

HERS FEATURES SUMMARY  
/REQUIRED SPECIAL FEATURES

MR. + MRS. CAMERON FOSTER  
2229 ADELINE DRIVE  
BURLINGAME, CA 94010

RECEIVED  
July 26, 2022  
City of Burlingame  
CDD-Planning DIV  
REVISED

Rev. #	Description	Date
001	RESPONSE TO PLANNING DEPT COMMENTS 05.16.22	05.19.22
002	RESPONSE TO PLANNING DEPT COMMENTS 06.03.22	06.06.22
003	RESPONSE TO PLANNING DEPT COMMENTS 06.24.22	06.24.22
004	RESPONSE TO PLANNING DEPT COMMENTS 06.24.22	06.24.22
005		
006		

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Owner: MR. + MRS. CAMERON FOSTER  
2229 ADELINE DRIVE  
BURLINGAME, CA 94010

form+one  
DESIGN ■ PLANNING

Project: MR. AND MRS. CAMERON FOSTER  
2229 Adeline Drive  
Burlingame CA 94010

Job No.: 21\_40  
Drawn: TIM RADUENZ  
Date: 12-22-21

Sheet Scale: See Details

ABBREVIATIONS	
& d	And Penny Angle
@	At
C	Center line
O	Dia. or round
#	Perpendicular
AB	Anchor Bolt
ABV	Above
AC	Asphalt Conc.
ACOUS	Acoustical
ADH	Adhesive
ADJ	Adjustable
AGG	Aggregate
AL	Aluminum
AP	Access Panel
APX	Approximate
BD	Board
BEL	Below
BLK	Block(ing)
BM	Beam
BOT	Bottom
BRK	Brick
BS	Both Sides
BTWN	Between
CAB	Cabinet
CEM	Cement
CER	Ceramic
CI	Cast Iron
CLG	Ceiling
CLKG	Caulking
CLR	Clear
CMU	Conc. Mas. Unit
CNTR	Counter
COL	Column
COMPO	Composition
CONC	Concrete
CONN	Connect(ion)
CONST	Construction
CONT	Continuous
CPT	Carpet
DBL	Double
DEMO	Demolish
DF	Douglas Fir
DIA	Diameter
DIAG	Diagonal
DN	Down
DR	Door
DS	Down Spout
DRA	Drawer
EA	Each
EL	Elevation
ELEC	Electrical
ENCL	Enclosure
EQ	Equal
EQPT	Equipment
EW	Each Way
(EX)	Existing
EXH	Exhaust
EXP	Expansion
EXPO	Exposed
EXT	Exterior
FBO	Furnished by
FIN	Finish
FL	Floor (line)
FLASH	Flashing
FLOUR	Fluorescent
FLX	Flexiable
FOC	Face of Conc.
FOF	Face of Fin.
FOX	Face of Stud
FO	Finished Opening
FPL	Fireplace
FTG	Footing
FURR	Furring
FUT	Future
GA	Gauge
GALV	Galvanized
GB	Grab Bar
GI	Grab Iron
GL	Glass/Glazing
GR	Grade (Ground)
GYP	Gypsum
HBD	Hard Board
HD	Heavy Duty
HDR	Header
HWD	Hardware
HOR	Horizontal
INT	Interior
INSUL	Insulation
INT	Interior
JST	Joist
JT	Joint
LAM	Laminate
LT	Light
LVR	Louver
MAS	Masonry
MC	Medicine Cabinet
MECH	Mechanical
MEMB	Membrane
MFR	Manufacturer
MIR	Mirror
MNT	Mount(ed)
MTL	Metal
NIC	Not in Contract
NTS	Not to Scale
O	Over
OC	On Center
OPNG	Opening
OPP	Opposite
P	Plastic
PAR	Parallel
PBD	Partic. Bd.
PFB	Prefabricate(d)
PL	Plate (line)
PLAS	Plaster
PLYWD	Plywood
PNL	Panel(ing)
PNT	Paint(ed)
PR	Pair
PRCST	Pre Cast
PT	Pressure Treated
QT	Quarry Tile
R	Riser
RAD	Radius
REINF	Reinforce
RELOC	Relocate
REMO	Remove
REQD	Required
RESIL	Resilient
RO	Rough Opeing
RWD	Redwood
SSD	See Struct. Dwg.
SH	Shelf
SHR	Sheathing
SIM	Similar
SLR	Sealer
SPEC	Specification
SQ	Square
SLD	Standard
S. STL	Stainless Steel
SUSP	Suspended
SYM	Symmetrical
T	Tread
TB	Towel Bar
TEMP	Tempered
T&G	Tougue & Groove
THRU	Through
TOS	Top of Surface
TPD	Toilet Paper
DISP	Dispenser
TYP	Typical
UON	Unless Otherwise Noted
MECH	Mechanical
UNF	Unfinished
VERT	Vertical
VG	Vert. Grain
WB	White Brothers
WD	Wood
WDW	Window
WI	Wrought Iron
W/O	With (out)
WP	Waterproof
WR	Water Resistant
WSCT	Wainscot

REFERENCE SYMBOLS	
	GRID LINE REFERENCE
	BLDG & WALL SECTION REFERENCE
	DETAIL REFERENCE
	EXTERIOR ELEVATION REFERENCE
	INTERIOR ELEVATION REFERENCE
	TITLE SYMBOLS
	EXT. DOOR & WINDOW SYMBOL
	INTERIOR DOOR SYMBOL
	REVISION SYMBOLS
	COLOR / MATERIAL SYMBOL
	ROOM REFERENCE
	MATCH LINE, SHADED SIDE IS CONSIDERED WORK, CONTROL, OR DATUM POINT
	PROPERTY LINE
	SETBACK LINE
	EXISTING CONTOURS
	NEW OR FINISHED CONTOURS
	TOP OF WALL
	TOP OF CURB
	TOP OF PAVEMENT
	FIXTURE OR EQUIPMENT SYMBOL

ELECT/MECH SYMBOLS	
	Duplex convenience outlet & plate
	Floor convenience outlet
	GFI duplex convenience outlet
	Fourplex outlet
	Duplex conv. outlet, 1/2 hot, 1/2 switched
	220V amerge as per equipment
	GFI/W.P. weatherproof outlet
	Flush mounted floor & ceiling outlet
	Junction box
	Television outlet
	Telephone outlet & plate
	Flood light
	Ceiling fixture
	Wall light
	Porcelain recepticle w/ pull chain
	Indirect cove lighting
	Recessed ceiling can lights
	4\"/>
	Recessed ceiling light
	Waterproof ceiling fan/light & plate
	Recessed waterproof exterior up light
	Single pole switch
	3 way switch
	Switch w/ dimmer
	Door activated switch
	Motion detector
	Timer (switch)
	Vacancy sensor w/ dimmer \"manual on\"
	Vacancy sensor \"manual on\"
	Weatherproof switch
	Counter air switch
	Doorbell pushbutton
	Chime
	Smoke detector
	Thermostat
	Special outlet
	Instant start florescent light
	Landscape light
	Electrical panel board
	Existing
	Delete existing
	Gas outlet
	Hose bib
	Ceiling/floor supply register
	Ceiling/floor return register
	Wall diffuser
	T.V./Computer Outlet
	Central vacuum inlet
	Automatic garage door switch
	Alarm control keypad

BUILDING DATA	
APN #:	:027-161-160
LOT AREA:	: 5,190 SQ. FT.
<b>COMPLETE (FAR):</b>	
(E) BASEMENT :	432.00 SQ. FT.
(E) 1ST FLOOR :	1,130.00 SQ. FT.
(E) 2ND FLOOR :	797.00 SQ. FT.
(E) GARAGE :	0.00 SQ. FT.
SUB-TOTAL :	2,359.00 SQ. FT.
(N) BASEMENT (ADU-PARTIAL):	138.00 SQ. FT.
(N) 1ST FLOOR :	162.00 SQ. FT.
(N) 2ND FLOOR :	176.00 SQ. FT.
SUB-TOTAL :	476.00 SQ. FT.
TOTAL :	2,835.00 SQ. FT.
ADU (N) :	467.00 SQ. FT.
<b>LOT COVERAGE:</b>	
(E) 1ST FLOOR :	1,130.00 SQ. FT.
(E) GARAGE (2 STALL) :	360.00 SQ. FT.
(N) 1ST FLR ADDITION :	162.00 SQ. FT.
TOTAL :	1,652.00 SQ. FT.
<b>USE OF BUILDING: RESIDENTIAL OCCUPANCY: R1</b>	
<b>TYPE OF CONST.: V-B</b>	
<b>NUMBER OF (E) STORIES: 2-STORY</b>	
<b>(E) NUMBER OF DWELLINGS: 1</b>	
<b>PARKING: (E) 2- STALL GARAGE (E) 1 UNCOVERED SPACE</b>	
<b>SPRINKLERED: (N) FIRE SPRINKLER</b>	
<b>CONSULTANTS</b>	
DESIGNER FORM + ONE DESIGN CONTACT: TIM RADUENZ 4843 SILVER SPRINGS DRIVE PARK CITY, UT 84098 PHONE: 415-819-0304 TIM@FORMONEDSIGN.COM	SOILS GEOFOUNDATION, INC. 486 CHELSEA XING SAN JOSE, CA. 95138 PHONE: 408-710-6701
OWNERS MR. + MRS. FOSTER 2229 ADELINE DRIVE BURLINGAME, CA 94010	SURVEY SAVIOR MICALLEF LAND SURVEYING 421 WILDWOOD DR. S. SAN FRANCISCO, CA. 94080 PHONE: 805-709-2423
TITLE 24 RICK ROCKLEWITZ NRG COMPLIANCE INC. PO BOX 3777 SANTA ROSA, CA 95402 PHONE: 707-237-6957	

SHEET INDEX			
(*) = FUTURE BUILDING SHEETS			
T1.0	TITLE PAGE	(*) ME2.0	MECHANICAL + ELECTRIC DRAWINGS
GN	GENERAL NOTES	(*) ME3.0	MECH. + ELECT PLANS
PH	PHOTOS OF EXISTING LANDSCAPE & HOME	(*) ME4.0	MECH. + ELECT. CUTSHEETS
CG	CAL GREEN	(*) ME4.1	TITLE-24
SW	CONSTRUCTION BEST MANAGEMENT PRACTICES	(*)	TITLE-24 CONT.
FAR	PROPOSED FAR		
1 OF 1	SURVEY		
A1.0	PROPOSED SITE PLAN	(*) L1.0	LANDSCAPE DRAWINGS
A1.1	PROPOSED DRAINAGE PLAN	(*)	PROPOSED LANDSCAPE PLAN
		(*)	PROPOSED IRRIGATION PLAN
		(*)	PROPOSED IRRIGATION DETAILS
A2.0	ARCHITECTURAL DRAWINGS		
A2.1	EXISTING / PROPOSED 1ST FLOOR PLAN	(*) -	STRUCTURAL DRAWINGS
A2.2	EXISTING / PROPOSED BASEMENT + 2ND FLOOR PLAN		
A3.0	EXISTING / PROPOSED ELEVATIONS		
A3.1	EXISTING / PROPOSED ELEVATIONS		
A3.2	EXISTING / PROPOSED ELEVATIONS		
A4.0	PROPOSED BUILDING SECTIONS		
A5.0	CONSTRUCTION DETAILS		
A9.0	FINISH SCHEDULE		
G2.0	EXISTING GARAGE PLAN & ELEVATIONS		
<b>REACH CODE</b>			
1. NATURAL GAS IN <b>NOT</b> ALLOWED FOR SPACE HEATING, SPACE COOLING, WATER HEATING, OR CLOTHES DRYING FOR NEW BUILDINGS.			
<b>BUILDING + PUBLIC WORKS NOTES:</b>			
1. PUBLIC WORKS REQUIRES A SEWER BACKWATER PROTECTION CERTIFICATE <b>PRIOR TO PERMIT BEING ISSUED</b> . PLEASE CONTACT PUBLIC WORKS @ 650.558.7230.			
2. STORM WATER CONSTRUCTION POLLUTION PREVENTION PERMIT IS REQUIRED. <b>NOTE: AN INITIAL FIELD INSPECTION IS REQUIRED PRIOR TO START OF ANY CONSTRUCTION (ON PRIVATE PROPERTY OR IN THE PUBLIC RIGHT-OF-WAY.</b>			
3. <b>RECYCLING + WASTE REDUCTION FORM WILL NEED TO BE SUBMITTED + APPROVED PRIOR TO ISSUANCE OF BUILDING PERMIT. CONTACT JOE MCCLUSKEY OUR RECYCLING SPECIALIST @ 650-558-7273.</b>			
4. <b>A GRADING PERMIT IF REQUIRED, WILL BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS.</b>			
<b>FIRE DEPARTMENT NOTES</b>			
1. AN AUTOMATIC SPRINKLER SYSTEM <b>MAYBE REQUIRED</b> THROUGHOUT THE ENTIRE MAIN HOUSE, <b>UNDER A SEPARATE PERMIT IF REQUIRED AT TIME OF BUILDING SUBMITTAL.</b>			
2. AN AUTOMATIC SPRINKLER SYSTEM <b>MAYBE REQUIRED</b> THROUGHOUT THE (N) ADU.			
3. APPROVED NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST W/ THEIR BACKGROUND.			
4. PROVIDE A BACKFLOW PREVENTION DEVICE-USC APPROVED DOUBLE CHECK VALVE ASSEMBLY FOR FIRE LINE. GENERAL CONTRACTOR SHALL ENSURE THE DOUBLE VALVE ASSEMBLY FOR FIRE PROTECTION SHALL BE TESTED AND APPROVED BY A SAN MATEO COUNTY ENVIRONMENTAL HEALTH APPROVED CONTRACTOR PRIOR TO SCHEDULING WATER DEPARTMENT FINAL.			
5. A SCHEMATIC OF THE DOMESTIC/FIRE PROTECTION WATER LINE SHALL BE SHOWN ON THE SITE PLAN/CIVIL DRAWINGS PAGE OF THE BUILDING PLANS. THIS SCHEMATIC SHALL DETAIL THE LINE FROM THE WATER METER TO STRUCTURE AND INDICATE THE LOCATION OF THE DOUBLE BACKFLOW PREVENTION DEVICE ON THE FIRE PROTECTION LINE AFTER THE SPLIT BETWEEN DOMESTIC AND FIRE PROTECTION LINES.			
6. FIRE FLOW SHALL MEET REQUIREMENTS OF CALIFORNIA FIRE CODE APPENDIX IIIA. FIRE FLOW FOR RESIDENTIAL BUILDINGS LESS THAN 3,600 SQ. FT. SHALL BE PROVIDED AT 1,000 GPM UNLESS PROTECTED BY AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM, THEN IT MAY BE REDUCED BY 50%			
7. MIN. 1" WATER METER REQUIRED.			
8. <b>IF AN ELECTRONIC GATE CROSSES THE DRIVEWAY</b> , PROVIDE A KNOX KEY SWITCH CONNECTED TO THE GATE TO ALLOW FOR FIRE DEPARTMENT EMERGENCY ACCESS.			
<b>SCOPE OF WORK</b>			
1. BASEMENT, FIRST & SECOND STORY ADDITIONS.			
2. PARTIAL BASEMENT CONVERSION INTO (N) ADU.			
<b>VICINITY MAP</b>			

MATERIAL SYMBOLS			
	Bituminous paving		Metal
	Batt insulation		Metal Lath
	Brick Veneer		Marble / tile
	Stone Veneer		Earth
	Concrete		Wood
	Concrete Block		Steel
	Gravel / Rock fill		Plywood
	Sand/ Mortar/ Plaster		Wood frame construction
	Existing construction		Existing const. removed
	Precast concrete		Rigid insulation
	Gypsum board		

APPLICABLE CODES	
2019 California Building Code	
2019 California Residential Code	
2019 California Plumbing Code	
2019 California Mechanical Code	
2019 California Electric Code	
2019 California Energy Code	
2019 California Fire Code	
CITY OF BURLINGAME MUNICIPAL CODE	
2019 California Green Building Standards Code	
CAL GREEN BUILDING CODE CHECKLIST: Single Family to be attached to jobsite building set	
<b>EXTERIOR FINISHES</b>	
WALL FINISH: (N) STUCCO TO MATCH (E) HOUSE	
ROOF: CLAY BARREL TILE TO (MATCH) EXISTING	
WINDOWS: (N) WOOD/WOOD WINDOWS	
SIERRA PACIFIC OR MARVIN, W/ S.D.L. OR EQ.	
<b>DEFERRED SUBMITTALS</b>	
1. FIRE SPRINKLER PLAN (IF REQUIRED)	
2. PRE-MANUFACTURED ROOF TRUSSES (CBC 1603.1)	
10. (SUPPLEMENTAL) DEMOLITION PERMIT WILL NOT BE ISSUED UNTIL A BUILDING PERMIT IS ISSUED FOR THE PROJECT	
3. PV SYSTEM, PER CODE MIN. (TBD) KW	
<b>DUE BEFORE ISSUANCE</b>	
1. STORM WATER CONSTRUCTION POLLUTION PREVENTION PERMIT (PRIOR TO PERMIT ISSUANCE)	
(INITIAL FIELD IS REQUIRED BEFORE START OF CONSTRUCTION)	
2. SEWER BACKWATER PROTECTION CERTIFICATE (FINISHED BEFORE ISSUANCE)	
3. RECYCLING & WASTE REDUCTION FORM (FINISHED BEFORE ISSUANCE)	
4. SEWER LATERAL TEST ENCROACHMENT PERMIT (FINISHED BEFORE ISSUANCE)	
5. BACKMID JAILUMBER (FINISHED BEFORE ISSUANCE)	
6. PRE-MANUFACTURED ROOF TRUSSES (CBC 1603.1)	
7. AT TIME OF BUILDING SUBMITTAL: AN EROSION CONTROL PLAN AND STIPULATE ON DRAWINGS THE REMOVAL AND REPLACEMENT OF SIDEWALK, CURB, GUTTER, SEWER LATERAL, + WATER LINE TO THE PUBLIC WORKS DEPART.	
8. SUPPLEMENTAL DEMOLITION PERMIT APPLICATION (IF REQUIRED) WILL BE SUBMITTED AT TIME OF BUILDING SUBMITTAL. NOTE: THE DEMOLITION PERMIT WILL NOT BE ISSUED UNTIL A BUILDING PERMIT IS ISSUED FOR PROJECT.	
<b>CONSTRUCTION HOURS</b>	
1. NO PERSON SHALL ERECT (INCLUDING EXCAVATION AND GRADING), DEMOLISH, ALTER OR REPAIR ANY BUILDING OR STRUCTURE OTHER THAN BETWEEN THE HOURS LISTED BELOW.	
CONSTRUCTION HOURS	
WEEKDAYS:	8:00 A.M. - 7:00 P.M.
SATURDAYS:	9:00 A.M. - 6:00 P.M.
SUNDAYS AND HOLIDAYS:	NO WORK ALLOWED

All drawings & specifications provided as statements of service are the property of the designer. It is understood that the project is intended for any person, without the written consent of the designer. To duplicate or make copies of these documents, partly or in whole, for use for other projects & buildings.

**MECHANICAL NOTES:**

1. ALL WORK SHALL COMPLY WITH THE CALIFORNIA MECHANICAL CODE (CMC) AND ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES.
2. MECHANICAL CONTRACTOR TO ACCEPT SOLE RESPONSIBILITY FOR PROPER DESIGN AND INSTALLATION OF MECHANICAL SYSTEM. SEE MECHANICAL DWGS. BY OTHER FOR SPECIFIC INFORMATION.
3. MECHANICAL CONTRACTOR TO COORDINATE WITH GENERAL CONTRACTOR TO DESIGN AND INSTALL SUITABLE DISTRIBUTION SYSTEM PER TITLE 24. MECH. CONTRACTOR TO FIELD VERIFY AND DETERMINE SIZE AND CONFIGURATION OF DUCTS AND REGISTER. SEE SHEET INDEX FOR LOCATION OF TITLE 24 CONFORMANCE WORKSHEETS AND ENERGY COMPLIANCE NOTES WITHIN THIS SET. HVAC DUCTS LOCATED IN ATTIC SPACE SHALL BE PLACED AS CLOSE TO PERIMETER AS POSSIBLE SO AS NOT TO INTERFERE WITH USEABLE ATTIC STORAGE SPACE.
4. MECHANICAL LAYOUT SHOWN IS SCHEMATIC AND IS SHOWN FOR DESIGN INTENT ONLY.
5. PROVIDE COMBUSTION AIR SUPPLY TO GAS FIRED APPLIANCES BY COMBUSTION AIR DUCTS PER (CMC) & CPC. VERIFY DUCT SIZE WITH MANUFACTURER'S SPECIFICATIONS.
6. FURNACES OR BOILERS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA MECHANICAL CODE (CMC)
7. PER CMC, COMBUSTION AIR DUCTS FROM THE ATTIC SHALL BE LOCATED WITHIN THE UPPER AND LOWER 12 INCHES OF THE ENCLOSURE. DUCTS SHALL BE SEPARATE AND SHALL NOT BE OBSTRUCTED.
8. APPLIANCES DESIGNED TO BE FIXED IN POSITION SHALL BE SECURELY FASTENED IN PLACE. SUPPORTS FOR APPLIANCES SHALL BE DESIGNED AND CONSTRUCTED TO SUSTAIN VERTICAL AND HORIZONTAL LOADS AS REQUIRED BY CMC. WATER HEATERS TO BE SECURED WITH A MINIMUM OF 2 STRAPS, ONE EACH TO BE LOCATED IN THE UPPER AND LOWER THIRD OF THE UNIT.
9. UNDERCUT ALL INTERIOR DOORS (AS APPROPRIATE) FOR AIR RETURN CIRCULATION TO VENTS. TYPICAL OF INTERIOR CONDITIONED SPACES.
10. VERIFY ALL FIXTURE LOCATIONS WITH OWNER PRIOR TO INSTALLATION.
11. ALL FIXTURES TO BE SELECTED (OR APPROVED) BY OWNER.
12. EXHAUST FANS IN LAUNDRY AND BATHROOMS MUST CONNECT DIRECTLY TO THE OUTSIDE AND PROVIDE A MINIMUM OF 5 AIR CHANGES PER HOUR. EXHAUST FAN VENTS MUST TERMINATE A MINIMUM OF 3 FEET FROM ANY OPENINGS INTO THE BUILDING AND BE PROVIDED WITH BACKDRAFT DAMPERS.
13. AT NEW FORCED AIR FURNACE INSTALLATIONS PROVIDE 3" MIN. WORKING SPACE ALONG EACH SIDE (WITH A TOTAL OF AT LEAST 12" ON BOTH SIDES COMBINED), BACK AND TOP OF FURNACE.
14. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION.

**PLUMBING NOTES:**

1. VERIFY ALL FIXTURE LOCATIONS WITH OWNER PRIOR TO INSTALLATION.
2. ALL FIXTURES TO BE SELECTED AND (OR APPROVED) BY OWNERS.
3. ALL NEW WATER CLOSETS SHALL BE 1.28 GALLON/FLUSH MAXIMUM.
4. NO DISHWASHER MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD DISPOSER WITHOUT THE USE OF AN APPROVED AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHING MACHINE. LISTED AIR-GAPS SHALL BE INSTALLED WITH THE FLOOD LEVEL MARKING AT OR ABOVE FLOOD LEVEL OF SINK OR DRAINBOARD, WHICHEVER IS HIGHER
5. (N) ELECT. WATER HEATER, SEE TITLE-24, CONFIRM WITH OWNER, **RECIPROCATING PUMP AS OPTION.**

**ELECTRICAL NOTES:**

1. ALL WORK SHALL COMPLY WITH THE CALIFORNIA ELECTRIC CODE (CEC) AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND ORDINANCES.
2. PER CEC, ALL ELECTRICAL RECEPTACLES INSTALLED AT CRAWL SPACES AT OR BELOW GRADE, AND OUTDOORS SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER (G.F.C.I.) PROTECTION. ALL RECEPTACLES LOCATED IN BATHROOMS SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER (G.F.C.I.) PROTECTION.
3. SMOKE DETECTORS SHALL BE INSTALLED PER CBC. A DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO ROOMS USED FOR SLEEPING PURPOSES. A DETECTOR SHALL BE INSTALLED ON EACH LEVEL OF A MULTI-STORY DWELLING, INCLUDING BASEMENT LEVELS. IN SPLIT-LEVEL OR MULTI-LEVEL FLOORS, A SMOKE DETECTOR SHALL BE INSTALLED ON THE UPPER LEVEL, OR ON BOTH LEVELS IF THE LOWER LEVEL CONTAINS SLEEPING AREAS. WHERE THE CEILING HEIGHT OF A ROOM OPEN TO THE HALLWAY SERVING THE BEDROOMS EXCEEDS THAT OF THE HALLWAY BY 24 INCHES, SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH APPROVED MANUFACTURER'S INSTRUCTIONS. WHEN THE VALUATION OF AN ADDITION OR REPAIR EXCEEDS \$1,000.00, OR WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN AN EXISTING DWELLING, THE ENTIRE DWELLING SHALL BE PROVIDED WITH SMOKE DETECTORS LOCATED AS REQUIRED FOR NEW DWELLINGS. IN NEW CONSTRUCTION, REQUIRED SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. THE DETECTOR SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. SMOKE DETECTORS MAY BE SOLELY BATTERY OPERATED WHEN INSTALLED IN EXISTING BUILDINGS, OR IN BUILDINGS WITHOUT COMMERCIAL POWER, OR IN BUILDINGS WHICH UNDERGO ALTERATION, REPAIRS, OR ADDITIONS REGULATED AS OUTLINED ABOVE.
4. TELEPHONE OUTLETS TO BE PREWIRED BY SUBCONTRACTOR. CONTRACTOR TO COORDINATE AS REQUIRED. VERIFY LOCATION OF ALL TELEPHONE OUTLETS WITH OWNER PRIOR TO INSTALLATION.
5. ELECTRICAL OPENINGS (SWITCHES, RECEPTACLES, ETC.) ON OPPOSITE SIDES OF FIRE RATED WALLS SHALL BE MAINTAINED AT LEAST 24 INCHES APART.
6. PER CEC, RECEPTACLE SPACING SHALL NOT EXCEED 12 FEET MEASURED HORIZONTALLY ALONG THE WALL.
7. PER CEC, AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM; IN BATHROOMS, HALLWAYS, STAIRWAYS, ATTACHED GARAGES, AND DETACHED GARAGES WITH ELECTRICAL POWER, AND OUTDOOR ENTRANCES OR EXITS.
8. PER CEC, LIGHTING FIXTURES LOCATED WITHIN CLOTHES CLOSETS SHALL BE MOUNTED ON THE WALL ABOVE THE DOOR OR ON THE CEILING. CLEARANCES SHALL BE AS FOLLOWS:  
A. SURFACE MOUNTED INCANDESCENT FIXTURES - 12"  
B. SURFACE MOUNTED FLUORESCENT FIXTURES - 6" 9. ELECTRICAL CONTRACTOR RESPONSIBLE FOR PROVIDING NECESSARY TEMPORARY POWER.
10. VERIFY ANY AND ALL LANDSCAPE LIGHTING AND SWITCHES WITH OWNER PRIOR TO INSTALLATION OF ROUGH ELECTRICAL.
11. ALL ELECTRICAL HANGING FIXTURES TO BE SELECTED AND PURCHASED BY OWNER. VERIFY EXACT LOCATIONS WITH OWNER PRIOR TO INSTALLATION.

13. ALL INCANDESCENT LIGHTING FIXTURES RECESSED INTO INSULATED AREAS SHALL BE APPROVED FOR ZERO CLEARANCE INSULATION COVER PER 2019 CALIFORNIA ENERGY CODE AND RATED IC OR APPROVED EQUAL MEETING UL RATING OR OTHER TESTING /RATING LABORATORIES RECOGNIZED BY THE ICC.

14. THIS DRAWING IS FOR LAYOUT PURPOSES ONLY. NEW ELECTRICAL SHALL BE DESIGN-BUILD. NEW ELECTRICAL WORK SHALL BE DESIGNED AND BUILT IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND APPLICABLE CODES, STANDARDS AND REGULATIONS FOR BUILDING LIFE SAFETY, EMERGENCY, EGRESS AND NIGHT LIGHTING. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING SEPARATE PERMIT. ELECTRICAL CONTRACTOR TO PROVIDE COMPLETE DESIGN-BUILD ELECTRICAL SYSTEM AS REQUIRED TO PROVIDE THE (NEW) SERVICE SHOWN (SCHEMATICALLY) ON THE DRAWINGS.

