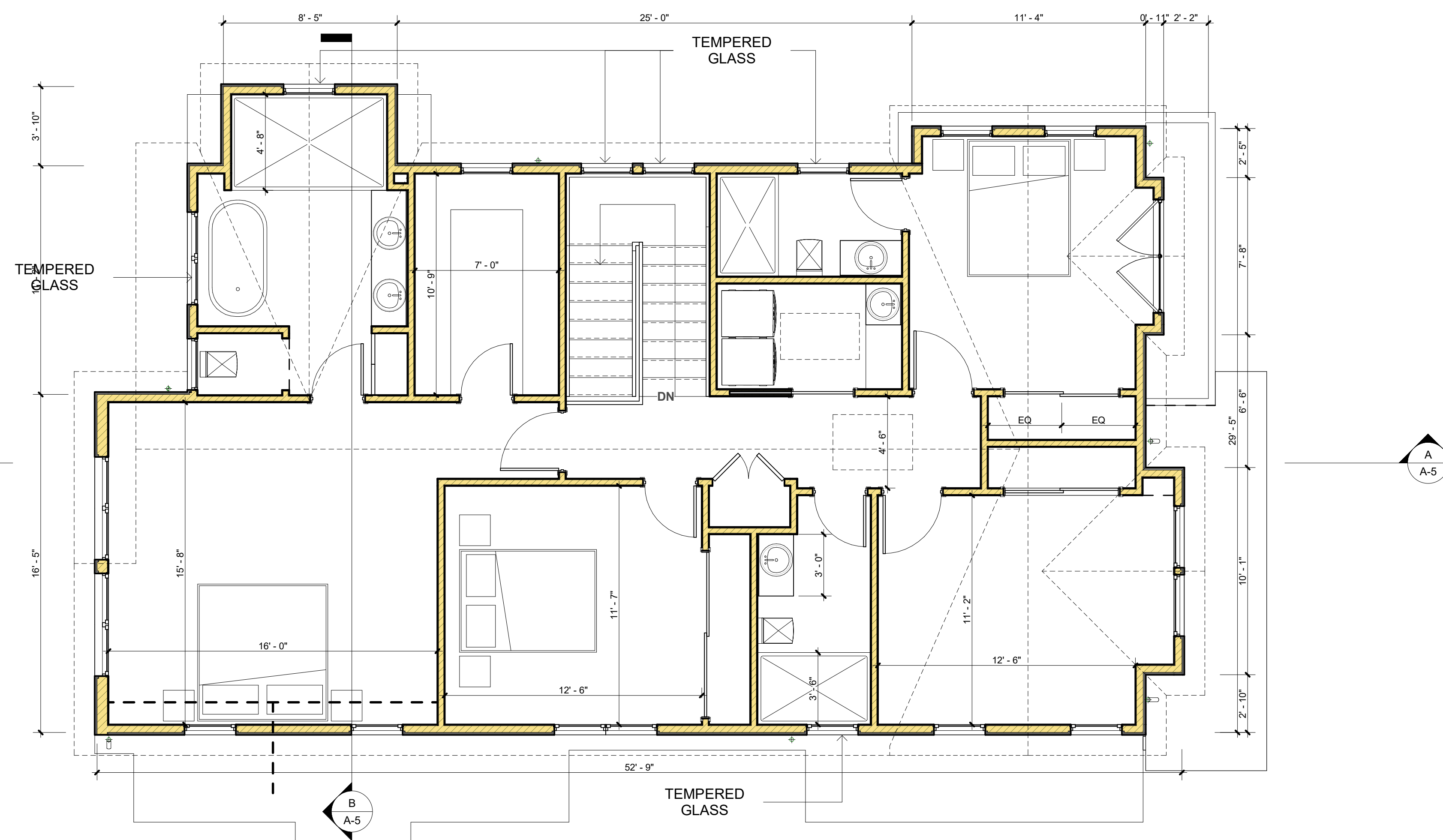
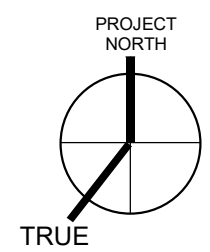
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ROOF EAVES WILL NOT PROJECT WITHIN TWO FEET OF THE
PROPERTY LINE 2019 CRC § TABLE R302.1 (1) OR 2019 CBC TABLE
705.2



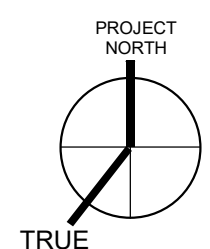
PROPOSED FIRST FLOOR PLAN

1/4" = 1'-0"



PROPOSED SECOND FLOOR PLAN

1/4" = 1'-0"



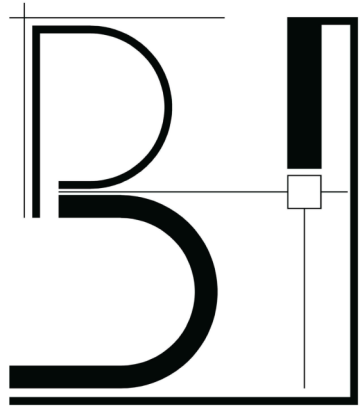
WALL LEGEND :

- NEW EXTERIOR WALL
- NEW INTERIOR WALL
- EXISTING EXTERIOR WALL
- EXISTING INTERIOR WALL
- DEMO WALLS
- 1 HR FIRE RATED WALL

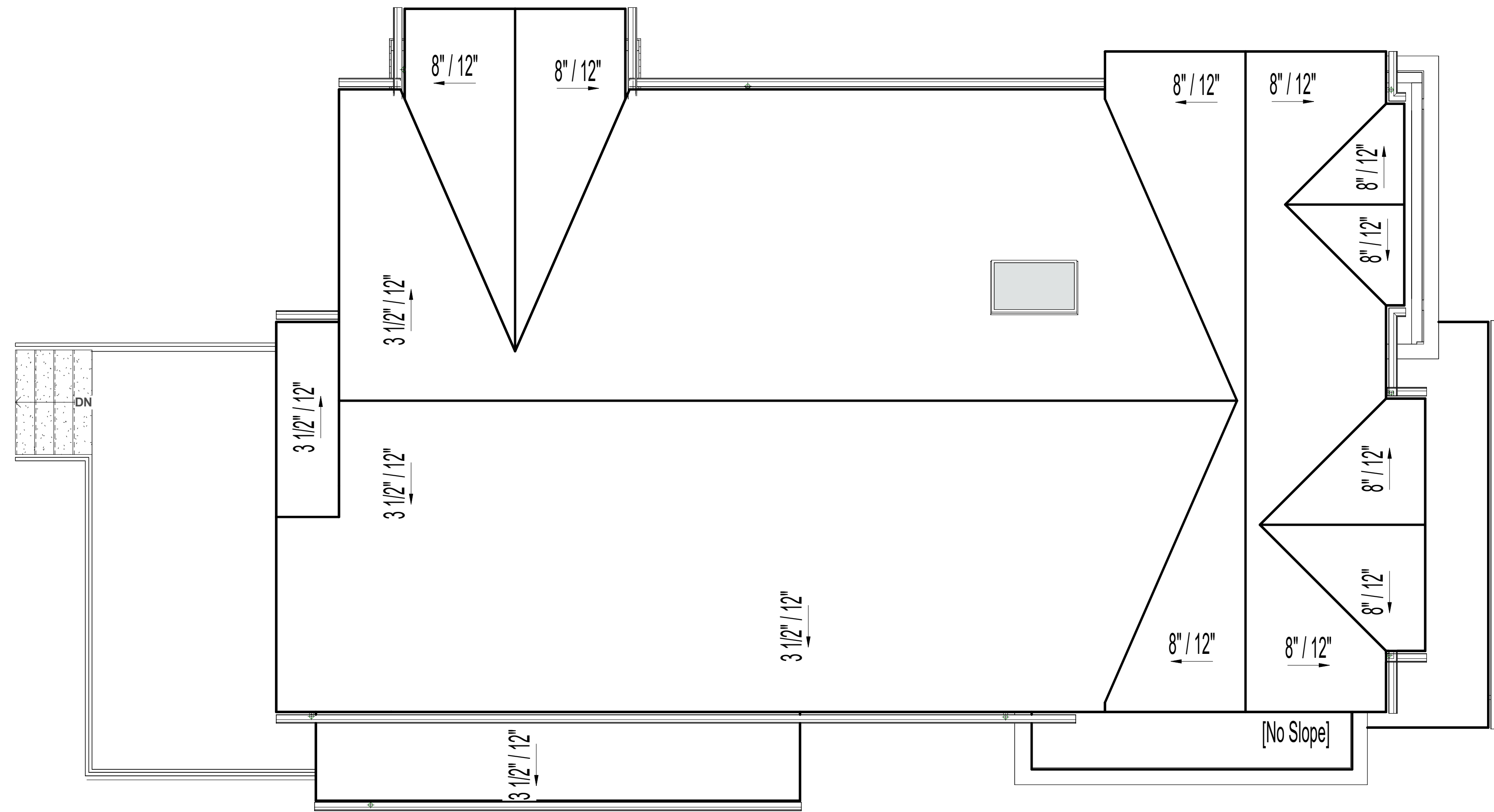
SHEET NAME	PROPOSED FLOOR PLAN
PROJECT ADDRESS	839 CROSSWAY ROAD, BURLINGAME, CA
PROJECT OWNER	MR. KAMBIZ ZOMORODI
PROJECT TYPE	ADDITION AND REMODELING

REVISION		
Revision Number	Revision Description	Revision Date
REV.1	PLANNING COMMENTS	8/11/2019

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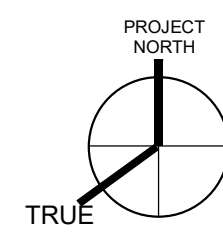


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PROPOSED ROOF PLAN

1/4" = 1'-0"



SHEET NAME	PROPOSED ROOF PLAN
PROJECT ADDRESS	839 CROSSWAY ROAD, BURLINAGE, CA
PROJECT OWNER	MR. KAMBIZ ZOMORODI
PROJECT TYPE	ADDITION AND REMODELING

REVISION		
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PROJECT NO.

