

REMODEL AND ADDITION

233 ARUNDEL ROAD, BURLINGAME, CALIFORNIA

ELAINE LEE
design

3223 encinal avenue
alameda, ca 94501
510.847.0377



ECHTER REMODEL AND ADDITION
233 ARUNDEL ROAD
BURLINGAME, CALIFORNIA

APN: 029-251-040

drawing title

revisions

△ 11.13.25

Design Review Cycle 1

date: 08.21.25

scale: as noted

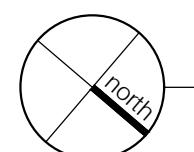
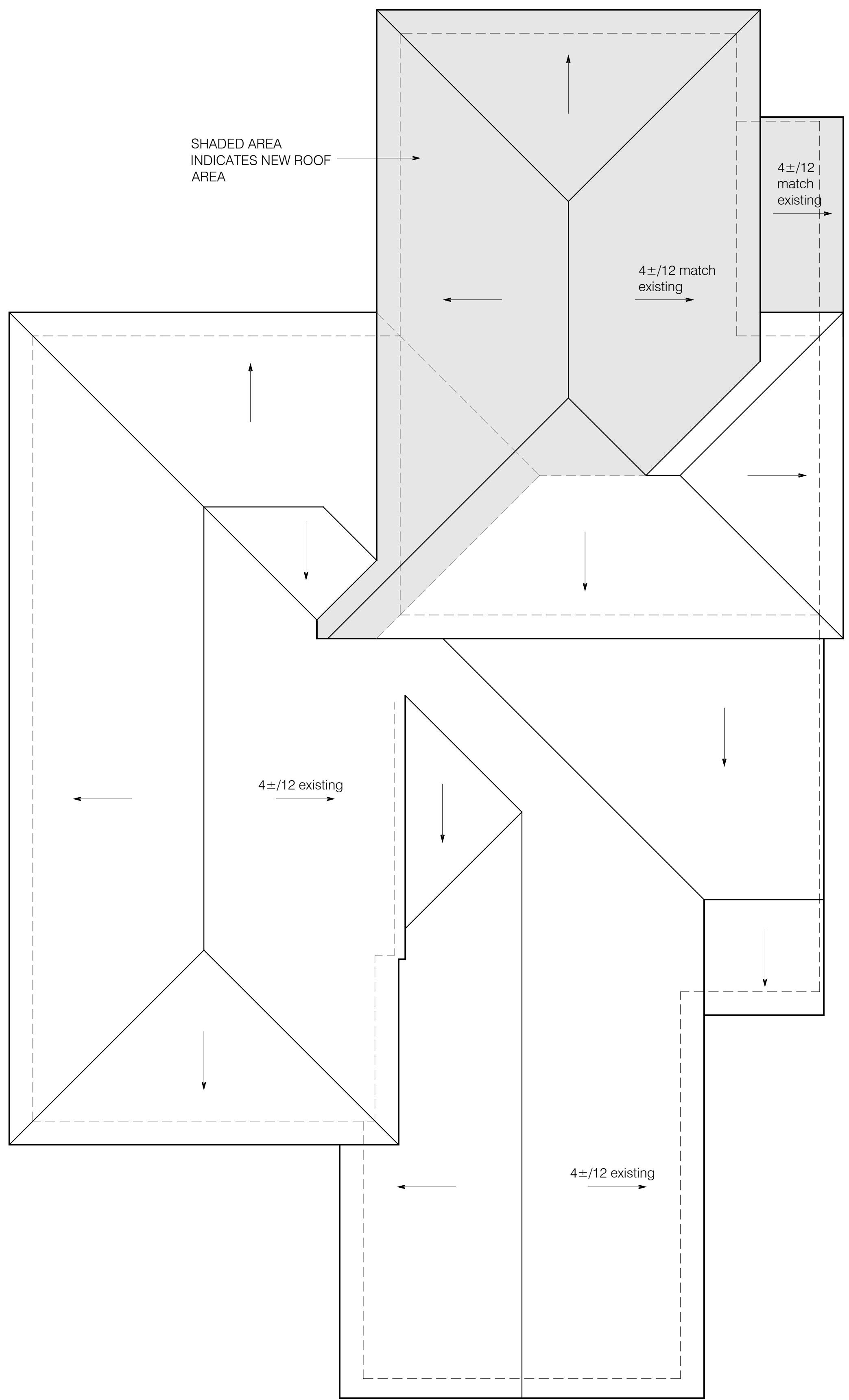
drawn by: EL

job: ECHTER

sheet

A0

of 16 sheets



PROPOSED ROOF PLAN
1/4" = 1'-0"