**GENERAL NOTES:**  
ALL WORK SHALL COMPLY W/ THE 2019 EDITION OF THE CA. BUILDING CODE AND ALL OTHER CODES AND REQUIREMENTS, IN THEIR MOST RECENT EDITION INCLUDING THE FOLLOWING:

- 2019 CALIFORNIA PLUMBING CODE
  - 2019 CALIFORNIA MECHANICAL CODE
  - 2019 CALIFORNIA ELECTRICAL CODE
2. THE INTENTION OF THE CONSTRUCTION DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIAL, EQUIPMENT FACILITIES AND TRANSPORTATION NECESSARY FOR A COMPLETE AND PROPER EXECUTION OF THE WORK IN AN ACCEPTABLE INDUSTRY'S STANDARDS. CONTRACTOR IS TO OBTAIN ANY REQUIRED PERMITS FOR THIS OR HER WORK.
  3. THE MIN. ACCEPTABLE QUALITY OF MATERIALS, WORKMANSHIP, AND METHOD OF INSTALLATION SHALL MEET THE FOLLOWING CRITERION: CONFORM TO THE AMERICAN NATIONAL INSTITUTE STANDARDS WHERE SUCH STANDARDS EXISTS.
  4. CONTRACTOR SHALL PERFORM ALL ADDITIONAL ELECTRICAL, PLUMBING, AND FIRE PROTECTION WORK REQUIRED BY THE BUILDING DEPARTMENT.
  5. CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMISSION OF BID TO REVIEW SCOPE OF WORK, DEMOLITION, ETC.
  6. DO NOT SCALE DRAWINGS, CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO STARTING WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER FOR REVIEW.
  7. DIMENSIONS ARE TO FACE OF FRAMING, UNLESS OTHERWISE NOTED, (U.O.N.)
  8. DIMENSIONS NOTED CLEAR (CLR.) ARE NOT ADJUSTABLE WITHOUT APPROVAL FROM THE DESIGNER.
  9. SAFETY MEASURES: AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF PERSONS AND PROPERTY.
  10. CUTTING AND DEMOLITION SHALL BE DONE BY METHODS, WHICH WILL AND WILL NOT JEOPARDIZE STRUCTURAL INTEGRITY OF EXISTING CONSTRUCTION AND WILL NOT DAMAGE PORTIONS TO REMAIN.
  11. CONTRACTORS SHALL REMOVE, CUT, CAP, AND REPAIR, AS NECESSARY, ANY UTILITIES. INCLUDING BUT NOT LIMITED TO: ELECTRICAL, MECHANICAL, PLUMBING, AND FIRE SPRINKLERS, WHERE PARTITIONS ARE SCHEDULED FOR DEMOLITION OR ARE NO LONGER OPERATIONAL OR IN SERVICE. ALL OTHER EXISTING UTILITIES ARE TO REMAIN FULLY OPERATIONAL.
  12. IN GENERAL, THE OWNER RESERVES THE RIGHT TO RETAIN ALL MATERIALS AND EQUIPMENT REMOVED FROM THE PROJECT. ANY ITEMS OR MATERIAL NOT DESIRED BY THE OWNER ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.
  13. CONTRACTOR IS TO PROVIDE ALL NECESSARY DUST PROTECTION AND/OR BARRICADING REQUIRED TO PROTECT ADJACENT SPACES AND EXISTING FINISHES. CONTRACTOR IS RESPONSIBLE TO REPAIR ANY DAMAGES CAUSED BY CONTRACTOR OR THEIR SUB-CONTRACTORS.
  14. PATCH AND REPAIR ANY DAMAGES TO FLOORS, WALLS, CEILINGS, HARDWARE, FIXTURES, WINDOWS, ETC. AS A RESULT OF THE DEMOLITION PROCESS. MATCH EXISTING ADJACENT FINISHES AS CLOSELY AS POSSIBLE.
  15. IF ANY QUESTIONS ARISE TO THE INSTALLATION OF ANY MATERIALS AND/OR EQUIPMENT, OR WITH THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL CLARIFY THE QUESTIONS W/ THE DESIGNER BEFORE PROCEEDING. NO SUBSTITUTIONS SHALL BE MADE W/O THE DESIGNERS AND OR OWNERS APPROVAL.
  16. TOTAL THICKNESS OF NEW WALLS SHALL MATCH THAT OF ADJACENT WALLS.
  17. THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF WORK THAT MAY BE REQUIRED TO MAKE ITS PARTS FIT TOGETHER PROPERLY AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, EXCAVATION, OR OTHERWISE ALTERING THE TOTAL WORK OR ANY PART OF IT. ALL PATCHING REPAIRING, AND REPLACING OF MATERIALS AND SURFACES, CUT OR DAMAGE IN EXECUTION OF WORK, SHALL BE DONE W/ APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
  18. ALL WORK SHALL BE SCHEDULED AND PERFORMED SO AS NOT TO DISTURB ANY OTHER TENANTS IN THE BUILDING. ANY WORK THAT WILL DISTURB ANOTHER TENANT, ABOVE OR BELOW, OR IN THE FLOOR, SHALL BE PERFORMED MOST EXPEDITIOUSLY AND THE DISTURBED TENANT SHALL HAVE FULL USE OF THE PREMISE.
  19. ALL TRADES SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS, AND PERFORM ALL NECESSARY, INDICATED, REASONABLY INFERRED OR REQUIRED BY ANY CODE W/ JURISDICTION TO COMPLETE THEIR SCOPE OF WORK FOR A COMPLETE AND PROPER FINISHED JOB. ANY CUSTOMARY AND NECESSARY ITEMS WHICH ARE REASONABLY IMPLIED AND REQUIRED TO COMPLETE PROPERLY THE WORK OUTLINED SHALL BE FURNISHED, EVEN IF NOT SPECIFICALLY SHOWN ON THE DRAWINGS OR MENTIONED IN THE SPECIFICATION.
  20. CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION CLEAN-UP, DURING AND FINAL.
  21. THE AMERICANS WITH DISABILITIES ACT (ADA) IS SUBJECT TO VARIOUS AND POSSIBLY CONTRADICTIONARY INTERPRETATIONS. THESE PLANS AND ANY ACCOMPANYING SPECIFICATIONS ("PLANS") REPRESENT THE DESIGNER'S OPINION REGARDING ITS INTERPRETATION OF THE ADA AS IT APPLIES TO THE SUBJECT PROJECT. IT IS NOT IN ANY WAY A WARRANTY OR GUARANTEE THAT SAID PLANS COMPLY WITH ANY OR ALL POSSIBLE INTERPRETATIONS OF THE ADA BY OTHERS.



## 2020 BURLINGAME REACH CODE CHECKLIST

FOR NEW SINGLE FAMILY RESIDENTIAL CONSTRUCTION

PROJECT ADDRESS: 2229 ADELINE DR BURLINGAME, CA 94010

APN: 027-161-160 APPLICANT NAME: TIM RADUENZ

### 1. ENERGY EFFICIENCY AND ELECTRIFICATION

A project is deemed New Construction if it is a new building, from the ground up, or if the value of the addition(s), alteration(s) and repairs to an existing building is greater than 50% of the current replacement value of the existing building or structure as determined by the building official, and it includes new heating, cooling, (if present), and ventilation.  
Note: all projects must comply with mandatory elements of the 2019 Building Energy Efficiency Standards as well as this Reach Code. Choose All-Electric, or All-Electric Readiness:

- All-Electric.
  - No natural gas or propane appliances.
  - No gas meters or propane infrastructure.
  - Compliance with energy efficiency standards required by the State (no additional local energy efficiency requirements).

OR

- All-Electric Readiness. Check the box for each appliance which uses natural gas or propane and confirm that the electrical requirements are met for each:
  - Range/Cooktop - Dedicated 208/240V, 50A capacity receptacle within 3 feet
  - Fireplace, or Fire-pit - Receptacle with equivalent capacity, within 3 feet

### 2. SOLAR PHOTOVOLTAIC

- A photovoltaic system will be installed, sized per equation 150.1(C).
- This project is exempt, based on excessive shading and/or insufficient roof space, and therefore includes:
  - Installed solar domestic water heating system, OR
  - Demand responsive thermostat(s) plus one of the following:
    - EnergyStar Dishwasher
    - Home Automation System
    - Greywater Irrigation
    - Rainwater Catchment System

Compliance with exceptions under the 2019 Building Energy Efficiency Standards (Exception 6 to Section 110.10(b)1A, or Exception 4 to Section 110.10(b)1B):

- Installed solar domestic water heating system, OR
- Demand responsive thermostat(s) plus one of the following:
  - EnergyStar Dishwasher
  - Home Automation System
  - Greywater Irrigation
  - Rainwater Catchment System

For more information, please visit: [https://www.burlingame.org/departments/building/reach\\_codes.php](https://www.burlingame.org/departments/building/reach_codes.php), or contact Green Building Specialist Joe McCluskey: [jmcccluskey@burlingame.org](mailto:jmcccluskey@burlingame.org), 650.558.7273.

10-16-2020

2

### 3. GREEN BUILDING

- The permit application includes a completed 2019 Burlingame CALGreen Residential checklist. Download at: [www.burlingame.org/departments/building/forms\\_and\\_documents.php#outer-46](http://www.burlingame.org/departments/building/forms_and_documents.php#outer-46).

### 4. ELECTRIC VEHICLE (EV) CHARGING AND READINESS

- Complies with the California Green Building Standards Code Section 4.106.4;
- Complies with EV charging requirements specified below:

Single Family, Duplex, or Townhouses with attached private garages

- One parking space has a Level 2 EV Ready Circuit
- If there is a second parking space, it has a Level 1 Ready Space.
  - Meets required minimum electrical capacity

\* Definitions

- EV Level 2 Ready Circuit: A parking space equipped with a raceway, wiring, receptacle, and electrical capacity to the EV charging station. A minimum 208V/240V, 40 amp circuit with receptacle labeled "EV Vehicle Outlet" or, electrical vehicle supply equipment with a minimum output of 30 amps.
- EV Level 1 Ready Space: A parking space equipped with a raceway, wiring, receptacle, and electrical capacity to the EV charging station. A minimum 110V, 20 amp circuit with receptacle labeled "EV Vehicle Outlet" or, electrical vehicle supply equipment.

### 5. VERIFICATION

This form has been completed by TIM RADUENZ (name of FORM+ONE (company), the architect, designer, or qualified green building rater for the above listed project who verifies that it accurately represents the project plans.

Signature: T. Raduenz Date: 01.14.22

TIM RADUENZ  
Name

For more information, please visit: [https://www.burlingame.org/departments/building/reach\\_codes.php](https://www.burlingame.org/departments/building/reach_codes.php) or contact Green Building Specialist Joe McCluskey: [jmcccluskey@burlingame.org](mailto:jmcccluskey@burlingame.org), 650.558.7273.

10-16-2020

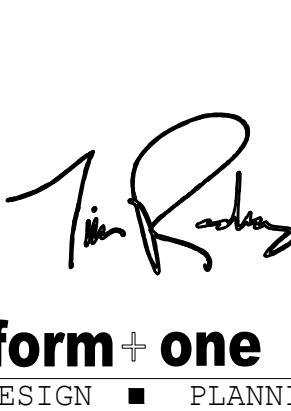
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Rev.:	Description:	Date:
001	RESPONSE TO PLANNING DEPT COMMENTS	05.19.22
002	RESPONSE TO PLANNING DEPT COMMENTS	06.06.22
003	RESPONSE TO PLANNING DEPT COMMENTS	06.06.22
004	RESPONSE TO PLANNING DEPT COMMENTS	06.24.22
005		
006		

Contractor:

Owner: MR. + MRS. CAMERON FOSTER  
4943 SILVER SPRINGS DRIVE  
Park City, UT 84098  
Ph: 415.819.0304  
E-mail: [TIM@FORMONEDSIGN.COM](mailto:TIM@FORMONEDSIGN.COM)

4943 SILVER SPRINGS DRIVE  
Park City, UT 84098  
Ph: 415.819.0304  
E-mail: [TIM@FORMONEDSIGN.COM](mailto:TIM@FORMONEDSIGN.COM)



Title: General Notes  
Project: MR. AND MRS. CAMERON FOSTER  
2229 Adeline Drive  
Burlingame CA 94010  
Job No.: 21\_40  
Drawn: TIM RADUENZ  
Date: 12-22-21



Sheet  
Scale: N/A  
See Details

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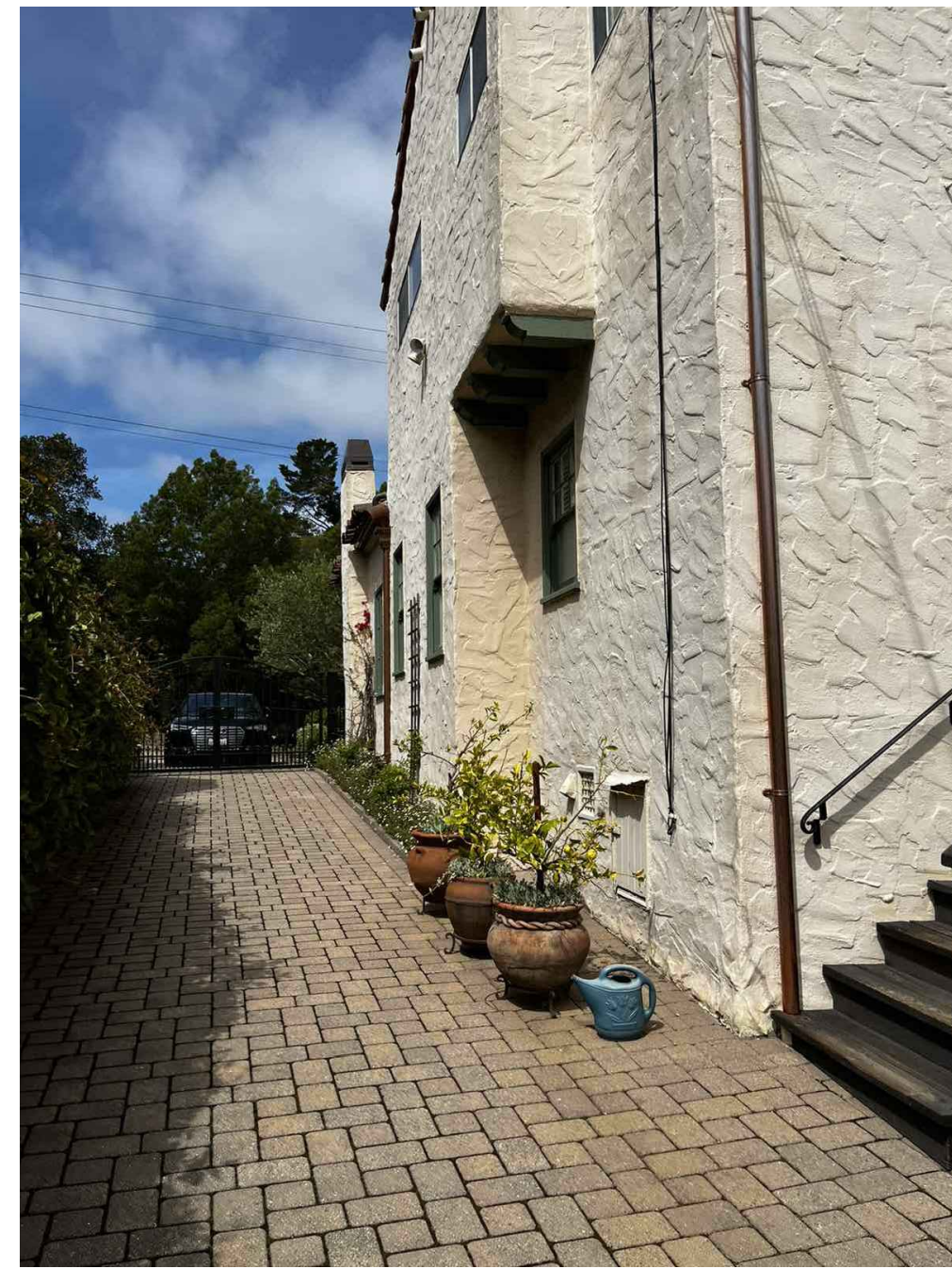
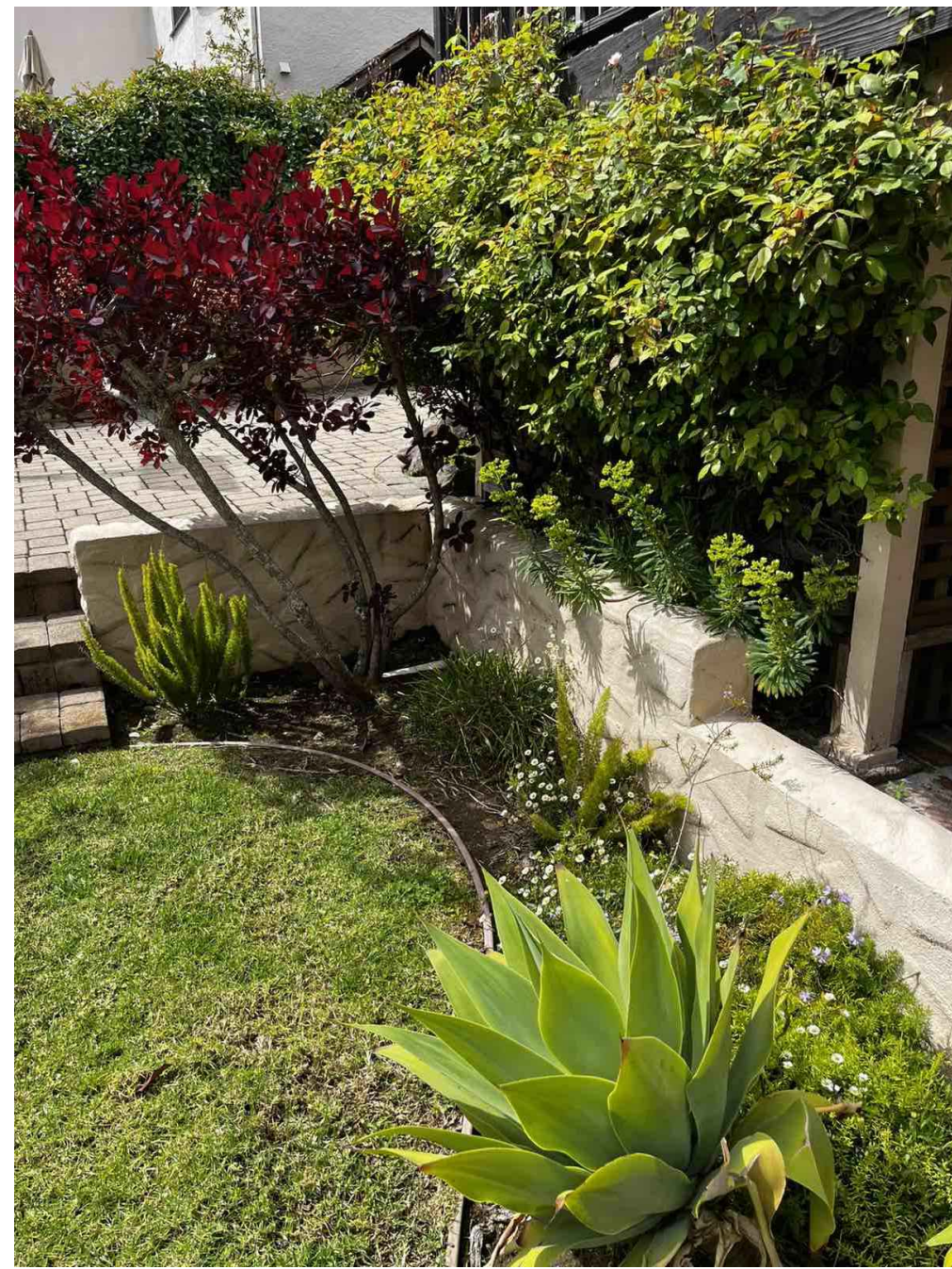
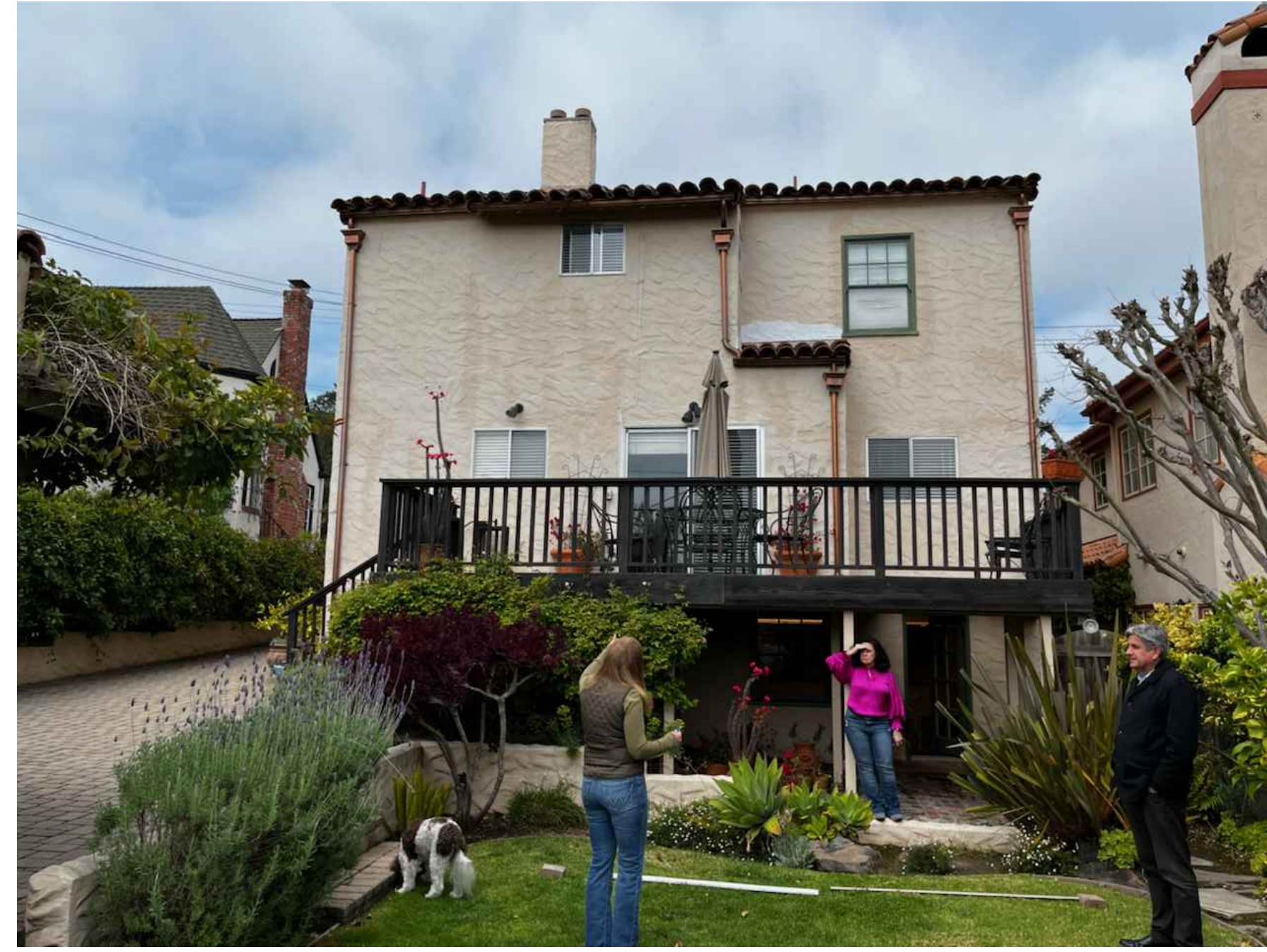


Scale: N/A

PLANNING SET

APN#: 027-161-160

All drawings & specifications provided as statements of service are the property of the designer whether the project is executed or not. It is understood by any person, without the written consent of the designer, to duplicate or make copies of these documents, partly or in whole, for use for other projects & buildings.



EXISTING LANDSCAPING

Scale: NA

1 GN

Title : Photos of Existing

Project : MR. AND MRS. CAMERON FOSTER  
2229 Adeline Drive  
Burlingame CA 94010

Job No. : 21\_40 Drawn : TIM RADEWZ Date : 12-22-21

form + one  
DESIGN ■ PLANNING

4943 SILVER SPRINGS DRIVE  
Park City, UT 84098  
PH: 415.819.0304  
E-mail: TIM@FORMONEDSIGN.COM

*Tim Radewz*

Owner :  
MR. + MRS. Cameron Foster  
2229 Adeline Drive  
Burlingame, CA 94010  
Zoning: RL

Contractor :

APN#: 027-161-160  
PLANNING SET

Revisions

Rev.:	Description :	Date :
001	RESPONSE TO PLANNING DEPT COMMENTS 05.16.22	05.19.22
002	RESPONSE TO PLANNING DEPT COMMENTS 04.03.22	06.06.22
003	RESPONSE TO PLANNING DEPT COMMENTS 06.24.22	06.24.22
005		
006		

PH

Sheet  
Scale: See Details

All drawings & specifications provided as statements of service are the property of the designer. It is understood that the project is intended for use for other projects & buildings.



**2019 CALIFORNIA GREEN BUILDING CODE  
RESIDENTIAL CHECKLIST**

*New residential buildings must be designed to include the Green Building Mandatory Measures specified in this checklist. These Green Building Mandatory Measures also apply to additions or alterations of existing residential buildings which increase the building's conditioned area, volume, or size. These requirements apply only to the specific area of addition or alteration.* 2019 CGC §301.1.1

Permit Number: \_\_\_\_\_ Project Address: 2229 ADELINE DRIVE

**Specify which sheet includes the Measure, and add specific details listing where the measure is located on that page. Include exact code sections on plans.**

Green Building Measure	Plan Sheet, And details
<b>SITE DEVELOPMENT (2019 CGC §4.106)</b>	
Projects that disturb less than one acre shall develop and implement a plan to manage storm water drainage <b>DURING CONSTRUCTION</b> . A BMP page is sufficient. 2019 CGC §4.106.2	SW / A1.0 CG#1
Plans shall indicate how Grading and Paving will prevent surface water flows from entering buildings. Exception: Projects that do not alter the drainage path. 2019 CGC §4.106.3	A1.0 CG#2
Electric Vehicle (EV) Charging, parking spaces: comply with relevant sections. 2019 CGC §4.106.4	G2.0/ A1 CG#3
<b>ENERGY EFFICIENCY (2019 CGC and the 2019 California Building Energy Efficiency Standards)</b>	
2019 Energy Code performance (T-24) compliance documentation must be provided in 8-1/2" X 11" format, and must be replicated on the plans. 2019 CEC §150.1 (b)	ME4.0.4.1/4.2/4.3
<b>BUILDING ENVELOPE INSULATION</b> , climate zone 3, Table 150.1-A, and B:	A2.0, #7
Below Roof Deck, No Insulation is required.	Not Required
Ceiling Insulation, Minimum R-30 Insulation Required.	A2.0, #3
Radiant Barrier, Required, per Section 110.8(j) and Reference Residential Appendix RA4.	A2.1, #1
Walls, Above or Below Grade, meet standards in Table 150.1-A, or B.	A2.0, #8
Floors, Slab perimeter NR, Raised R-19, Concrete Raised U Factor 0.269.	A2.0, #4
Quality Insulation Installation Inspection (QII) is Required by a third party.	A2.0, #9
Hot water piping insulation required: 3/4 inch or larger. 2019 CEC §150.0 (j) 2 A i, ii, iii	A2.0, #28
Lighting: luminaires shall meet the requirements in Table 150.0-A, 2019 CEC §150.0 (k)	ME2.0, #1
Fenestration Maximum U-factor 0.30. No SHGC requirement. Table 150.1-A, and B	A9.0, CG#8
Maximum Total Area, 20%, no maximum for West Facing Area Table 150.1-A, and B	A9.0, CG #10
Door Maximum U-factor 0.20. Table 150.1-A, and B	A9.0, CG #11
Whole House Fan, none required in climate zone 3. Table 150.1-A, and B	ME2.0, #3
PV: new low-rise residential only, per equation 150.1-C, Annual Photo Voltaic Output	TITLE SHEET / + TITLE 24

Green Building Measure	Plan Sheet, And details
Duct insulation: minimum (R-6) required. 2019 CEC §150.0 (m) 5	ME2.0 #38
Duct leakage testing: 5% with air handler. 2019 CEC §150.0 (m) 11	ME2.0 #39
Water heating: 120 volt, 20 Amp receptacle < 3 ft., Cat III or IV vent, condensate drain, and gas supply line capacity of at least 200,000 Btu / hour. 2019 CEC §150.0 (n)	ME2.0 #41
Third-party HERS verification for ventilation and indoor air quality. 2019 CEC §150.0 (o)	ME2.0 #42
Maximum U-factor (0.58) for fenestration and skylights. 2019 CEC §150.0 (q)	A9.0 CG#8
<b>INDOOR WATER USE (2019 CGC §4.3)</b>	
The effective flush volume of water closets will not exceed 1.28 gal / flush. 2019 CGC §4.303.1.1	A2.0 / NOTE #37
For dual flush toilets average two reduced flushes with one full flush.	
The effective flush volume of urinals will not exceed 0.125 gal / flush. 2019 CGC §4.303.1.2	
Maximum flow rate for showers shall be 1.8 GPM, at 80 psi. 2019 CGC §4.303.1.3	
Maximum flow rate for lavatory faucets shall be 1.2 GPM, at 60 psi. 2019 CGC §4.303.1.4.1	A2.0 / NOTE #37
Maximum flow rate for kitchen faucets shall be 1.8 GPM, at 60 psi. Can temporarily increase to 2.2 GPM, but must default back to maximum flow rate of 1.8 GPM 2019 CGC §4.303.1.4.4	
<b>OUTDOOR WATER USE (2019 CGC §4.4)</b>	
Residential developments shall submit a California Department of Water Resources' Model Water Use Efficient Landscape (MWEL0) checklist. 2019 CGC §4.304.1	A1.0 / #1
<b>ENHANCED DURABILITY AND REDUCED MAINTENANCE (2019 CGC §4.406)</b>	
Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls, shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry, or similar method acceptable to the enforcing agency. 2019 CGC §4.406.1	ME2.0, #47
<b>CONSTRUCTION WASTE MANAGEMENT (2019 CGC §4.408)</b>	
Recycle and/or salvage a minimum 65% of the non-hazardous construction and demolition waste. This is not applicable to soil and land clearing debris. 2019 CGC §4.408	T1.0 CG#2
<b>BUILDING MAINTENANCE AND OPERATION (2019 CGC §4.410)</b>	
An operation and maintenance manual will be provided at final inspection. 2019 CGC §4.410.1	T1.0
For buildings with more than 4 multi-family units provide for recycling. 2019 CGC §4.410.2	
<b>FIREPLACES (2019 CGC §4.503)</b>	
Any installed gas fireplaces will be direct-vent, sealed-combustible type. 2019 CGC §4.503.1	A2.0 / ME2.0
Any installed woodstove or pellet stove shall comply with U.S. EPA NSPS emission limits.	
<b>POLLUTANT CONTROL (2019 CGC §4.504)</b>	
At the time of rough installation, during storage on the construction site, and until final startup of the HVAC equipment, all duct and other related air distribution components openings will be covered with tape, plastic, sheet metals, or other methods acceptable to the enforcing agency to reduce the amount of water, dust, or debris that may enter the system. 2019 CGC §4.504.1	ME2.0 #48
Adhesives, sealants, and caulks used on the project shall follow local and regional air pollution or air quality management district standards. 2019 CGC §4.504.2.1	A2.0 POL. CTRL. #7
Paints and coatings will comply with VOC limits. 2019 CGC §4.504.2.2	A2.0 POL. CTRL. #9
Aerosol paints and coatings will meet the Product-weighted MIR limits for ROC, and comply with percent VOC by weight of product limits, Regulation 8, Rule 49. 2019 CGC §4.504.2.3	A2.0 POL. CTRL. #6
Documentation shall verify compliance for VOC finish materials. 2019 CGC §4.504.2.4	A2.0 POL. CTRL. #2
Carpet systems will meet CALGREEN testing and product requirements. 2019 CGC §4.504.3	A2.0 POL. CTRL. #3

Green Building Measure	Plan Sheet, And details														
Where resilient flooring is installed, at least 80% of the floor area receiving resilient flooring will comply with the California Green Building Code requirements. 2019 CGC §4.504.4	A2.0 POL. CTRL. #4														
Hardwood plywood, particleboard, and medium density fiberboard composite wood products shall comply with the low formaldehyde emission standards. 2019 CGC §4.504.5	A2.0 POL. CTRL. #5														
<b>INTERIOR MOISTURE CONTROL (2019 CGC §4.505)</b>															
A capillary break will be installed if a slab on grade foundation system is used. 2019 CGC §4.505.2	A2.0, #20														
Building materials with visible signs of water damage will not be installed. Wall and floor framing will not be enclosed when the framing members exceed 19% moisture content. Moisture content will be verified prior to finish material being applied. Replace wet insulation products, or allow to dry before enclosure. 2019 CGC §4.505.3	A2.0, #21														
<b>INDOOR AIR QUALITY AND EXHAUST (2019 CGC §4.506)</b>															
Exhaust fans that are ENERGY STAR compliant, ducted and that terminate outside the building will be provided in every bathroom (bathtub, shower, or shower/tub combo). 2019 CGC §4.506.1	ME2.0 #49														
Unless functioning as a component of a whole-house ventilation system, fans must be controlled by a humidity control. 2019 CGC §4.506.1															
<b>ENVIRONMENTAL COMFORT (2019 CGC §4.507)</b>															
The heating and air-conditioning system will be sized, designed and have their equipment selected using the following methods: Heat Loss/Heat Gain values in accordance with ANSI/ACCA 2 Manual J-2016 or equal; Duct systems are sized according to ANSI/ACCA 1, Manual D-2016 or equivalent; Select heating and cooling equipment in accordance with ANSI/ACCA 3, Manual S-2014 or equivalent. 2019 CGC §4.507	ME2.0 #51														
<b>INSTALLER AND SPECIAL INSPECTOR QUALIFICATION (2019 CGC §702)</b>															
HVAC system installers will be trained and certified in the proper installation of HVAC systems and equipment by a recognized training/certification program. 2019 CGC §702.1	ME2.0 #52														
When required by the enforcing agency, shall employ Special Inspectors 2019 CG §702.2	ME2.0 #50														
<b>VERIFICATION (2019 CGC §703)</b>															
Upon request, verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the Building Division that will show substantial conformance with the 2019 Code requirements. 2019 CGC §703.1	T1.0 CG#4														
<table border="1"> <thead> <tr> <th>Responsible Designer's Declaration Statement</th> <th>Contractor's Declaration Statement</th> </tr> </thead> <tbody> <tr> <td>I hereby certify that this project has been designed to meet the requirements of the 2019 Green Building Code.</td> <td>I hereby certify, as the builder or installer, under permit listed herein, that this project will be constructed to meet the requirements of the 2019 Green Building Code.</td> </tr> <tr> <td>Name: TIM RADUENZ - FORM+ONE</td> <td>Name:</td> </tr> <tr> <td>Address: 4843 SILVER SPRINGS DRIVE</td> <td>Address:</td> </tr> <tr> <td>City/State/Zip Code: PARK CITY, UT 84098</td> <td>City/State/Zip Code:</td> </tr> <tr> <td>Signature: </td> <td>Signature:</td> </tr> <tr> <td>Date: 04.06.22</td> <td>Date:</td> </tr> </tbody> </table>		Responsible Designer's Declaration Statement	Contractor's Declaration Statement	I hereby certify that this project has been designed to meet the requirements of the 2019 Green Building Code.	I hereby certify, as the builder or installer, under permit listed herein, that this project will be constructed to meet the requirements of the 2019 Green Building Code.	Name: TIM RADUENZ - FORM+ONE	Name:	Address: 4843 SILVER SPRINGS DRIVE	Address:	City/State/Zip Code: PARK CITY, UT 84098	City/State/Zip Code:	Signature:	Signature:	Date: 04.06.22	Date:
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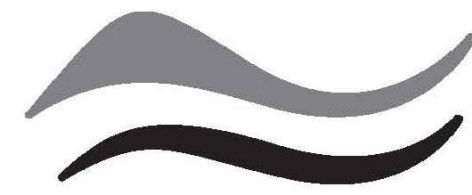
Rev. #	Description	Date
001		
002		
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Contractor: \_\_\_\_\_  
Owner: TBA  
TBA  
2229 Adeline Drive  
Burlingame CA 94010  
Zoning: R1

4843 SILVER SPRINGS DRIVE  
Park City, UT 84098  
PH: 415.819.0304  
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Title: Cal Green  
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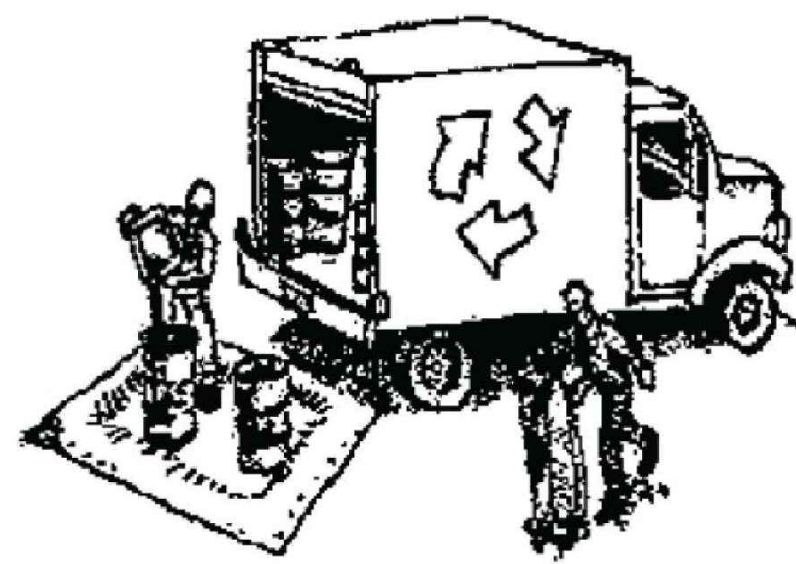


SAN MATEO COUNTYWIDE  
**Water Pollution  
Prevention Program**  
Clean Water. Healthy Community.