21-1205

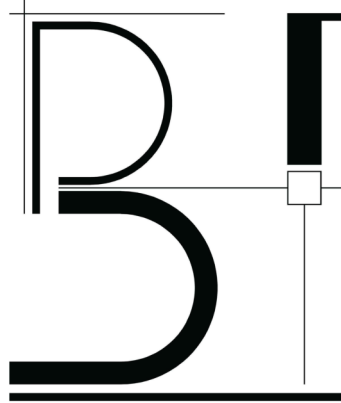
DATE

11/3/2021

SCALE

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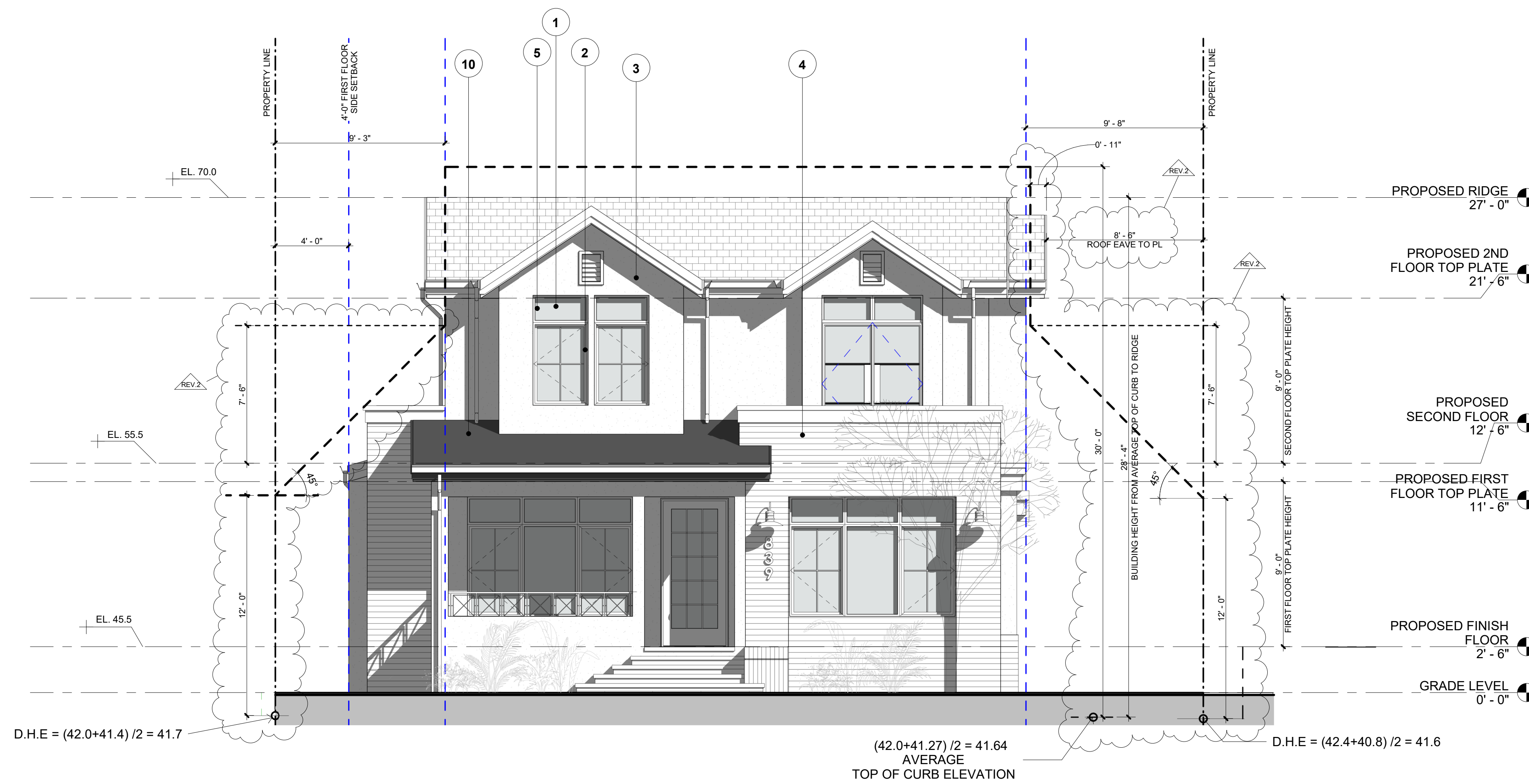
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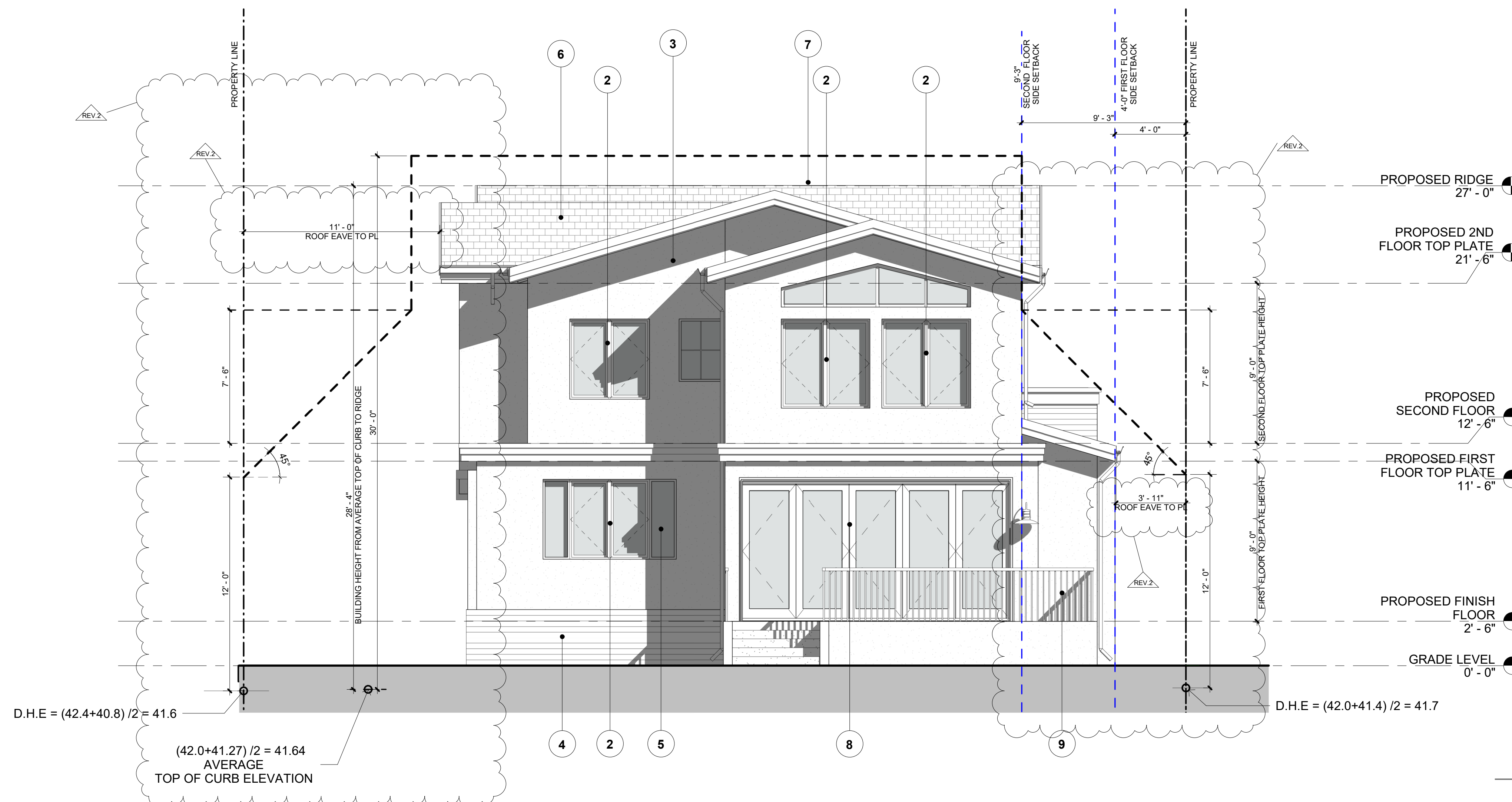
MATERIAL KEY NOTE

- 1 DUAL GLAZING
- 2 BLACK ALUMINUM CLAD DOUBLE CASEMENT WINDOW- DUAL GLAZING
- 3 SMOOTH STUCCO, WHITE COLOR, KELLY MORE SWAN DIVE KM4891
- 4 STAINED WOOD SIDING 8-INCH EXPOSURE-PAINT WHITE
- 5 BLACK ALUMINUM CLAD FIXED WINDOW- DUAL GLAZING
- 6 COMPOSITION ROOF SHINGLE, ESTATE GRAY LAMINATED
- 7 FASCIA BOARD, GARY COLOR KELLY MORE YIN MIST KM4891
- 8 BLACK ALUMINUM CLAD FOLDING GLASS DOOR- DUAL GLAZING
- 9 BLACK METAL RAILING
- 10 STANDING SEAM METAL ROOF



PROPOSED FRONT (NORTH) ELEVATION

1/4" = 1'-0"



PROPOSED REAR (SOUTH) ELEVATION

1/4" = 1'-0"

SHEET NAME	PROPOSED ELEVATION - FRONT/ REAR		
	PROJECT ADDRESS	839 CROSSWAY ROAD, BURLINGAME, CA	
PROJECT OWNER	MR. KAMBIZ ZOMORODI		
PROJECT TYPE	ADDITION AND REMODELING		

REVISION

Revision Number	Revision Description	Revision Date
REV.1	PLANNING COMMENTS	8/11/2019
REV.2	2ND PLANNING COMMENTS	7/2/2022

PROJECT NO.

21-1205

DATE

11/3/2021

SCALE

1/4" = 1'-0"

A-3

- MATERIAL KEY NOTE**
- 1 COMPOSITION ROOF SHINGLE, ESTATE GRAY LAMINATED
 - 2 FACIA BOARD, GARY COLOR KELLY MORE YIN MIST KM4891
 - 3 SMOOTH STUCCO, WHITE COLOR, KELLY MORE SWAN DIVE KM4891
 - 4 STAINED WOOD SIDING 8-INCH EXPOSURE-PAIN WHITE
 - 5 BLACK ALUMINUM CLAD SINGLE CASEMENT WINDOW - DUAL GLAZING
 - 6 BLACK ALUMINUM CLAD 3 PANEL WINDOW- SIDE CASEMENT & CENTER FIXED
 - 7 DOWNSPOUT
 - 8 BLACK ALUMINUM CLAD FIXED WINDOW- DUAL GLAZING
 - 9 BLACK METAL RAILING

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PROPOSED RIGHT (WEST) ELEVATION

1/4" = 1'-0"



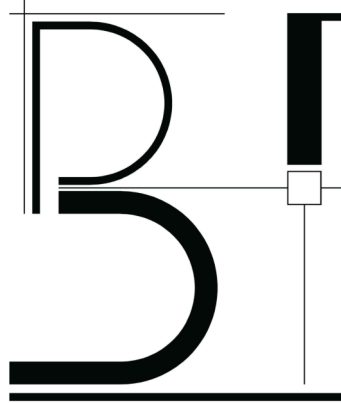
PROPOSED LEFT (EAST) ELEVATION

1/4" = 1'-0"

SHEET NAME	PROPOSED ELEVATION - SIDE
PROJECT ADDRESS	839 CROSSWAY ROAD, BURLINGAME, CA
PROJECT OWNER	MR. KAMBIZ ZOMORODI
PROJECT TYPE	ADDITION AND REMODELING

REVISION		
Revision Number	Revision Description	Revision Date
REV.2	2ND PLANNING COMMENTS	7/2/2022

PROJECT NO.	21-1205
DATE	11/3/2021
SCALE	1/4" = 1'-0"

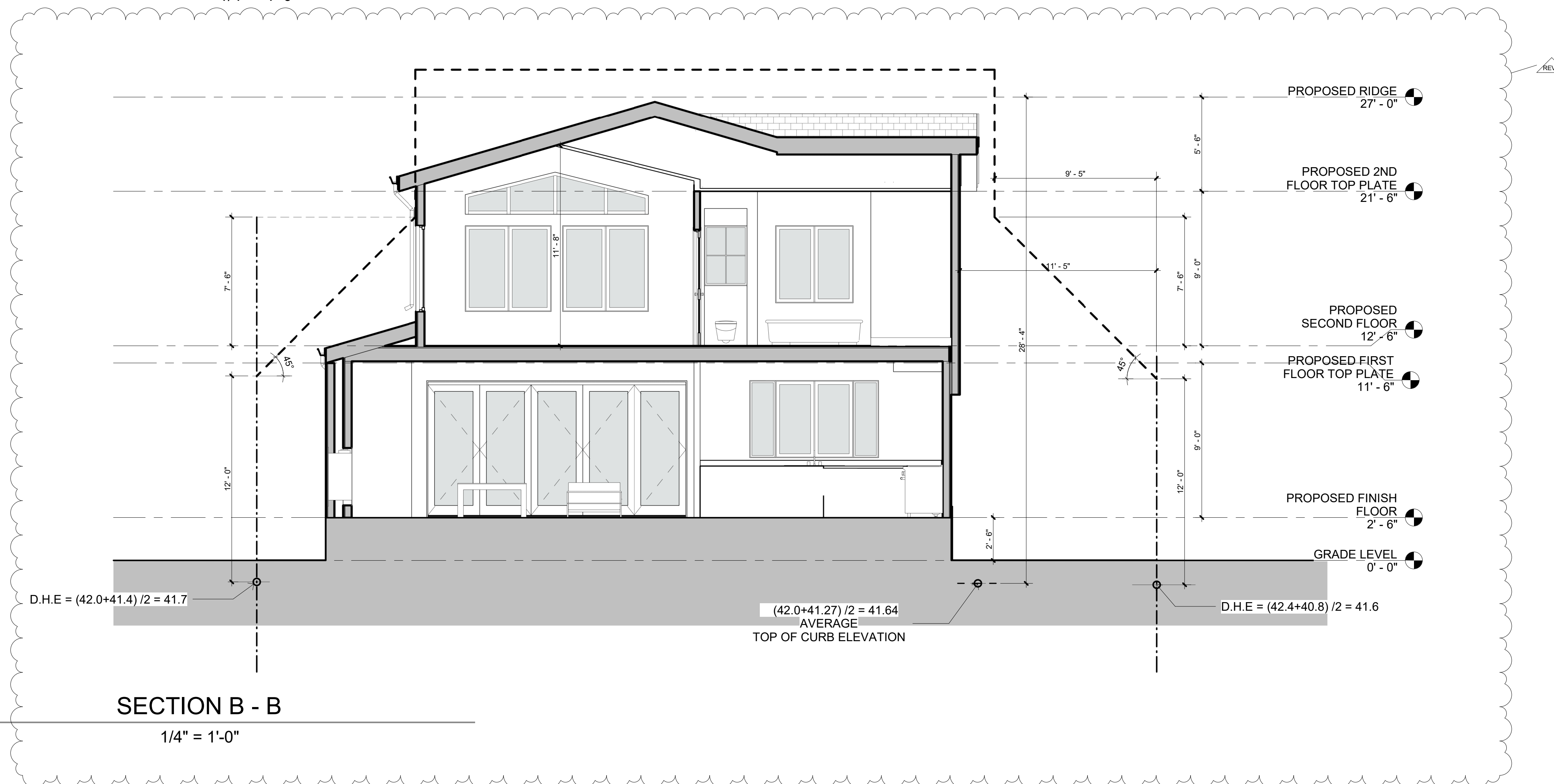


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SECTION A - A

1/4" = 1'-0"



SECTION B - B

1/4" = 1'-0"

SECTION	839 CROSSWAY ROAD, BURLINGAME, CA
SHEET NAME	PROJECT ADDRESS
PROJECT OWNER	MR. KAMBIZ ZOMORODI
PROJECT TYPE	ADDITION AND REMODELING

REVISION

Revision Number	Revision Description	Revision Date
REV.2	2ND PLANNING COMMENTS	7/2/2022

PROJECT NO.