RECEIVED
November 14, 2025
City of Burlingame
CDD-Planning DIV

UTILITIES NOTES		PROJECT DATA																																																																																																												
<ul style="list-style-type: none"> Sewer Backwater Protection Certification is required for the installation of any new sewer fixture per Ordinance No. 1710. The Sewer Backwater Protection Certificate is required prior to the issuance of Building Permit. 		scope of work: Add new floor area at First Flr (enlarge Kitchen and Foyer), Second Flr (Primary Suite), and basement; remodel Kitchen/Dining, Bedrooms, stairs, and basement (less than 7 clg); create Family Rm and Powder 1 in existing space; convert portion of Garage to Mudroom and Powder 2.																																																																																																												
GREEN BUILDING		project address: 233 Arundel Road APN: 029-251-040 project owner: Erin and Adam Echter construction type: V-B/sprinklered occupancy group: R-3/U zoning: R-1 lot size: ± 7,508 sq. ft. allowable floor area: 0.32x7,508+1,100 = 3,503 sq. ft. lot coverage allowable: 0.4x7,508=3,003 sq. ft. proposed: 2,092 sq. ft. (28%) proposed landscaped/softscaped area: 3,886 sq. ft. Flood Hazard: Zone X																																																																																																												
PUBLIC WORKS NOTES		1. City Public right-of-way Construction Hours (including hauling) Weekdays 8AM-5PM Saturdays, Sundays and Holidays No Work Allowed 2. If required, a Grading Permit shall be obtained from the Department of Public Works 3. This project is a "Type I" project that requires a Stormwater Construction Pollution Prevention Permit. This permit is required prior to issuance of a Building Permit. An initial field inspection is required prior to the start of any construction (on private property or in the public right-of-way).																																																																																																												
CONSTRUCTION NOTES		<table border="1"> <thead> <tr> <th></th> <th>existing</th> <th>add</th> <th>remove</th> <th>total</th> </tr> </thead> <tbody> <tr> <td>main house</td> <td>2412</td> <td>590</td> <td>0</td> <td>3002</td> </tr> <tr> <td>attached garage</td> <td>365</td> <td>0</td> <td>-76</td> <td>289</td> </tr> <tr> <td>rear porch</td> <td>0</td> <td>77.5</td> <td>0</td> <td>77.5</td> </tr> <tr> <td>TOTAL</td> <td>2777</td> <td>667.5</td> <td>-76</td> <td>3368.5</td> </tr> <tr> <td>front porch</td> <td>53</td> <td>0</td> <td>-11</td> <td>42</td> </tr> </tbody> </table> <table border="1"> <thead> <tr> <th></th> <th>existing main house</th> <th>proposed main house</th> </tr> </thead> <tbody> <tr> <td>bedrooms</td> <td>4</td> <td>4</td> </tr> <tr> <td>baths</td> <td>2</td> <td>3</td> </tr> <tr> <td>1/2 baths</td> <td>0</td> <td>2</td> </tr> </tbody> </table> <table border="1"> <thead> <tr> <th></th> <th>existing</th> <th>%</th> <th>proposed</th> <th>%</th> </tr> </thead> <tbody> <tr> <td>Main House</td> <td>1778</td> <td>24%</td> <td>2092</td> <td>28%</td> </tr> <tr> <td>Walkway, Patio</td> <td>1300</td> <td>17%</td> <td>950</td> <td>13%</td> </tr> <tr> <td>Driveway</td> <td>580</td> <td>8%</td> <td>580</td> <td>8%</td> </tr> <tr> <td>TOTAL</td> <td>3658</td> <td>49%</td> <td>3622</td> <td>48%</td> </tr> </tbody> </table> <table border="1"> <thead> <tr> <th></th> <th>existing</th> <th>add</th> <th>remove</th> <th>total</th> </tr> </thead> <tbody> <tr> <td>LIVING</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>first floor</td> <td>1352</td> <td>323</td> <td>0</td> <td>1675</td> </tr> <tr> <td>second floor</td> <td>1060</td> <td>267</td> <td>0</td> <td>1327</td> </tr> <tr> <td>subtotal</td> <td>2412</td> <td>590</td> <td>0</td> <td>3002</td> </tr> <tr> <td>garage</td> <td>365</td> <td>0</td> <td>-76</td> <td>289</td> </tr> <tr> <td>TOTAL</td> <td>2777</td> <td>590</td> <td>-76</td> <td>3291</td> </tr> <tr> <td>basement</td> <td>363</td> <td>239</td> <td>0</td> <td>602</td> </tr> </tbody> </table>			existing	add	remove	total	main house	2412	590	0	3002	attached garage	365	0	-76	289	rear porch	0	77.5	0	77.5	TOTAL	2777	667.5	-76	3368.5	front porch	53	0	-11	42		existing main house	proposed main house	bedrooms	4	4	baths	2	3	1/2 baths	0	2		existing	%	proposed	%	Main House	1778	24%	2092	28%	Walkway, Patio	1300	17%	950	13%	Driveway	580	8%	580	8%	TOTAL	3658	49%	3622	48%		existing	add	remove	total	LIVING					first floor	1352	323	0	1675	second floor	1060	267	0	1327	subtotal	2412	590	0	3002	garage	365	0	-76	289	TOTAL	2777	590	-76	3291	basement	363	239	0	602
	existing	add	remove	total																																																																																																										
main house	2412	590	0	3002																																																																																																										
attached garage	365	0	-76	289																																																																																																										
rear porch	0	77.5	0	77.5																																																																																																										
TOTAL	2777	667.5	-76	3368.5																																																																																																										
front porch	53	0	-11	42																																																																																																										
	existing main house	proposed main house																																																																																																												
bedrooms	4	4																																																																																																												
baths	2	3																																																																																																												
1/2 baths	0	2																																																																																																												
	existing	%	proposed	%																																																																																																										
Main House	1778	24%	2092	28%																																																																																																										
Walkway, Patio	1300	17%	950	13%																																																																																																										
Driveway	580	8%	580	8%																																																																																																										
TOTAL	3658	49%	3622	48%																																																																																																										
	existing	add	remove	total																																																																																																										
LIVING																																																																																																														
first floor	1352	323	0	1675																																																																																																										
second floor	1060	267	0	1327																																																																																																										
subtotal	2412	590	0	3002																																																																																																										
garage	365	0	-76	289																																																																																																										
TOTAL	2777	590	-76	3291																																																																																																										
basement	363	239	0	602																																																																																																										
PROJECT DIRECTORY		APPLICABLE CODES																																																																																																												
OWNER Erin and Adam Echter 233 Arundel Road, Burlingame CA 94010 adam.echter@simon-kucher.com 650.215.3660		2022 California Building Code 2022 California Residential Code 2022 California Mechanical Code 2022 California Plumbing Code 2022 California Green Building Standards Code 2022 California Electrical Code 2022 California Fire Code 2022 California Energy Code Burlingame Municipal Code Burlingame Amendments to the California Codes as adopted in Ordinance 1889																																																																																																												
ARCHITECT Elaine Lee 3223 Encinal Avenue, Alameda CA 94501 510.847.0377 elaine@elaineeleedesign.com		SURVEYOR Foresight Land Surveying 301 California Dr, Burlingame CA 94010 415.735.6180																																																																																																												
SHEET INDEX		A0 Project Data, Roof Plan A1 Topographic Survey Site Plan, Topographic Site Plan C-0 Civil cover sheet C-1 Civil Notes C-2 Grading and Drainage and Utility Plan C-3 Erosion Control Plan C-3.1 Best Management Practices C-4 Civil Details A2 Existing and Proposed Basement Plan A3 Existing and Proposed First Floor Plan A4 Existing and Proposed Second Floor Plan A5 Existing and Proposed Front and Rear Elevations A6 Existing and Proposed Left Elevations A7 Existing and Proposed Right Elevations A8 Cross Sections, Roof Plan																																																																																																												