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



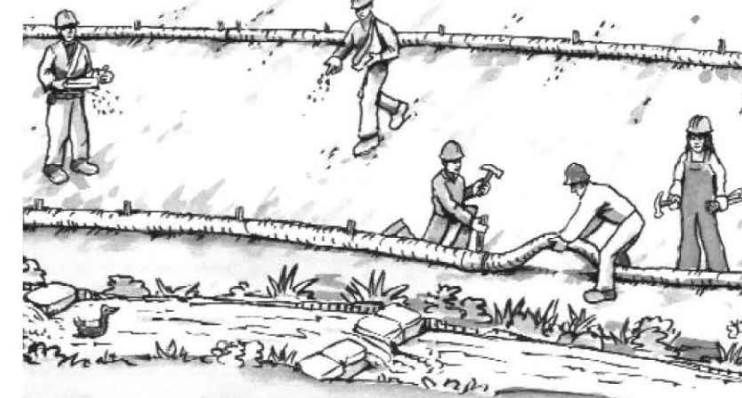
### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

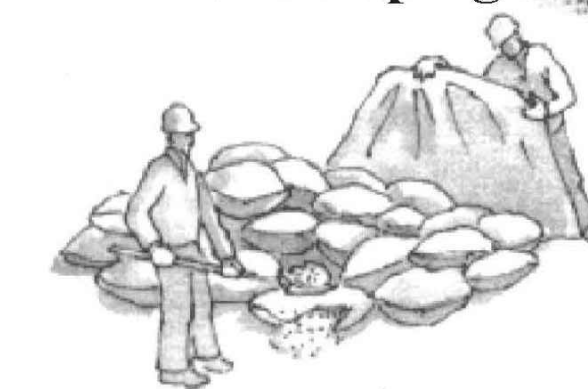
- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



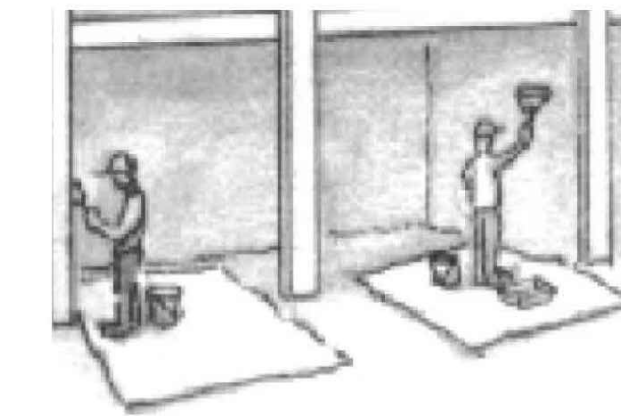
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

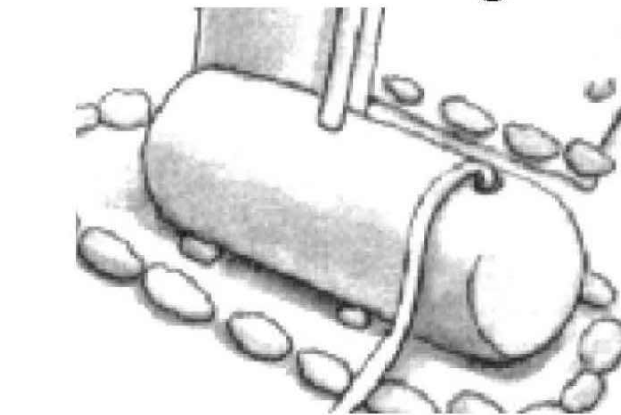
## Painting & Paint Removal



### Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**

All drawings & specifications provided in statements of service are the property of the designer. It is intended for use for other projects & buildings. No duplicate or make copies of these documents, partly or in whole, for use for other projects & buildings.

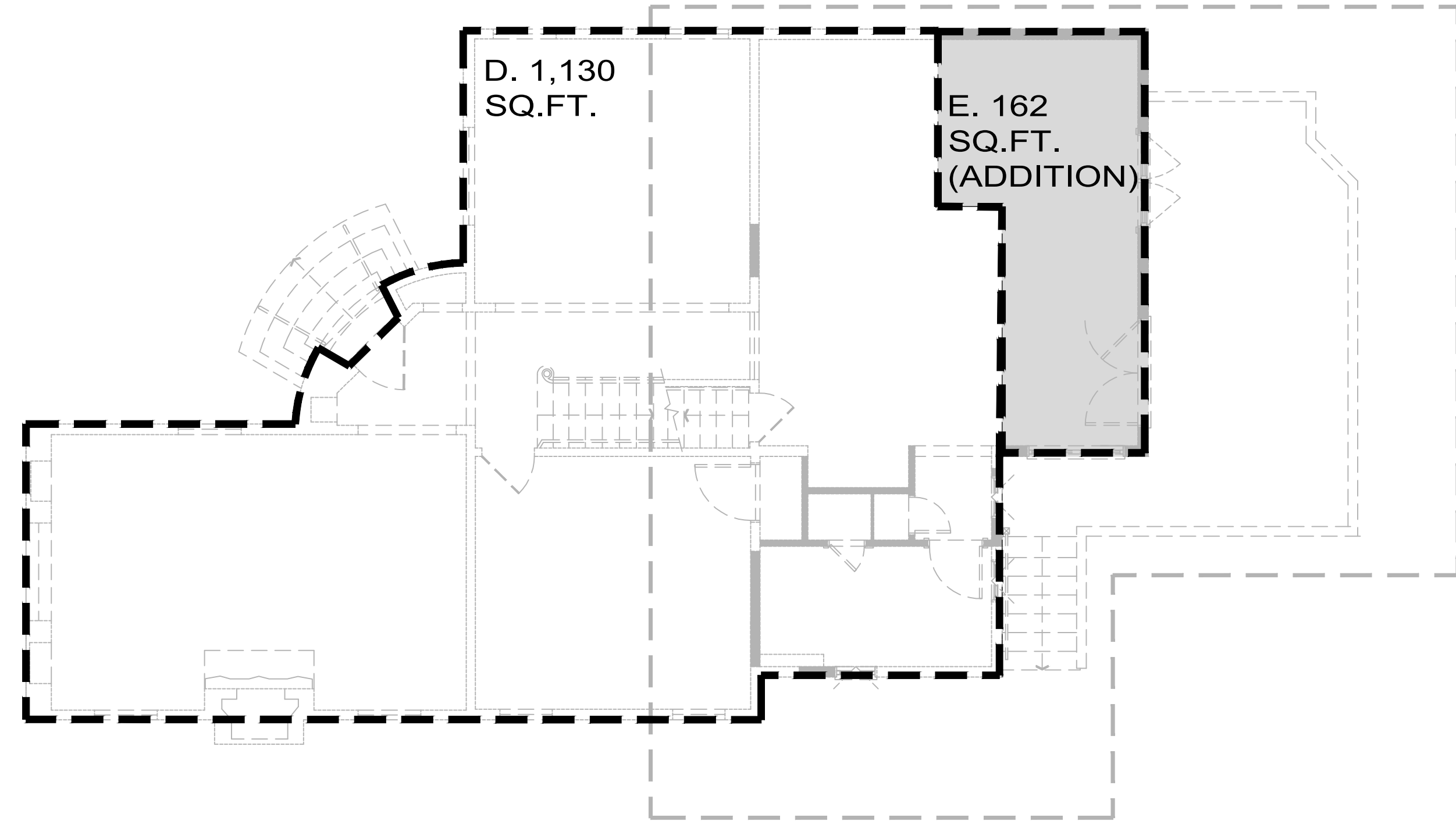
Rev. #	Description	Date
001		
003		
004		
006		

Contractor :  
Owner :  
TBA  
2229 Adeline Drive  
Burlingame CA 94010  
Zoning: RL  
APN#: 027-161-160  
PLANNING SET

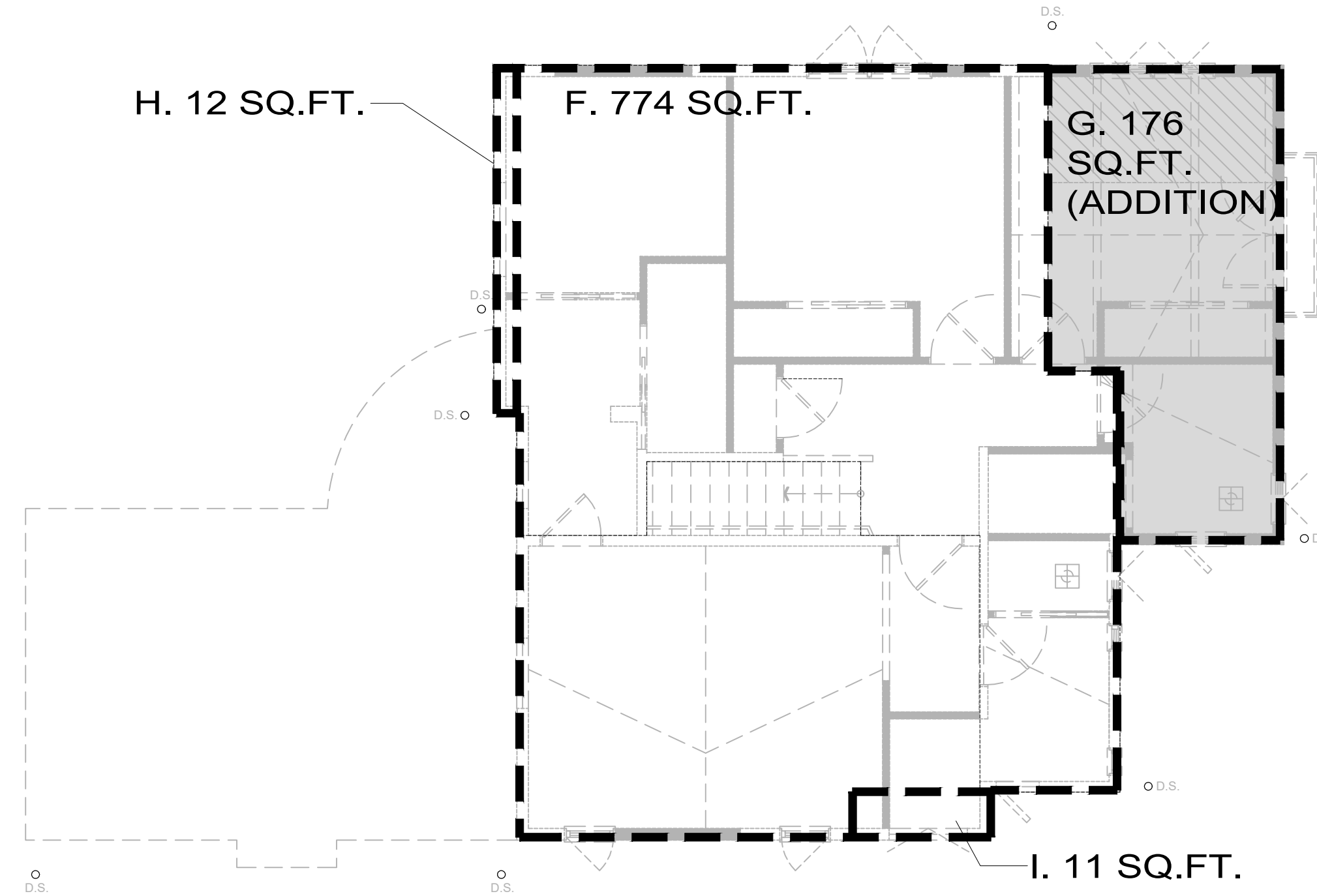


Title : **BMPs & Pollution Prevention**  
Project : **MR. AND MRS. CAMERON FOSTER**  
2229 Adeline Drive  
Burlingame CA 94010  
Job No. : 21\_40  
Drawn : TIM RAUENZ  
Date : 12-22-21

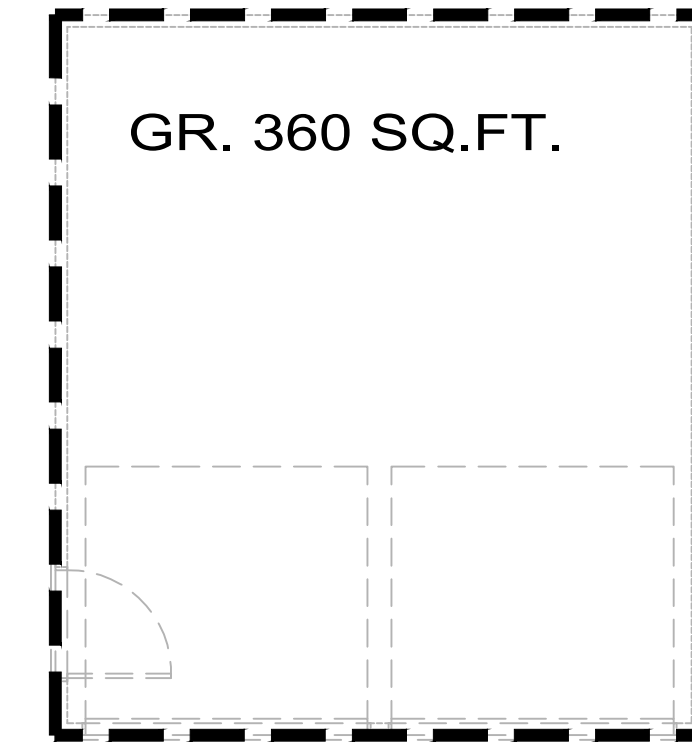
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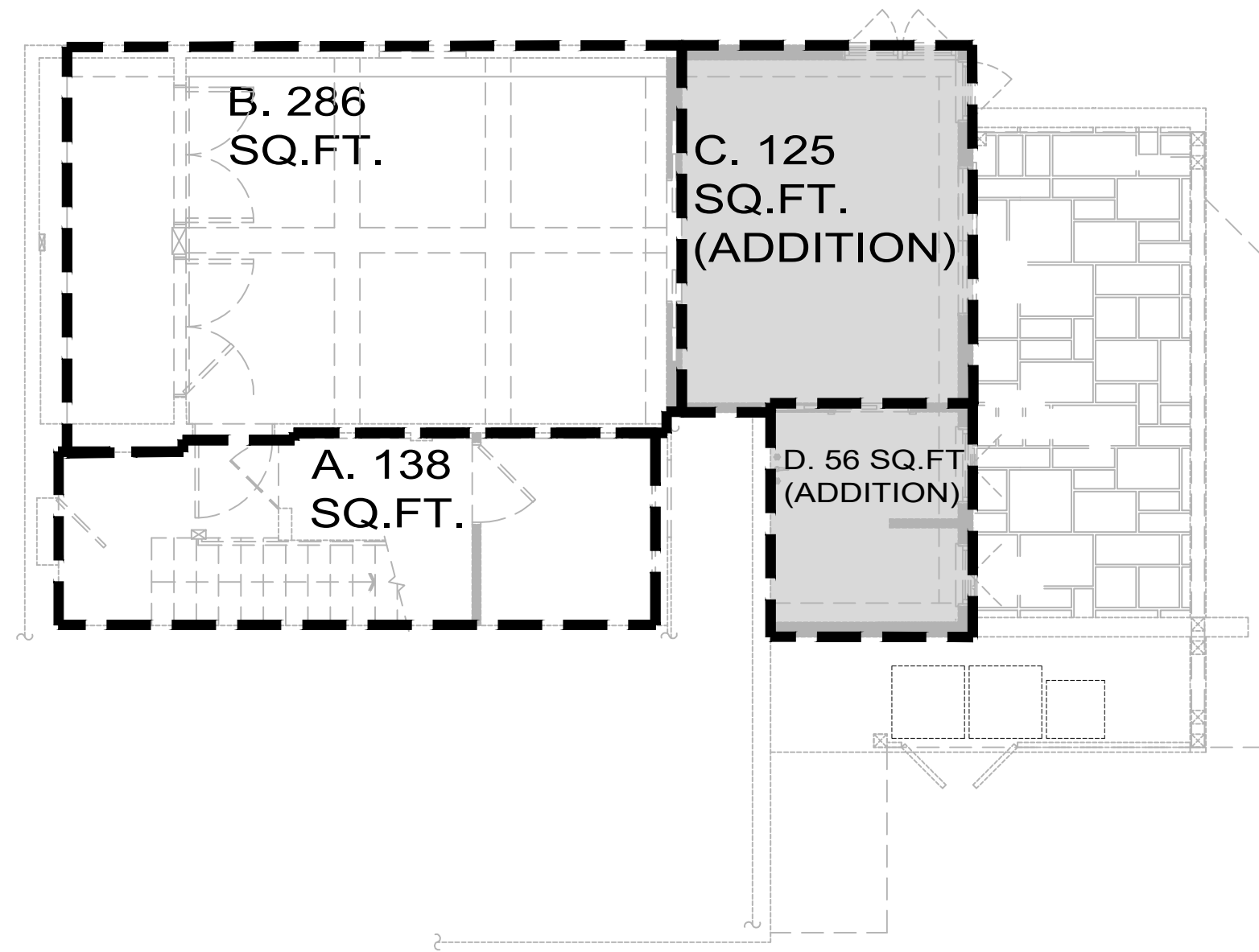
**FLOOR AREA CALC.** 2  
(MAIN FLOOR) Scale: 3/16" = 1'-0" FAR



**FLOOR AREA CALC.** 3  
(UPPER FLOOR) Scale: 3/16" = 1'-0" FAR



**FLOOR AREA CALC.** 4  
(GARAGE) Scale: 3/16" = 1'-0" FAR



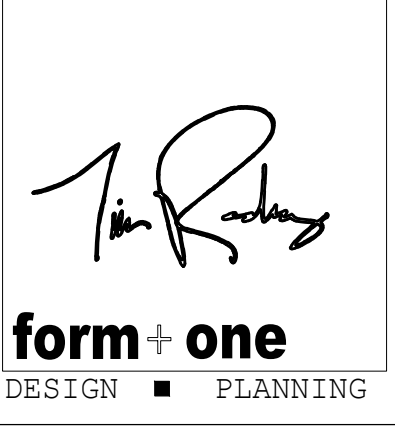
**FLOOR AREA CALC.** 1  
(ADU) Scale: 3/16" = 1'-0" FAR



DETAILS		COMPLETE FAR		
APN = 027-161-160				
LOT SIZE: 5,190 SQ. FT.				
FAR = (LOT SIZE X .32) + 1,100 = MAX LOT COVERAGE = (5,190 X .32) + 1,100 = <b>2,760.80 SQ.FT.</b> * 100 SQ.FT. ALLOWED FOR COVERED PORCH **400 SQ.FT. ADDED FOR DETACHED GARAGE				
LOT COVERAGE = LOT SIZE X .40 = MAX LOT = 5,190 X .40 = <b>2,076 SQ.FT.</b>				
FLR	LOCATION	FAR SQ. FT.	LOT COVERAGE SQ. FT.	REMARKS
BMST	A	138	-	EXISTING BASEMENT (REMAINING AS BASEMENT)
	SUBTOTAL	138	-	
	1ST FLR			
1ST FLR	D	1,130	1,130	EXISTING FIRST FLOOR
	E	162	162	ADDITION
	SUBTOTAL	1,292	1,292	
	2ND FLR			
2ND FLR	F	774	-	EXISTING SECOND FLOOR
	G	176	-	ADDITION
	H	12	12	EXISTING SECOND FLOOR
	I	11	11	EXISTING SECOND FLOOR
SUBTOTAL	973	23		
GR	GR.	0	360	**DEDUCT 360 SQ. FT. FOR DETACHED GARAGE
	SUBTOTAL	0	360	
ADU	B	-	-	(N) ADU (IN EXISTING BASEMENT)
	C	-	-	(N) ADU (ADDITION)
	D	-	-	(N) ADU (ADDITION)
	SUBTOTAL	-	-	
FAR TOTAL		2,403 SQ.FT.		2,760.80 MAX ALLOWABLE SQ. FT. *200 SQ.FT. ALLOWED FOR COVERED PORCH **400 SQ.FT. DEDUCTED FOR DETACHED GARAGE
LOT COVERAGE TOTAL			1,652 SQ.FT.	2,076 MAX ALLOWABLE LOT COVERAGE

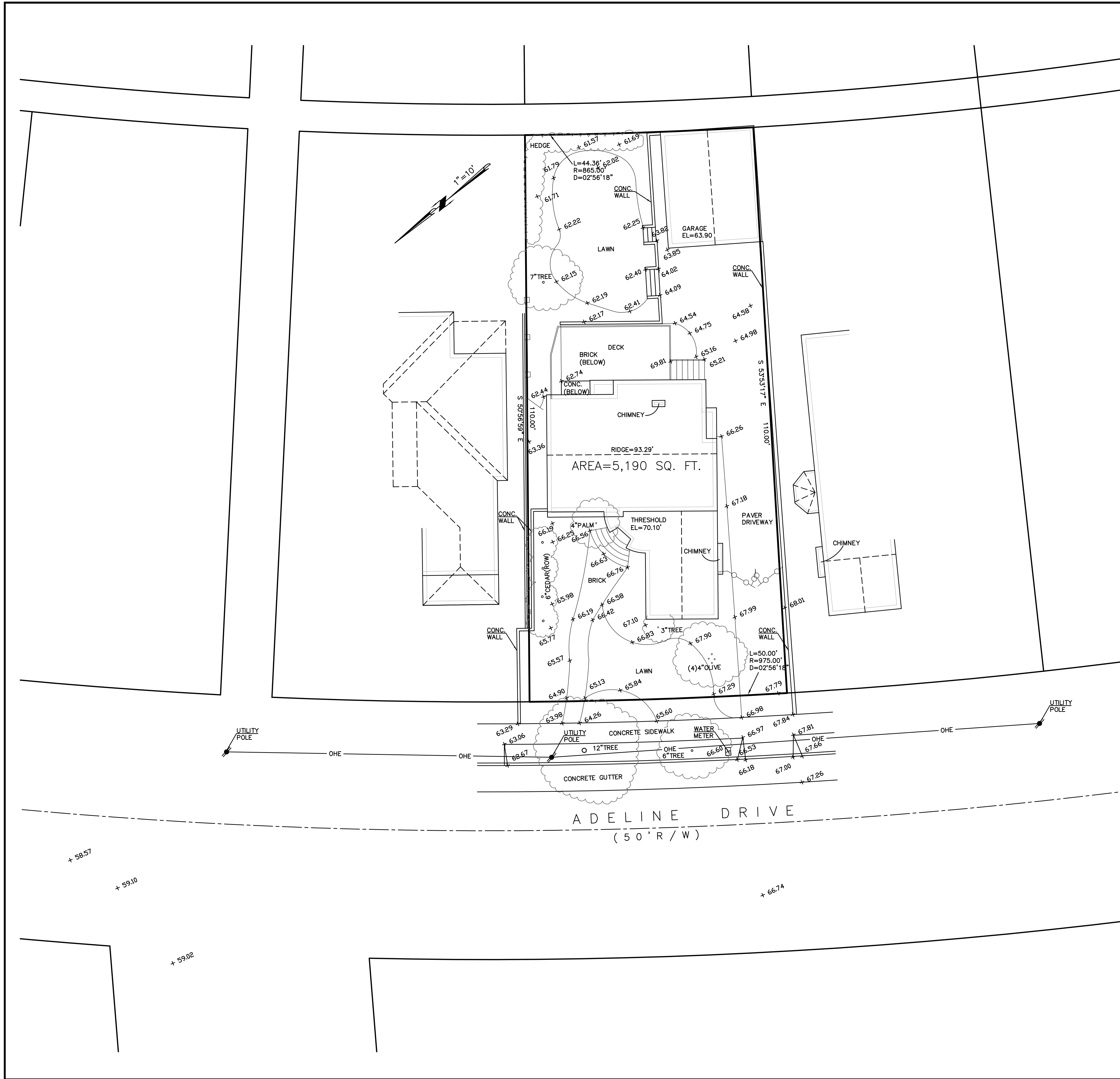
Rev. #	Description	Date
001	RESPONSE TO PLANNING DEPT COMMENTS 05.16.22	05.19.22
002	RESPONSE TO PLANNING DEPT COMMENTS 06.03.22	06.06.22
003	RESPONSE TO PLANNING DEPT COMMENTS 06.24.22	06.24.22
004		
005		
006		

Contractor :  
 Owner : MR. & MRS. CAMERON FOSTER  
 2229 Adeline Drive  
 Burlingame, CA 94010  
 zoning: R1  
 APN#: 027-161-160  
 4643 SILVER SPRINGS DRIVE  
 Park City, UT 84098  
 Ph: 415.819.0304  
 E-mail: TIM@FORMONEDESIGN.COM



Title : Floor Area Calc.  
 Project : MR. AND MRS. CAMERON FOSTER  
 2229 Adeline Drive  
 Burlingame CA 94010  
 Job No. : 21\_40  
 Drawn : TIM BABUENZ  
 Date : 12-22-21

**FAR**  
 Sheet  
 Scale: See Details



**BENCHMARK STATEMENT:**  
 THE ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM.

**SURVEYOR'S STATEMENT:**  
 THIS TOPOGRAPHIC SURVEY WAS MADE BY ME OR UNDER MY DIRECTION ON THE GROUND AND REPRESENTS MEASUREMENTS MADE JANUARY 2022. THE BOUNDARY SHOWN IS A RECORD BOUNDARY ONLY. A TITLE REPORT WAS NOT PROVIDED TO THE SURVEYOR BY THE CLIENT. NO PROPERTY CORNERS WERE FOUND ON THE SUBJECT PROPERTY AND NO WARRANTY IS MADE ABOUT THE BOUNDARY SHOWN. NO EASEMENTS ARE SHOWN.

*Savior P. Micallef*  
 SAVIOR P. MICALLEF  
 LAND SURVEYOR, LS 8289  
 (805) 709-2423



01-28-22  
 DATE

SAVIOR P. MICALLEF, LAND SURVEYING  
 421 WILWOOD DRIVE  
 SOUTH SAN FRANCISCO, CA 94080  
 805/709-2423

TOPOGRAPHIC SURVEY OF  
 2229 ADELINE DRIVE, BURLINGAME  
 SAN MATEO COUNTY CALIFORNIA

Date	01-28-22
Scale	1"=10'
Design	SPM
Drawn	SPM
Approved	SPM
Job No.	
Drawing Number:	

# GENERAL NOTES & SCOPE

1. PROTECT ALL EXISTING TREES DURING CONSTRUCTION, CONSULT ARBORIST AS REQUIRED.
2. NO EXISTING TREES OVER 48" IN CIRCUMFERENCE AT 54" FROM BASE OF TREE MAY BE REMOVED WITHOUT A PROTECTED TREE PERMIT FROM THE PARKS DIVISION (558-7330) NO TREES ARE TO BE REMOVED FOR THIS PROJECT.
3. WATER CONSERVATION IN LANDSCAPE ORDINANCE NOT REQUIRED SINCE LANDSCAPE WILL NOT BE REHABILITATED AS NOTED ON PLANS.
4. A PLAN HAS BEEN DEVELOPED, AND WILL BE IMPLEMENTED, TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. CGC 4.106.2 & CGC 4.106.3
5. ALL SPRINKLER DRAINAGE SHALL BE PLACED INTO LANDSCAPING AREAS
6. (N) A/C EQUIPMENT SHALL NOT EXCEED A MAXIMUM OUTDOOR NOISE LEVEL OF 60 DBA DAYTIME (7AM-10PM OR DBA NIGHTTIME (10 PM-7 AM) AS MEASURED FROM THE PROPERTY LINE. PER BURLINGAME MUNICIPAL ZONING CODE 25.58.050.
7. (E) LANDSCAPE TO REMAIN AND SHALL BE PROTECTED DURING CONSTRUCTION. LANDSCAPE SHALL BE REHABILITATED POST-CONSTRUCTION IF NEEDED.
8. IF PUBLIC WORKS REQUIRES SIDEWALK REPLACEMENT, POLICY FOR EXPANDING WIDTH OF PLANTER STRIP NEEDS TO BE IMPLEMENTED.