21-1205

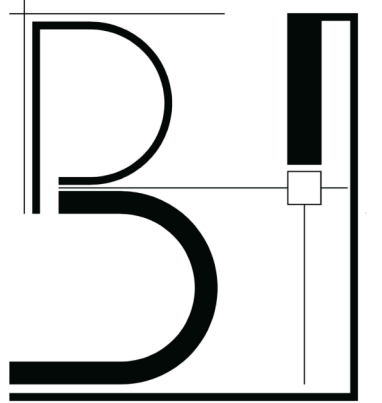
DATE

11/3/2021

SCALE

1/4" = 1'-0"

A-5

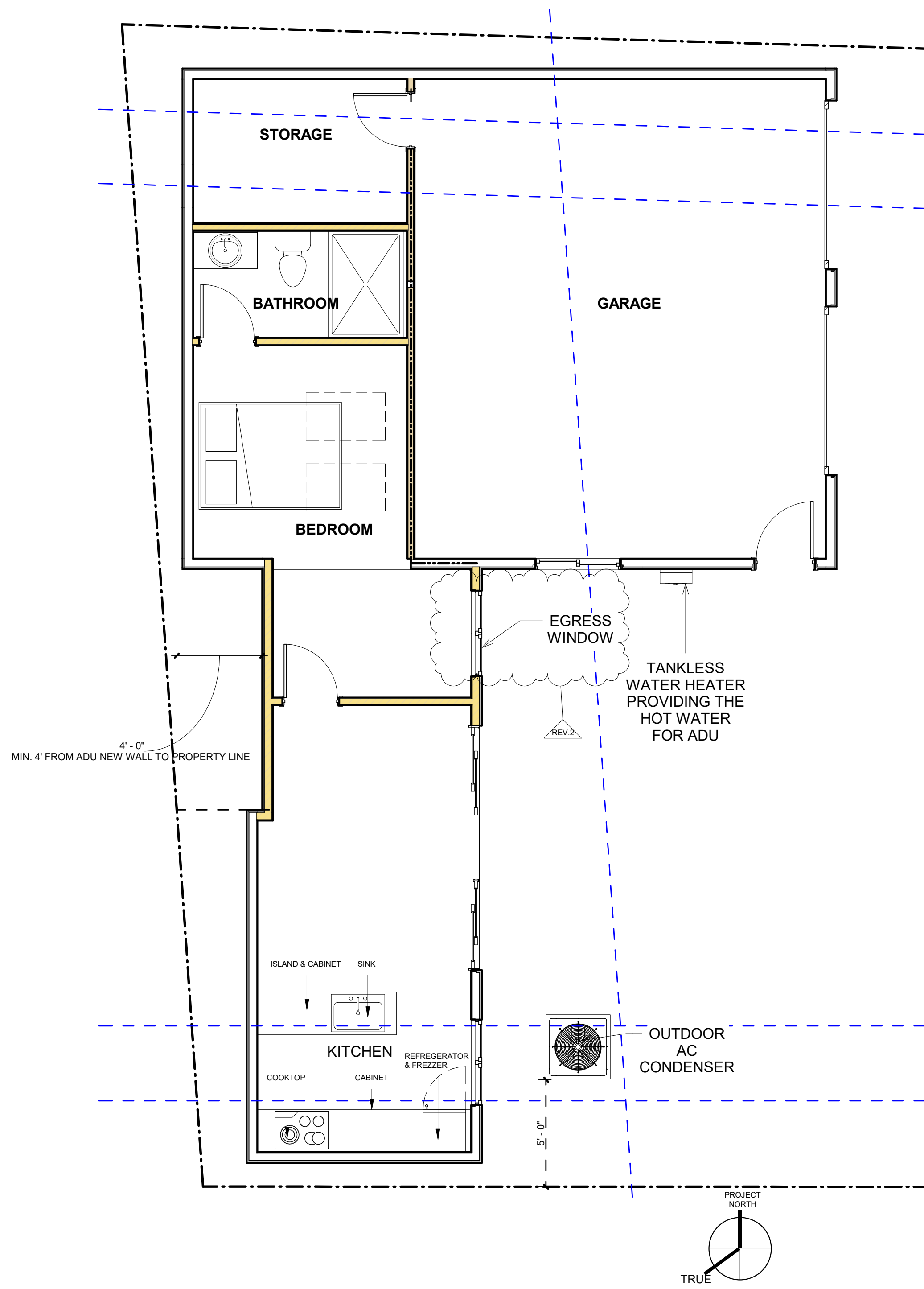


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SHEET NAME	GARAGE & ADU - PLAN & ELEVATION
PROJECT ADDRESS	839 CROSSWAY ROAD, BURLINGAME, CA
PROJECT OWNER	MR. KAMBIZ ZOMORODI
PROJECT TYPE	ADDITION AND REMODELING

REVISION		
Revision Number	Revision Description	Revision Date
REV.1	PLANNING COMMENTS	8/11/2019
REV.2	2ND PLANNING COMMENTS	7/2/2022

PROJECT NO.	21-1205
DATE	11/3/2021
SCALE	As indicated



DETACHED GARAGE - ADU FLOOR PLAN

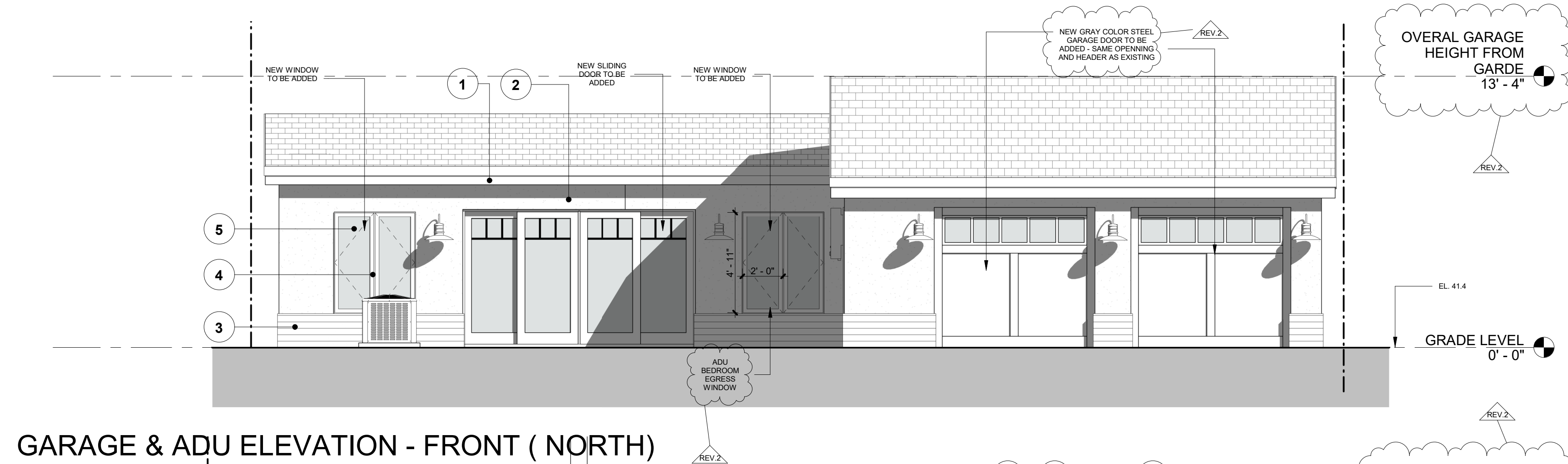
1/4" = 1'-0"

WALLLEGEND :

- NEW EXTERIOR WALL
- NEW INTERIOR WALL
- EXISTING EXTERIOR WALL
- EXISTING INTERIOR WALL
- DEMO WALLS
- 1 HR FIRE RATED WALL

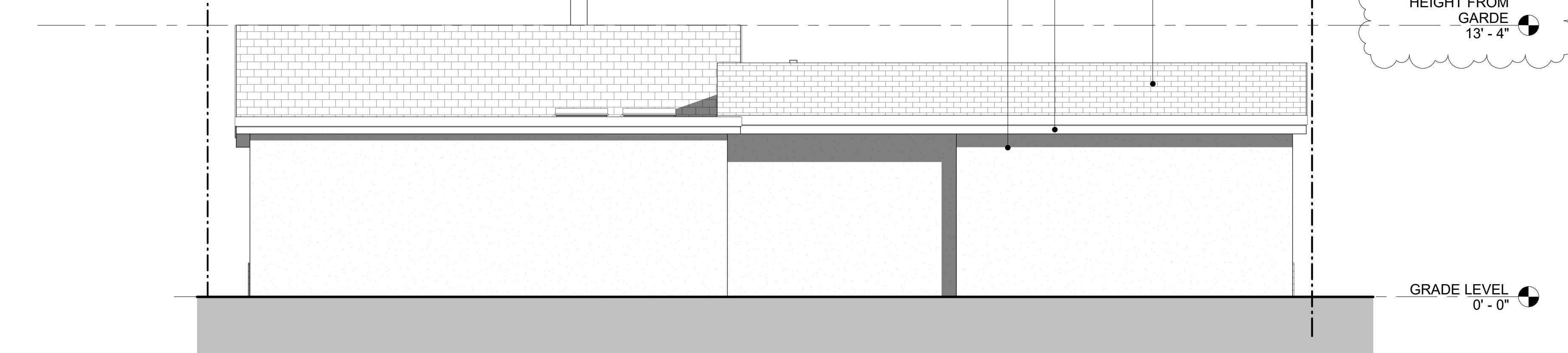
MATERIAL KEY NOTE

- 1 FACSIA BOARD, GARY COLOR KELLY MORE YIN MIST KM4891
- 2 SMOOTH STUCCO, WHITE COLOR, KELLY MORE SWAN DIVE KM4891
- 3 STAINED WOOD SIDING 8-INCH EXPOSURE-PAINTE WHITE
- 4 BLACK ALUMINUM CLAD DOUBLE CASEMENT WINDOW- DUAL GLAZING
- 5 DUAL GLAZING
- 6 COMPOSITION ROOF SHINGLE, ESTATE GRAY LAMINATED



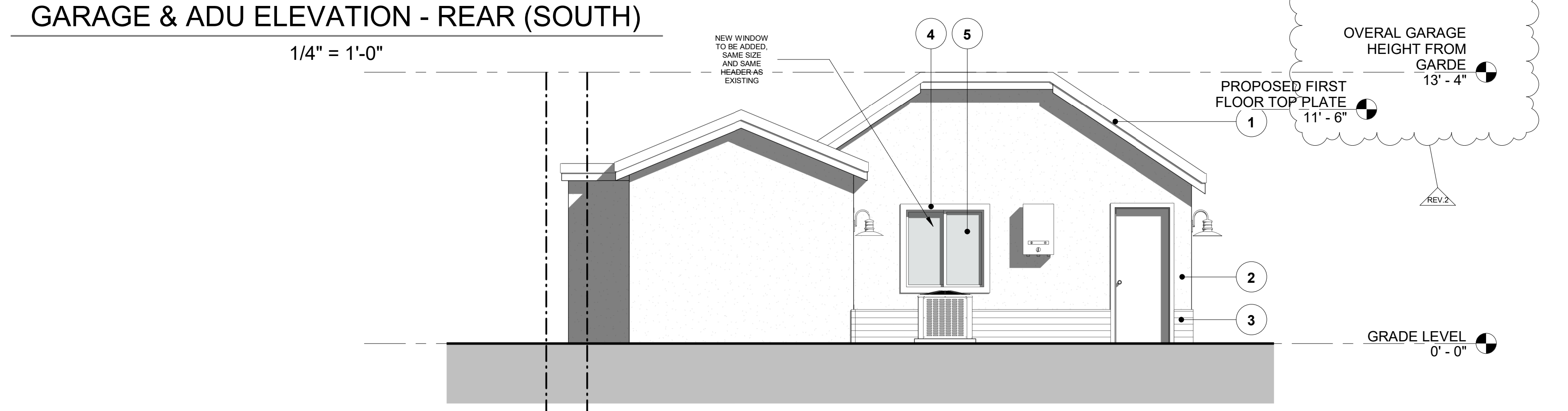
GARAGE & ADU ELEVATION - FRONT (NORTH)

1/4" = 1'-0"



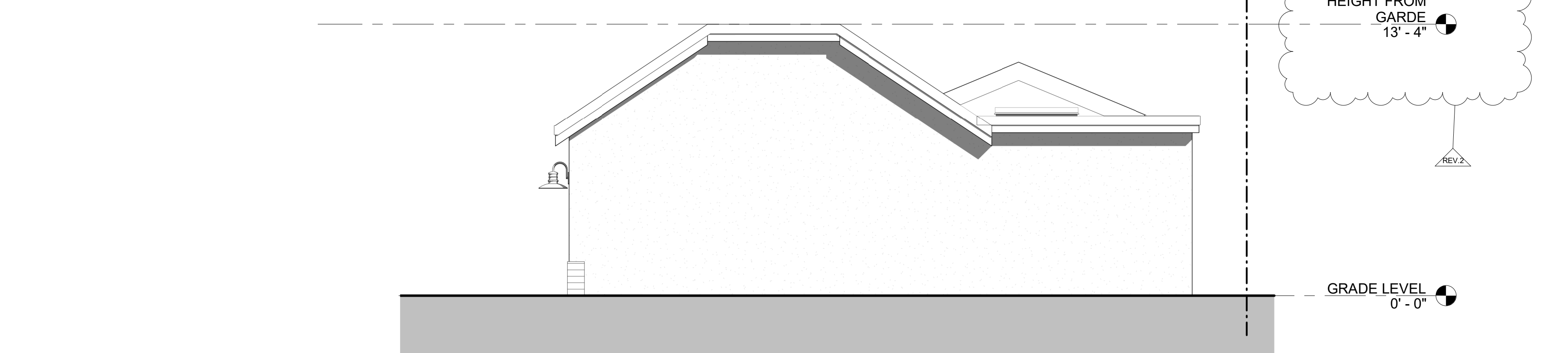
GARAGE & ADU ELEVATION - REAR (SOUTH)

1/4" = 1'-0"



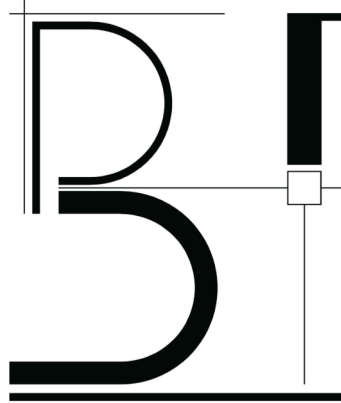
GARAGE & ADU ELEVATION - SIDE (EAST)

1/4" = 1'-0"