ECHTER REMODEL AND ADDITION
233 ARUNDEL ROAD
BURLINGAME, CALIFORNIA

APN: 029-251-040

Design Review Cycle 1

date: 08.21.25

scale: as noted

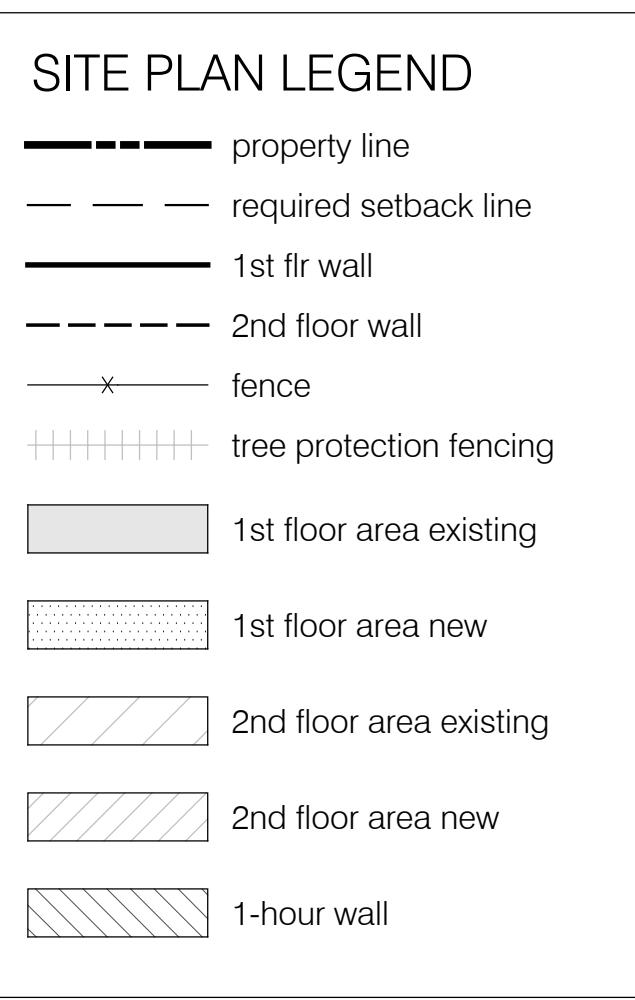
drawn by: EL

job: ECHTER

sheet

A1

of 16 sheets



- Site Plans drawn on survey by Foresight Land Surveying, dated 5-31-24
- A Type I Stormwater Pollution Prevention Permit is required at the time of issuance of a Building Permit. An initial field inspection is required prior to the start of any construction (on private property or in the public right-of-way).
- No permanent structures (retaining walls, fences, columns, mailbox, etc) shall be located beyond the property lines and into the public right-of-ways.

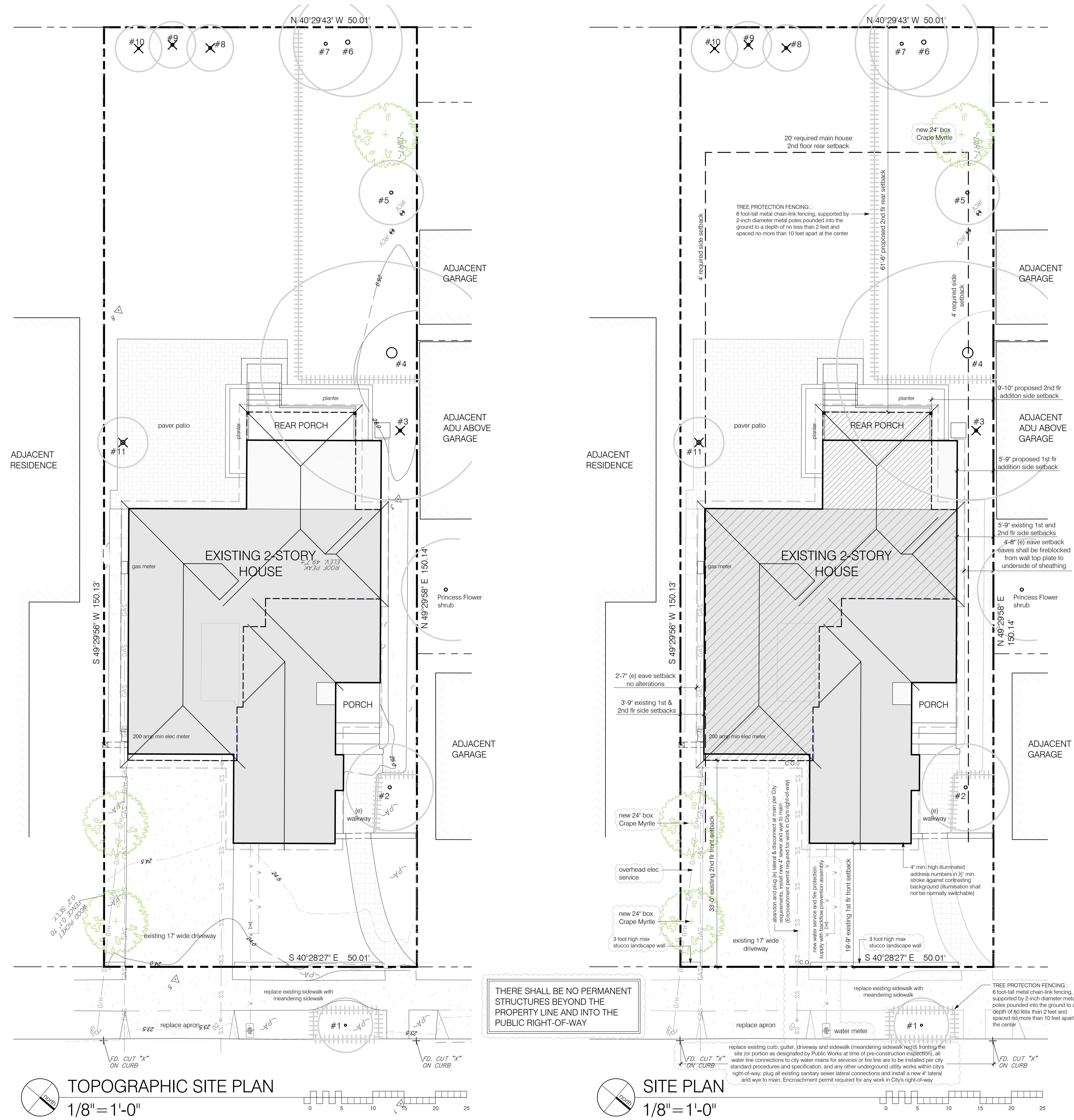
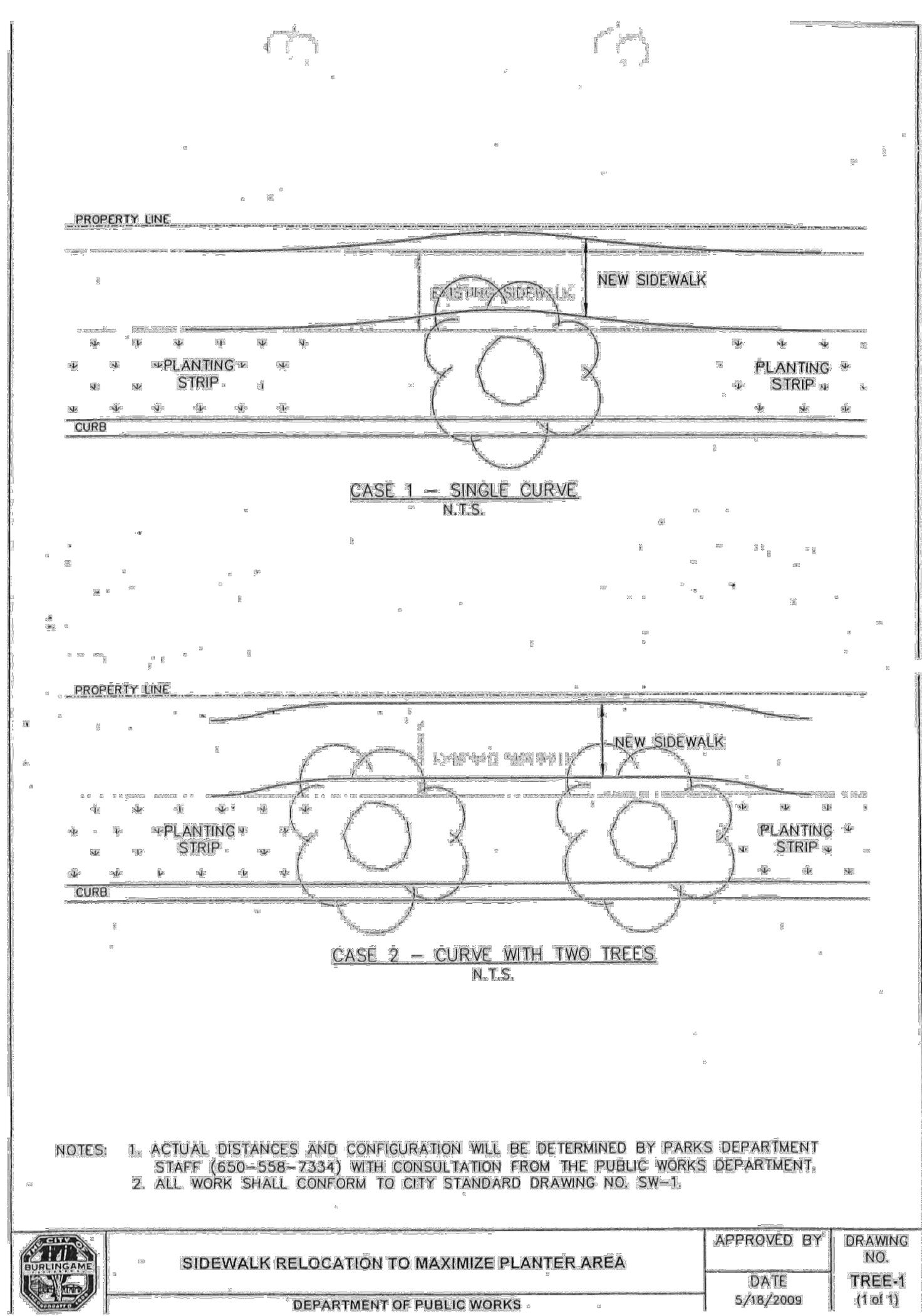
OUTDOOR MECHANICAL EQUIPMENT
New A/C unit or mechanical equipment is to be installed on the exterior of the building; the new equipment cannot exceed a Maximum Outdoor Noise Level (dBA) of 60 dBA Daytime (7:00 AM-10:00 PM) or 50 dBA Nighttime (10:00 PM-7:00 AM) as measured from the property line.