# STREET TREES

1. PROTECT ALL STREET TREES DURING CONSTRUCTION

# PUBLIC WORKS NOTES

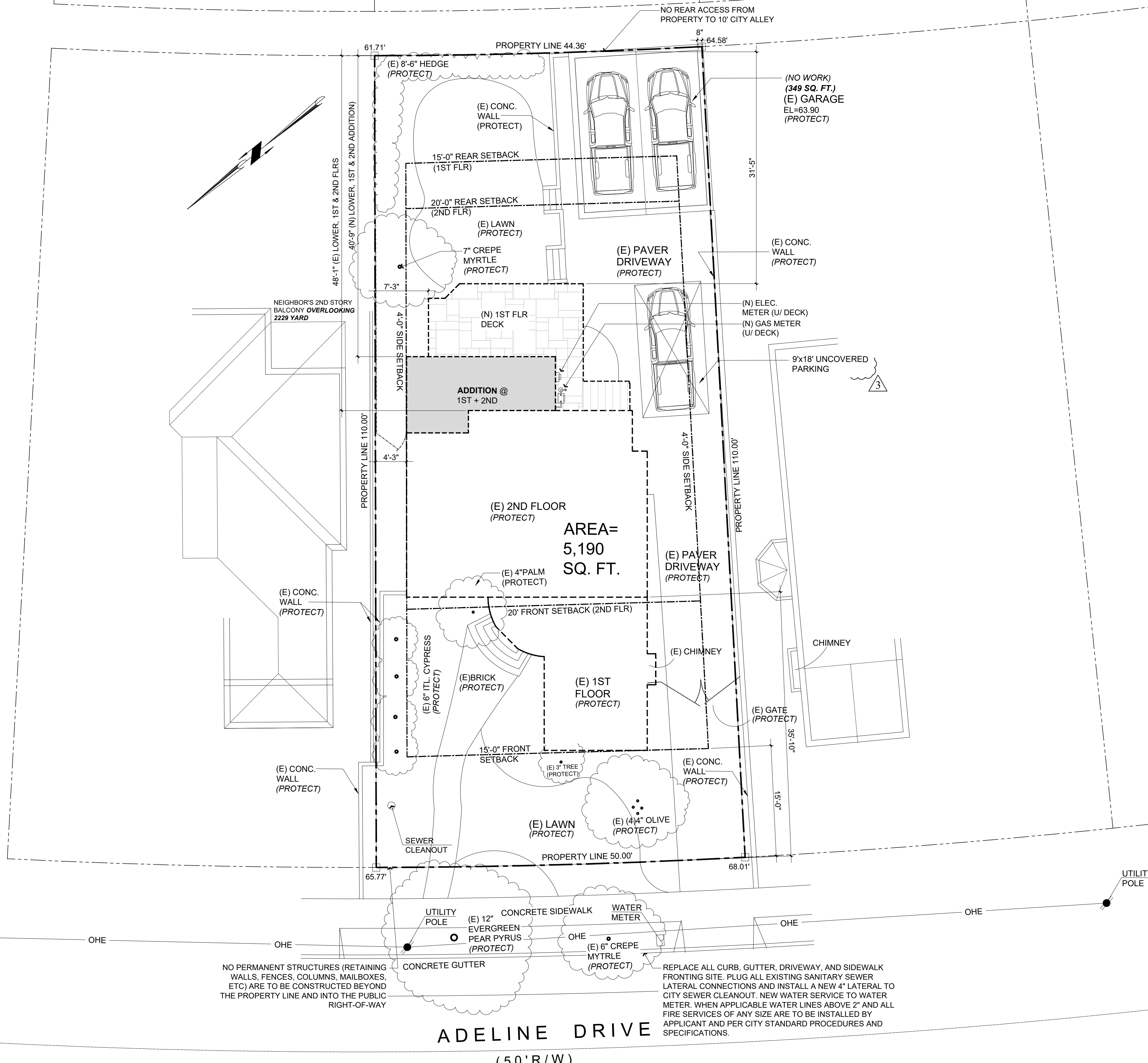
1. TO REMOVE/REPLACE UTILITIES, AN ENCROACHMENT PERMIT IS REQUIRED TO
  - (1) REPLACE ALL CURB, GUTTER, DRIVEWAY AND SIDEWALK FRONTING SITE.
  - (2) PLUG ALL EXISTING SANITARY SEWER LATERAL CONNECTIONS AND INSTALL A NEW 4" LATERAL.
  - (3) ALL WATER LINE CONNECTIONS TO CITY WATER MAINS FOR SERVICES OF FIRE LINE ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND SPECIFICATION.
  - (4) AND OTHER UNDERGROUND UTILITY WORKS WITHIN CITY'S RIGHT-OF-WAY.
2. GRADING PERMIT, IF REQUIRED WILL BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS.
3. ALL ABANDONED SEWER LATERAL OR WATER SERVICE SHALL BE DISCONNECTED AT THE MAIN AND PER CITY STANDARDS, AN ENCROACHMENT PERMIT IS REQUIRED.
4. ANY WORK IN CITY RIGHT OF WAY, SUCH AS PLACEMENT OF DEBRIS BIN IN STREET, WORK IN SIDEWALK AREA, PUBLIC EASEMENTS, AND UTILITY EASEMENTS, IS REQUIRED TO OBTAIN AN ENCROACHMENT PERMIT PRIOR TO STARTING WORK. PORTA POTTYS ARE NOT ALLOWED TO BE PLACED IN CITY RIGHT OF WAY.
5. SEWER BACKWATER PROTECTION CERTIFICATION IS REQUIRED FOR INSTALLATION OF ANY NEW SEWER FIXTURE PER ORDINANCE #1710, THE SEWER BACKWATER PROTECTION CERTIFICATE IS REQUIRED PRIOR TO THE ISSUANCE OF BUILDING PERMIT.
6. ALL WATER LINES CONNECTIONS TO CITY WATER MAINS FOR SERVICES OR FIRE LINE PROTECTION ARE TO BE INSTALLED PER CITY STANDARDS PROCEDURES AND MATERIALS SPECIFICATION. CONTACT THE CITY WATER DEPARTMENT FOR CONNECTION FEES. IF REQUIRED, ALL FIRE SERVICES AND SERVICES 2" AND OVER WILL BE INSTALLED BY BUILDER. ALL UNDERGROUND FIRE SERVICE CONNECTIONS SHALL BE SUBMITTED AS SEPARATE UNDERGROUND FIRE SERVICES PERMIT FOR REVIEW AND APPROVAL

# PUBLIC WORKS ADU NOTES

1. SANITARY SEWER LATERAL FROM THE ACCESSORY DWELLING UNIT SHALL E CONNECTED TO THE EXISTING LATERAL ON PRIVATE PROPERTY SIDE PER MUNICIPAL CODE 15.08.050, NO SUB-LATERAL TO THE MAIN SEWER IS PERMITTED.
2. A SEPARATE ADDRESS TO THE ADU IS REQUIRED, PLEASE COMPLETE THE APPLICATION FORM FOUND AT: WWW.BURLINGAME.ORG.

# STORMWATER CHECKLIST NOTES

1. DIRECT ROOF RUNOFF INTO CISTERNS OR RAIN BARRELS AND USE RAINWATER FOR IRRIGATION OR OTHER NON-POTABLE USE.
2. DIRECT RUNOFF FROM SIDEWALKS, WALKWAYS, AND/OR PATIOS ONTO VEGETATED AREAS.
3. DIRECT RUNOFF FROM DRIVEWAYS AND/OR UNCOVERED PARKING LOTS ONTO VEGETATED AREAS.
4. CONSTRUCT SIDEWALKS, WALKWAYS AND/OR PATIOS WITH PERMEABLE SURFACES.
5. USE MICOR-DETENTION, INCLUDING DISTRIBUTED LANDSCAPE-BASED DETENTION.
6. PROTECT SENSITIVE AREAS, INCLUDING WETLAND AND RIPARIAN AREAS, AND MINIMIZE CHANGES TO THE NATURAL TOPOGRAPHY.
7. MARK ON SITE INLETS WITH THE WORDS "NO DUMPING! FLOWS TO BAY" OR EQUIVALENT.
8. (A) RETAIN EXISTING VEGETATION AS PRACTICABLE (B) SELECT DIVERSE SPECIES APPROPRIATE TO THE SITE. INCLUDE PLANTS THAT ARE PEST- AND/OR DISEASE-RESISTANT, DROUGHT-TOLERANT, AND/OR ATTRACT BENEFICIAL INSECTS. (C) MINIMIZE USE OF PESTICIDES AND QUICK-RELEASE FERTILIZERS.
9. DESIGN FOR DISCHARGE OF FIRE SPRINKLERS TEST WATER TO LANDSCAPE OR SANITARY SEWER.
10. TEMPORARY EROSION CONTROLS TO STABILIZE ALL DENUED AREAS UNTIL PERMANENT EROSION CONTROLS ARE ESTABLISHED.
11. DELINEATE WITH FIELD MARKERS THE FOLLOWING AREAS: CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES TO BE PROTECTED AND RETAINED, DRAINAGE COURSES.
12. PROVIDE NOTES, SPECIFICATIONS OR ATTACHEMENTS DESCRIBING THE FOLLOWING: (A) CONSTRUCTION, OPERATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS, INCLUDE INSPECTION FREQUENCY; (B) METHODS AND SCHEDULE FOR GRADING, EXCAVATION, FILLING, CLEARING OF VEGETATION, AND STORAGE AND DISPOSAL OF EXCAVATED OR CLEARED MATERIAL; (C) SPECIFICATIONS FOR VEGETATIVE COVER & MULCH, INCLUDE METHODS AND SCHEDULES FOR PLANTING AND FERTILIZATION (D) PROVISIONS FOR TEMPORARY AND OR PERMANENT IRRIGATION
13. PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER
14. USE SEDIMENT CONTROLS OF FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING AND OBTAIN ALL NECESSARY PERMITS.
15. PROTECT ALL STORM DRAIN INLETS IN VICINITY OF SITE USING SEDIMENT CONTROLS (E.G. BERMS, SOCKS, FIBER ROLLS OR FILTERS)
16. TRAP SEDIMENT ON-SITE, USING BMP'S SUCH AS SEDIMENT BASINS OR TRAPS, EARTHEN DIKES OR BERMS, SILT FENCES, CHECK DAMS, COMPOST BLANKETS OR JUTE MATS, COVERS FOR SOIL STOCK PILES, ETC.
17. DIVERT ON-SITE RUNOFF AROUND EXPOSED AREAS; DIVERT OFF-STE RUNOFF AROUND THE SITE (E.G SWALES AND DIKES)
18. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
19. LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS.
20. NO CLEANING, FUELING OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASHWATER IS CONTAINED AND TREATED.
21. STORE, HANDLE AND DISPOSE OF CONSTRUCTION MATERIALS/WASTES PROPERLY TO PREVENT CONTACT WITH STORMWATER.
22. CONTRACTOR SHALL TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES/SUBCONTRACTORS RE: CONSTRUCTION BMP'S.
23. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTINGWASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASHWATER OR SEDIMENTS, RINSE WATER FROM ARCHITECTURAL COPPER, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.



# PROPOSED SITE PLAN

Scale: 1/8" = 1'-0"

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### Revisions

Rev. #	Description	Date
001	RESPONSE TO PLANNING DEPT COMMENTS	05.16.22
002	RESPONSE TO PLANNING DEPT COMMENTS	05.16.22
003	RESPONSE TO PLANNING DEPT COMMENTS	06.24.22
004	RESPONSE TO PLANNING DEPT COMMENTS	06.24.22
005		
006		

Contractor:

Owner: MR. + MRS. CAMERON FOSTER  
2229 Adeline Drive  
Burlingame, CA 94010  
Zoning: RL

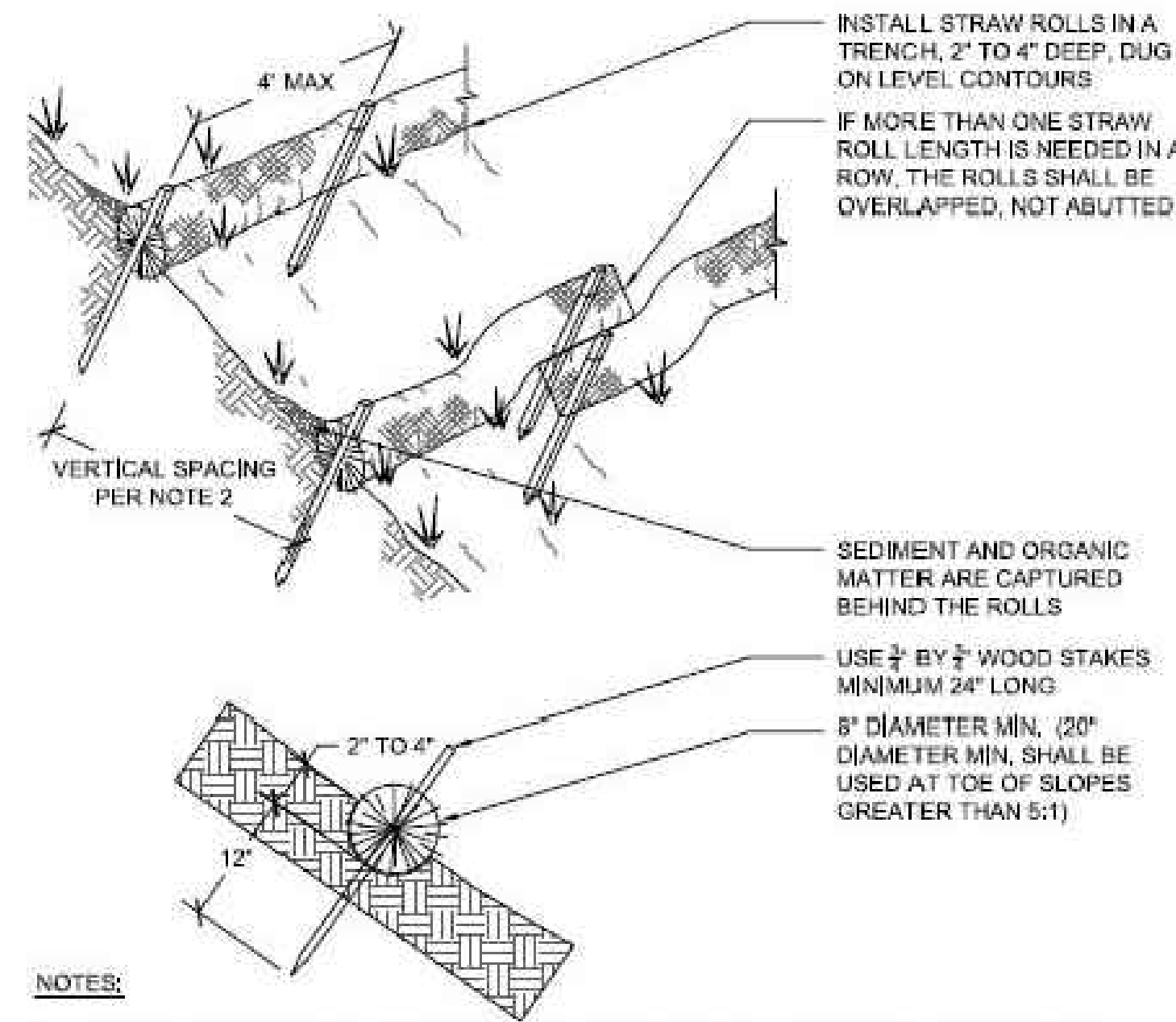
4843 SILVER SPRINGS DRIVE  
Park City, UT 84098  
Ph: 415.819.0304  
E-mail: TIMEFORMONDESIGN.COM

**form + one**  
DESIGN ■ PLANNING

Title: Site Plan  
Project: MR. AND MRS. CAMERON FOSTER  
2229 Adeline Drive  
Burlingame CA 94010  
Job No.: 21\_40  
Drawn: TIM RADTKE  
Date: 12-22-21

# DRAINAGE PLAN NOTES

- 1. Rain Gardens (USING THIS APPLICATION):** (or bioretention areas) are shallow, recessed, and vegetated basins that collect and absorb runoff from rooftop, sidewalks, and streets. These landscapes contain soil of a specified biotreatment mix that slows, retains, and filters stormwater.
- 2. Permeable Pavements (USING THIS APPLICATION):** infiltrate, treat, and/or store rainwater where it falls. These pre-manufactured pavers allow stormwater to percolate through the pavement and into the subgrade. Examples of these systems include interlocking pavers or other paving systems with a gap between the pavers filled with crushed aggregate or similar porous material.
- 3. Rainwater harvesting systems:** collect and store rainwater for later use, such as for irrigation or toilet flushing. These systems slow and reduce runoff while providing a limited water supply. *(OPTIONAL METHOD - VERIFY AT TIME OF GRADING + INSTALLATION OF DRAINAGE)*



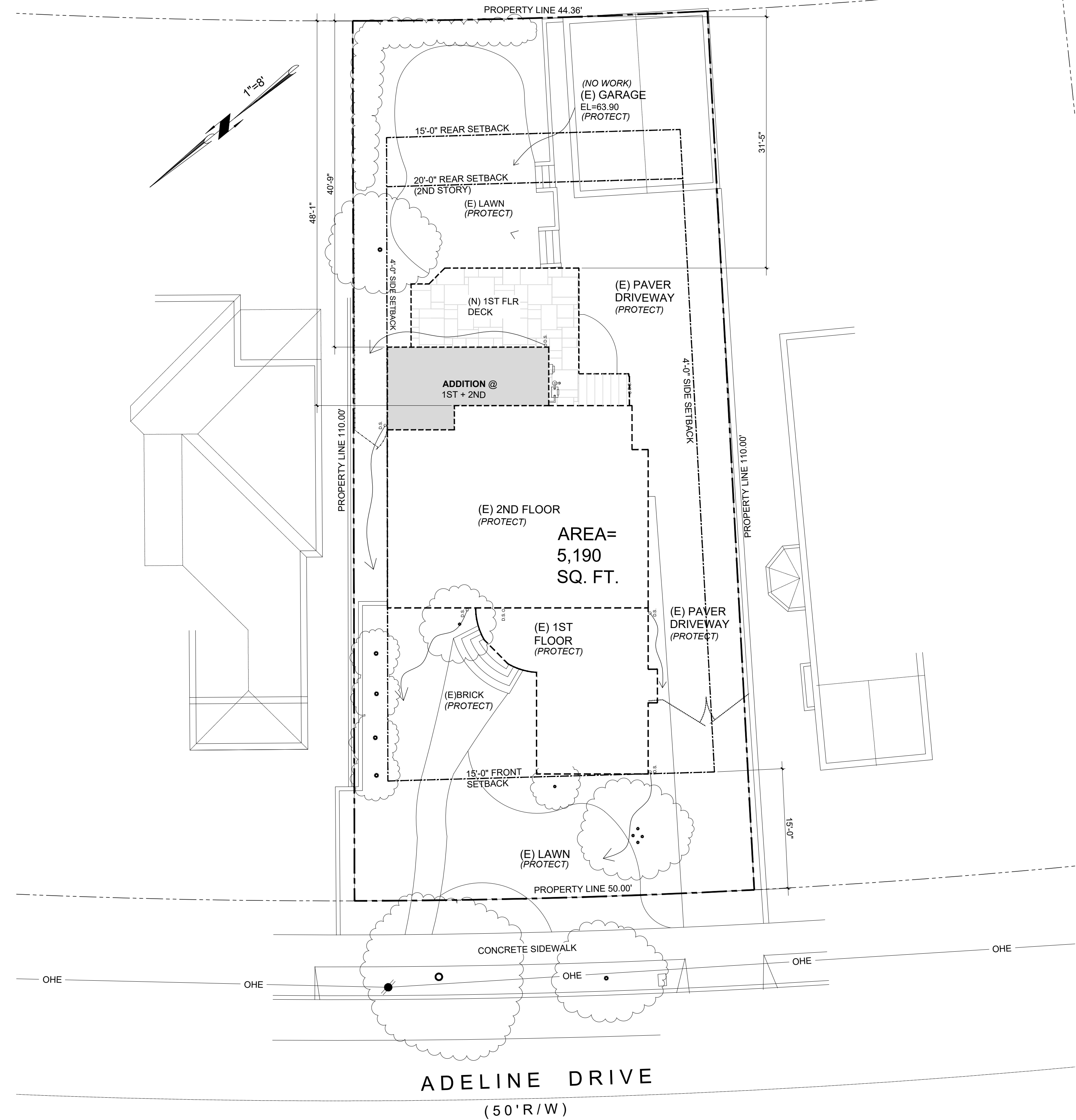
**NOTES:**

- INSTALL SUCH THAT RUNOFF WILL NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL. TURN ENDS UP SLOPE TO PREVENT RUNOFF FROM GOING AROUND ROLL.
- SPACE STRAW ROLLS AS FOLLOWS:
  - SLOPE OF 4:1 OR FLATTER = 20 FEET APART
  - SLOPE BETWEEN 4:1 AND 2:1 = 15 FEET APART
  - SLOPE OF 2:1 OR GREATER = 10 FEET APART
- INSPECT AND REPAIR STRAW ROLLS AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE.
- IN LIEU OF STRAW ROLL INSTALLATION AROUND PROJECT PERIMETER, CONTRACTOR HAS OPTION TO PRESERVE A NATURAL VEGETATED BUFFER 3 FOOT MINIMUM IN WIDTH OR A 6 INCH HIGH BERM.

## STRAW ROLL DETAIL

Scale: N/A

2  
A1.1



## PROPOSED DRAINAGE PLAN

Scale: 1/8" = 1'-0"

1  
A1.1

Revisions

Rev. #	Description	Date
001	RESPONSE TO PLANNING DEPT COMMENTS	05-16-22
002	RESPONSE TO PLANNING DEPT COMMENTS	05-16-22
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004	RESPONSE TO PLANNING DEPT COMMENTS	06-24-22
005		

Contractor:

Owner: MR. + MRS. CAMERON FOSTER  
2229 Adeline Drive  
Burlingame, CA 94010

4843 SILVER SPRINGS DRIVE  
PARK CITY, UT 84098  
Ph: 415.819.0304  
E-mail: TIMEFORMONDESIGN.COM



Title: Drainage Plan  
Project: MR. AND MRS. CAMERON FOSTER  
2229 Adeline Drive  
Burlingame CA 94010

Job No.: 21\_40  
Drawn: TTX RADJENZ  
Date: 12-22-21

PLANNING SET

APN#: 027-161-160

A1.1

Sheet  
Scale: See Details

**RELATED CODE REQUIREMENTS: (EGRESS + WINDOWS + DRS.)**

- EGRESS WINDOWS SHALL HAVE A MIN. NET CLEAR OPERABLE AREA OF 5.7 SQUARE FEET.
- THE MINIMUM NET CLEAR WIDTH DIMENSION SHALL BE 20"
- THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24"
- MAX. U-FACTOR (0.50) FOR FENESTRATION + SKYLIGHTS 2019 CGC 150.0 (Q)
- MAX. TOTAL AREA, 20%, NO MAXIMUM FOR WEST FACING AREA TABLE 150.1-A, & B
- FENESTRATION MAX. U-FACTOR 0.30. NO SHGC REQUIREMENT TABLE 150.1-A, & B
- DOOR MAX. U-FACTOR: 0.20 TABLE 150.1A, & B

**2019 CODE REQUIREMENTS: (PLUMBING)**

- REQUIRES NON-COMPLIANT PLUMBING FIXTURES TO BE REPLACED BY WATER-CONSERVING PLUMBING FIXTURES WHEN A PROPERTY IS UNDERGOING ALTERATIONS OR IMPROVEMENTS. THIS LAW APPLIES TO ALL RESIDENTIAL AND COMMERCIAL PROPERTY BUILT PRIOR TO JANUARY 1, 1994. DETAILS CAN BE FOUND AT [HTTP://LEGINFO.CA.GOV/PUB/09-10/BILLS/SEN/SB0401-0450/SB407 BILL 20091011 CHAPTERED.HTML](http://leginfo.ca.gov/pub/09-10/bills/sen/sb0401-0450/sb407_bill_20091011_chaptered.html).
- PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CAL GREEN SECTION 301.1 FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO A SINGLE FAMILY RESIDENTIAL PROPERTY, EXISTING PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET COMPLIANT FLOW RATES WILL NEED TO BE UPGRADED. WATER CLOSETS WITH A FLOW RATE EXCESS OF 1.6 GPF WILL NEED TO BE REPLACED WITH W.C. W/ A MAX. FLOW RATE OF 1.28 GPF. SHOWER HEADS W/ A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED W/ A MAX. 1.9 GPM SHOWER HEAD. LAVATORY & KITCHEN FAUCETS W/ A FLOW RATE GREATER THAN 1.9 GPM WILL NEED TO BE REPLACED W/ A FAUCET W/ MAX. FLOW RATE OF 1.5 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS)

**RELATED CODE REQUIREMENTS: (BATHS) (CONT.):**

- PLUMBING:**
- SHOWER MUST BE PROVIDED W/ TEMPERATURE CONTROL (ANIT-SCALD) TYPE VALVE. TOILETS MUST HAVE A MIN. CLEAR SPACE OF 30" WIDE, & 24" CLEAR SPACE IN FRONT. IF NEW, TOILETS MUST BE WATER CONSERVING 1.28 GALLON. SHOWER DOORS SHALL OPEN OUTWARD AND SHALL BE A MIN. 22" WIDE, THE SHOWERHEAD CANNOT DISCHARGE DIRECTLY AT ENTRANCE. ALL SHOWER COMPARTMENTS, REGARDLESS OF SHAPE.
  - MUST BE CAPABLE OF ENCOMPASSING A 30" CIRCLE. JOB-FORMED SHOWER PAN LINER MUST SLOPE 1" PER FOOT TO WEEP HOLES IN DRAIN, AND BE INSPECTED UNDER TEST PRIOR TO COVERING.

**RELATED CODE REQUIREMENTS: (BATHS) (CONT.):**

- BUILDING:**
- SHOWER WALL SHALL BE FINISHED TO A HEIGHT 72" ABOVE THE DRAIN INLET WITH MATERIAL THAT IS NOT AFFECTED BY MOISTURE. GREEN BD. CANNOT BE USED AS A BACKER FOR MASTIC TILE WHERE IT WILL BE EXPOSED TO SPLASHING WATER AND IS NOT ALLOWED ON CEILINGS.
  - CEMENT BOARD WITH A MOISTURE BARRIER AND CORROSION-RESISTANT FASTENERS IS AN APPROPRIATE BACKING MATERIAL IN WET LOCATIONS. MIN. CEILING HEIGHT FOR ALL BATHROOMS IS 7'-0". SAFETY GLAZING IS REQUIRED FOR WINDOWS IN TUB OR SHOWER LOCATIONS WHERE THE BOTTOM EDGE OF GLASS IS LESS THAN 5'-0" ABOVE THE DRAIN. AS PART OF REMODEL SMOKE DETECTORS WILL BE REQUIRED IN ALL BEDROOMS, ADJOINING HALL, AND AT EACH LEVEL PER THE BUILDING CODE.

**RELATED CODE REQUIREMENTS: (BATHS)(CONT.)**

- ELECTRICAL:**
- IT IS REQUIRED TO HAVE AT LEAST ONE RECEPTACLE WITHIN 3- FEET OF THE OUTSIDE EDGE OF EACH BASIN. THIS RECEPTACLE AND ANY OTHERS LOCATED WITHIN THE BATHROOM MUST BE GFCI PROTECTED.
  - A SEPARATE 20-AMP CIRCUIT IS REQUIRED TO SUPPLY BATHROOM OUTLETS ONLY, OR A SINGLE BATHROOM.
  - LIGHTING WILL BE REQUIRED TO BE HIGH EFFICACY OR CONTROLLED BY A MANUAL ON OCCUPANT.
  - SENSOR SWITCH, (TYPICALLY HIGH EFFICACY LIGHT FIXTURES ARE PIN BASE FLUORESCENT WITH ELECTRONIC BALLAST.
- MECHANICAL:**
- A FAN CONNECTED TO THE OUTSIDE CAN BE PROVIDED, FAN EXHAUST SHOULD BE 3- FEET FROM BUILDING OPENINGS AND PROPERTY LINES. BE INSPECTED UNDER TEST PRIOR TO COVERING.

**GENERAL NOTES:**

- PROVIDE 30" MIN. CLEAR WIDTH, 15" ON BOTH SIDES FROM CENTERLINE OF W.C. AND 24" CLEARANCE IN FRONT OF THE W.C. PER CPC 408.5
- PROVIDE MIN. SHOWER AREA - 1024 SQ. INCHES, CAPABLE OF ENCOMPASSING A 30" CIRCLE. SEE PLANS PER CPC 408.6
- TEMPERED GLAZING, TYP. AT ALL DOORS AND REQUIRED BY CODE
- PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM THE WASHER & DISHWASHER, ETC., PER CPC
- WATER CLOSETS SHALL BE AN ULTRA LOW FLUSH TYPE W/ 1.28 GALLONS MAX. PER FLUSH. PER CPC & CGC 4.303.1.1
- EXHAUST VENT FOR DRYER SHALL TERMINATE TO THE OUTSIDE OF THE BUILDING AND SHALL BE EQUIPPED WITH A DRAFT DAMPER AND SHALL BE RIGID METAL DUCT WITH SMOOTH INTERIOR SURFACES PER CMC SECT. 504. 7. VERIFY ALL FINISH FLOOR CALL-OUTS W/ OWNERS, TYP.
- SUB- PANEL ELECT., VERIFY LOCATION W/ OWNER.
- ALL SHOWER HEADS TO HAVE 1.8 GPM @ 60 PSA FLOW MAX. PER 2019 CPC SECT. 408.2 & CGC 4.303.1.2
- ALL SHOWER WALLS TO BE WATERPROOF TO 72" ABOVE DRAIN INLET, WALL FINISHES TO BE OF SMOOTH HARD NONABSORBENT SURFACE, PER CRC R307.2 (CEMENT BASED)
- NA
- ALL LAVATORY FAUCETS TO HAVE 1.2 GPM, + KITCHEN FAUCETS TO HAVE 1.8 GPM FLOW MAX. PER 2019 CPC SECT. 403.7, & 403.6 (CGC 4.303.1.4.4)
- WATER HAMMER ARRESTORS AT ALL APPLIANCES THAT HAVE QUICK-CLOSING VALVES (E) DISHWASHERS HOT WATER LINE AND THE HOT/COLD LINES OF THE CLOTHES WASHER) 2019 CPC 609.10
- CONTROL VALVE FOR SHOWER OR TUB/SHOWER SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE, PER CPC 420.0
- THRESHOLD FOR IN-SWING DOORS SHALL BE 7.75" MAX. AND 7" MAX. FOR OUTSWING DOORS.
- (E) GAS METER LOCATION, PG&E, TYPICAL 36" FROM OPERABLE WINDOWS.
- (E) ELECTRICAL METER LOCATION **TO BE MOVED PER PLANS**
- MAX. DROP FROM TOP OF THRESHOLD TO THE EXT. LANDING AT ALL SLIDING AND IN-SWINGING DOORS SHALL BE LIMITED TO 7.75", AND NOT MORE THAN 1.5" LOWER THAN THRESHOLD FOR OUTSWING DRS. PER 2019 CRC R311.3
- (N) STAIRS TO HAVE MAX. RISER HEIGHT OF 7.75" AND A MIN. TREAD DEPTH OF 10" PER CRC R311.7.4
- A CAPILLARY BREAK WILL BE INSTALLED IF A SLAB ON GRADE FOUNDATION SYSTEM IS USED. THE USE OF A 4" THICK BASE 1/2" OR LARGER CLEAN AGGREGATE UNDER A 6 MIL VAPOR RETARDER WITH JOINT LAPPED NOT LESS THAN 6" WILL BE PROVIDED UNLESS AND ENGINEERED DESIGN HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING DIVISION. 2019 CGC §4.505.2 AND CALIFORNIA RESIDENTIAL CODE (CRC) §R506.2.3
- BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE WILL NOT BE INSTALLED. WALL AND FLOOR FRAMING WILL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT WILL BE VERIFIED PRIOR TO FINISH MATERIAL BEING APPLIED. 2019 CGC §4.505.3
- FITTINGS (FAUCETS AND SHOWER HEADS) HAVE ALL REQUIRED STANDARDS LISTED ON PLANS AND ARE IN ACCORDANCE TO CGC 4.303.1.3 AND CGC 403.1.4
- ANY GAS FIREPLACE SHALL BE DIRECT-VENT SEALED-COMBUSTIBLE TYPE. 2019 CGC 4.503.1
- PROVIDE 36 INCH MIN. DEEP LANDING OUTSIDE ALL EXTERIOR DOORS (NOT MORE THAN 7.75 INCHES LOWER THAN THE THRESHOLD FOR IN-SWINGING DOORS AND SLIDING DOORS, AND NOT MORE THAN 1.5 INCHES LOWER THAN THE THRESHOLD FOR OUT-SWINGING DOORS) 2019 CRC R311.3
- WALLS WITH 2 X 6 AND LARGER FRAMING REQUIRE R-19 INSULATION 150.0(C)2
- CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT OF WAY ARE LIMITED TO THE WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00 A.M AND 5:00 P.M.