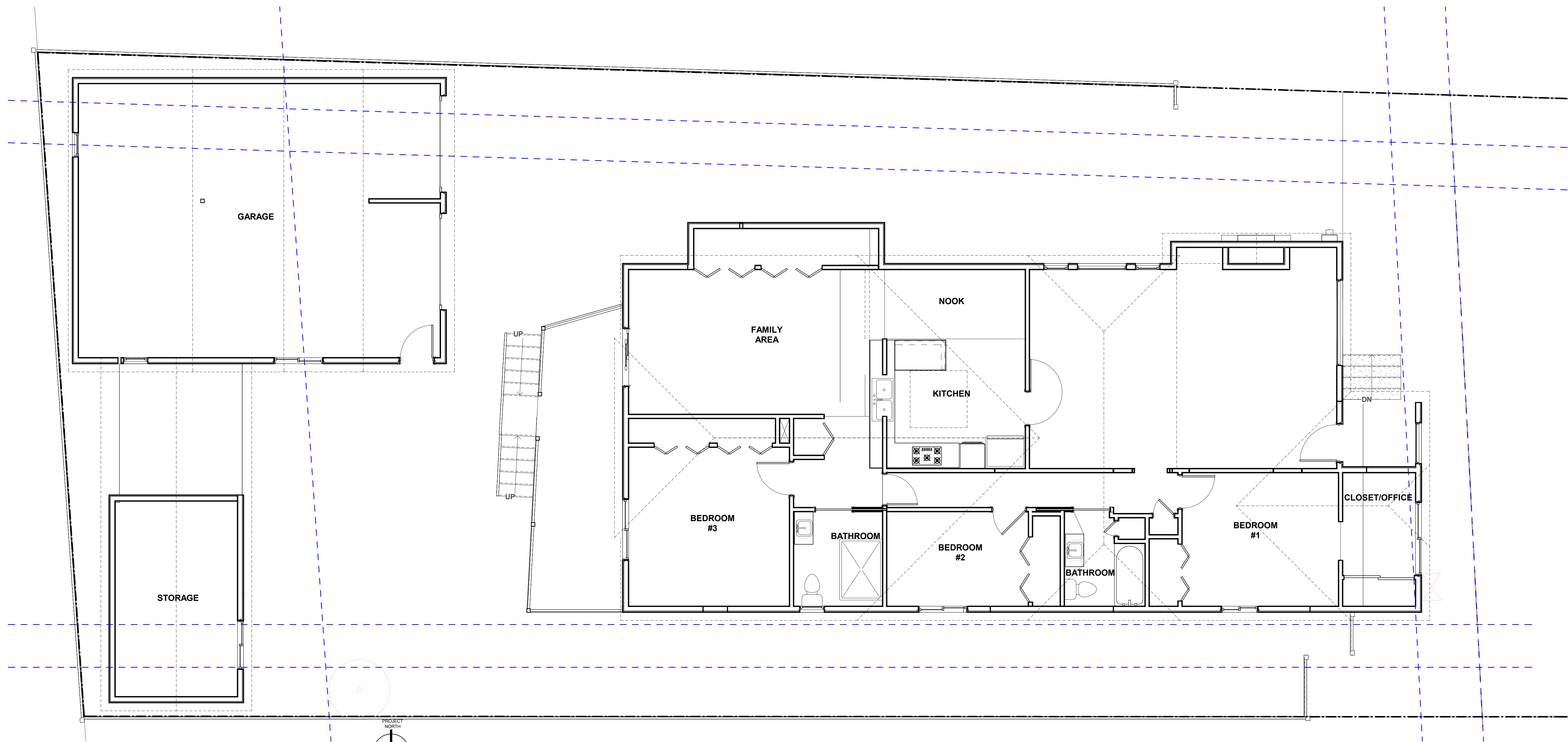


GARAGE & ADU ELEVATION - SIDE 2

1/4" = 1'-0"



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EXISTING FIRST FLOOR PLAN

1/4" = 1'-0"

WALLLEGEND :

- NEW EXTERIOR WALL
- NEW INTERIOR WALL
- EXISTING EXTERIOR WALL
- EXISTING INTERIOR WALL
- DEMO WALLS
- 1 HR FIRE RATED WALL

SHEET NAME	EXISTING FLOOR PLAN
PROJECT ADDRESS	839 CROSSWAY ROAD, BURLINGAME, CA
PROJECT OWNER	MR. KAMBIZ ZOMORODI
PROJECT TYPE	ADDITION AND REMODELING

REVISION

Revision Number	Revision Description	Revision Date

PROJECT NO.

21-1205

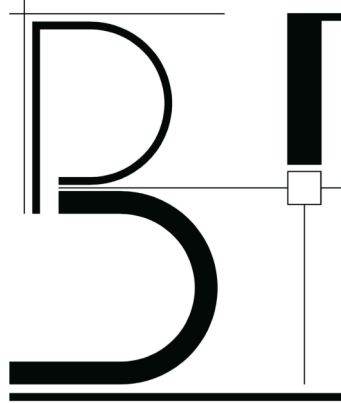
DATE

11/3/2021

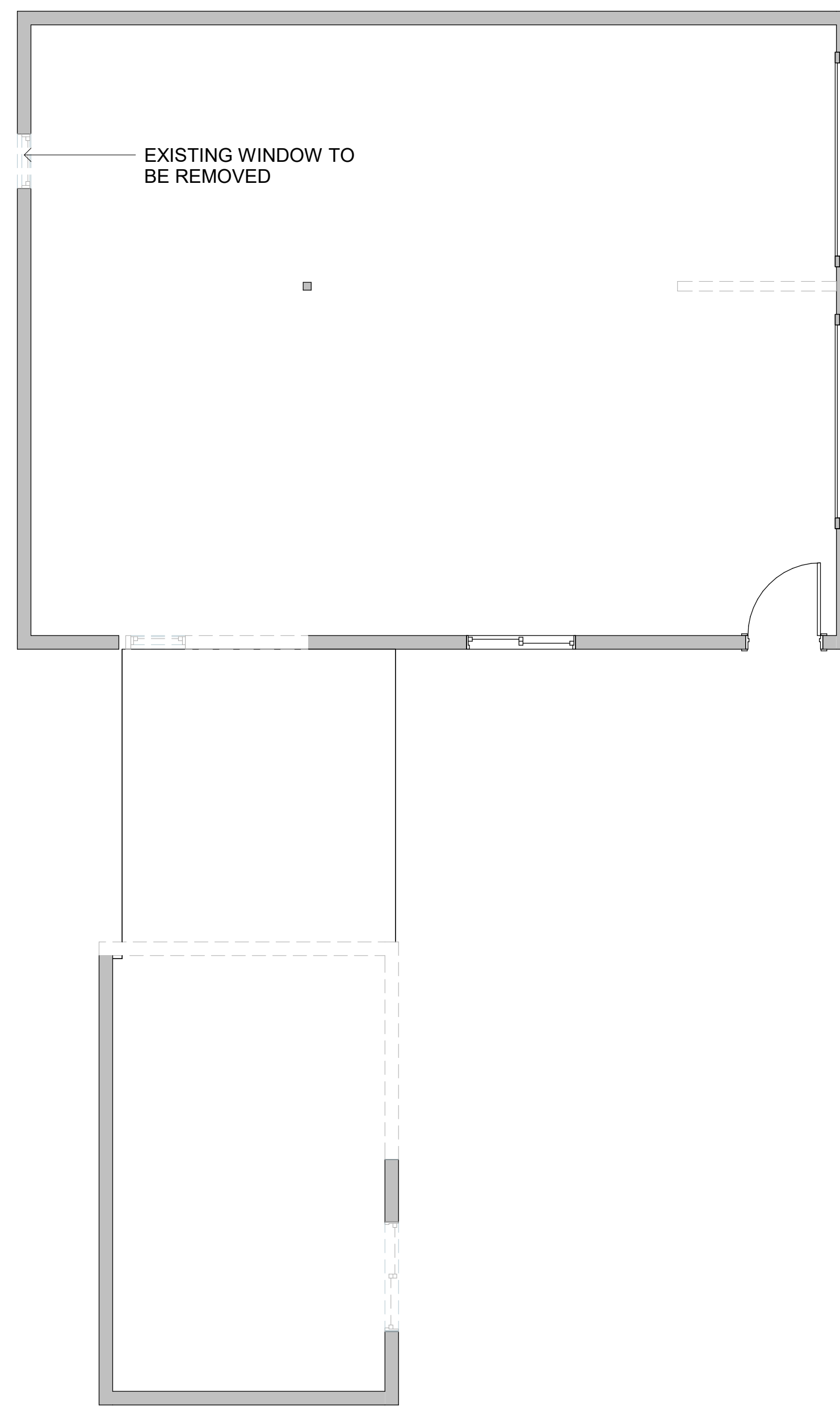
SCALE

As indicated

A-7

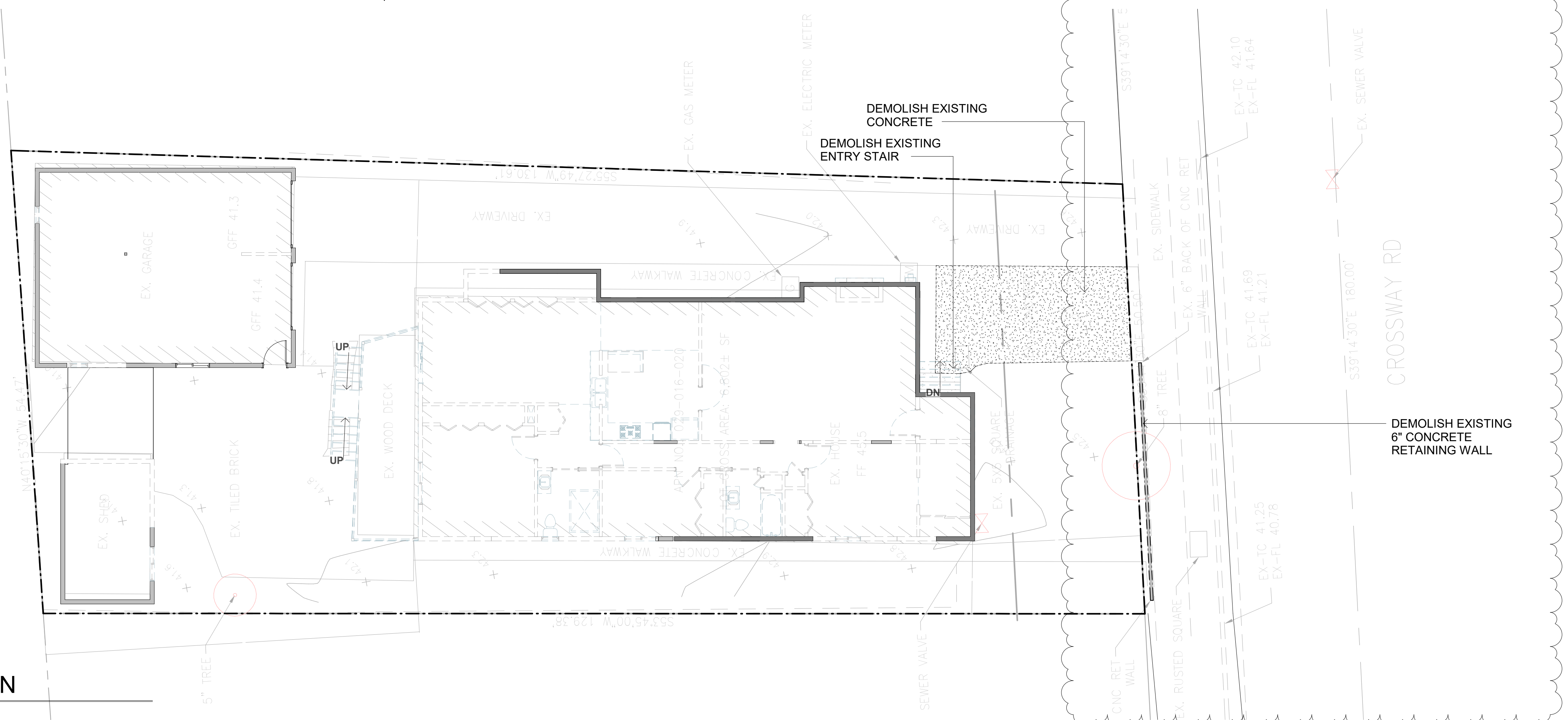
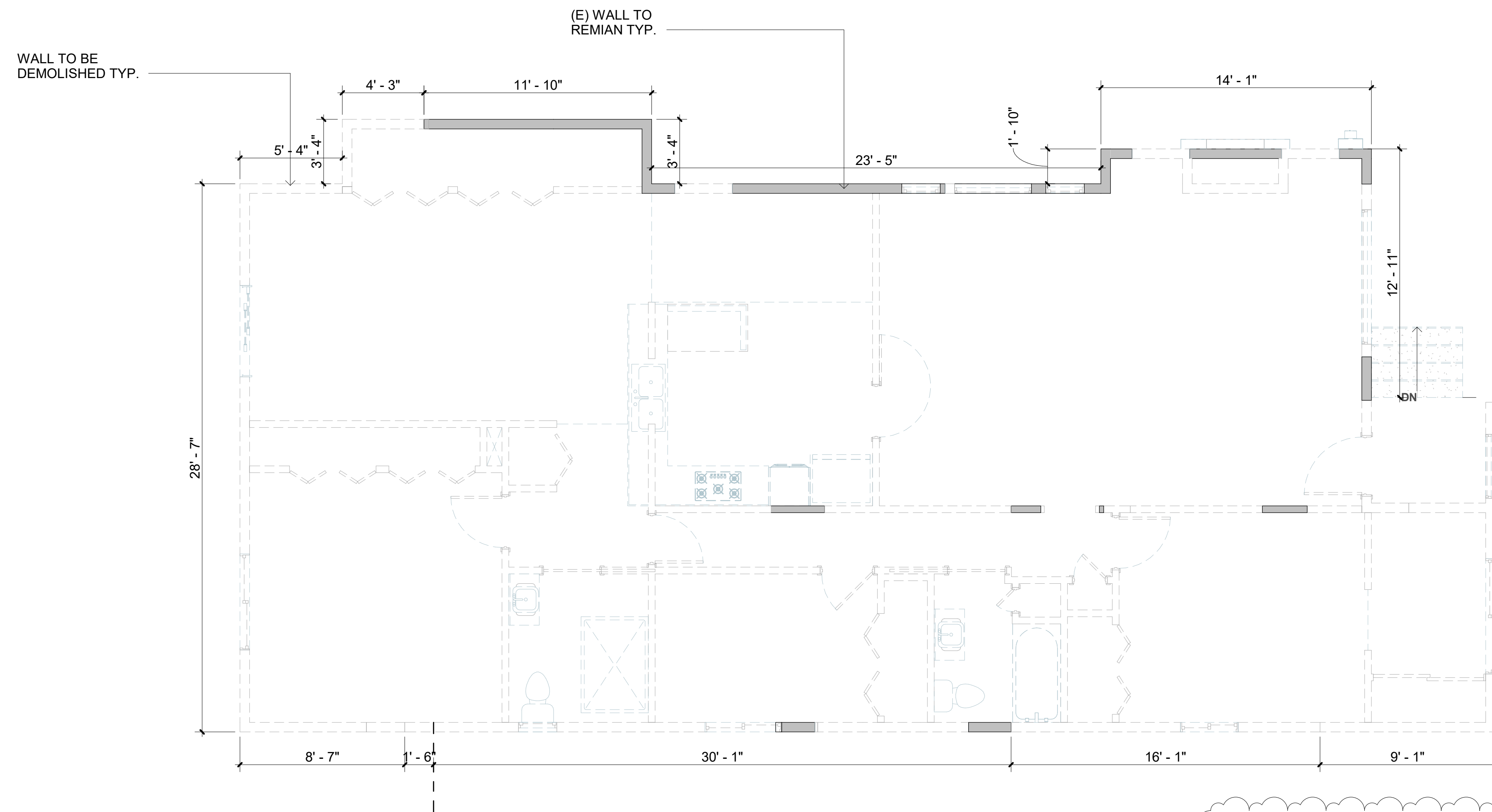