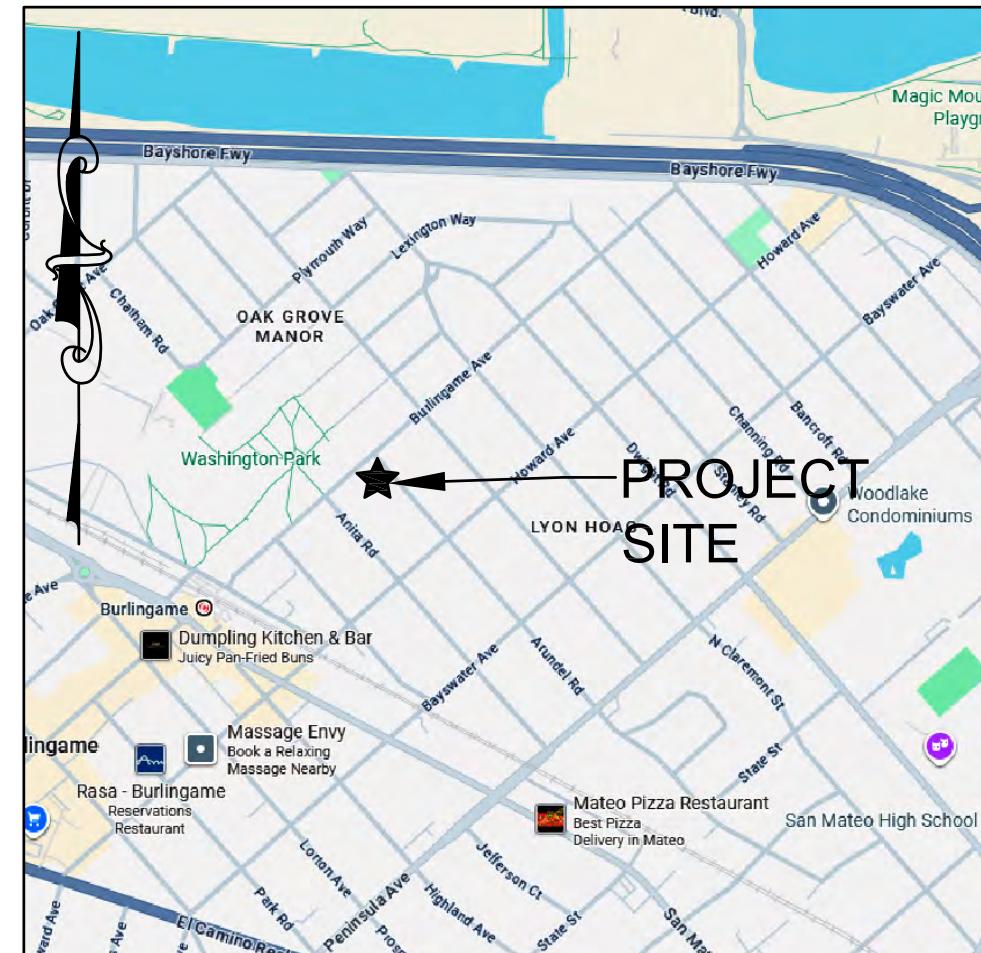
ROOF PROJECTIONS:
No roof eaves shall project within two feet of property lines

TREE INVENTORY				
Tag	Common name	Scientific Name	DBH	Remove
1	Elm	Ulmus	4"	N
2	Mandarin	Citrus reticulata	6"	N
3	Avocado	Persea americana	6"	Yes
4	Avocado	Persea americana	20"	N
5	Black Mission fig	Ficus carica 'Mission'	6"	N
6	Fuyu Persimmon	Diospyros kaki 'Fuyu'	8"	N
7	Hachiya Persimmon	Diospyros kaki 'Hachiya'	6"	N
8	Plum	Prunus domestica	6"	Yes
9	Cherry Plum	Prunus cerasifera	6"	Yes
10	Bartlett Pear	Pyrus communis 'Bartlett'	4"	Yes
11	Loquat	Eriobotrya japonica	8"	Yes

Quantity	Common name	Scientific Name	size
3	Crape Myrtle 'Powhatan'	Lagerstroemia indica 'POWHATAN'	24" box

URBAN FOREST
THREE NEW NON-FRUIT TREES, 24" BOX SIZE OR LARGER, SHALL BE PLANTED ON THE PARCEL PRIOR TO FINAL INSPECTION.