**POLLUTANT CONTROL NOTES:**

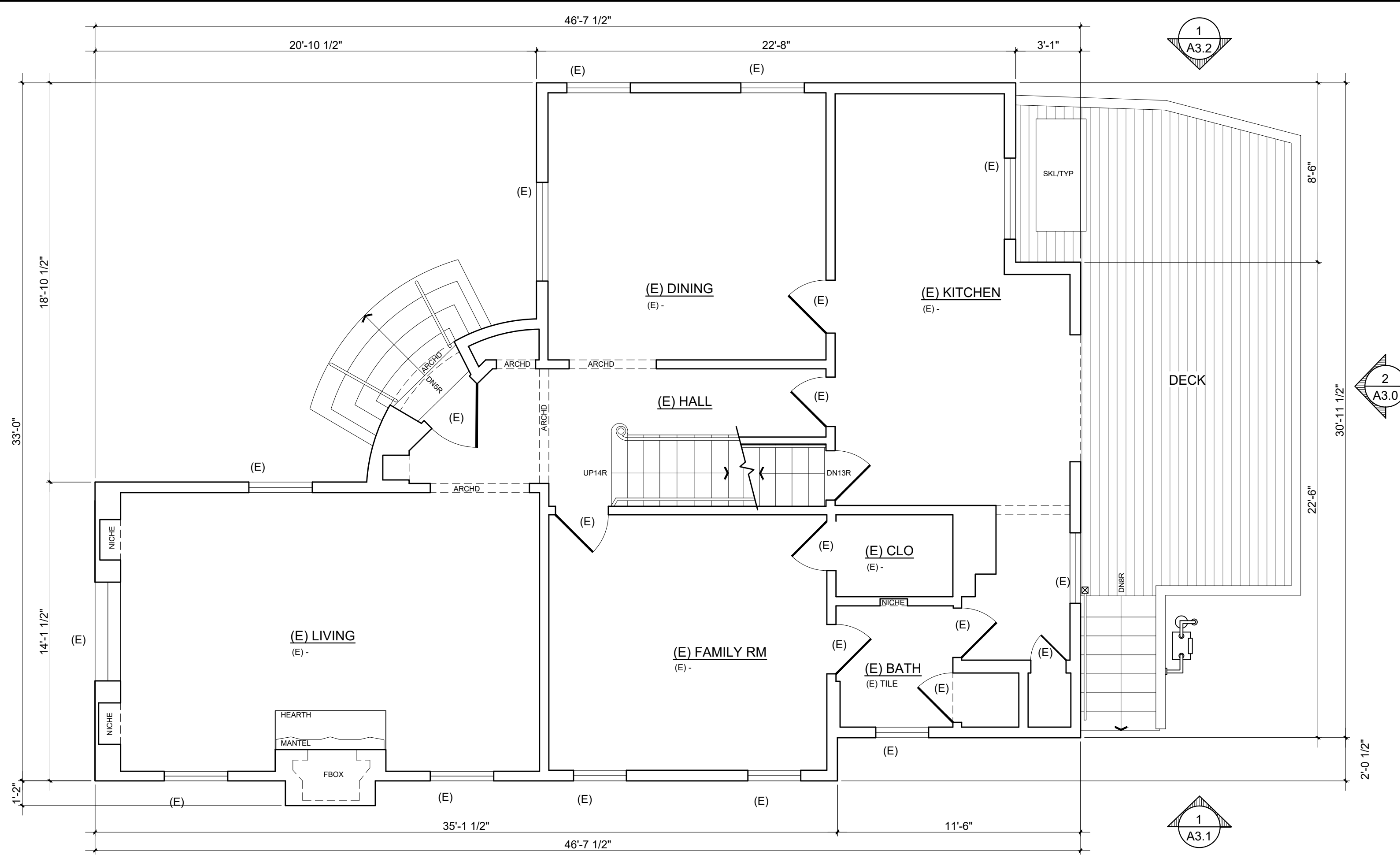
- PAINTS + COATINGS WILL COMPLY WITH VOC LIMITS PER 2019 CGC §4.504.2.2
- DOCUMENTATION PROVIDED THAT VERIFIES COMPLIANCE WITH VOC FINISH MATERIALS. 2019 CGC §4.504.2.4
- CARPET SYSTEM INSTALLED IN THE BUILDING INTERIOR WILL MEET THE TESTING + PRODUCT REQUIREMENTS FOUND IN THE 2019 CALIFORNIA GREEN BUILDING CODE. 2019 CGC §4.504.3
- WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80% OF THE FLOOR AREA RECEIVING RESILIENT FLOORING WILL COMPLY WITH THE CALIFORNIA GREEN BUILDING CODE REQUIREMENTS. 2019 CGC §4.504.4
- HARDWOOD PLYWOOD, PARTICLEBOARD, + MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR AND EXTERIOR OF THE BUILDING WILL COMPLY WITH THE LOW FORMALDEHYDE EMISSION STANDARDS. 2019 CGC §4.504.5
- AEROSOL PAINTS + COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC AND COMPLY W/ PERCENT VOC BY WEIGHT OF PRODUCT LIMITS, REGULATION 8, RULE 49. PER 2019 CGC 4.504.2.3
- ADHESIVES, SEALANTS, + CAULKS USED ON THE PROJECT SHALL FOLLOW LOCAL + REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT STANDARDS 2019 CGC §4.504.2.1

**INSULATION: (See Title-24 For Min.)**

- ALL EXTERIOR 2X6 WALLS: R-21 BATT INSULATION, OR MIN. BY TITLE-24
- ALL EXTERIOR 2X4 WALLS: R-15 BATT INSULATION OR MIN. BY TITLE-24
- ALL CEILINGS TO RECEIVE R-32 MIN. INSULATION OR MIN. BY TITLE-24
- ALL UNDER FLOOR TO RECEIVE R-19 BAT INSULATION
- ALL BATHROOMS, LAUNDRY ROOMS, TO RECEIVE SOUND BATT, INSULATION, TYPICAL.
- CEILING INSULATION, MIN. R-30 INSULATION REQUIRED.
- BUILDING ENVELOPE INSULATION:** PER CLIMATE ZONE: 3 TABLE 150.1-A, & B
- BUILDING ENVELOPE INSULATION:** WALLS, ABOVE OR BELOW GRADE, MEET STANDARDS IN TABLE 150.1-A & B
- QUALITY INSULATION INSTALLATION INSPECTION (QII) IS REQUIRED BY A THIRD PARTY.

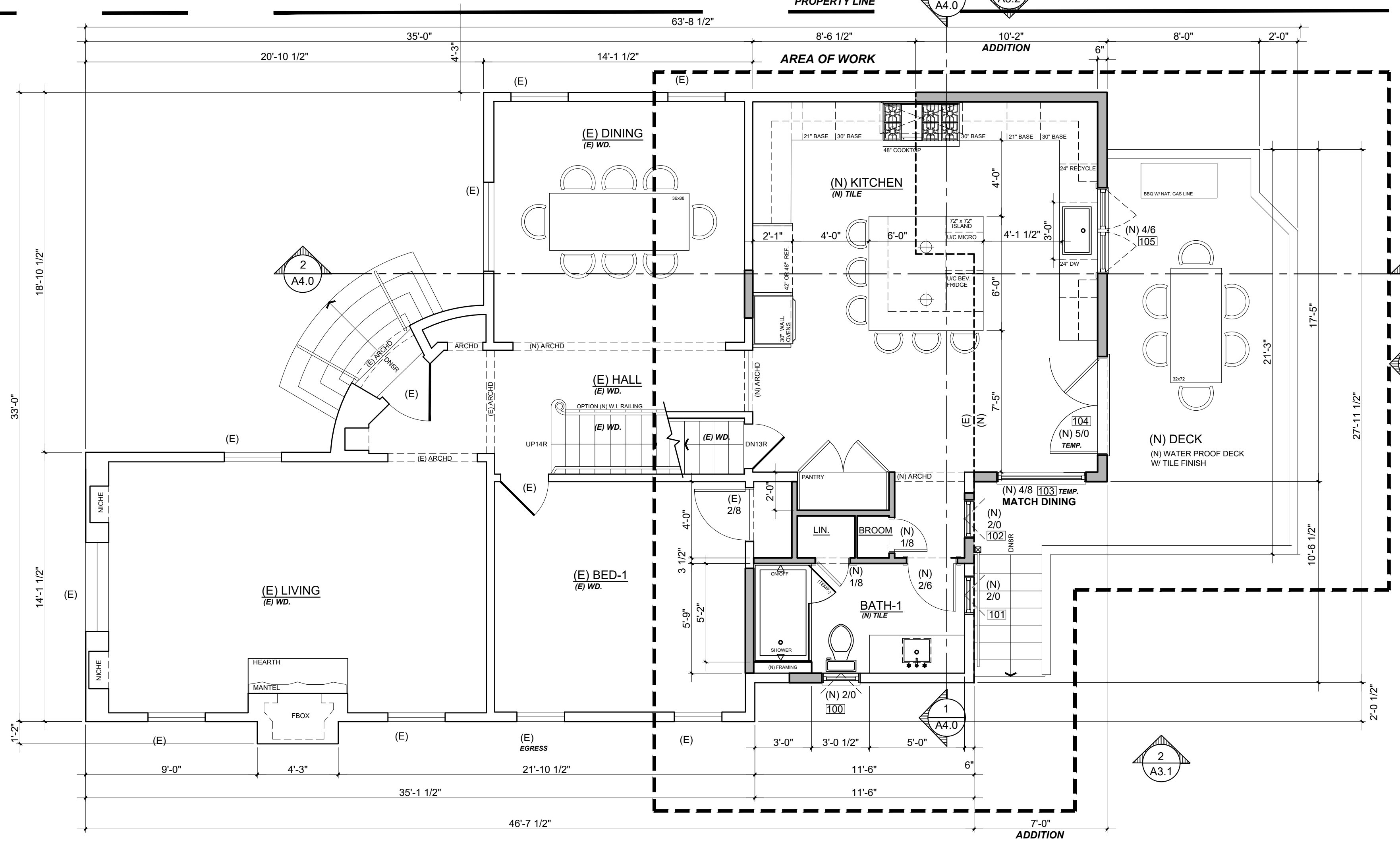
**FIRE RATING NOTES:**

- EXTERIOR BEARING WALLS LESS THAN 5 FEET FROM THE PROPERTY LINE WILL BE BUILT OF ONE-HOUR FIRE RATED CONSTRUCTION, 2019 CRC TABLE R302.1(1) OR 2019 CBC, TABLE 602.
- ROOF RAFTERS WILL NOT PROJECT WITHIN 2 FT. OF PROPERTY LINE 2019 CRC TABLE R302.1 OR 2019 CBC TABLE 705.2



**EXISTING MAIN FLOOR PLAN**

Scale: 1/4 = 1'-0"



**PROPOSED MAIN FLOOR PLAN**

Scale: 1/4 = 1'-0"

Rev. #	Description	Date
001	RESPONSE TO PLANNING DEPT COMMENTS 05.16.22	05.19.22
002	RESPONSE TO PLANNING DEPT COMMENTS 06.03.22	06.06.22
003	RESPONSE TO PLANNING DEPT COMMENTS 06.24.22	06.24.22
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005		
006		

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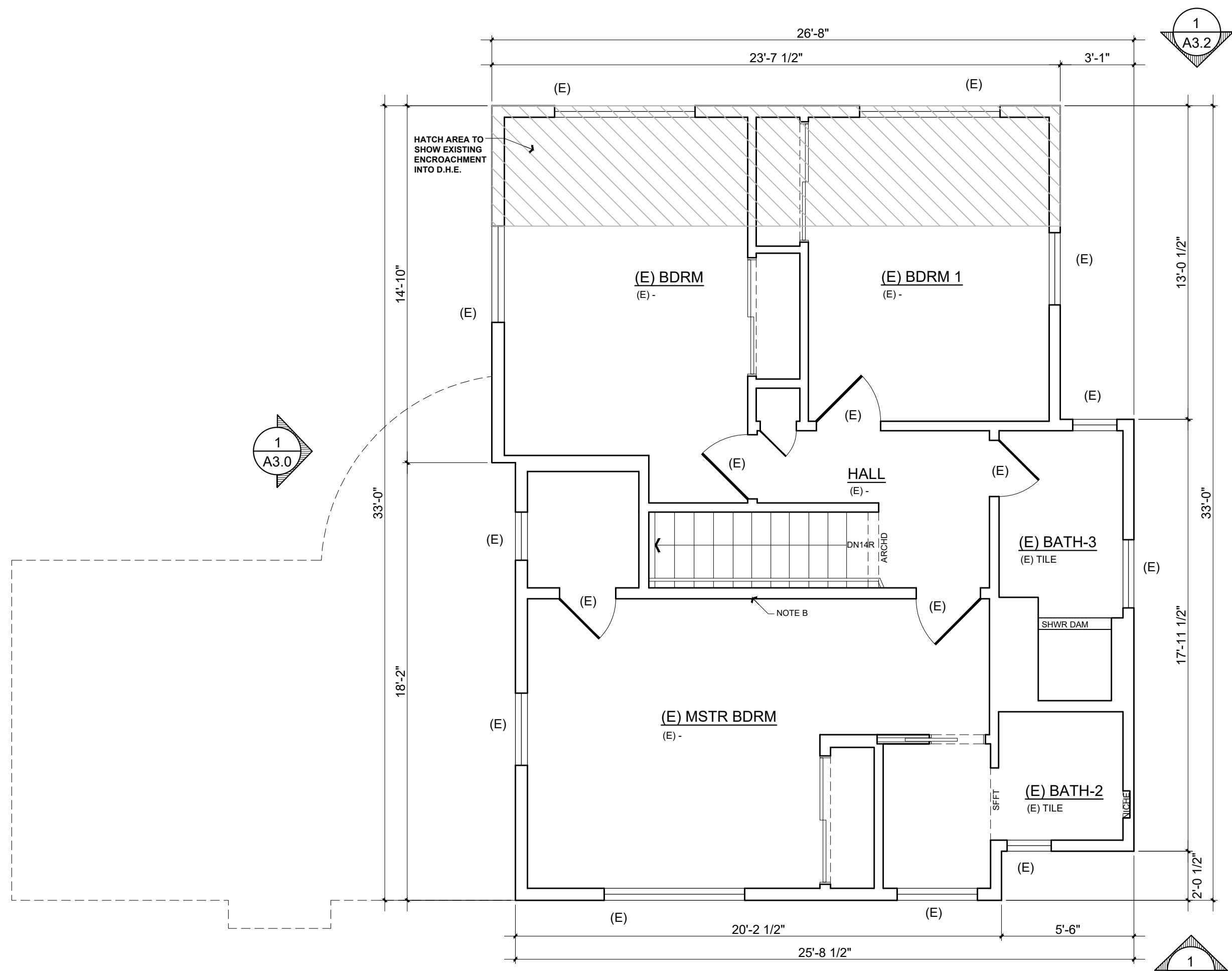
Title : Existing + Proposed Kitchen Plan  
 Project : MR. AND MRS. CAMERON FOSTER  
 2229 Adeline Drive  
 Burlingame CA 94010

Job No. : 21\_40  
 Drawn : TTM RADUENZ  
 Date : 12-22-21  
 Sheet  
 Scale: See Details

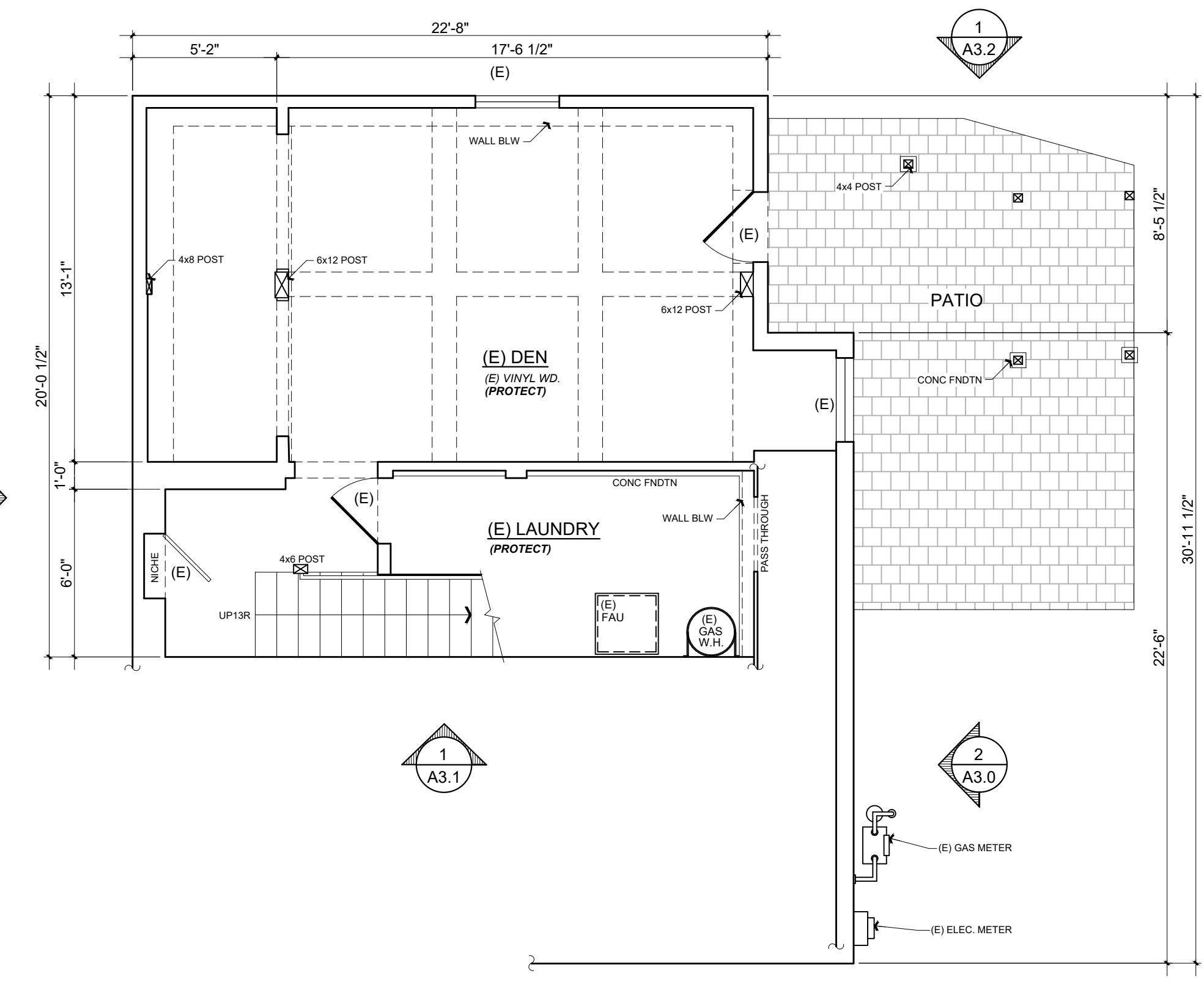
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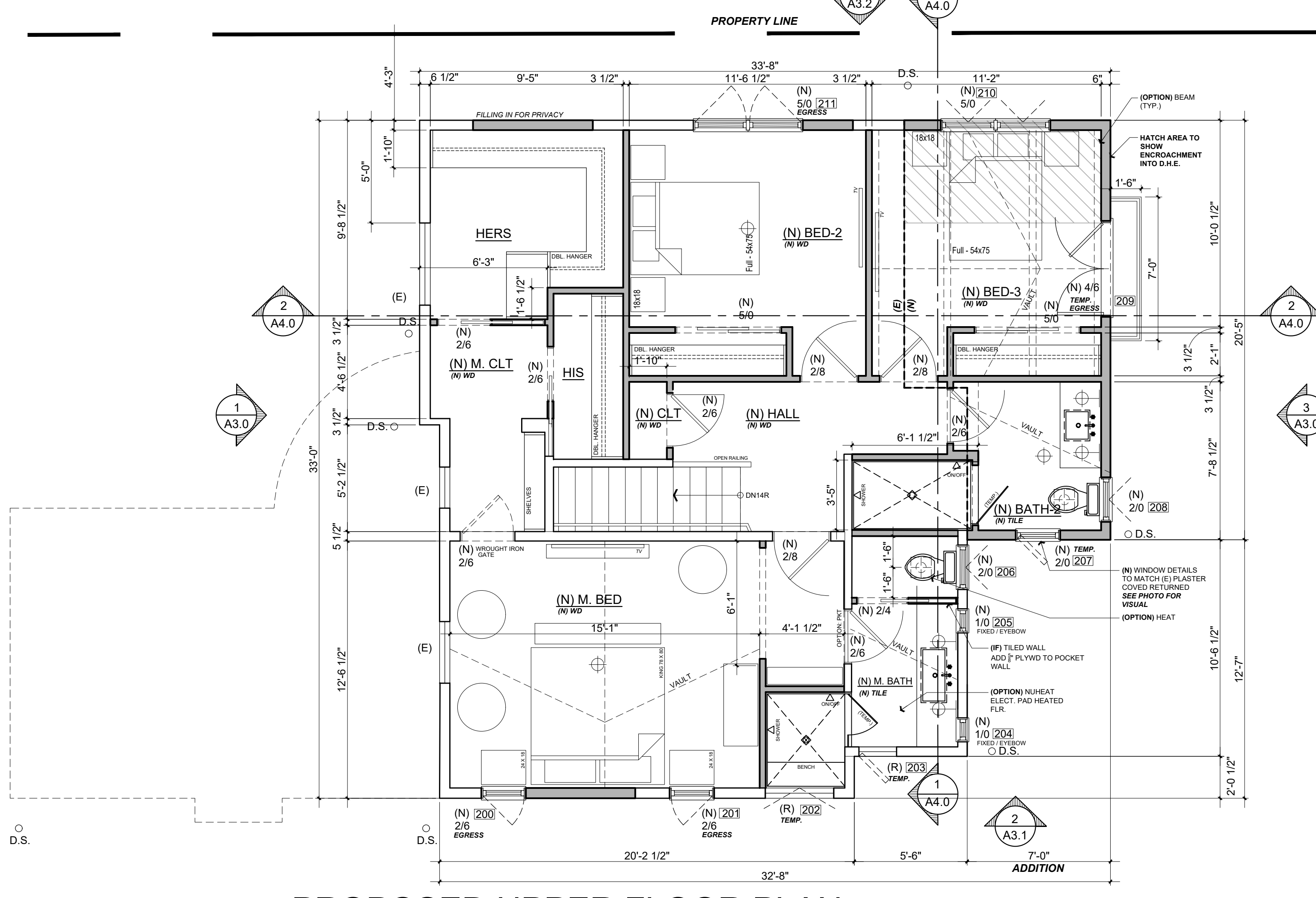
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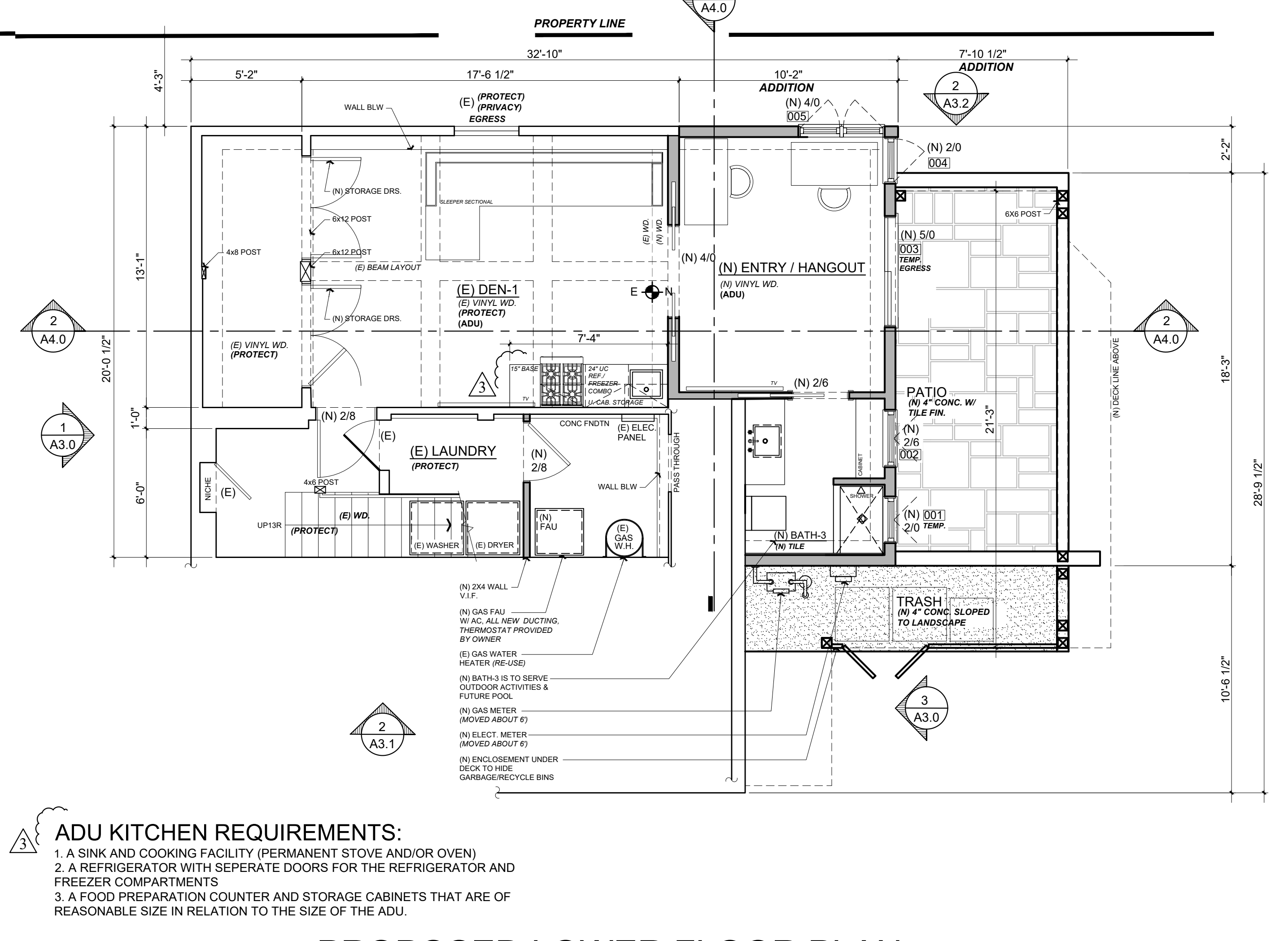
EXISTING UPPER FLOOR PLAN  
Scale: 1/4 = 1'-0"



EXISTING LOWER FLOOR PLAN  
Scale: 1/4 = 1'-0"



PROPOSED UPPER FLOOR PLAN  
Scale: 1/4 = 1'-0"



PROPOSED LOWER FLOOR PLAN  
Scale: 1/4 = 1'-0"

- ADU KITCHEN REQUIREMENTS:**
1. A SINK AND COOKING FACILITY (PERMANENT STOVE AND/OR OVEN)
  2. A REFRIGERATOR WITH SEPERATE DOORS FOR THE REFRIGERATOR AND FREEZER COMPARTMENTS
  3. A FOOD PREPARATION COUNTER AND STORAGE CABINETS THAT ARE OF REASONABLE SIZE IN RELATION TO THE SIZE OF THE ADU.