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FIRST FLOOR - DEMOLITION PLAN

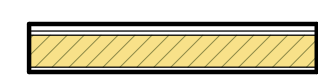
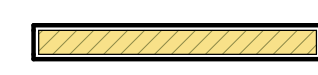
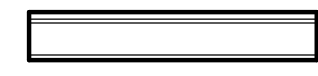
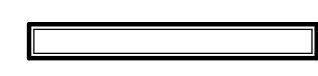

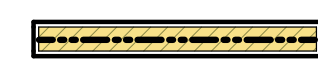
1/4" = 1'-0"



SITE DEMOLITION PLAN

1/8" = 1'-0"

WALLLEGEND :

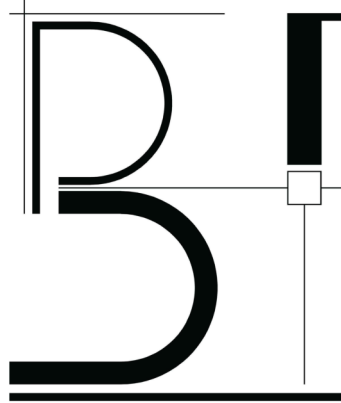
-  NEW EXTERIOR WALL
-  NEW INTERIOR WALL
-  EXISTING EXTERIOR WALL
-  EXISTING INTERIOR WALL
-  DEMO WALLS
-  1 HR FIRE RATED WALL

SHEET NAME	DEMOLITION PLAN
PROJECT ADDRESS	839 CROSSWAY ROAD, BURLINGAME, CA
PROJECT OWNER	MR. KAMBIZ ZOMORODI
PROJECT TYPE	ADDITION AND REMODELING

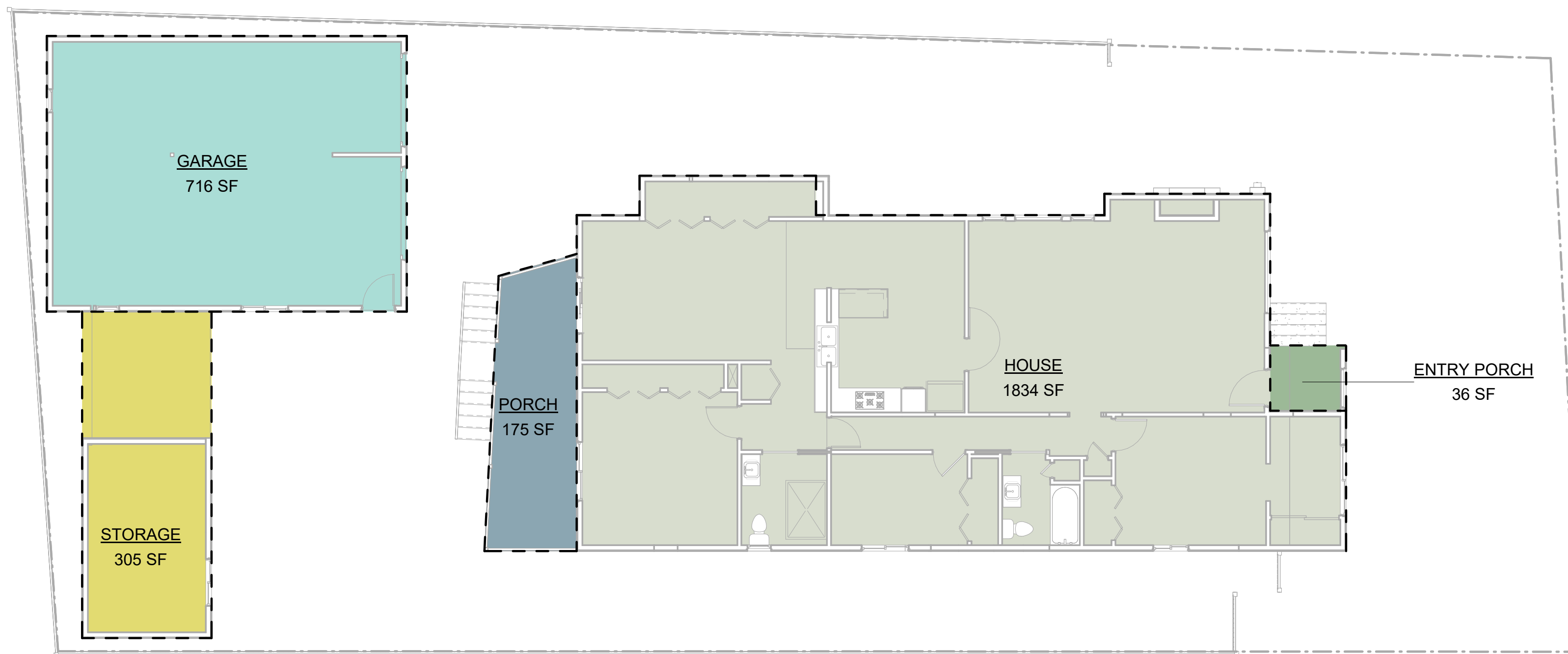
REVISION		
Revision Number	Revision Description	Revision Date
REV.1	PLANNING COMMENTS	8/11/2019
REV.2	2ND PLANNING COMMENTS	7/2/2022

PROJECT NO.	21-1205
DATE	11/3/2021
SCALE	As indicated

A-8



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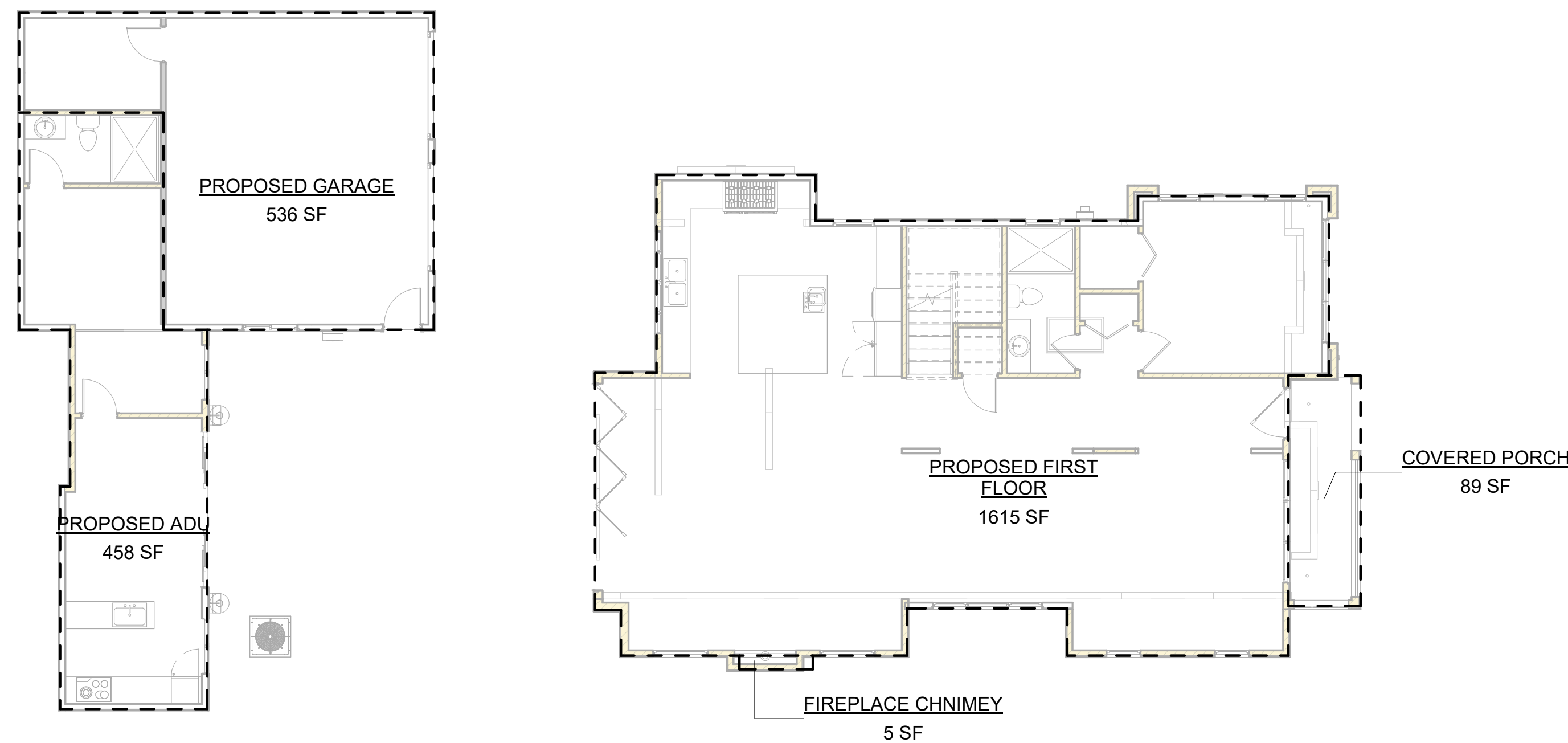


EXISTING AREA CALCULATION

1	HOUSE	1834 SF
2	GARAGE	716 SF
3	STORAGE	305 SF
4	PORCH	175 SF
5	ENTRY PORCH	36 SF
6	SECOND FLOOR	1209 SF

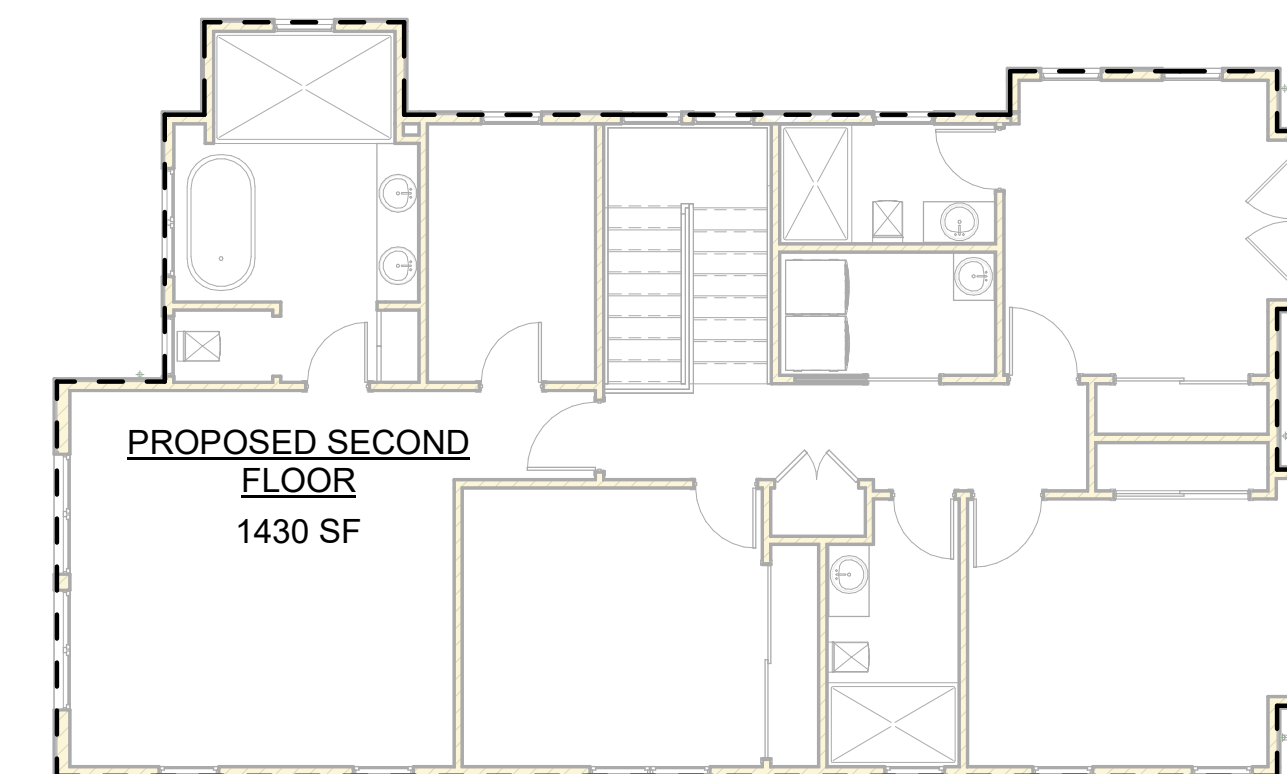
EXISTING FLOOR PLAN - AREA

1/8" = 1'-0"



PROPOSED FIRST FLOOR - AREA

1/8" = 1'-0"



PROPOSED SECOND FLOOR - AREA

1/8" = 1'-0"

PROPOSED PLAN AREA CALC.

1	PROPOSED FIRST FLOOR	1615 SF
2	PROPOSED GARAGE	536 SF
3	PROPOSED ADU	458 SF
4	PROPOSED SECOND FLOOR	1430 SF
6	FIREPLACE CHNIMEY	5 SF
8	COVERED PORCH	89 SF

SHEET NAME	AREA CALCULATION
PROJECT ADDRESS	839 CROSSWAY ROAD, BURLINGAME, CA
PROJECT OWNER	MR. KAMBIZ ZOMORODI
PROJECT TYPE	ADDITION AND REMODELING

REVISION

Revision Number	Revision Description	Revision Date
REV.1	PLANNING COMMENTS	8/11/2019

PROJECT NO.