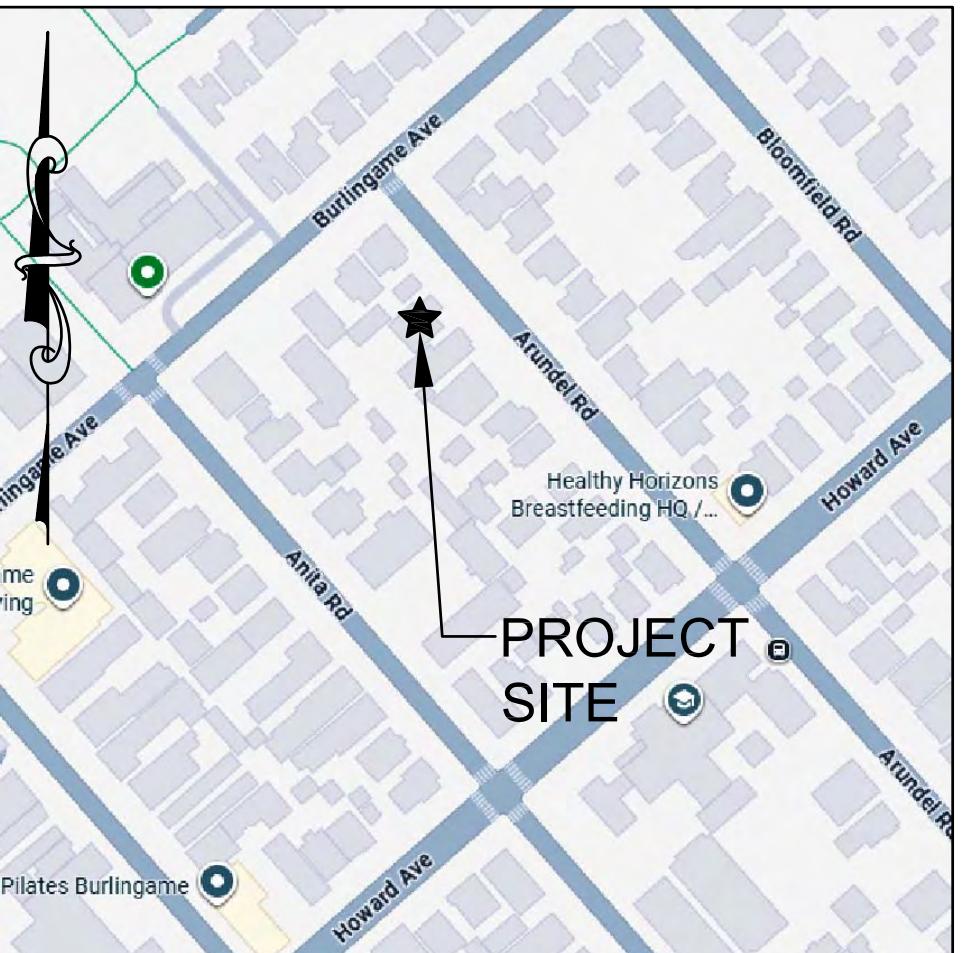
VICINITY MAP

N.T.S.

ECHTER REMODEL AND ADDITION

233 ARUNDEL ROAD

BURLINGAME, CA 94010

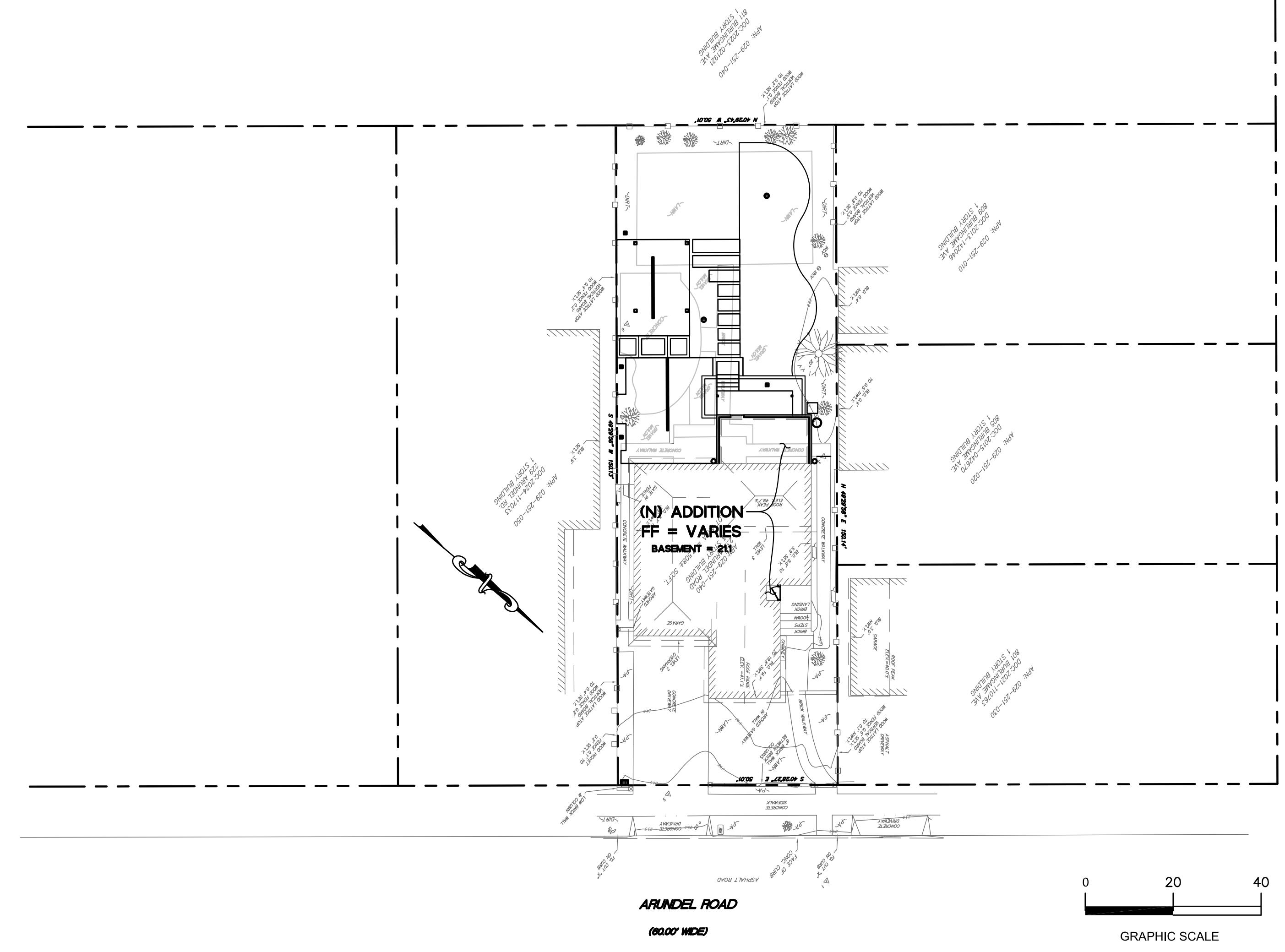


LOCATION MAP

N.T.S.