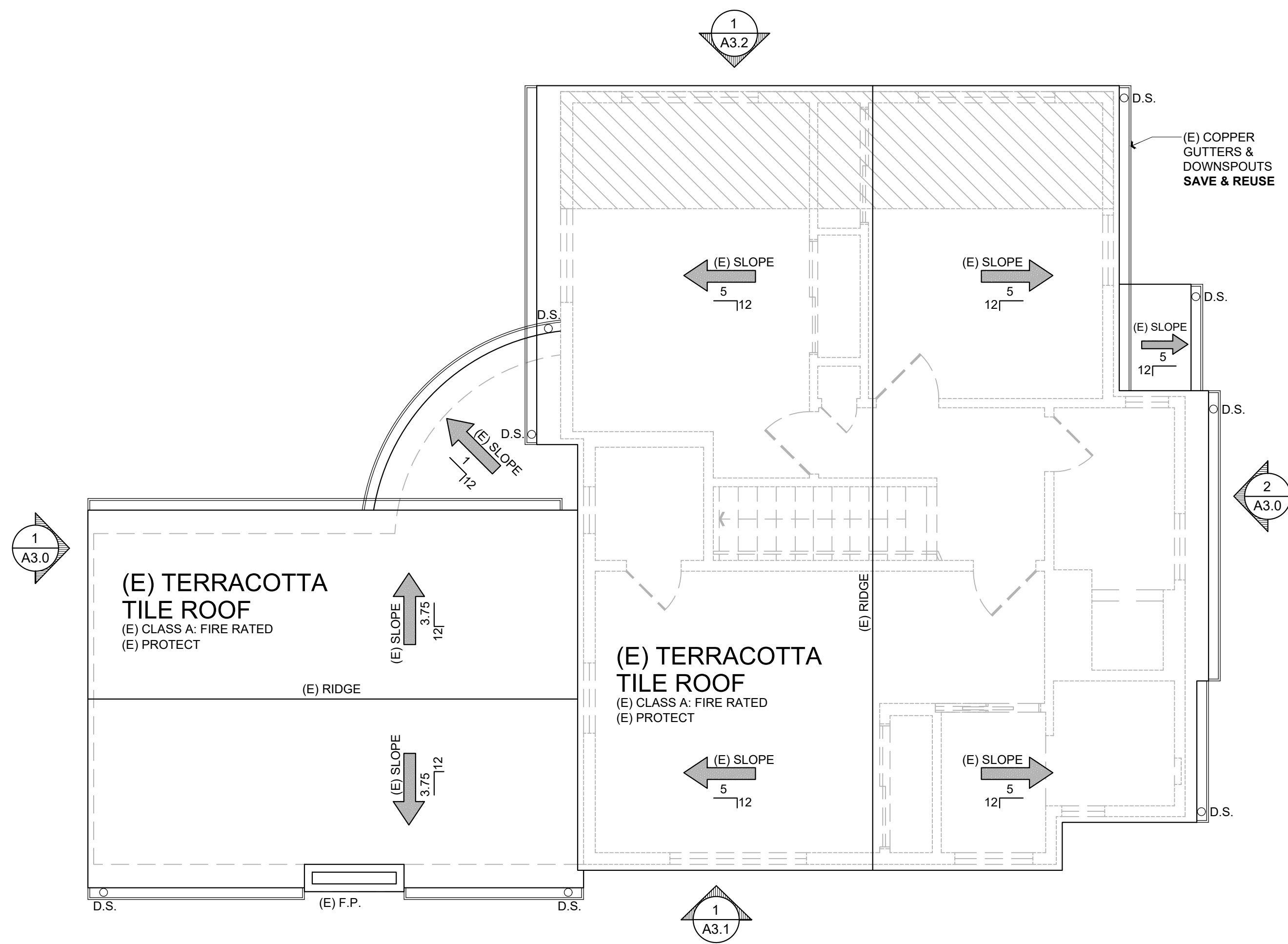
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 ZONING: RL  
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Title : Existing + Proposed Floor Plans  
 Project : MR. AND MRS. CAMERON FOSTER  
 2229 Adeline Drive  
 Burlingame CA 94010  
 Job No. : 21\_40  
 Drawn : TIM RAUENZ  
 Date : 12-22-21

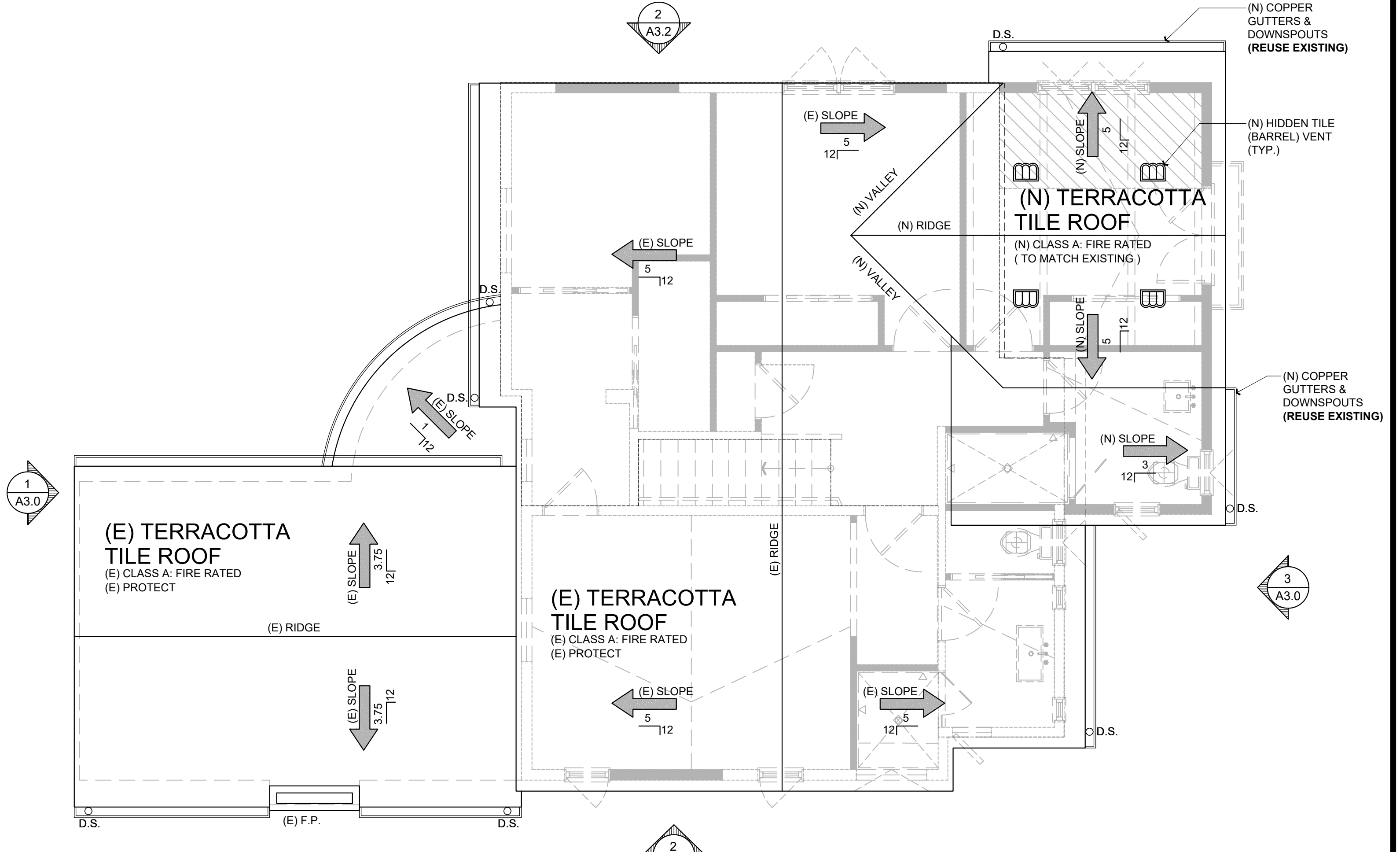
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**EXISTING ROOF PLAN**

Scale: 1/4 = 1'-0"

1  
A2.2



**PROPOSED ROOF PLAN**

Scale: 1/4 = 1'-0"

2  
A2.2

**PLUMBING & HVAC NOTE:**  
1. GROUP ALL EXHAUST FLUES TOGETHER WHEN POSSIBLE & LOCATE ON ROOFS SLOPING TO THE REAR OF HOUSE TYP. VERIFY LOCATION W/ DESIGNER.

**VENTILATION CALC:**  
SQ. FT. OF (N) ROOF: 308.05 SQ. FT.  
(N) 308.05/150 = 2.05 SQ. FT. OF VENTILATION IN NEW ROOF  
(N) ROOF VENTS (4 ea. X 75 SQ. FT.) = 3.00 SQ. FT.  
TOTAL VENTILATION INSTALLED = 3.00 SQ. FT.

**NOTES:**

- (EXISTING)(OGEE) G.S.M. GUTTERS, & (3" GSM) DOWNSPOUTS (MATCH EXISTING AS REQUIRED), LINE ALL VALLEYS WITH GSM, AT LEAST 20" WIDE WITH 1/4" EDGE TURNED OVER AND FASTENED WITH CLEATS. LAP JOINTS AT LEAST 4" BUT DO NOT SOLDER.
- WHEN INSULATION IS INSTALLED IN ENCLOSED RAFTER SPACES WHERE CEILINGS ARE APPLIED DIRECT TO THE UNDERSIDE OF ROOF RAFTERS, A MINIMUM AIR SPACE OF 1 INCH MUST BE PROVIDED, INSULATION BAFFLE NEEDED.
- FLASHINGS AND COUNTER FLASHINGS SHALL NOT BE LESS THAN 0.016-INCH (28-GAUGE) CORROSION RESISTANT METAL, AND VALLEY FLASHING.
- AT THE JUNCTURE OF THE ROOF & VERTICAL SURFACES, FLASHING & COUNTER FLASHINGS SHALL NOT BE LESS THAN 0.019-INCH (26 GAUGE).

**NOTES CONT:**

- TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MIN. OF 3'-0" FROM PROPERTY LINES OR ANY OPENING INTO THE BUILDING (I.E. DRYERS, BATH & UTILITY FANS, ETC., MUST BE 3'-0" AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS, PER CODE
- ATTIC VENTILATION AT CALIFORNIA FRAMING TO RECEIVE LOW PROFILE VENTS OR OPENING IN THE ROOF SHEATHING BELOW.
- (AS REQUIRED) ALL TRUSS/RAFTER BLOCKING TO RECEIVE 2" DIA. HOLES IN EVERY BLOCK TYPICAL FOR EVEN DISTRIBUTION OF AIR FLOW.
- ATTIC IS GETTING NEW INSULATION, VERIFY (E) FANS/VENTS TO WHAT IS REQUIRED PER CURRENT CODE.

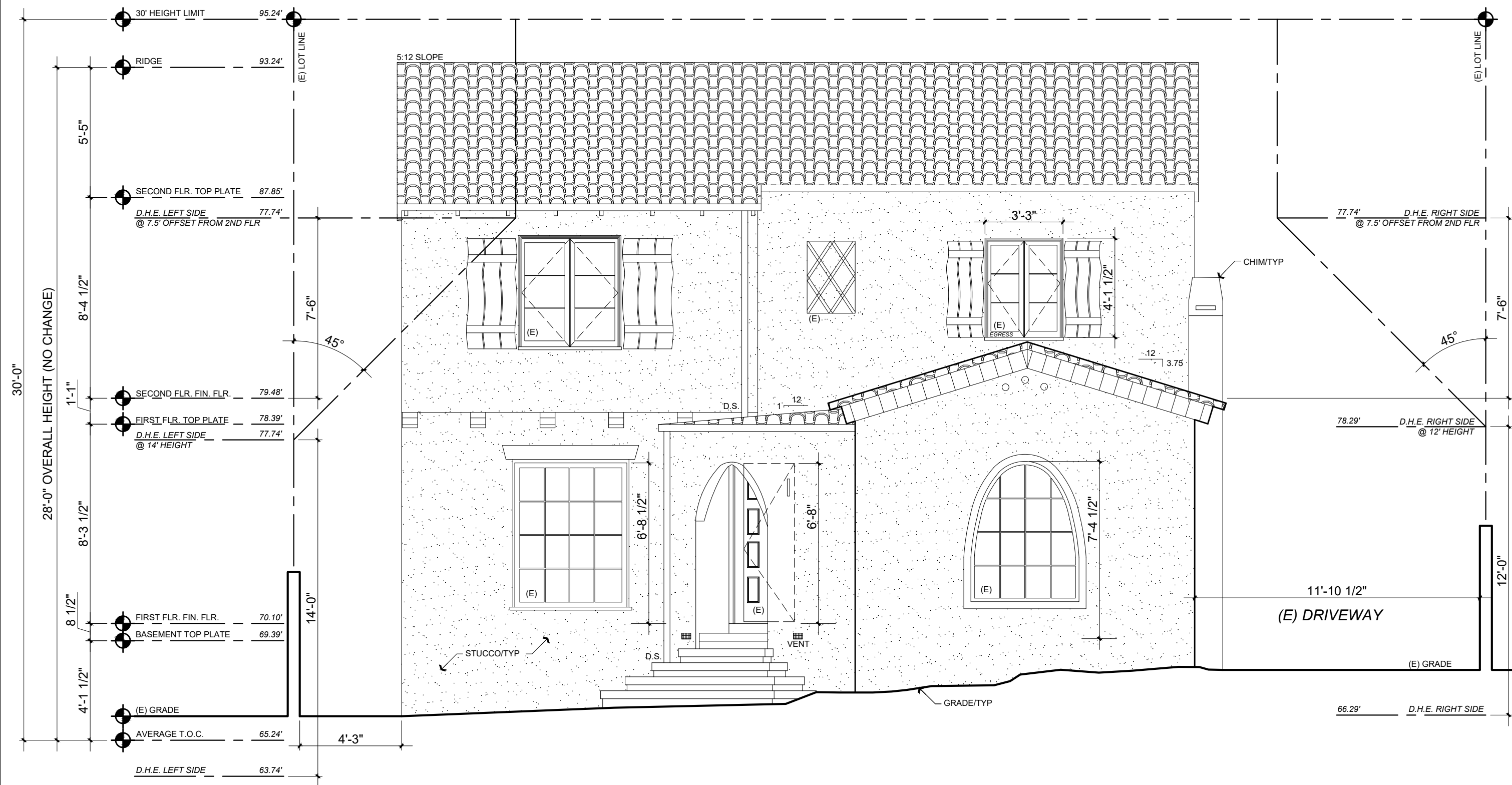
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Title : Existing + Proposed Roof Plan  
Project : MR. AND MRS. CAMERON FOSTER  
2229 Adeline Drive  
Burlingame CA 94010  
Job No. : 21\_40  
Drawn : TIM RADEWIZ  
Date : 12-22-21

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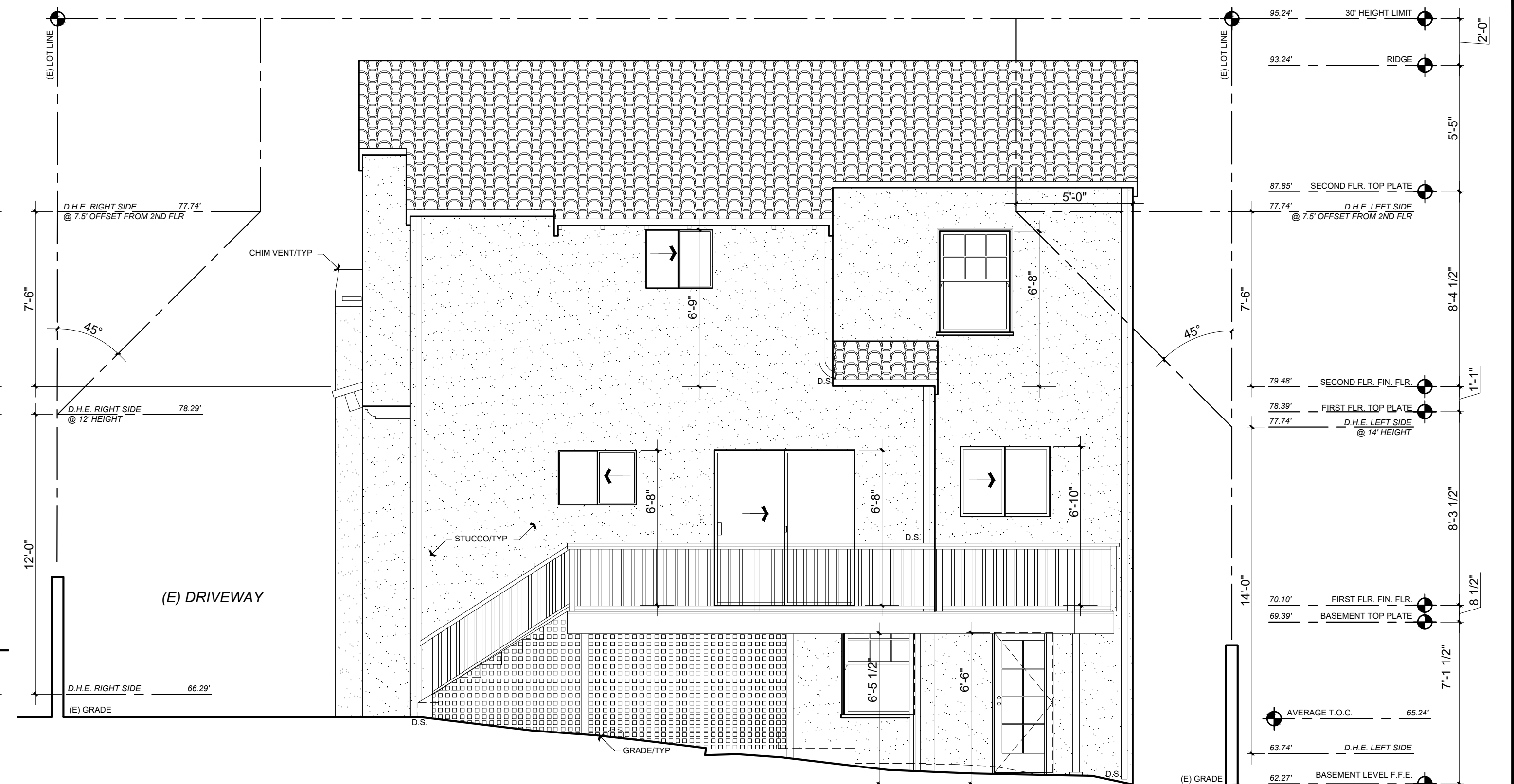


**NO WORK AT FRONT ELEVATION**

**EXISTING FRONT ELEVATION**

Scale: 1/4" = 1'-0"

1  
A3.0



**EXISTING REAR ELEVATION**

Scale: 1/4" = 1'-0"

2  
A3.0



**PROPOSED REAR ELEVATION**

Scale: 1/4" = 1'-0"

3  
A3.0

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Title : Existing + Proposed Elevations  
 Project : MR. AND MRS. CAMERON FOSTER  
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 Burlingame CA 94010

Job No. : 21\_40 Drawn : TIM RADEZNY Date : 12-22-21  
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**A3.0**

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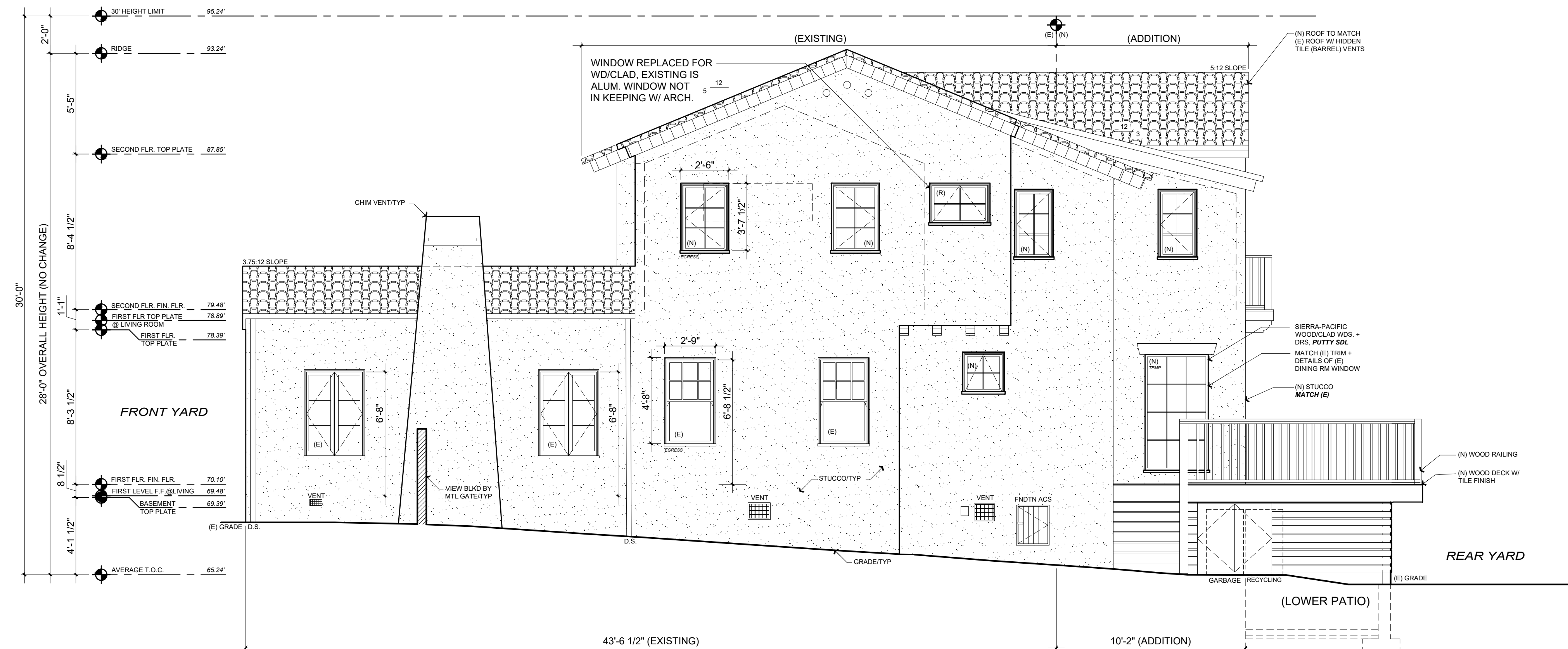
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**EXISTING RIGHT ELEVATION**

Scale: 1/4 = 1'-0"

1  
A3.1



**PROPOSED RIGHT ELEVATION**

Scale: 1/4 = 1'-0"

2  
A3.1

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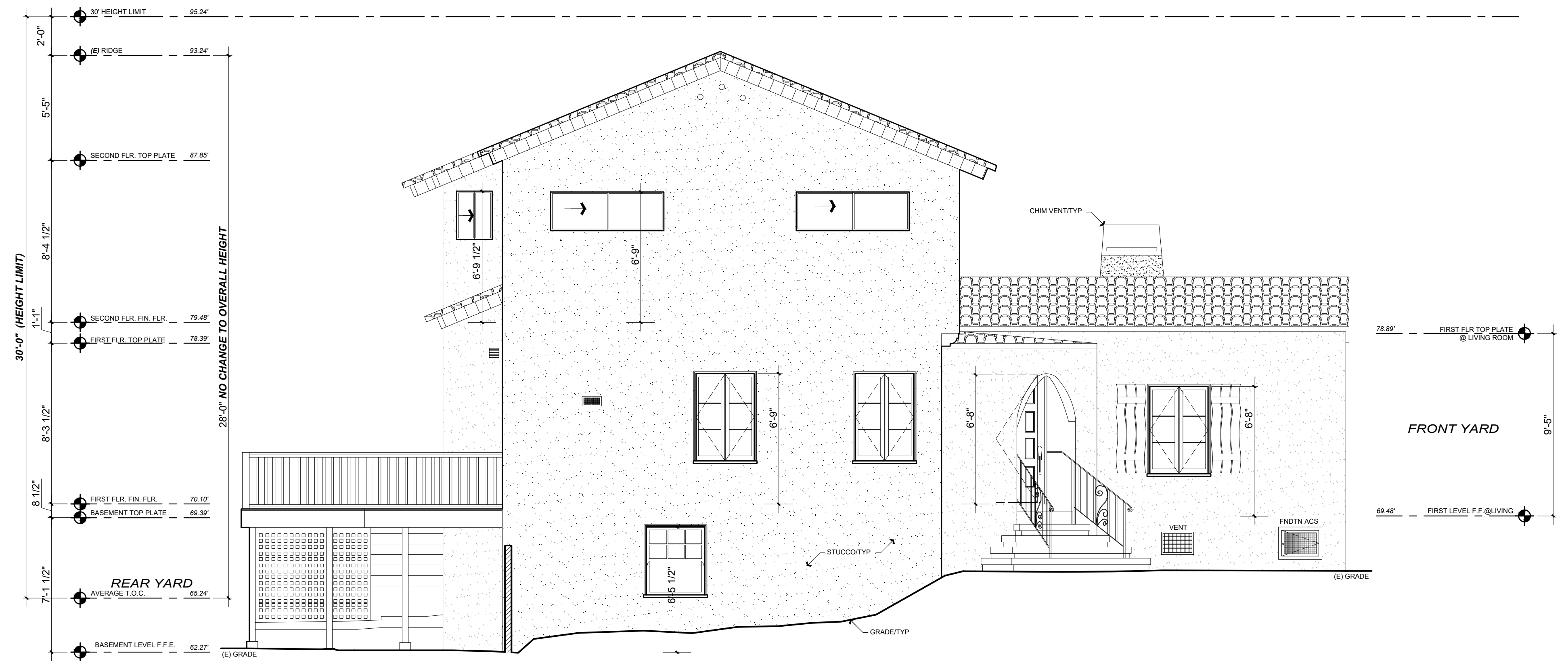
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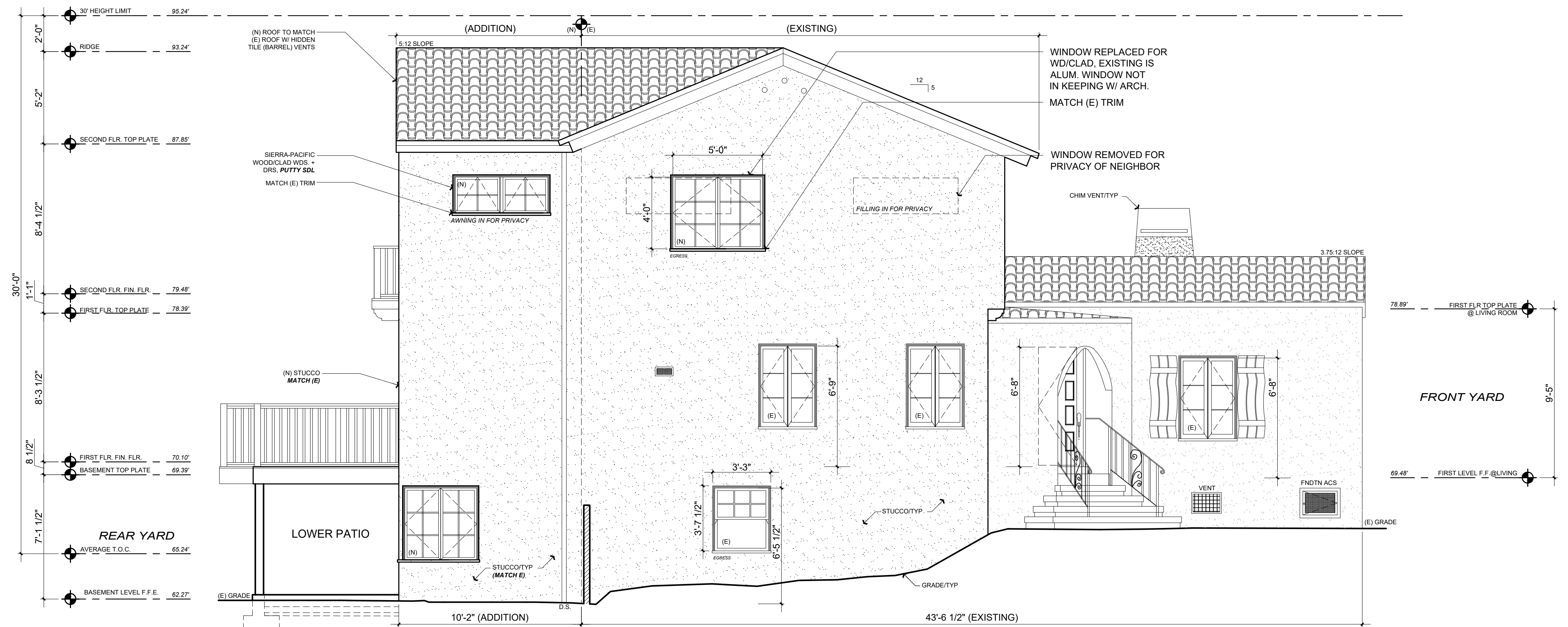
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A3.1

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**EXISTING LEFT ELEVATION** 1  
Scale: 1/4" = 1'-0" A3.2



**PROPOSED LEFT ELEVATION** 2  
Scale: 1/4" = 1'-0" A3.2

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 Revisions

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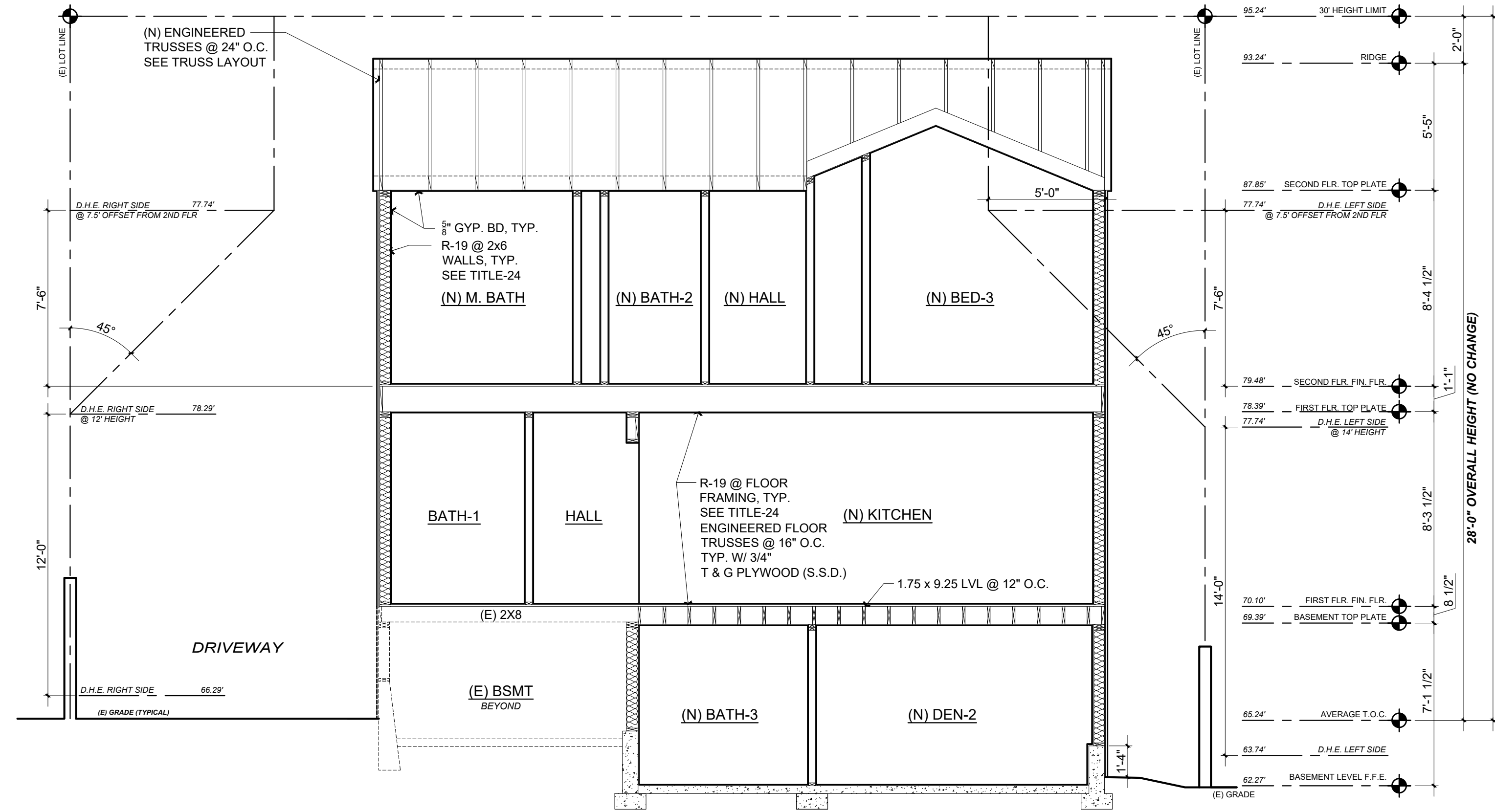
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 Project : MR. AND MRS. CAMERON FOSTER  
 2229 Adeline Drive  
 Burlingame CA 94010  
 Job No. : 21\_40 Drawn : TIM RADEWZ Date : 12-22-21