21-1205

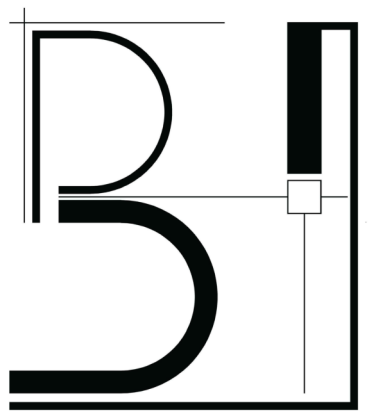
DATE

11/3/2021

SCALE

1/8" = 1'-0"

A-9



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SHEET NAME	PROJECT ADDRESS	PROJECT OWNER	PROJECT TYPE
LANDSCAPE PLAN	839 CROSSWAY ROAD, BURLINGAME, CA	MR. KAMBIZ ZOMORODI	ADDITION AND REMODELING

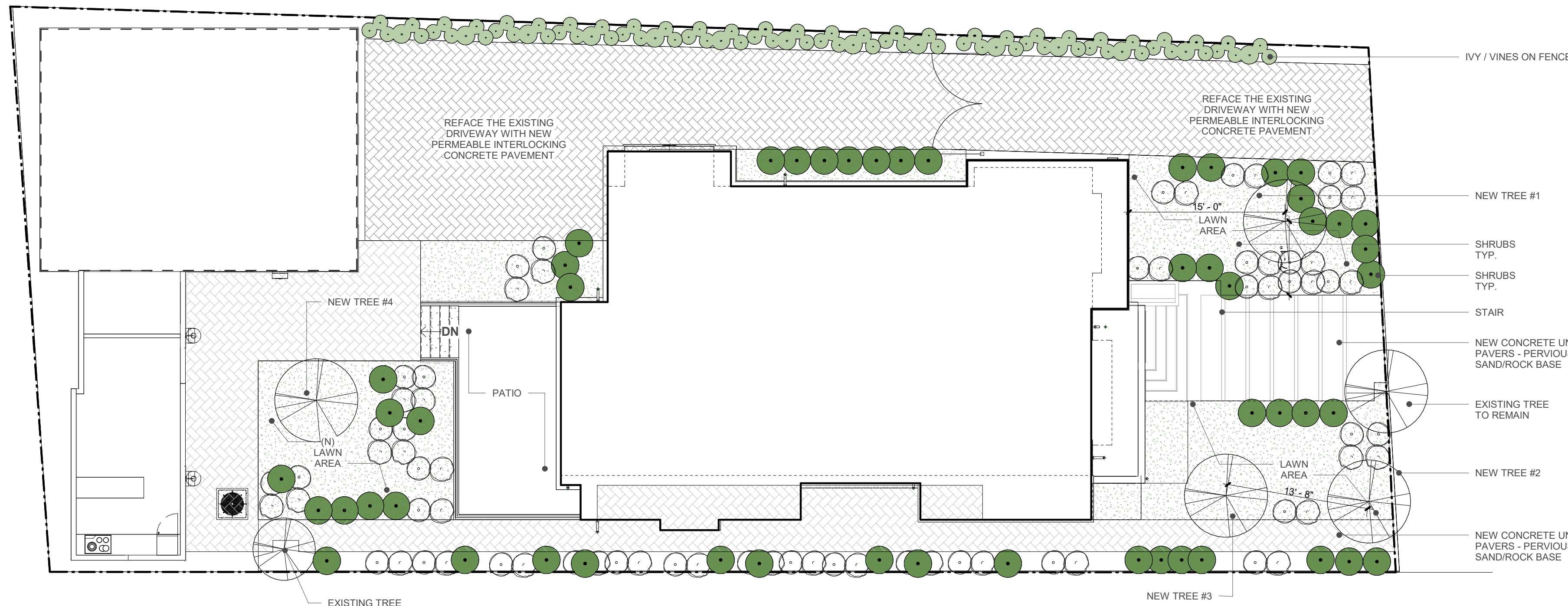
REVISION		
Revision Number	Revision Description	Revision Date

PROJECT NO.	21-1205
DATE	11/3/2021
SCALE	1/8" = 1'-0"

SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	WATER USE	SPACING
SHRUBS:					
Aga. att.	5 GAL	Agave attenuata	Agave	LOW	48" O.C.
Bac. Blue	1 GAL	Bacopa spp - Blue	Blue Bacopa	MOD	12" O.C.
Bux. 'G.M.'	1 GAL	Buxus 'Green Mountain'	Boxwood	MOD	24" O.C.
Cis. lad.	1 GAL	Cistus ladanifer (maculatus)	White Rockrose	LOW	48" O.C.
Con. Cne	1 GAL	Convolvulus encorium	Dwarf Blue Morning Glory - Blue	LOW	30" O.C.
Das. whe.	1 GAL	Dasyliiron wheeleri	Spoon Yucca	LOW	36" O.C.
Die. bic.	1 GAL	Dietes bicolor	Yellow Fortnight Lily	LOW	24" O.C.
Dud. bri.	1 GAL	Dudleya brittonii	Giant Chalk Dudleya	LOW	48" O.C.
Ech. sec.	1 GAL	Echeveria secunda	Hen And Chicks	LOW	24" O.C.
Imp. cyl.	1 GAL	Imperata cylindrica	Japanese Blood Grass	LOW	24" O.C.
Iri. dou.	1 GAL	Iris douglasiana - White	Douglas Iris	LOW	18" O.C.
Gau. lm.	1 GAL	Gaura lindheimeri	Gaura	MOD	24" O.C.
Lit. gig.	1 GAL	Liriope gigantea	Giant Lily Turf	MOD	48" O.C.
Ole. E. 'L.O.'	1 GAL	Olea europaea 'Little Olive'	Dwarf Olive	LOW	36" O.C.
Ver. 'D.L.M.'	1 GAL	Verbena lilacina 'De La Mina'	De La Mina Verbena	LOW	36" O.C.

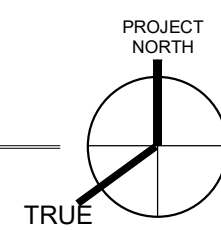
GROUNDCOVERS:					
	1 GAL	Agapanthus orientalis 'Henry'	White Lily of the Nile	MOD	12" O.C.
	FLATS	Cerastium tomentosum	Snow-in-Summer	MOD	12" O.C.
	1 GAL	Myoporum parvifolium	Creeping Myoporum	LOW	48" O.C.
	FLATS	Senecio mandraliscae	Blue Chalksticks	LOW	18" O.C.
	FLATS	Vinca minor	Periwinkle	MOD	12" O.C.
	FLATS	Viola hederacea	Australian Violet	MOD	12" O.C.

VINES:					
Jas. pol.	5 GAL	Jasminum polyanthum	Pink Jasmine	MOD	
Tra. jas.	5 GAL	Trachelospermum jasminoides	Star Jasmine	MOD	



LANDSCAPE PLAN

1/8" = 1'-0"



IMPERVIOUS AREA :

DRIVE WAY

1173 SQ.FT.

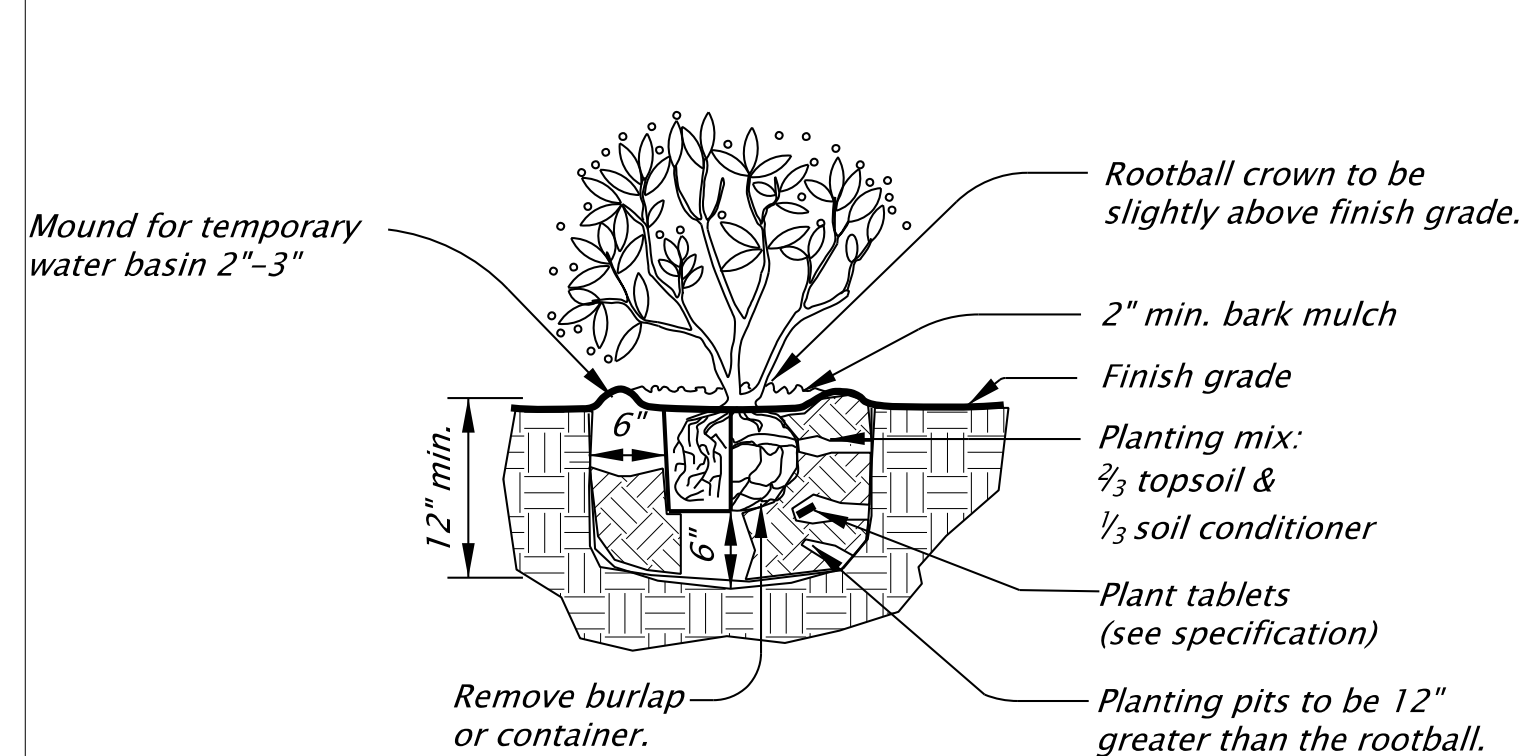
PERVIOUS AREA :

LAWN AREA :

1181 SQ.FT.

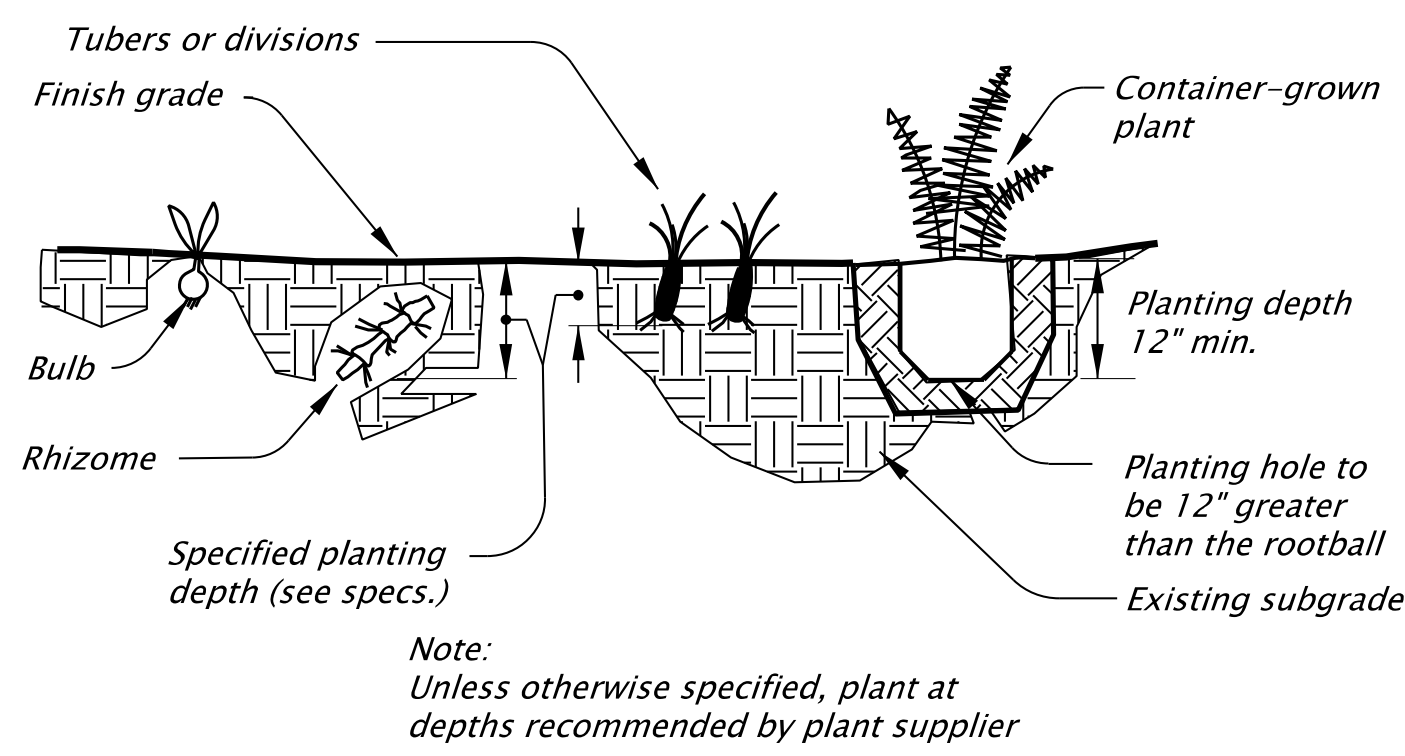
PAVERS - PERVIOUS SAND/ROCK BASE

800 SQ.FT



SHRUB PLANTING

(all forms except bareroot)