ABBREVIATIONS

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ATD	ATRUM DRAIN
BFP	BACK FLOW PREVENTION DEVICE
BW	BOTTOM OF WALL ELEVATION
CB	CATCH BASIN
CL	CENTER LINE
CS	CRAWL SPACE ELEVATION
CIP	CAST IRON PIPE
CONC	CONCRETE
DD	DECK DRAIN
DDCV	DOUBLE DETECTOR CHECK VALVE
DG	DECOMPOSED GRANITE
DIP	DUCTILE IRON PIPE
DS	ROOF DOWNSPOUT
DWY	DRIVEWAY
(E)	EXISTING
ELEC	ELECTRICAL
EM	ELECTRICAL METER
EP	EDGE OF PAVEMENT
FC	FACE OF CURB ELEVATION
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GROUND ELEVATION
FL	FLOW LINE ELEVATION
FM	FORCE MAIN LINE
FS	FINISHED SURFACE ELEVATION
FP	FINISHED PAVEMENT ELEVATION
FW	FIRE WATER LINE
GB	GRADE BREAK
GM	GAS METER
GR	GRATE ELEVATION
GV	GATE VALVE
HP	HIGH POINT
HW	HEATED WATER LINE
INV	PIPE INVERT ELEVATION
JT	JOINT TRENCH
JP	JOINT POLE
LD	LANDSCAPE DRAIN
LF	LINEAR FEET
LP	LOW POINT
(N)	NEW
PIV	POST INDICATOR VALVE
POC	POINT OF CONNECTION
RIM	RIM ELEVATION
S	SLOPE
SAP	SEE ARCHITECTURAL PLANS
SBD	STORM SUB DRAIN
SBDCO	STORM SUB DRAIN CLEANOUT
SD	STORM DRAIN
SDCO	STORM DRAIN CLEANOUT
SGR	SEE GEOTECHNICAL REPORT
SICB	SIDE INLET CATCH BASIN
SLP	SEE LANDSCAPE PLANS
SPP	SEE PLUMBING PLANS
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSP	SEE STRUCTURAL PLANS
TW	TOP OF WALL ELEVATION
TYP	TYPICAL
VD	PIPE VERTICAL DROP
W	DOMESTIC WATER LINE
WM	WATER METER



0 20 40
GRAPHIC SCALE

EXISTING	PROPOSED	LEGEND:
SS	SS	SANITARY SEWER
SD	SD	STORM DRAIN
	- - -	STORM SUB-DRAIN (PERFORATED PIPE)
	- - - -	TRANSITION FROM PERF. PIPE TO SOLID PIPE
FM	FM	FORCE MAIN
FW	FW	FIRE WATER LINE
W	W	DOMESTIC WATER SERVICE
IRR	IRR	IRRIGATION SERVICE
G	G	NATURAL GAS
E	E	ELECTRIC
JT	JT	JOINT TRENCH
X	○	FENCE
	○	CLEAN OUT
	●	DOUBLE DETECTOR CHECK VALVE
	●	POST INDICATOR VALVE
	●	VALVE
	●	METER BOX
	●	STREET LIGHT
	●	AREA DRAIN
	●	CATCH BASIN
	●	FIRE HYDRANT
	●	FIRE DEPARTMENT CONNECTION
	●	BENCHMARK
	●	MANHOLE
	●	SIGN
	●	DOWNSPOUT
	●	SPLASH BLOCK
	●	CONTOURS
	●	PROPERTY LINE
	●	SETBACK
	●	GRASS SWALE
	●	RETAINING WALL/ BUILDING STEMWALL
	●	(E) TREE TO BE REMOVED

SHEET INDEX

SHEET NO.	DESCRIPTION
C-0	TITLE SHEET
C-1	NOTES SHEET
C-2	GRADING AND UTILITY PLAN
C-3	EROSION AND SEDIMENT CONTROL PLAN
C-3.1	BEST MANAGEMENT PRACTICES (BMPs)
C-4	DETAIL SHEET

HYDROLOGY

(E) IMPERVIOUS AREA	(N) IMPERVIOUS AREA	REQUIRED STORAGE VOL.	STORAGE VOL. PROVIDED
3,692 SF	4,212 SF	19 CF	52 CF

TITLE SHEET

ECHTER REMODEL AND ADDITION
233 ARUNDEL ROAD
BURLINGAME, CA 94010

Date: 11/06/2025

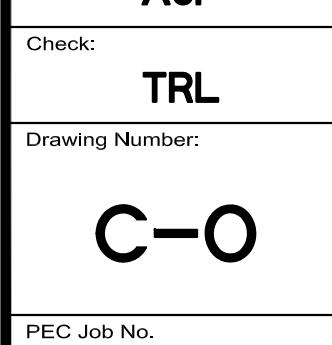
Scale: AS SHOWN

Design: AJP

Check: TRL

Drawing Number: C-O

PEC Job No. PEC 25-080



EARTHWORK QUANTITIES	
GROSS QUANTITIES:	QUANTITY BREAKDOWN:
CUT 50 C.Y.	BUILDINGS: CUT 40 C.Y.
FILL 35 C.Y.	FILL 0 C.Y.
TOTAL TO BE MOVED 85 C.Y.	SITE WORK: CUT 10 C.Y.
BALANCE 15 C.Y. CUT (OFF-HAUL) FILL 35 C.Y.	FILL 35 C.Y.
NET QUANTITIES (BUILDING AND STRUCTURES OMITTED):	
CUT 10 C.Y.	
FILL 35 C.Y.	
TOTAL TO BE MOVED 45 C.Y.	
BALANCE 25 C.Y. FILL (IMPORT)	
EARTHWORK QUANTITIES SHOWN ABOVE ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL CALCULATE THEIR OWN EARTHWORK QUANTITIES, AND USE THEIR CALCULATIONS FOR BIDDING AND COST ESTIMATING PURPOSES.	

CAUTION:

- THE LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS PLAN WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ANY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES) CONTRACTOR SHALL VERIFY LOCATION AND DEPTH PRIOR TO ANY EXCAVATION OR IMPROVEMENT.
- CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT FOR LOCATION OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION. PHONE (800) 842-2444. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND SHALL CLEARLY MARK (AND THEN PRESERVE THESE MARKERS) FOR THE DURATION OF CONSTRUCTION OF ALL TELEPHONE, DATA, STREET LIGHT, SIGNAL LIGHT AND POWER FACILITIES THAT ARE IN OR NEAR THE AREA OF CONSTRUCTION PRIOR TO BEGINNING ANY WORK ON THIS SITE.
- THESE DRAWINGS DO NOT ADDRESS CONTRACTOR MEANS AND METHODS OF CONSTRUCTION OR PROCESSES THAT MAY BE ASSOCIATED WITH ANY TOXIC SOILS IF FOUND ON SITE. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL CITY AND COUNTY STANDARDS AND APPROPRIATE REGULATIONS IF TOXIC SOILS ARE ENCOUNTERED OR SUSPECTED OF BEING CONTAMINATED.