**A3.2**  
 Sheet  
 Scale: See Details

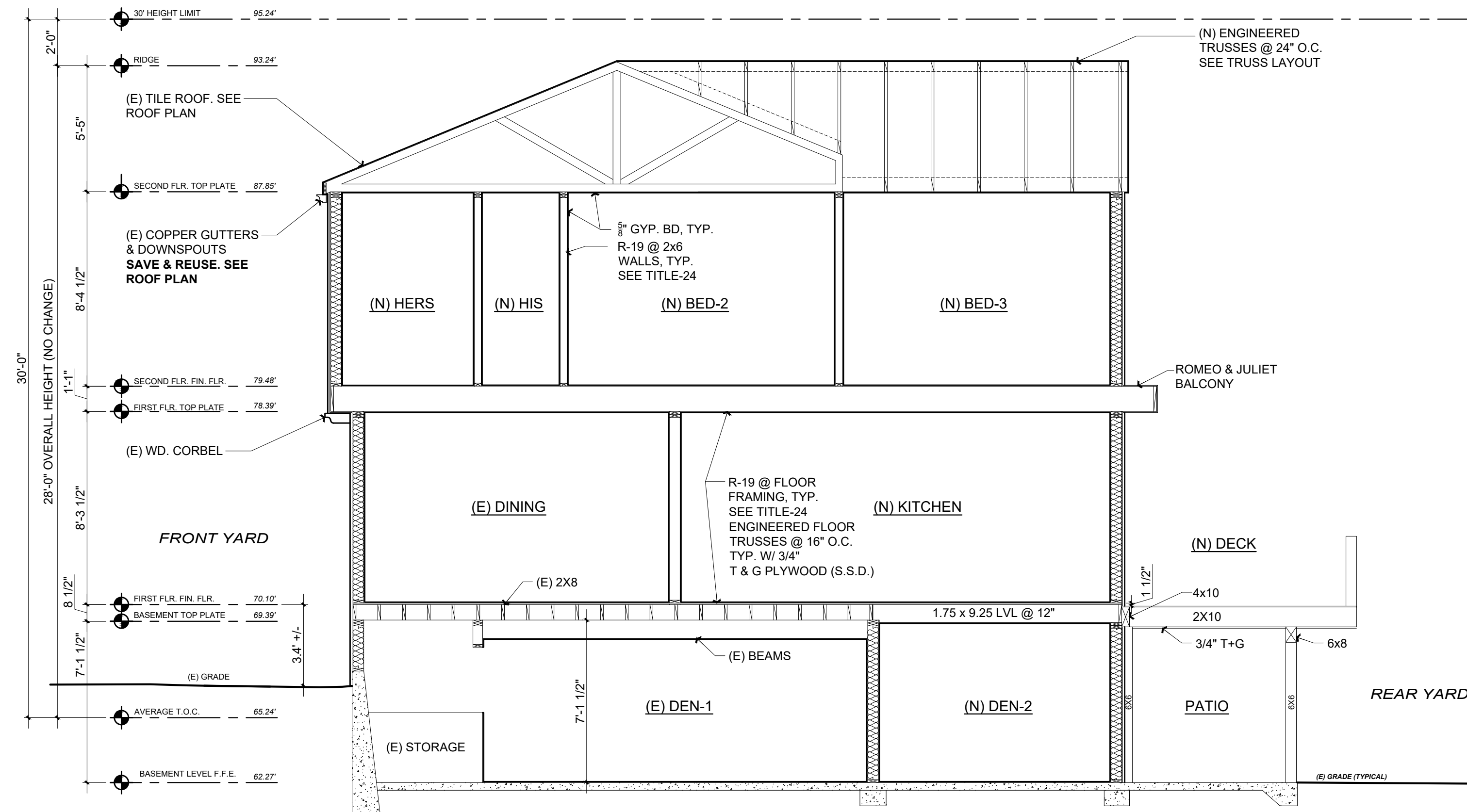
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**PROPOSED BUILDING SECTION 1**  
Scale: 1/4" = 1'-0" A4.0



**PROPOSED BUILDING SECTION 2**  
Scale: 1/4" = 1'-0" A4.0

**Revisions**

Rev. #	Description	Date
001	RESPONSE TO PLANNING DEPT COMMENTS 05.16.22	05.19.22
002	RESPONSE TO PLANNING DEPT COMMENTS 04.03.22	06.06.22
003	RESPONSE TO PLANNING DEPT COMMENTS 06.24.22	06.24.22
004		
005		
006		

Contractor :

Owner :  
MR. + MRS. CAMERON FOSTER  
2229 Adeline Drive  
Burlingame, CA 94010  
Zoning: RL

4943 SILVER SPRINGS DRIVE  
Park City, UT 84098  
PH: 415.819.0304  
E-mail: TIM@FORMONEDESIGN.COM



Title : Proposed Building Sections  
Project : MR. AND MRS. CAMERON FOSTER  
2229 Adeline Drive  
Burlingame CA 94010  
Job No. : 21\_40 Drawn : TIM RADUENZ Date : 12-22-21

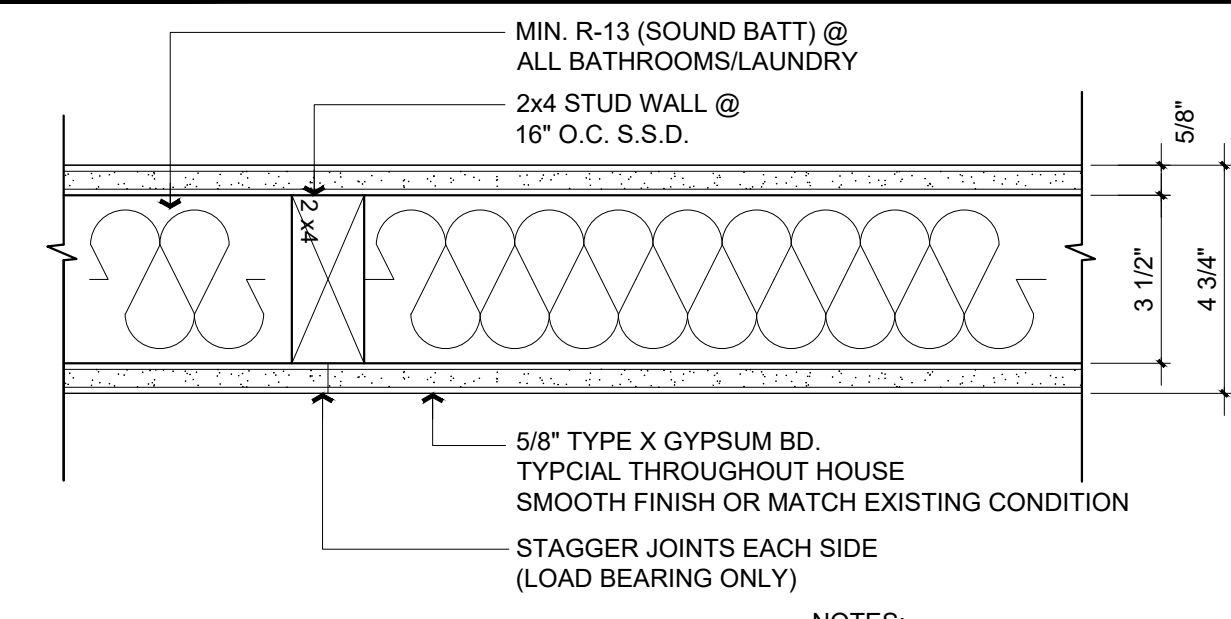
PLANNING SET

APN#: 027-161-160

**A4.0**

Sheet  
Scale: See Details

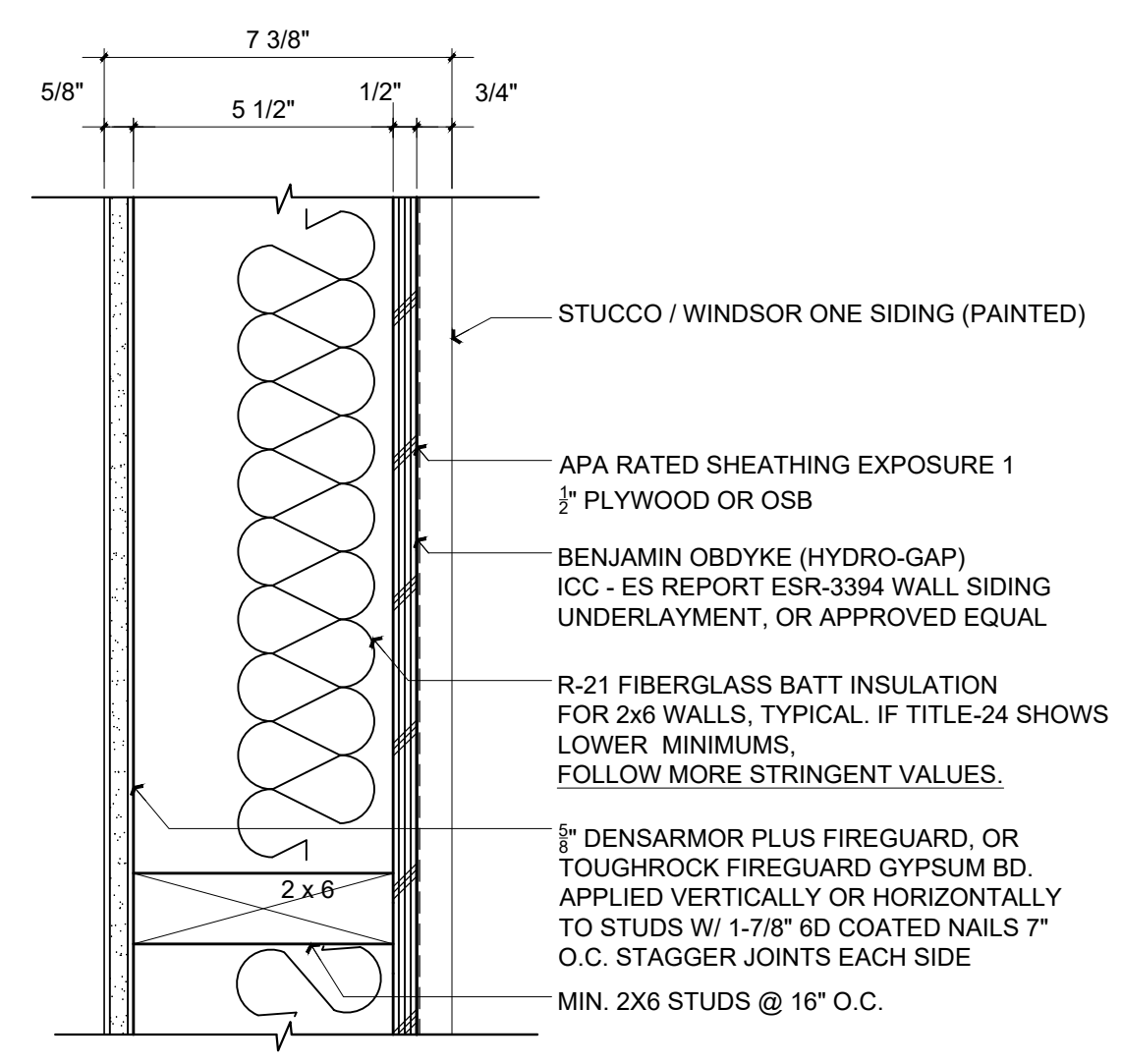
All drawings & specifications provided as instructions of the project is intended to be used as a guide only. It is understood that the contractor shall be responsible for verifying all dimensions, materials, and conditions before construction. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for the safety of all workers and the public. The contractor shall be responsible for the quality of all workmanship. The contractor shall be responsible for the completion of the project within the specified time frame. The contractor shall be responsible for the payment of all bills and invoices. The contractor shall be responsible for the maintenance of the project site. The contractor shall be responsible for the removal of all debris and waste. The contractor shall be responsible for the protection of all existing structures and utilities. The contractor shall be responsible for the coordination of all trades. The contractor shall be responsible for the communication with the architect and the owner. The contractor shall be responsible for the adherence to all applicable codes and regulations. The contractor shall be responsible for the safety of all workers and the public. The contractor shall be responsible for the quality of all workmanship. The contractor shall be responsible for the completion of the project within the specified time frame. The contractor shall be responsible for the payment of all bills and invoices. The contractor shall be responsible for the maintenance of the project site. The contractor shall be responsible for the removal of all debris and waste. The contractor shall be responsible for the protection of all existing structures and utilities. The contractor shall be responsible for the coordination of all trades. The contractor shall be responsible for the communication with the architect and the owner. The contractor shall be responsible for the adherence to all applicable codes and regulations.



**INTERIOR WALL DTLS.**

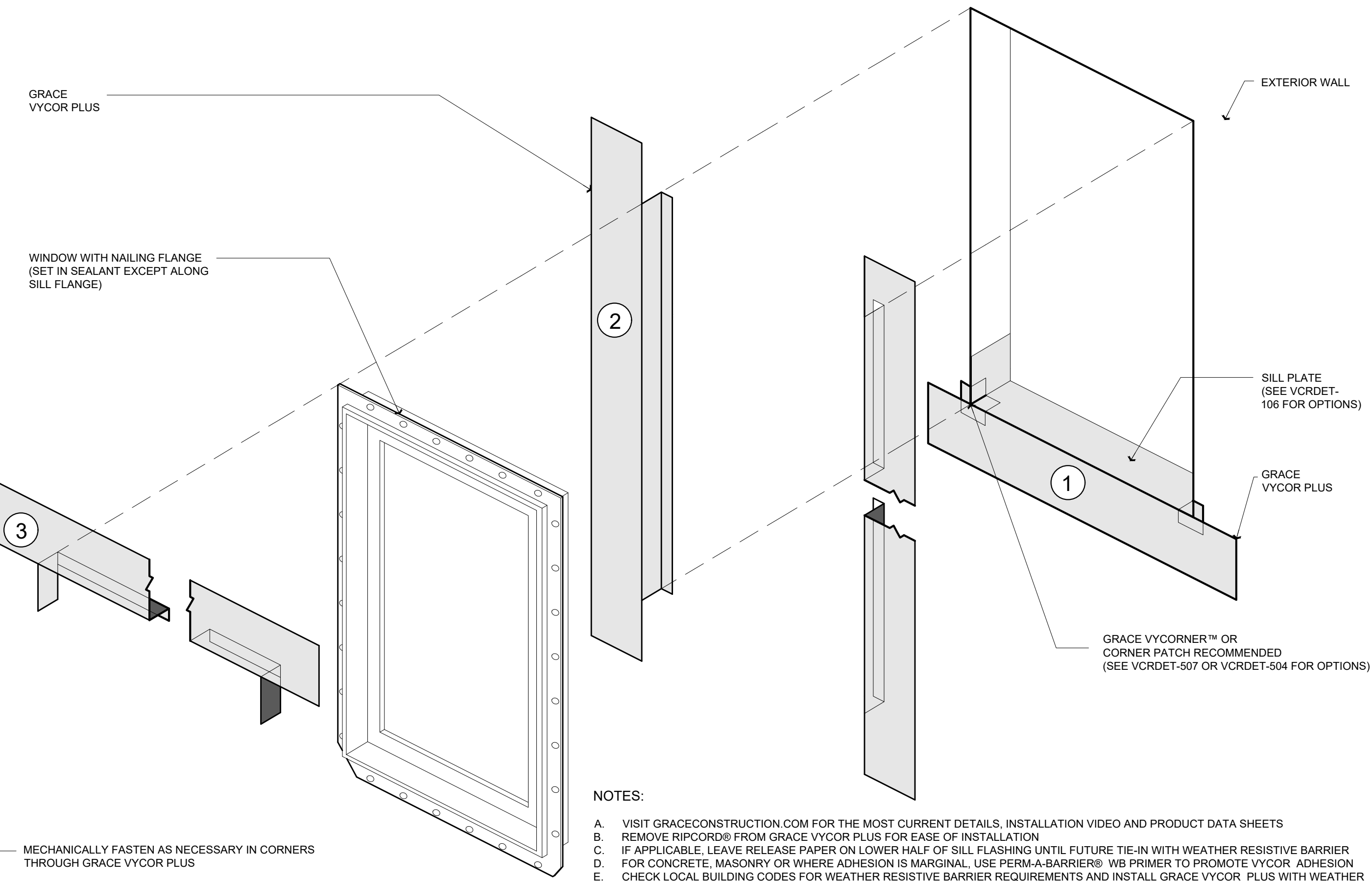
NOTES:  
SEE WWW.GPGYPSUM.COM FOR TECHNICAL SPECS

1  
A5.0



**EXT. WALL DTLS.**

2  
A5.0



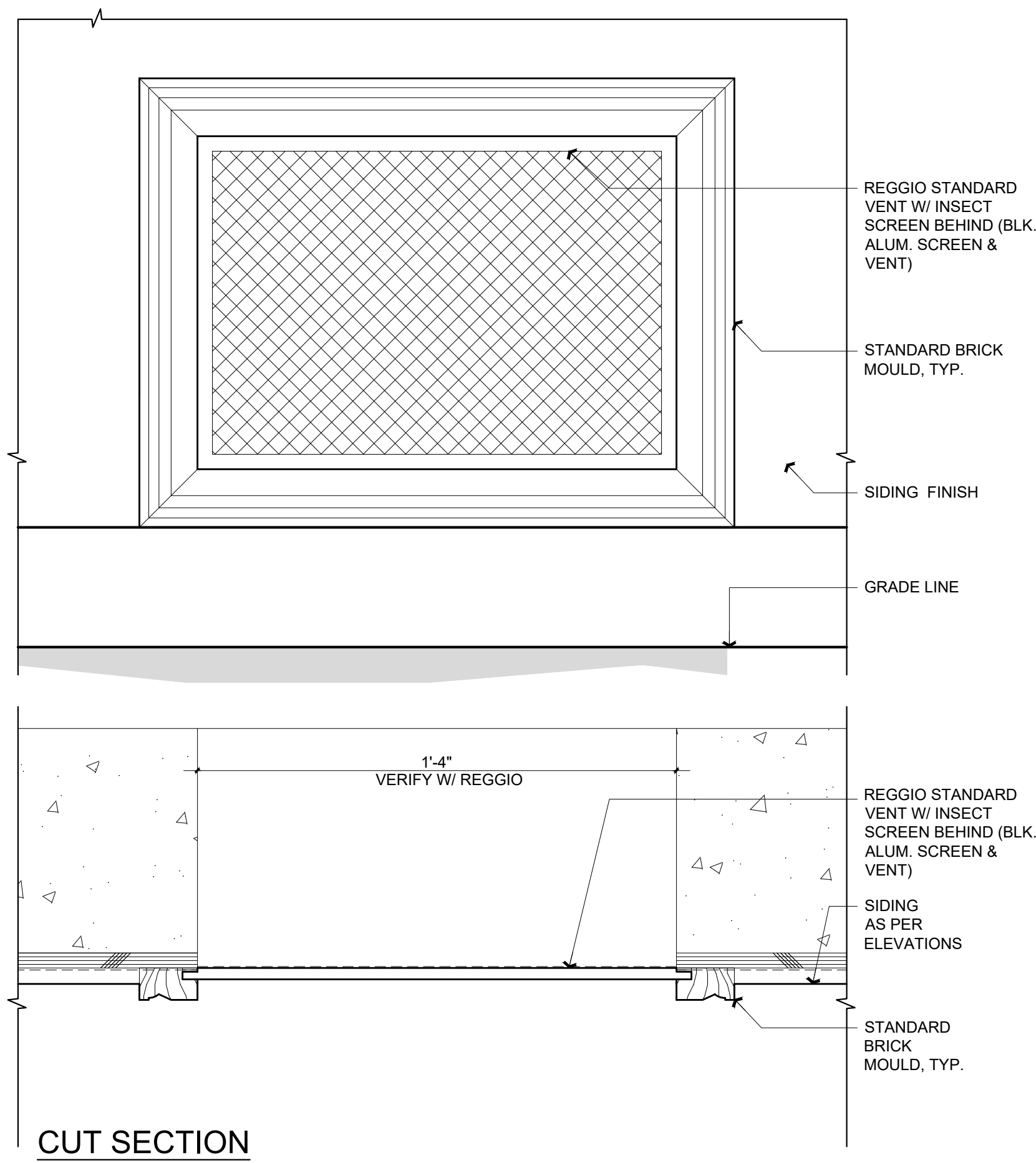
**WINDOW FLASHING DTLS.**

NOTES:

- VISIT GRACECONSTRUCTION.COM FOR THE MOST CURRENT DETAILS, INSTALLATION VIDEO AND PRODUCT DATA SHEETS
- REMOVE RIPCORD® FROM GRACE VYCOR PLUS FOR EASE OF INSTALLATION
- IF APPLICABLE, LEAVE RELEASE PAPER ON LOWER HALF OF SILL FLASHING UNTIL FUTURE TIE-IN WITH WEATHER RESISTIVE BARRIER
- FOR CONCRETE, MASONRY OR WHERE ADHESION IS MARGINAL, USE PERMA-BARRIER® WB PRIMER TO PROMOTE VYCOR ADHESION
- CHECK LOCAL BUILDING CODES FOR WEATHER RESISTIVE BARRIER REQUIREMENTS AND INSTALL GRACE VYCOR PLUS WITH WEATHER RESISTIVE BARRIER TO FORM WATER-SHEDDING LAPS
- INSTALL WINDOW PER MANUFACTURER'S RECOMMENDATION AND USE APPROPRIATE SEALANT FOR WINDOW AND WOOD BUCK
- DETAIL ALSO RELEVANT FOR GRACE VYCOR V40 AND VYCOR BUTYL

3  
A5.0

**ELEVATION**



**(N) EXT. WALL VENT DTLS.**

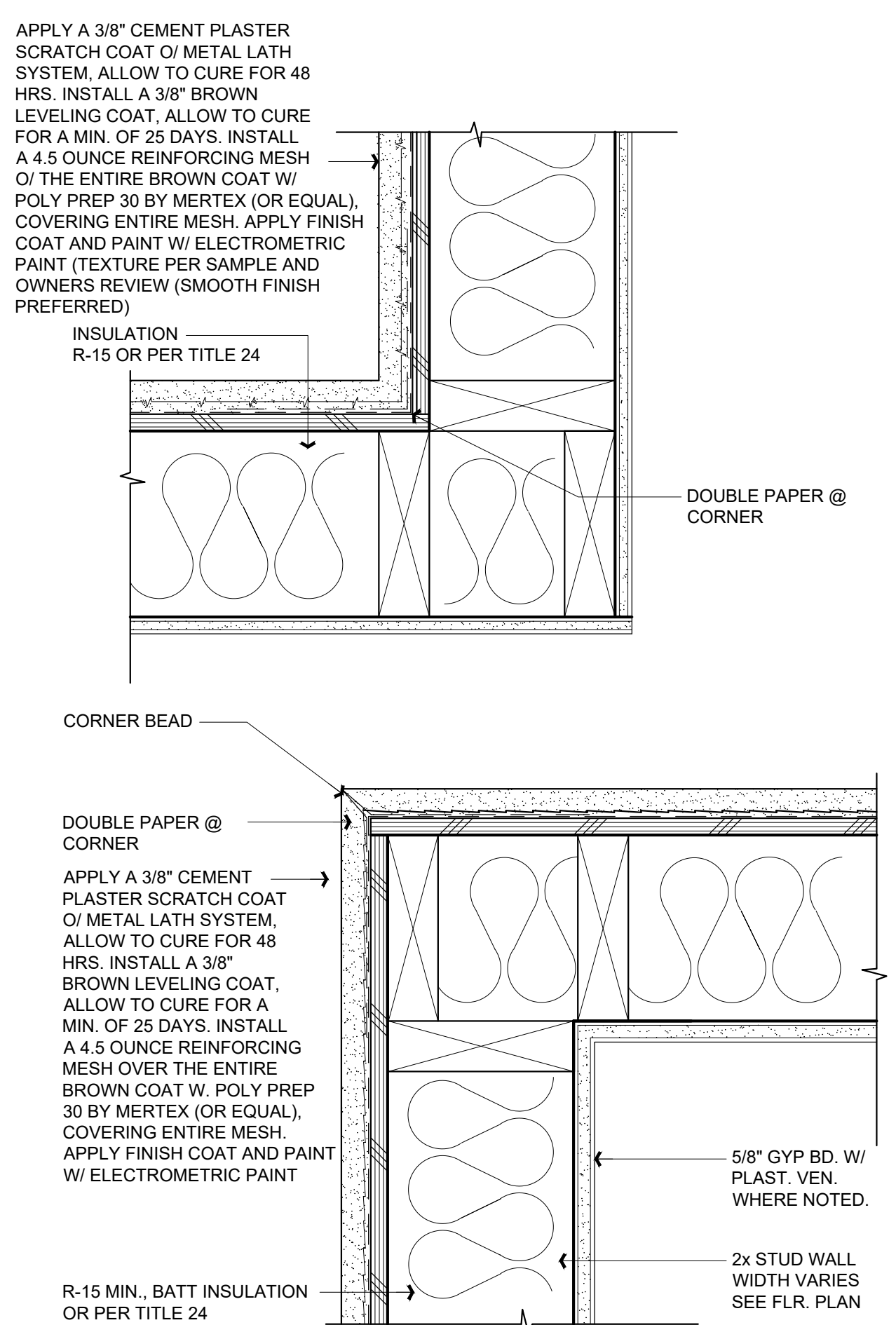
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A5.0



**EXISTING INTERIOR WINDOW DETAIL**

Scale: N/A

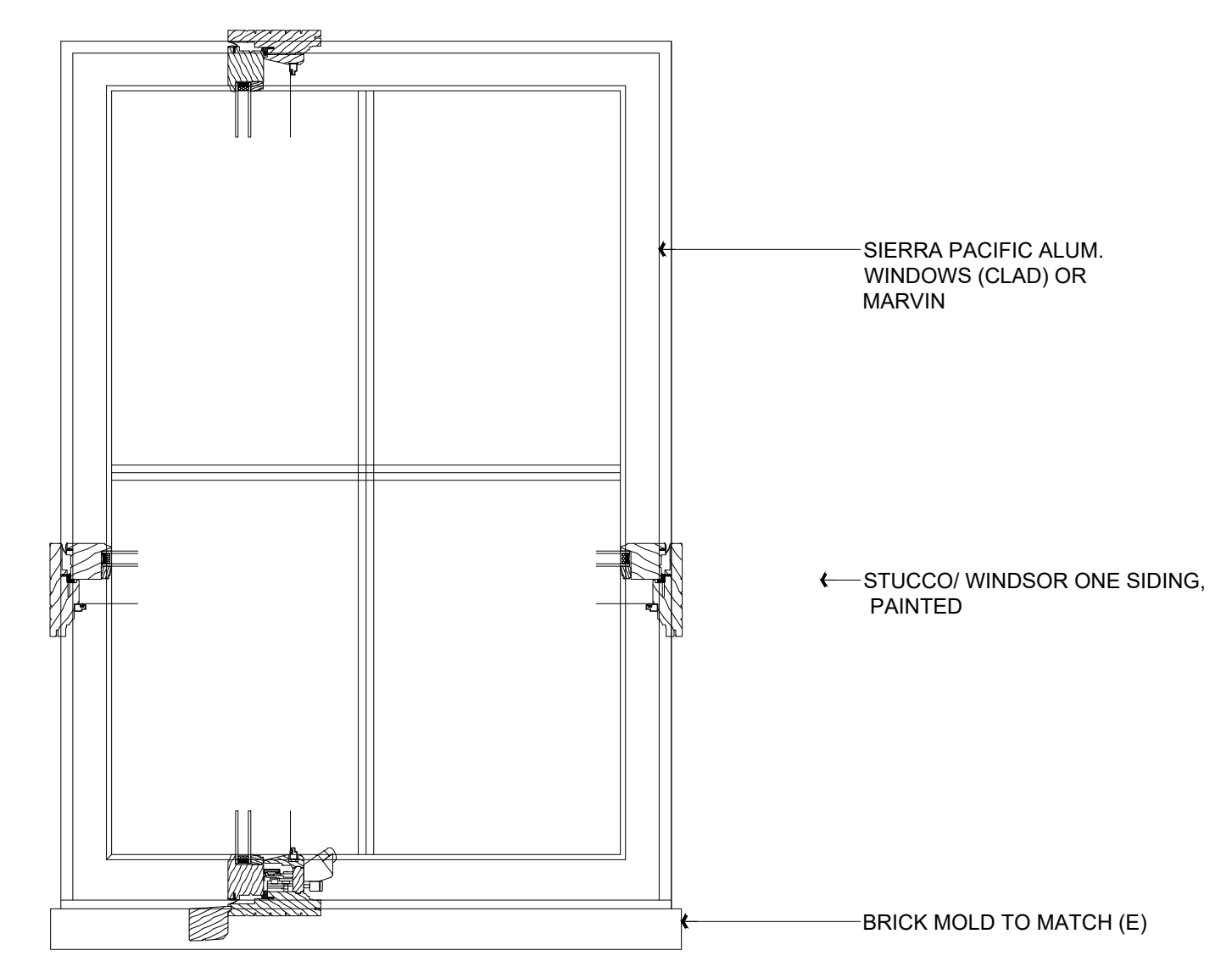
5  
A5.0



**STUCCO EXT. WALL DETAILS**

Scale: 3" = 1'-0"

6  
A5.0



**TYPICAL WINDOW DETAIL**

Sierra Pacific or Marvin or Equal

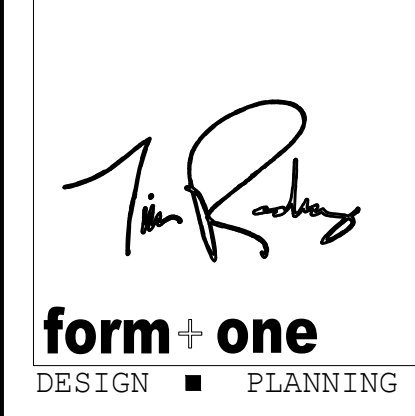
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7  
A5.0

Rev.	Description	Date
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Contractor :  
Owner :  
TBA  
2229 Adeline Drive  
Burlingame CA 94010  
Zoning: R1  
APN#: 027-161-160

4943 SILVER SPRINGS DRIVE  
Park City, UT 84098  
Ph: 415.819.0304  
E-mail: TIM@FORMONEDESIGN.COM



Title : Building Details  
Project : MR. AND MRS. CAMERON FOSTER  
2229 Adeline Drive  
Burlingame CA 94010  
Job No. : 21\_40  
Drawn : TIM RAUENZ  
Date : 12-22-21