HERBACEOUS PLANTING

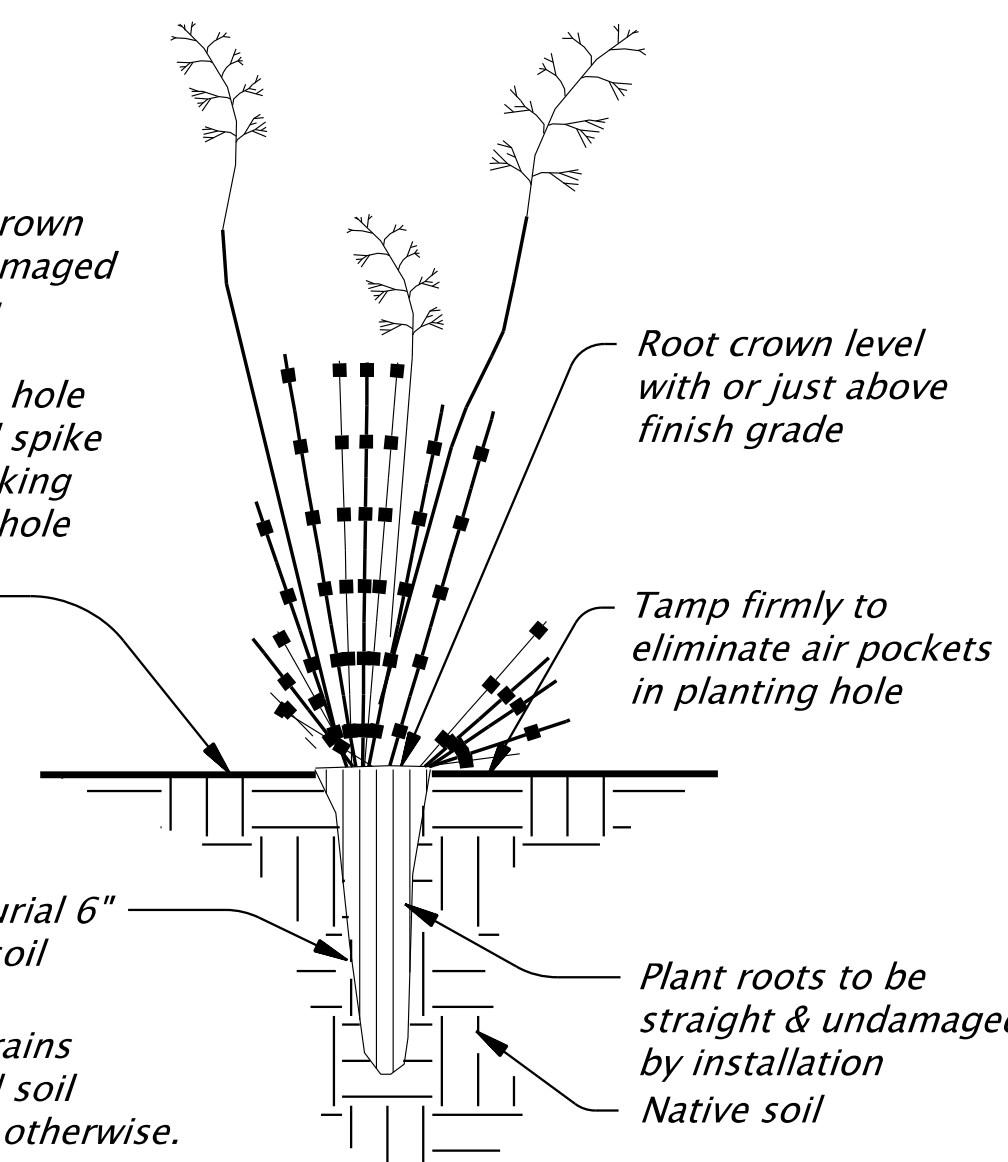
Note:
Leaves & root crown to remain undamaged during planting

Create planting hole by driving steel spike into soil & working spike to widen hole

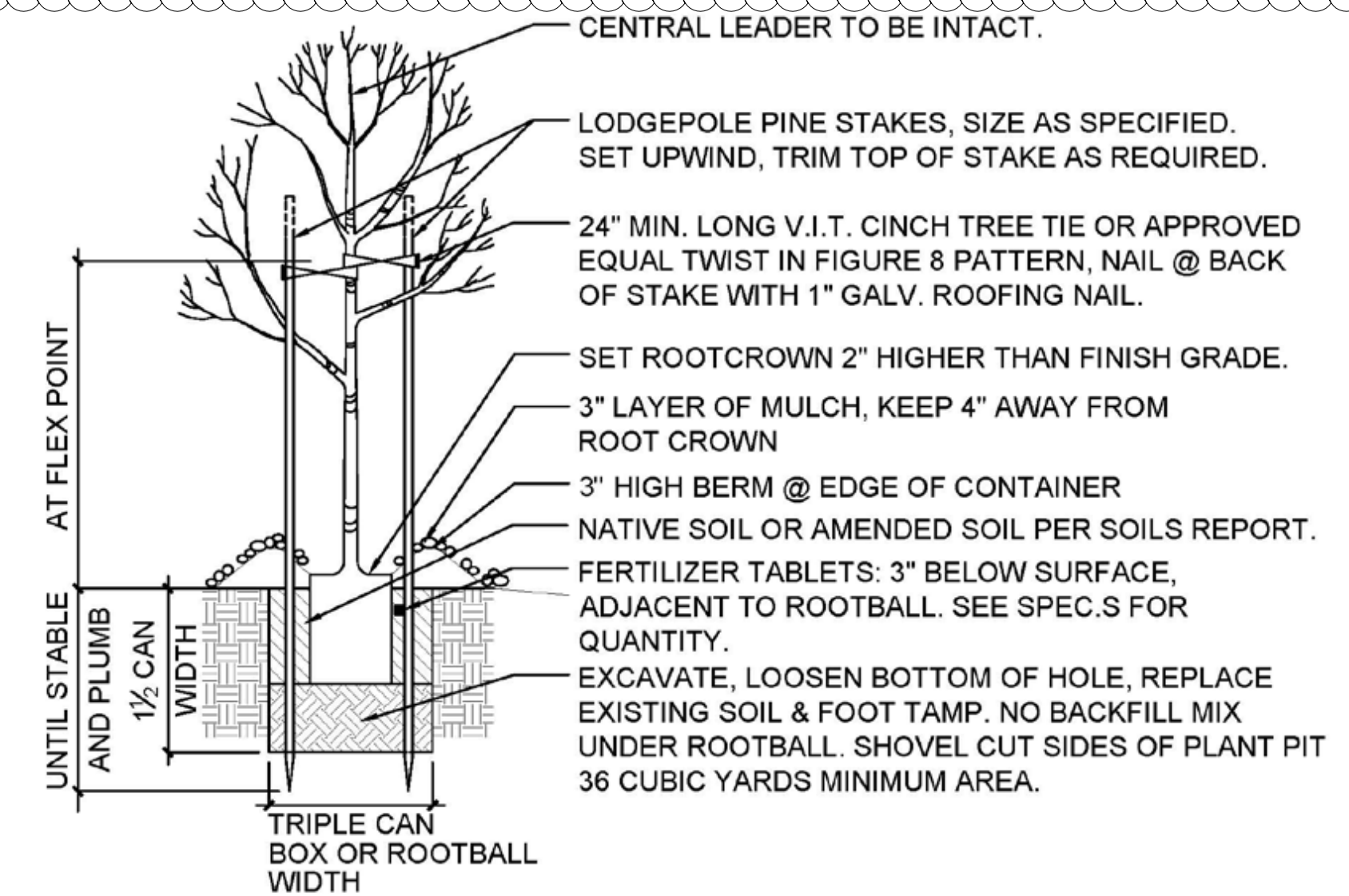
Finish grade

Minimum burial 6" into native soil

Plant after Fall rains have dampened soil unless directed otherwise.



STYRO-BLOC PLUG PLANTING

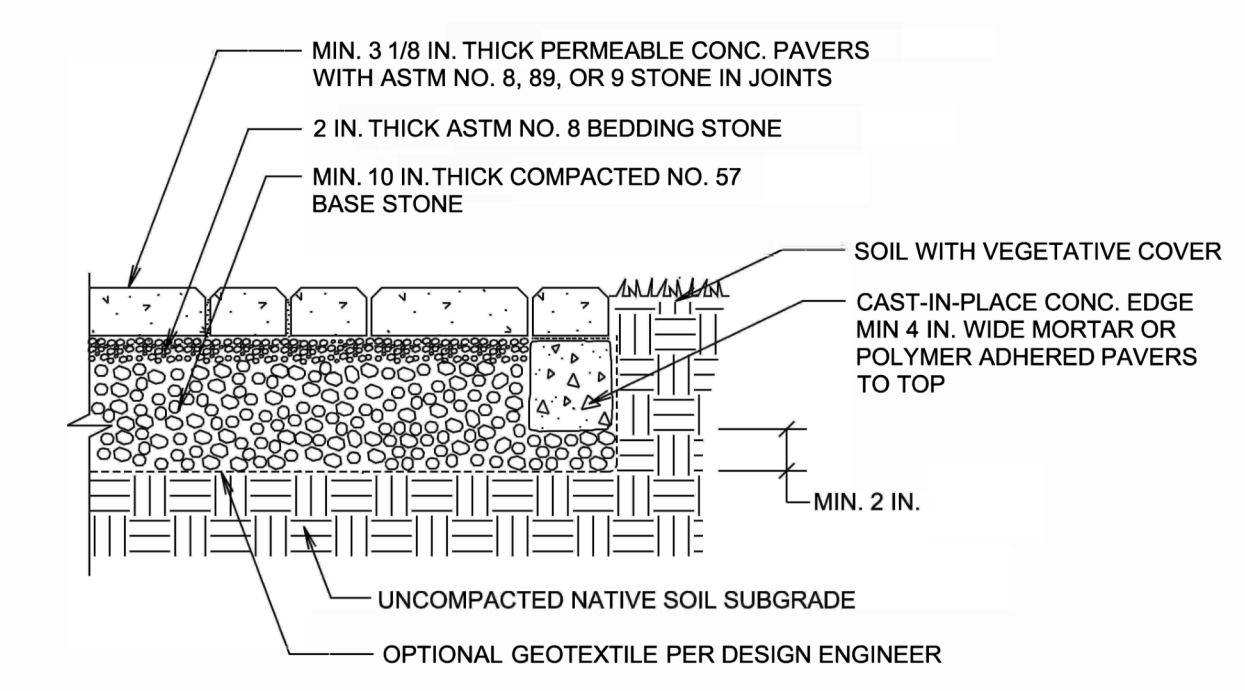
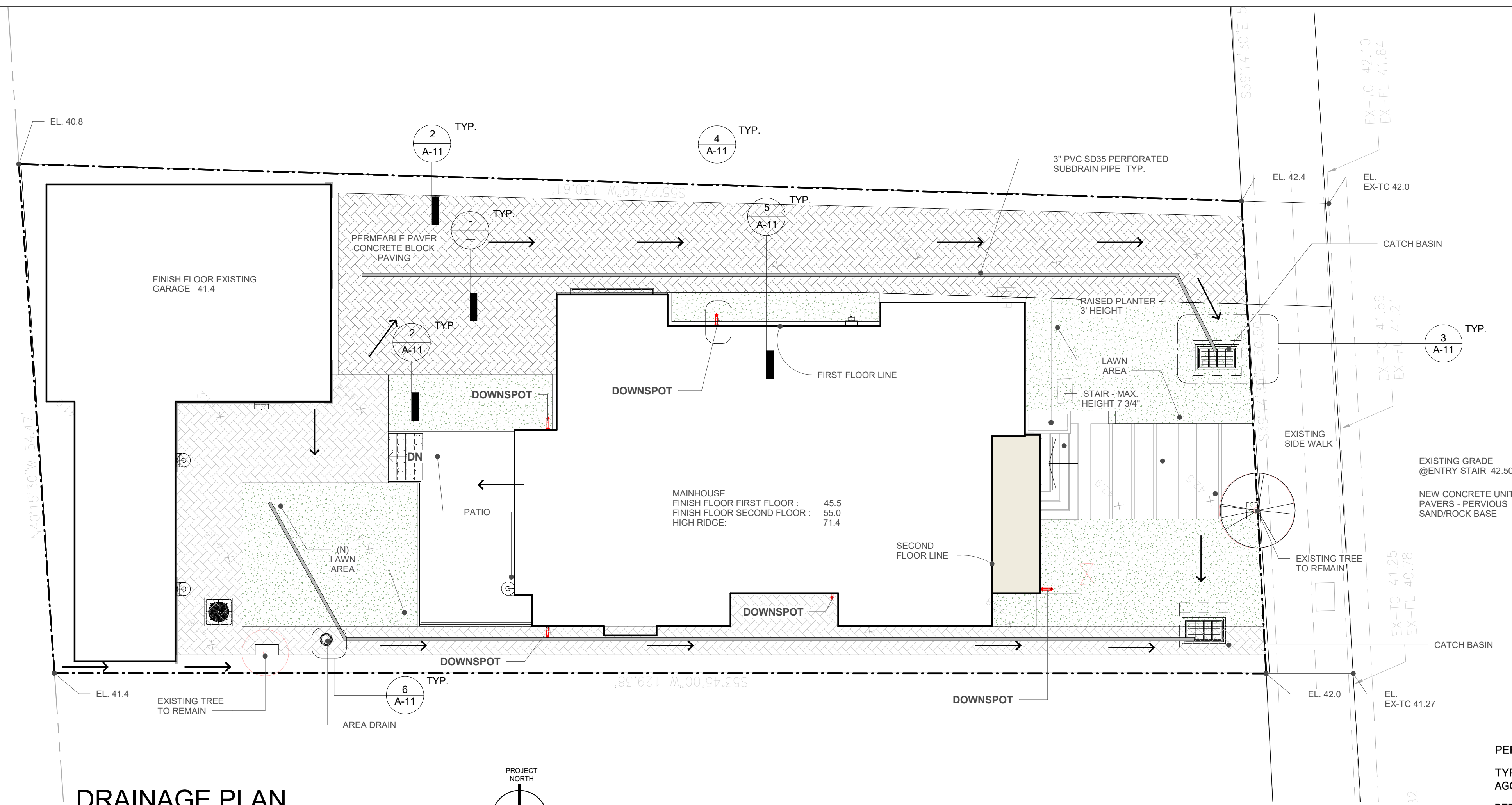