# ROOM FINISH SCHEDULE

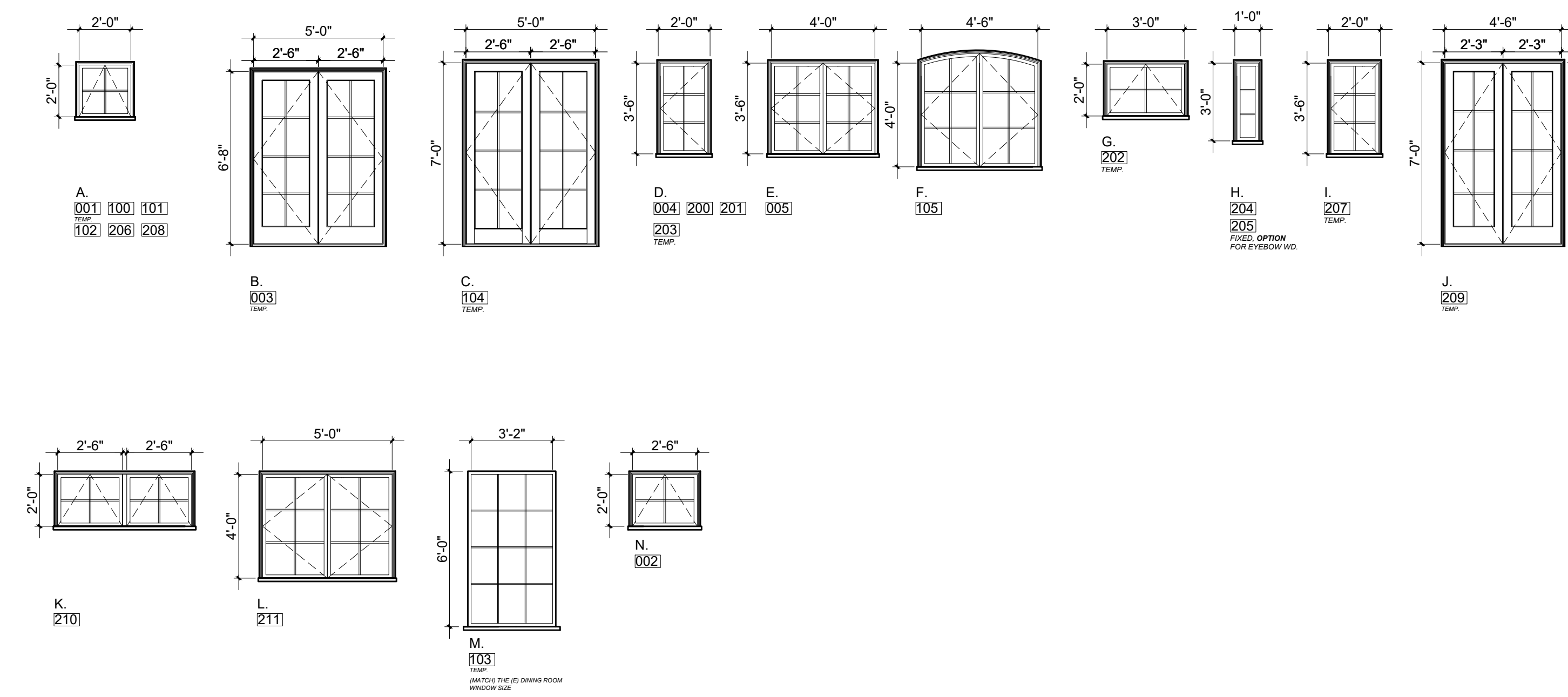
	ROOM	FLOORING	PAINT				REMARKS
			WALLS	CEILING	MILLWORK	CROWN	
BASEMENT	DEN 1	VINYL WD.	TBS	TBS	PAINT (TBS)	TBS	
	DEN 2	VINYL WD.	TBS	TBS	PAINT (TBS)	TBS	
	BATH 3	TILE	TBS	TBS	PAINT (TBS)	TBS	
	PATIO	TILE	TBS	TBS	PAINT (TBS)	TBS	
FIRST FLOOR	LIVING	WOOD	TBS	TBS	PAINT (TBS)	TBS	
	KITCHEN	WOOD	TBS	TBS	PAINT (TBS)	TBS	
	DINING	WOOD	TBS	TBS	PAINT (TBS)	TBS	
	BATH-1	TILE	TBS	TBS	PAINT (TBS)	TBS	
	L. HALL	WOOD	TBS	TBS	PAINT (TBS)	TBS	
SECOND FLR	DECK	TILE	TBS	TBS	PAINT (TBS)	TBS	
	M. BED	WOOD	TBS	TBS	PAINT (TBS)	TBS	
	M. CLT.	WOOD	TBS	TBS	PAINT (TBS)	TBS	
	M. BATH	TILE	TBS	TBS	PAINT (TBS)	TBS	
	BED-2	WOOD	TBS	TBS	PAINT (TBS)	TBS	
	BATH-2	WOOD	TBS	TBS	PAINT (TBS)	TBS	
U. HALL	WOOD	TBS	TBS	PAINT (TBS)	TBS		
BED-3	WOOD	TBS	TBS	PAINT (TBS)	TBS		

**PAINT SPECS.**

INTERIORS:  
 MAIN ROOMS:  
 AURA, NATURA(GREEN OPTION), REGAL SELECT, OR APPROVED EQUIVALENT  
 CEILING:  
 WATERBORNE CEILING PAINT, OR APPROVED EQUIVALENT  
 BATHROOMS:  
 AURA BATH AND SPA, OR APPROVED EQUIVALENT  
 EXTERIORS:  
 HOUSE:  
 AURA, REGAL SELECT, OR APPROVED EQUIVALENT

**CAL GREEN NOTES:**

1. PAINTS AND COATINGS WILL COMPLY WITH VOC LIMITS PER CGC §4.504.2.2
2. DOCUMENTATION PROVIDED THAT VERIFIES COMPLIANCE WITH VOC FINISH MATERIALS. 2019 CGC §4.504.2.4
3. CARPET SYSTEM INSTALLED IN THE BUILDING INTERIOR WILL MEET THE TESTING AND PRODUCT REQUIREMENTS FOUND IN THE 2019 CALIFORNIA GREEN BUILDING CODE. 2019 CGC §4.504.3
4. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80% OF THE FLOOR AREA RECEIVING RESILIENT FLOORING WILL COMPLY WITH THE CALIFORNIA GREEN BUILDING CODE REQUIREMENTS. 2019 CGC §4.504.4
5. HARDWOOD FLOORING, PARTICLEBOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR AND EXTERIOR OF THE BUILDING WILL COMPLY WITH THE LOW FORMALDEHYDE EMISSION STANDARDS. 2019 CGC §4.504.5
6. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROG AND OTHER REQUIREMENTS PER CGC 4.504.2.3
7. ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL FOLLOW LOCAL AND REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT STANDARDS 2019 CGC §4.504.2.1
8. NEW MANDATORY U-FACTOR (0.58) FOR FENESTRATION + SKYLIGHTS §150.0 (a)
9. REDUCED U-FACTOR (0.30) FOR HIGH PERFORMANCE WINDOWS 2019 CAL ENERGY CODE §150.1 (c)3 A
10. MAX. TOTAL AREA, 20%. NO MAX. FOR WEST FACING AREA, TABLE 150.1-A, AND B
11. DOOR MAX. U-FACTOR 0.20, TABLE 150.1-A, AND B



# ROOM FINISH SCHEDULE

Scale: NA 1  
A9.0

# EXTERIOR DOORS & WINDOWS

	LOCATION	DOORS							DETAILS				HDWR.		REMARKS	NOTES	
		DOOR SIZE WxH	TYPE	SYM.	MATERIALS CORE EXT. FIN. INT. FIN. GLASS	HEAD	JAMB	SILL	TRIM	TYPE	FIN.						
BSMNT	001	BATH 3	2'-0" X 2'-0"	AWN.	A	PINE	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1	1. WOODCLAD SIERRA PACIFIC WINDOWS + DOORS, WITH S.D.L. 3/4" MUNTIN BARS 2. EGRESS PER CODE 3. DOOR BY SIMPSON OR EQUAL, VERIFY DESIGN WITH OWNER & DESIGNER 4. VERIFY OPENING SIZE W/ CONTRACTOR 5. PRIVACY GLASS, OPTION BY LOCAL ARTISAN 6. DOOR BY SIMPSON FIBERGLASS DOOR OR EQ. 7. OVERHEAD DOOR (SHOP DRAWING REQUIRED, VERIFY SIDE MOUNT MOTOR IN FIELD) 8. TRANSOM ABOVE UNIT TO BE LEADED WINDOW MADE BY LOCAL ARTISAN. 9. NA 10. NA 11. (1') FIELD MEASURE
	002	BATH 3	2'-6" X 2'-0"	AWN.	N	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1	
	003	DEN 2	5'-0" X 6'-8"	SLIDER	B	D.F.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1, 2	
	004	DEN 2	2'-0" X 3'-6"	CASE	D	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1	
	005	DEN 2	4'-0" X 3'-6"	CASE	E	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1	
MAIN FLOOR	100	BATH 1	2'-0" X 2'-0"	AWN.	A	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1	HARDWARE FINISH SPECIFICATION: ENTRY DOOR HARDWARE: (BY OWNER) AND INSTALLED BY CONTRACTOR WINDOW HARDWARE: WHITE, TYP. (VERIFY W/ OWNER)  CAL. GREEN REQUIREMENTS 1. SEE CAL. GREEN REQUIREMENTS IN ROOM SCHEDULE
	101	BATH 1	2'-0" X 2'-0"	AWN.	A	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1	
	102	HALL	2'-0" X 2'-0"	AWN.	A	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1	
	103	KITCHEN	6'-0" X 3'-2"	FIXED	M	PINE	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1	
	104	KITCHEN	5'-0" X 7'-0"	FRENCH DR.	C	D.F.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1, 2	
105	KITCHEN	4'-6" X 4'-0"	CASE	F	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1		
SECOND FLOOR	200	M.BED	2'-0" X 3'-6"	CASE	D	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1, 2	SAFETY GLAZING NOTES (CRC R308.4) A. ALL SLIDING + SWINGING GLASS DOORS TO HAVE SAFETY GLAZING. B. GLAZING IN SHOWERTUBS/SAUNA ROOMS LESS THAN 60" ABOVE THE STANDING SURFACE AND LESS THAN 60" MEASURED HORIZONTALLY FROM THE WATER'S EDGE OF A BATHTUB, HOT TUB, SPA, WHIRLPOOL OR SWIMMING POOL. C. GLAZING WITH A 24" ARC OF A DOOR THAT IS LESS THAN 60" ABOVE THE FLOOR. D. GLAZING WHERE THE EXPOSED AREA IS GREATER THAN 9 SQ. FT., BOTTOM IS LESS THAN 18" AND AT LEAST 36" ABOVE THE FLOOR, AND ADJACENT TO WALKING SURFACES. E. WITHIN 60" OF THE BOTTOM TREAD OF A STAIRWAY AND LESS THAN 36" ABOVE THE FLOOR. F. GLAZING IN GUARDS & RAILINGS. G. GLAZING ADJACENT TO STAIRWAYS, LANDINGS, AND RAMPS WITHIN 36" HORIZONTALLY OF THE WALKING SURFACE LESS THAN 36" ABOVE FINISH FLOOR.
	201	M.BED	2'-0" X 3'-6"	CASE	D	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1, 2	
	202	M.BATH	3'-0" X 2'-0"	AWN.	G	PINE	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1	
	203	M.BATH	2'-0" X 3'-6"	CASE	D	PINE	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1	
	204	M.BATH	1'-0" X 3'-0"	CASE/FIXED	H	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1	
	205	M.BATH	1'-0" X 3'-0"	CASE/FIXED	H	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1	
	206	M.BATH	2'-0" X 2'-0"	AWN.	A	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1	
	207	BATH 2	2'-0" X 3'-6"	CASE	I	PINE	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1	
	208	BATH 2	2'-0" X 2'-0"	AWN.	A	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1	
	209	BED 3	4'-6" X 7'-0"	FRENCH DR.	J	D.F.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1, 2	
	210	BED 3	5'-0" X 2'-0"	AWN.	K	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1	
211	BED 2	5'-0" X 4'-0"	CASE	L	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1, 2		

# EXT. DOORS & WINDOWS SCHEDULE

Scale: NA 2  
A9.0

# EXT. DOORS & WINDOWS ELEVATIONS

Scale: 1/4" = 1'-0" 3  
A9.0



# INT. DOORS ELEVATIONS

Scale: 1/2" = 1'-0" 4  
A9.0

# APPLIANCE SCHEDULE

NOTE: ALLOWANCE AND INSTALLED BY ALLOWANCE, CONTRACTOR TO INCLUDE BLOCKING / ROUGH-IN AS NEEDED PER SPEC. SHEETS

	ROOM	APPLIANCE TYPE	MANUF.	FINISH	MODEL #	REMARKS
FIRST FLOOR	KITCHEN	(N) RANGE	T.B.D.	T.B.D.	T.B.D.	T.B.D., TYPICAL DUAL FUEL
		(N) VENT HOOD	T.B.D.	T.B.D.	T.B.D.	T.B.D., MIN. 100 CFM, VENT TO EXTERIOR PER CODE
		(N) REFRIGERATOR	T.B.D.	T.B.D.	T.B.D.	T.B.D., INCLUDE WATER LINE TO REAR OF UNIT
		(N) DISHWASHER	T.B.D.	T.B.D.	T.B.D.	T.B.D.
		(N) DISPOSAL	T.B.D.	T.B.D.	T.B.D.	T.B.D.
		(N) MICROWAVE	T.B.D.	T.B.D.	T.B.D.	T.B.D., TYPICAL DRAWER STYLE
SECOND FLOOR						

# APPLIANCE SCHEDULE

Scale: NA 5  
A9.0

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Contractor: \_\_\_\_\_

Owner: MR. + MRS. CAMERON FOSTER  
 4943 SILVER SPRINGS DRIVE  
 Park City, UT 84098  
 PH: 415.819.0304  
 E-mail: TIM@FORMONEDSIGN.COM

APN#: 027-161-160

PLANNING SET

form+one  
DESIGN ■ PLANNING

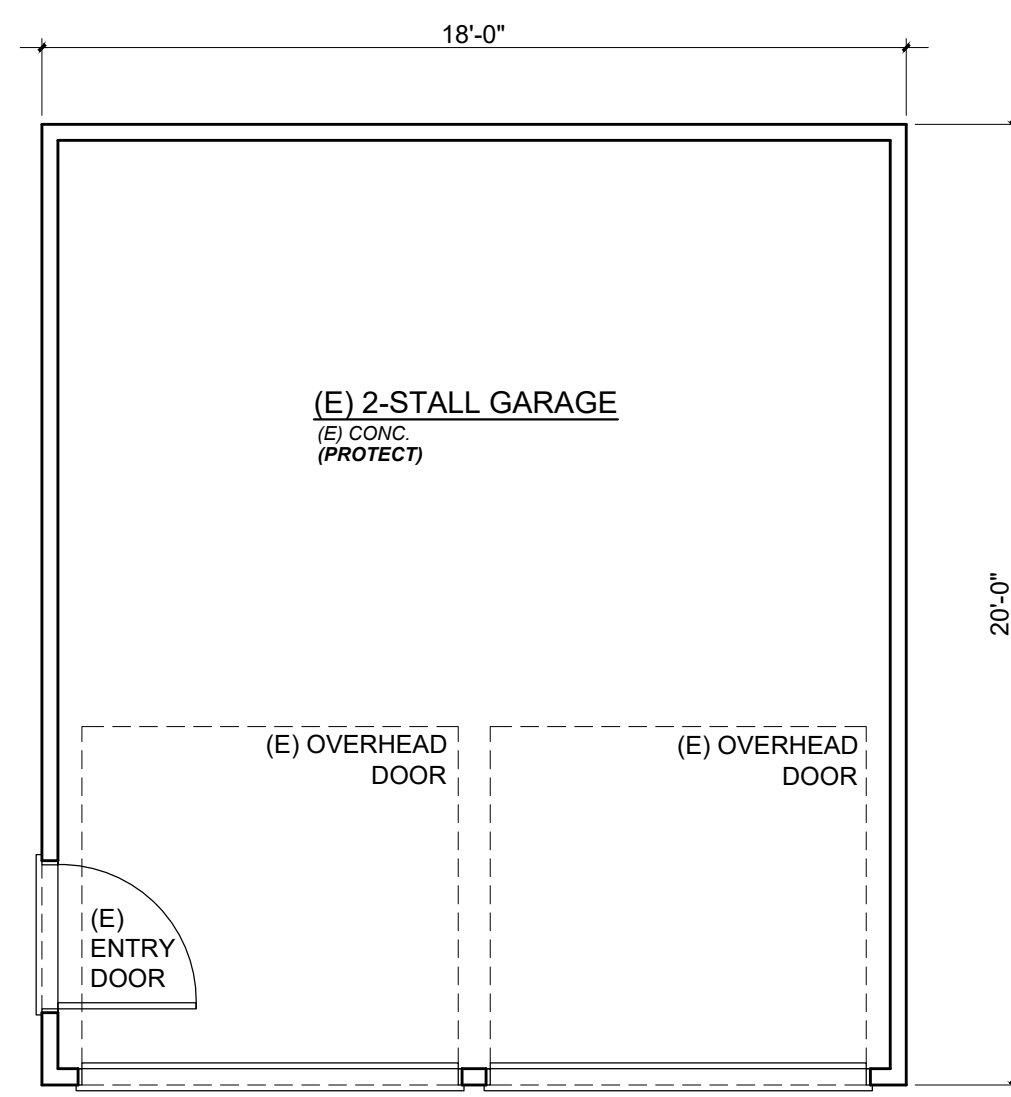
Title: Proposed Finish Schedule  
 Project: MR. AND MRS. CAMERON FOSTER  
 2229 Adeline Drive  
 Burlingame CA 94010

Job No.: 21\_40 Drawn: TIM RADEBENZ Date: 12-22-21

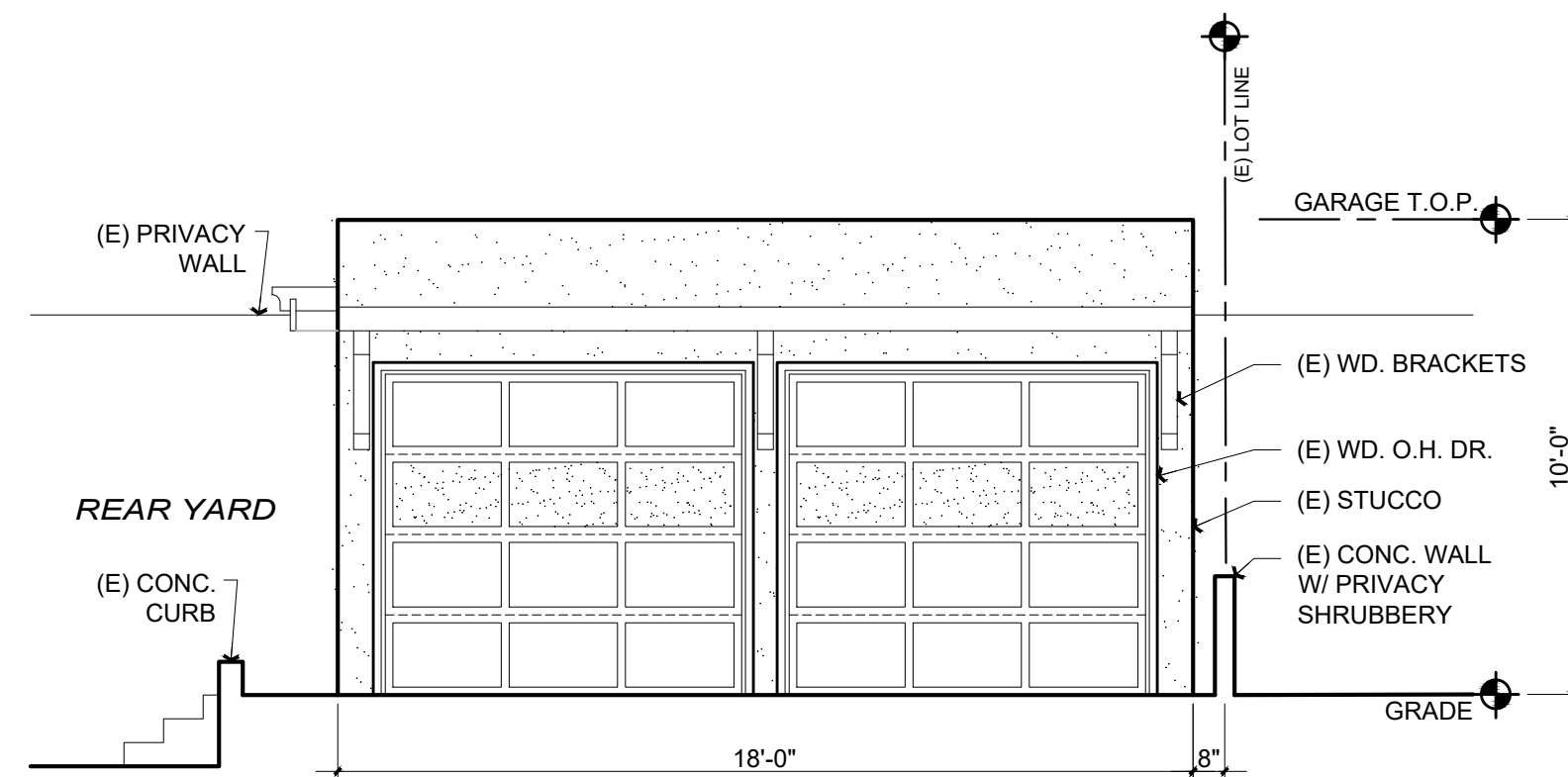
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Scale: See Details

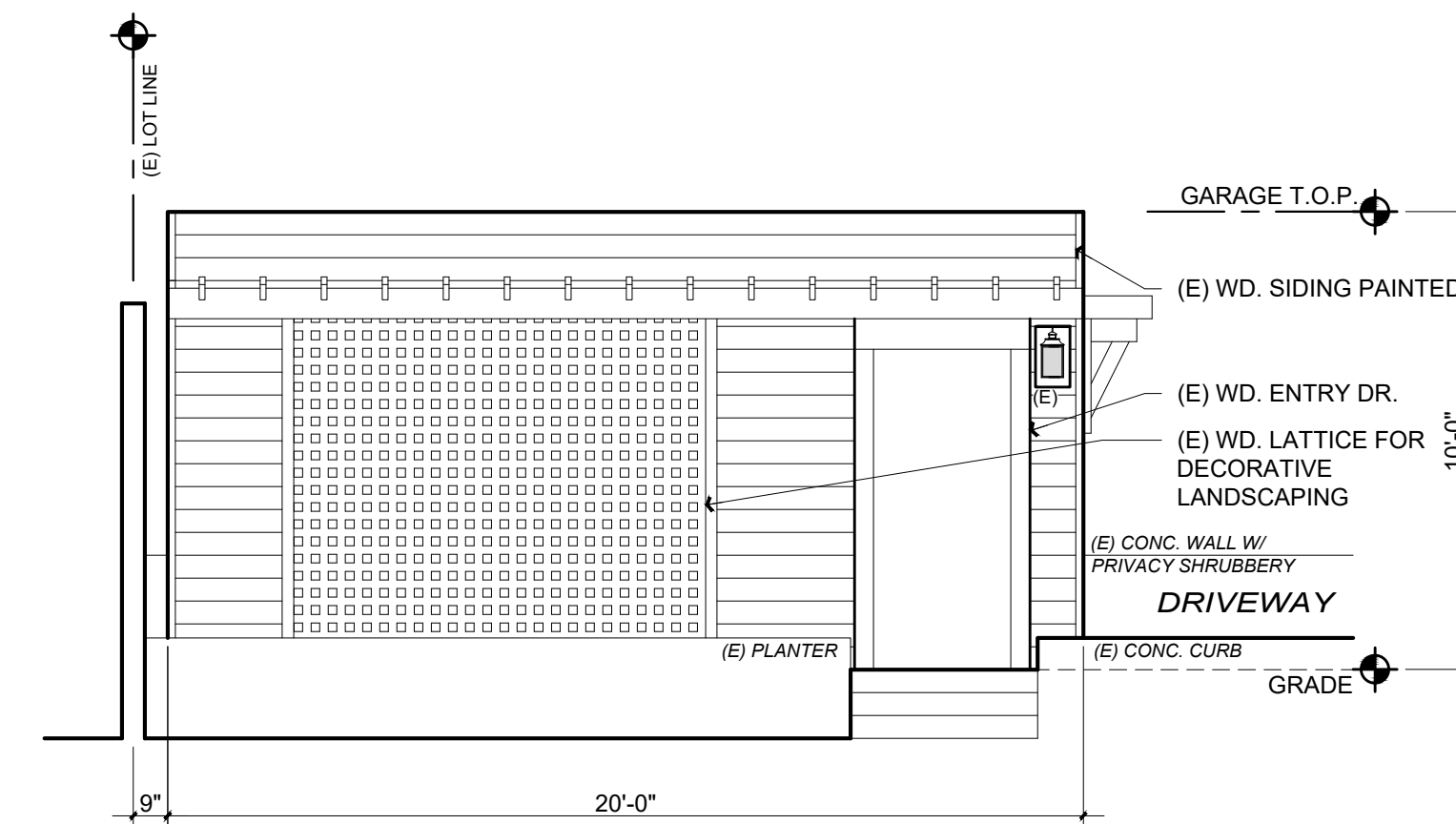
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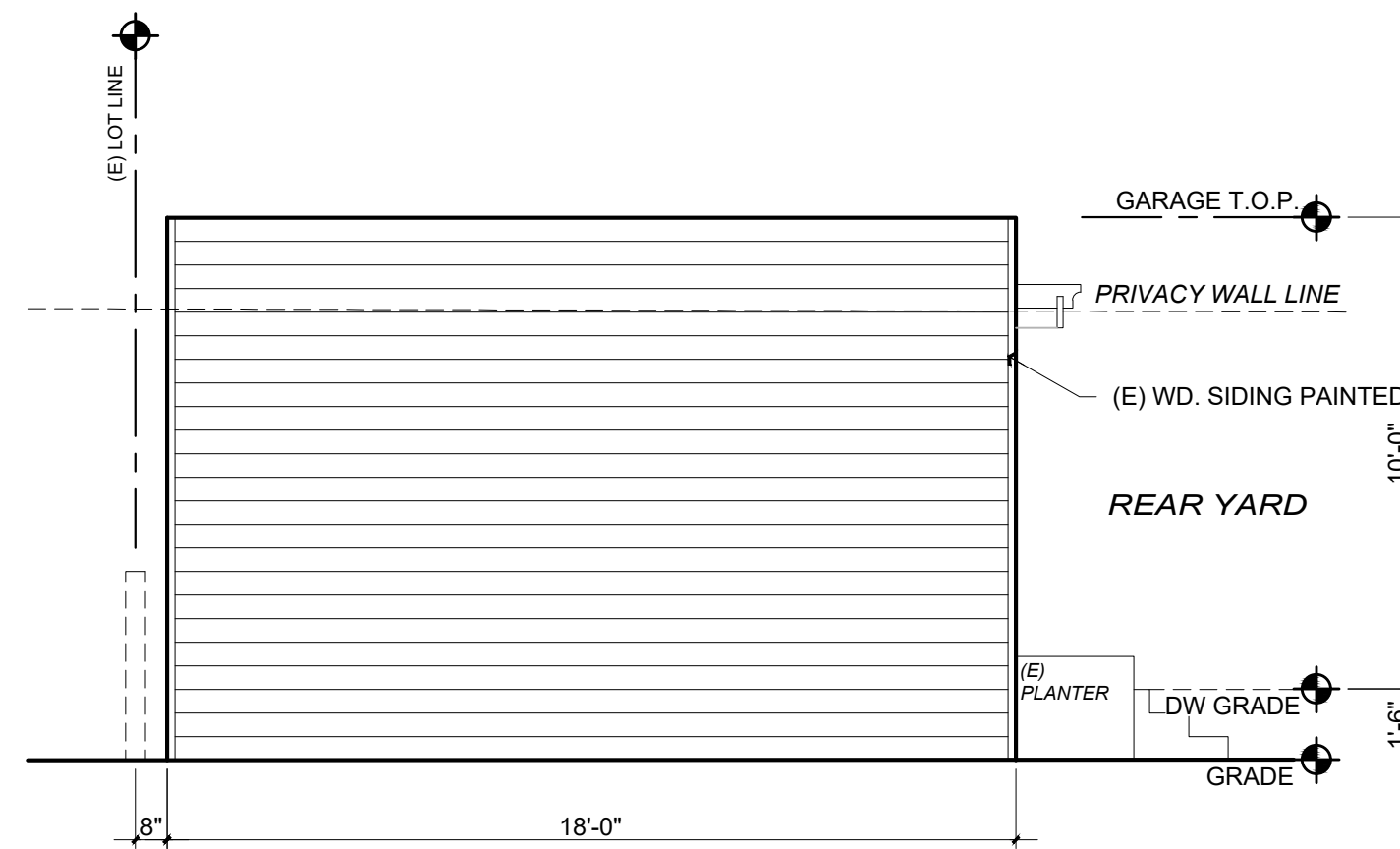
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NO WORK Scale: 1/4 = 1'-0" 1  
G2.0



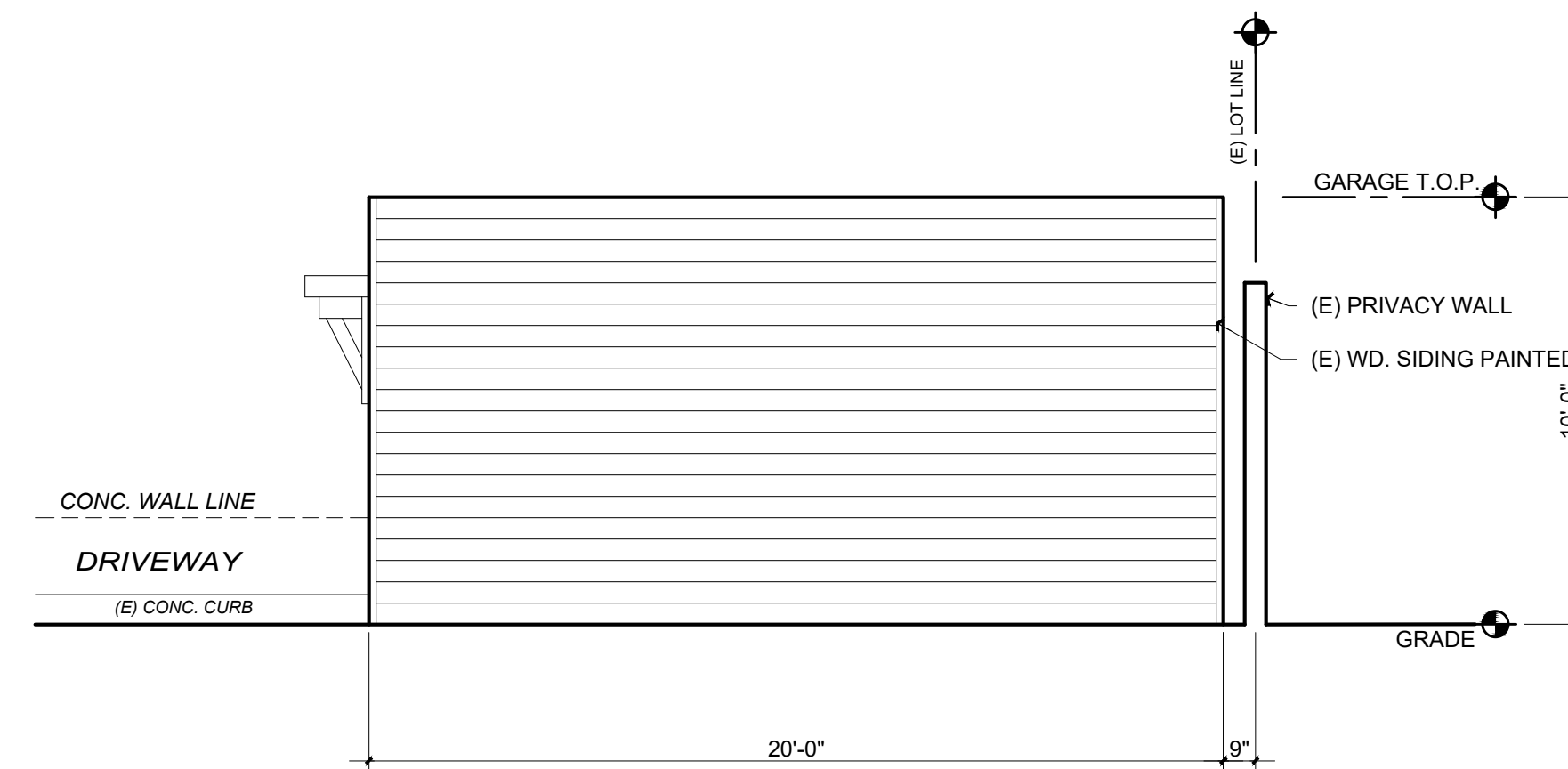
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G2.0



**EXISTING LEFT ELEVATION**  
NO WORK Scale: 1/4 = 1'-0" 3  
G2.0



**EXISTING REAR ELEVATION**  
NO WORK Scale: 1/4 = 1'-0" 4  
G2.0



**EXISTING RIGHT ELEVATION**  
NO WORK Scale: 1/4 = 1'-0" 5  
G2.0



**IMAGES OF EXISTING GARAGE**  
NO WORK Scale: NA 6  
G2.0

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APN#: 027-161-160  
4943 SILVER SPRINGS DRIVE  
Park City, UT 84098  
PH: 415.819.0304  
E-mail: TIM@FORMONEDSIGN.COM



Title : Existing Garage Plans  
Project : MR. AND MRS. CAMERON FOSTER  
2229 Adeline Drive  
Burlingame CA 94010  
Job No. : 21\_40  
Drawn : TIM RAUENZ  
Date : 12-22-21