TREE PLANTING AND STAKING

NOT TO SCALE



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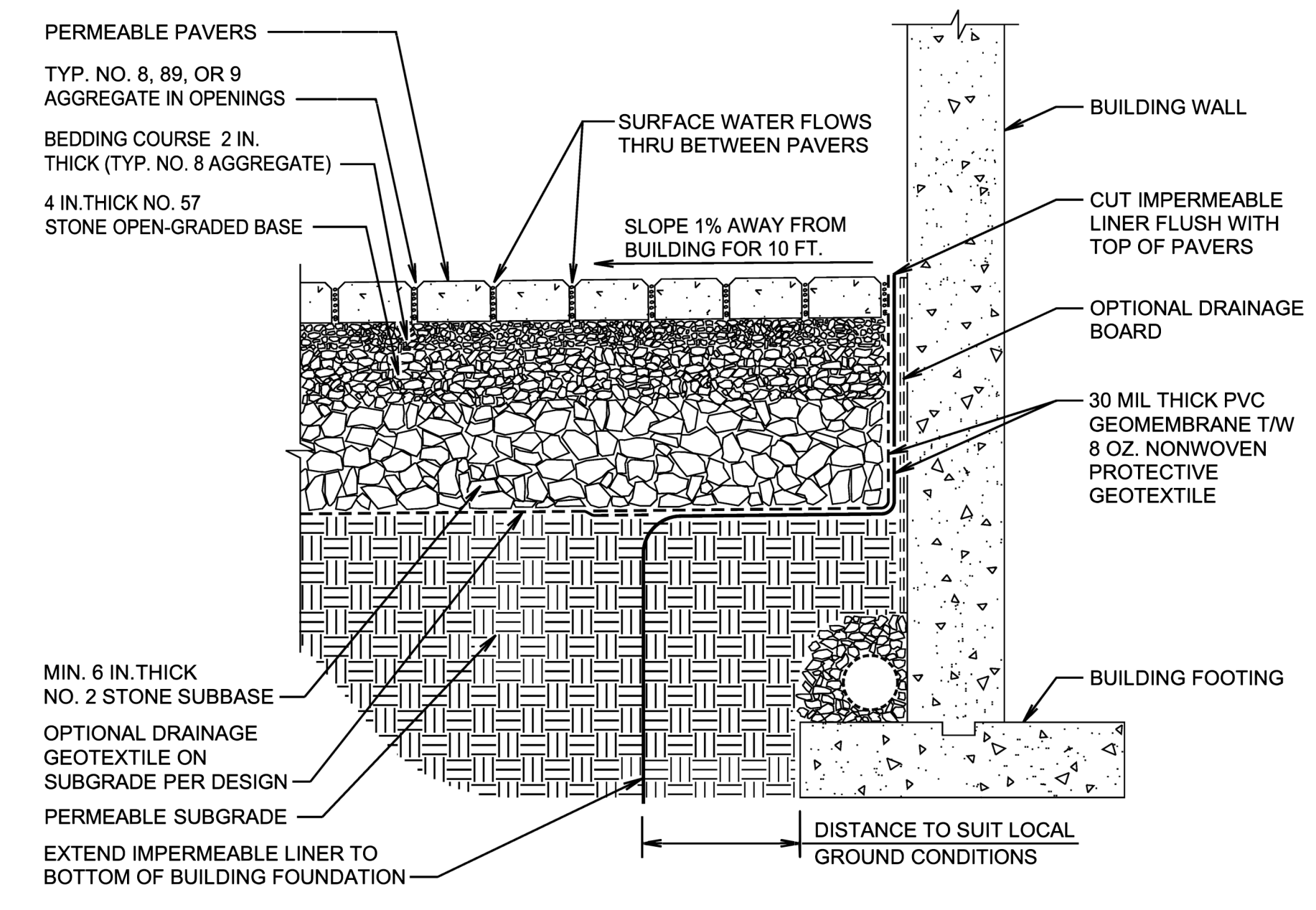
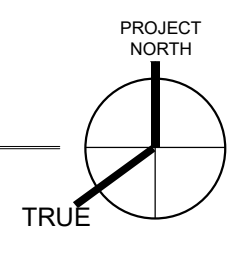
NOTES:
PAVER SURFACES SLOPE: MAX. 1%
SOIL SUBGRADE MAX. SLOPE: 1/2%

PERMEABLE INTERLOCKING CONCRETE PAVEMENT DRIVEWAY WITH CONCRETE CURB

1 1/2" = 1'-0" **2**

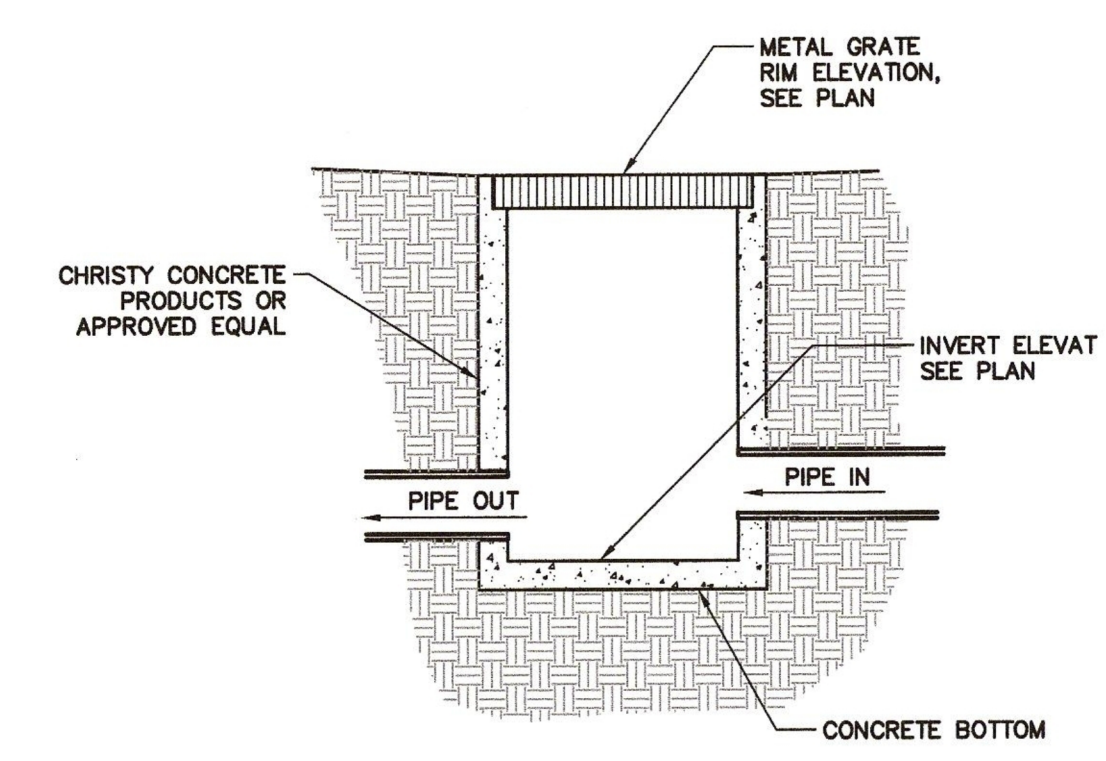
DRAINAGE PLAN

1/8" = 1'-0"



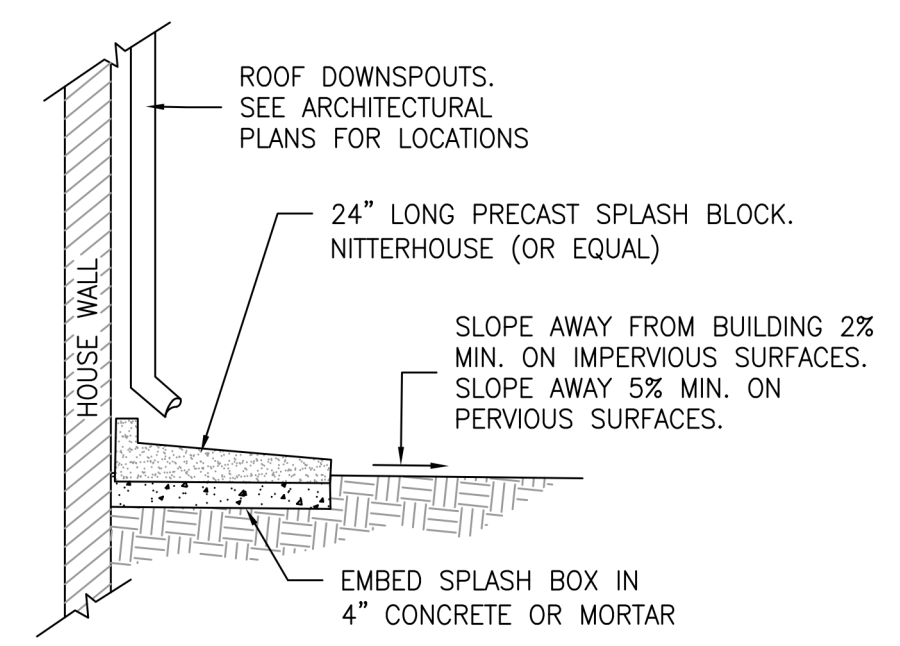
BUILDING WALL PROTECTION FROM PERMEABLE INTERLOCKING CONCRETE PAVEMENT

1 1/2" = 1'-0" **5**



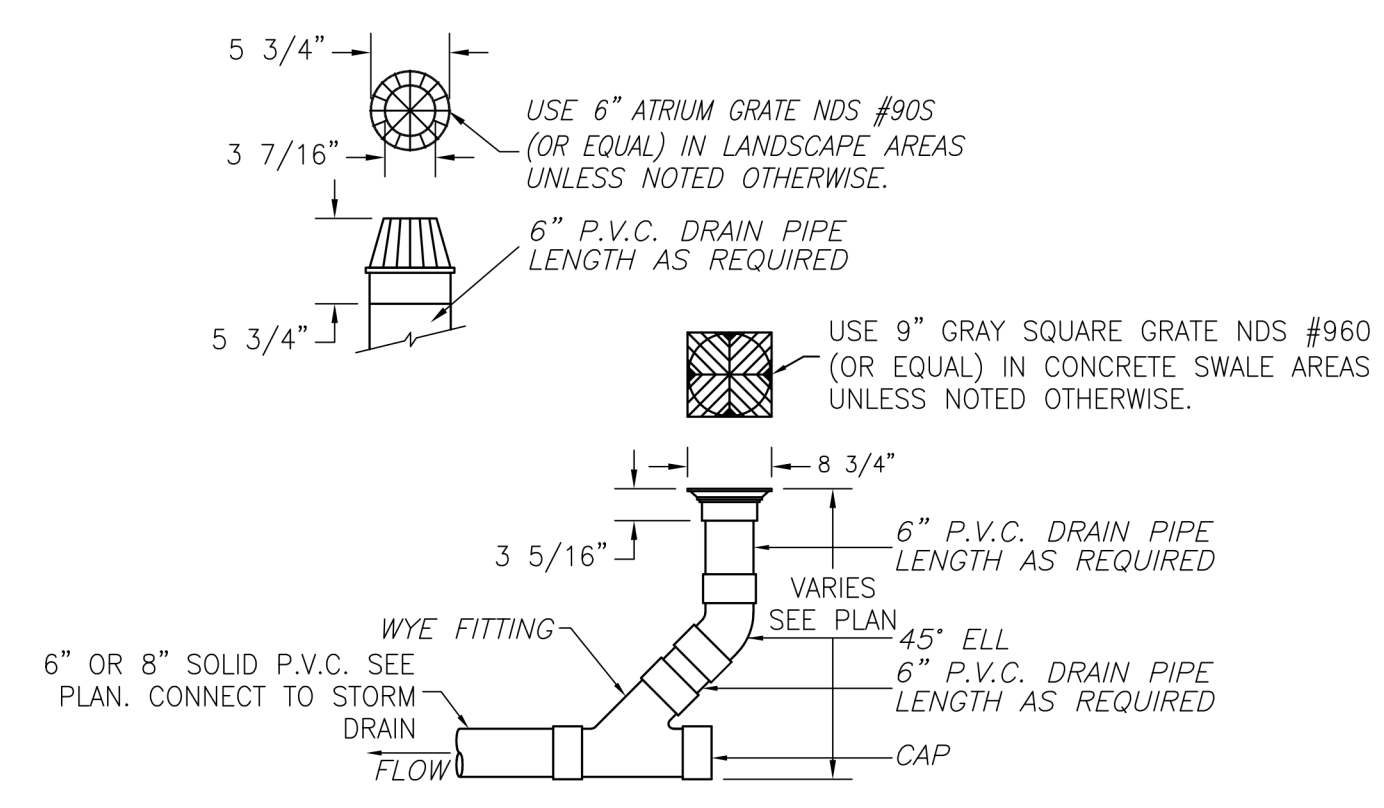
TYPICAL CATCH BASIN DETAIL

1 1/2" = 1'-0" **3**



SPLASH BLOCK - DOWNSPOT DETAIL

1 1/2" = 1'-0" **4**



AREA DRAIN DETAIL

1 1/2" = 1'-0" **6**

DRAINAGE PLAN & DETAILS	839 CROSSWAY ROAD, BURLINGAME, CA
SHEET NAME	PROJECT ADDRESS
PROJECT OWNER	MR. KAMBIZ ZOMORODI
PROJECT TYPE	ADDITION AND REMODELING

REVISION		
Revision Number	Revision Description	Revision Date
REV.1	PLANNING COMMENTS	8/11/2019

PROJECT NO.	21-1205
DATE	11/3/2021
SCALE	As indicated

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