GENERAL SITE NOTES:

- CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING ON THIS WORK AND CONSIDER THE EXISTING CONDITIONS AND SITE CONSTRAINTS IN THE BID. CONTRACTOR SHALL BE IN THE POSSESSION OF AND FAMILIAR WITH ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS AND SPECIFICATIONS PRIOR TO SUBMITTING OF A BID.
- THE CONTRACTOR SHALL MAINTAIN ALL SAFETY DEVICES, AND SHALL BE RESPONSIBLE FOR CONFORMANCE TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS LAWS AND REGULATIONS.
- ALL WORK ON-SITE AND IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS & SPECIFICATIONS.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND INDEMNIFY AND HOLD THE OWNER, THE CONSULTING ENGINEER AND THE CITY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR OTHERWISE, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE CONSULTING ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING THE JOB SITE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT UNAUTHORIZED PERSONS ON THE JOB SITE BY PROVIDING A CONSTRUCTION FENCE AROUND THE ENTIRE AREA OF DEMOLITION AND CONSTRUCTION, INCLUDING ALL STAGING AND STORAGE AREAS. CONSTRUCTION FENCE SHALL BE A MINIMUM OF A 6' HIGH GALVANIZED CHAIN LINK WITH GREEN WINDSCREEN FABRIC ON THE OUTSIDE OF THE FENCE.
- EXISTING PEDESTRIAN WALKWAYS, BIKE PATHS AND ACCESSIBLE PATHWAYS SHALL BE MAINTAINED, WHERE FEASIBLE, DURING CONSTRUCTION.
- IF A CONFLICT ARISES BETWEEN THE SPECIFICATIONS AND THE PLAN NOTES, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT IF ONE EXISTS.

EXISTING CONDITIONS:

- EXISTING TOPOGRAPHIC SURVEYS PERFORMED BY FORESIGHT LAND SURVEYING ON MAY 31, 2024 (JOB #24043). GRADES ENCOUNTERED ON-SITE MAY VARY FROM THOSE SHOWN. CONTRACTOR SHALL REVIEW THE PLANS AND CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE.
- CLIENT AGREES TO HOLD ENGINEER HARMLESS FROM ANY AND ALL OCCURRENCES RESULTING FROM THE INACCURACIES OF THE CLIENT SUPPLIED TOPOGRAPHIC AND/OR BOUNDARY SURVEY (PREPARED BY OTHERS).

SURVEYOR'S NOTES:

BASIS of SURVEY:

GRANT DEED RECORDED NOVEMBER 24, 2020 AS DOC:2020-133472. OFFICIAL RECORDS OF SAN MATEO COUNTY.

BASIS of ELEVATIONS:

FOUND CITY OF BURLINGAME BENCHMARK #32. ELEVATION = 23.043'. NGVD 1929.

TREE/PLANT PROTECTION NOTES:

- PRIOR TO BEGINNING CONSTRUCTION ON SITE, CONTRACTOR SHALL IDENTIFY AND PROTECT EXISTING TREES AND PLANTS DESIGNATED AS TO REMAIN.
- PROTECT EXISTING TREES TO FROM SPILLED CHEMICALS, FUEL OIL, MOTOR OIL, GASOLINE AND ALL OTHER CHEMICALLY INJURIOUS MATERIAL; AS WELL AS FROM PUDDLING OR CONTINUOUSLY RUNNING WATER. SHOULD A SPILL OCCUR, STOP WORK IN THAT AREA AND CONTACT THE CITY'S ENGINEER/INSPECTOR IMMEDIATELY. CONTRACTOR SHALL BE RESPONSIBLE TO MITIGATE DAMAGE FROM SPILLED MATERIAL AS WELL AS MATERIAL CLEAN UP.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ONGOING MAINTENANCE OF ALL TREES DESIGNATED TO REMAIN AND FOR MAINTENANCE OF RELOCATED TREES STOCKPILED DURING CONSTRUCTION. CONTRACTOR WILL BE REQUIRED TO REPLACE TREES THAT DIE DUE TO LACK OF MAINTENANCE.

HORIZONTAL CONTROL NOTES:

- ALL DIMENSIONS ON THE PLANS ARE IN FEET OR DECIMALS THEREOF UNLESS SPECIFICALLY CALLED OUT AS FEET AND INCHES.

PAVEMENT SECTION:

- SEE STRUCTURAL DRAWINGS FOR BUILDING SLAB SECTIONS AND PAD PREPARATIONS.
- SEE GEOTECHNICAL REPORT FOR ALL FLATWORK, VEHICULAR PAVEMENT SECTIONS, BASE AND COMPACTION REQUIREMENTS.
- THE FINAL OR SURFACE LAYER OF ASPHALT CONCRETE SHALL NOT BE PLACED UNTIL ALL ON-SITE IMPROVEMENTS HAVE BEEN COMPLETED, INCLUDING ALL GRADING, AND ALL UNACCEPTABLE CONCRETE WORK HAS BEEN REMOVED AND REPLACED, UNLESS OTHERWISE APPROVED BY THE CITY/COUNTY ENGINEER AND/OR DEVELOPER'S CIVIL ENGINEER.
- ALL PAVING SHALL BE IN CONFORMANCE WITH SECTION 26 "AGGREGATE BASE" AND SECTION 39 "ASPHALT CONCRETE" PER LATEST EDITION OF CALTRANS STANDARD SPECIFICATIONS.

DEMOLITION NOTES:

- PRIOR TO BEGINNING DEMOLITION WORK ACTIVITIES, CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES OUTLINED IN THE EROSION CONTROL PLAN & DETAILS.
- THE CONTRACTOR SHALL MAINTAIN ALL SAFETY DEVICES, AND SHALL BE RESPONSIBLE FOR CONFORMANCE TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS LAWS AND REGULATIONS.
- CONTRACTOR IS TO COMPLY WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS, INCLUDING BUT NOT LIMITED TO, THE SAFETY AND HEALTH STANDARDS LAWS AND REGULATIONS AND REMOVAL AND DISPOSAL OF HAZARDOUS MATERIAL(S).
- CONTRACTOR'S BID IS TO INCLUDE ALL VISIBLE SURFACE AND ALL SUBSURFACE FEATURES IDENTIFIED TO BE REMOVED OR ABANDONED IN THESE DOCUMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF THE DEMOLITION WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION, AND DISPOSAL OF SAID MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS. THE CONTRACTOR SHALL PAY ALL FEES ASSOCIATED WITH THE DEMOLITION WORK.
- BACKFILL ALL DEPRESSIONS AND TRENCHES FROM DEMOLITION. REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS.
- REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
- THE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING IMPROVEMENTS FACILITIES AND STRUCTURES WHICH ARE TO REMAIN. ANY ITEMS DAMAGED BY THE CONTRACTOR OR HIS AGENTS OR ANY ITEMS REMOVED FOR HIS USE SHALL BE REPLACED IN EQUAL OR BETTER CONDITION AS APPROVED BY THE OWNER.
- COORDINATE ALL UTILITY SHUT-DOWNS/CONNECT LOCATIONS WITH APPROPRIATE DRAWINGS (ELECTRICAL, MECHANICAL, ARCHITECTURAL, ETC.). CONTRACTOR IS TO SHUT OFF ALL UTILITIES AS NECESSARY PRIOR TO DEMOLITION. CONTRACTOR IS TO COORDINATE SERVICE INTERRUPTIONS WITH THE OWNER. DO NOT INTERRUPT SERVICES TO ADJACENT OFF-SITE OWNERS. ANY EXISTING UNDERGROUND UTILITY LINES TO BE ABANDONED, SHOULD BE REMOVED FROM WITHIN THE PROPOSED BUILDING ENVELOPE AND THEIR ENDS CAPPED OUTSIDE OF THE BUILDING ENVELOPE.
- THIS PLAN IS NOT INTENDED TO BE A COMPLETE CATALOGUE OF ALL EXISTING STRUCTURES AND UTILITIES. THIS PLAN INTENDS TO DISCLOSE GENERAL INFORMATION KNOWN BY THE ENGINEER AND TO SHOW THE LIMITS OF THE AREA WHERE WORK WILL BE PERFORMED. THIS PLAN SHOWS THE EXISTING FEATURES TAKEN FROM A FIELD SURVEY, FIELD INVESTIGATIONS AND AVAILABLE INFORMATION. THIS PLAN MAY OR MAY NOT ACCURATELY REFLECT THE TYPE OR EXTENT OF THE ITEMS TO BE ENCOUNTERED AS THEY ACTUALLY EXIST. WHERE EXISTING FEATURES ARE NOT SHOWN, IT IS NOT IMPLIED THAT THEY ARE NOT TO BE DEMOLISHED OR REMOVED. THE CONTRACTOR SHALL PERFORM A THOROUGH FIELD INVESTIGATION AND REVIEW OF THE SITE WITHIN THE LIMIT OF WORK SHOWN IN THIS PLAN SET TO DETERMINE THE TYPE, QUANTITY AND EXTENT OF ANY AND ALL ITEMS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE EXTENT OF EXISTING STRUCTURES AND UTILITIES AND QUANTITY OF WORK INVOLVED IN REMOVING THESE ITEMS FROM THE SITE.

WATER SYSTEM NOTES:

- USE DETECTABLE METALIZED WARNING TAPE APPROXIMATELY 6" BELOW THE SURFACE. TAPE SHALL BE A BRIGHT COLOR AND IMPRINTED WITH "CAUTION-BURIED WATER LINE BELOW".
- ALL WATER SERVICE CONNECTIONS, INCLUDING BUT NOT LIMITED TO WATER VALVES TEMPORARY AND PERMANENT AIR RELEASE VALVES AND BLOW OFF VALVES, SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY/COUNTY OR APPLICABLE WATER DISTRICT STANDARDS.
- CONTRACTOR SHALL SIZE AND INSTALL ALL NEW DESIGN BUILD DOMESTIC IRRIGATION AND FIRE WATER LINE(S) IN ACCORDANCE WITH THE LATEST EDITION OF THE UNIFORM CALIFORNIA PLUMBING AND FIRE CODES. (ALL FIXTURE UNIT COUNTS SHALL BE REVIEWED AND APPROVED BY THE CITY'S BUILDING AND/OR WATER DEPARTMENT PRIOR TO CONSTRUCTION.)
- ALL WATER LINES SHALL BE INSTALLED WITH 36" MINIMUM COVER.
- PUBLIC AND PRIVATE WATER MAIN AND WATER SERVICE LINE 4" THROUGH 12-INCH SHALL BE POLYVINYL CHLORIDE (PVC) AND SHALL MEET AWMA C900, RATED FOR 200 PSI CLASS PIPE WITH EPOXY COATED DUCTILE IRON FITTINGS AND FUSION EPOXY COATED GATE VALVES. ALL JOINTS SHALL BE FACTORY MANUFACTURED WITH BELL AND SPIGOT ENDS AND RUBBER GASKETS.
- ALL WATER LINES 2" OR SMALLER SHALL BE TYPE K COPPER WITH SILVER BRAZED JOINTS. CONTRACTOR TO VERIFY PRESSURES FROM EXISTING LINES ARE ADEQUATE TO SERVICE BUILDINGS AS SPECIFIED BY THE PLUMBING PLANS.
- CONNECTIONS TO THE EXISTING WATER MAIN SHALL BE APPROVED BY THE APPLICABLE WATER DISTRICT STANDARDS. THE CONTRACTOR SHALL PAY THE ACTUAL COSTS OF CONSTRUCTION. THE CONTRACTOR SHALL PERFORM ALL EXCAVATION, PREPARE THE SITE, FURNISH ALL MATERIALS, INSTALL TAPPING TEE, VALVE AND ALL THRUST BLOCKS, BACKFILL, RESTORE THE SURFACE, AND CLEAN UP. THE APPLICABLE WATER DISTRICT STANDARDS WILL PROVIDE THE CONTRACTOR WITH A LIST OF APPROVED CONTRACTORS FOR MAKING WET TAPS.
- ALL WATER VALVES SHALL BE CLUSTERED, UNLESS OTHERWISE DIRECTED BY THE CITY/COUNTY OR APPLICABLE WATER DISTRICT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COLLECTING AND DELIVERING WATER SAMPLES FOR ANALYSIS TO A CITY/COUNTY/APPLICABLE WATER DISTRICT APPROVED LAB.
- ALL ON AND OFF-SITE LANDSCAPE IRRIGATION SYSTEMS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE ARCHITECTURAL PLANS AND SPECIFICATIONS AND SHALL BE CONNECTED TO THE EXISTING AND/OR NEW WATER SYSTEM AND METERED ACCORDINGLY.
- INSTALL CITY/COUNTY/APPLICABLE WATER DISTRICT APPROVED PRESSURE REGULATOR AND REDUCED BACKFLOW PREVENTOR ON WATER LINE AT ENTRANCE TO BUILDING. REFERENCE PLUMBING PLANS FOR MORE DETAIL.

RECORD DRAWINGS:

- THE CONTRACTOR SHALL KEEP UP-TO-DATE AND ACCURATE A COMPLETE RECORD SET OF PRINTS OF THE CONTRACT DRAWINGS SHOWING EVERY CHANGE FROM THE ORIGINAL DRAWINGS MADE DURING THE COURSE OF CONSTRUCTION INCLUDING EXACT FINAL LOCATION, ELEVATION, SIZES, MATERIALS, AND DESCRIPTION OF ALL WORK. RECORDS SHALL BE "REDLINED" ON A SET OF CONSTRUCTION PLAN DRAWINGS. A COMPLETE SET OF CORRECTED AND COMPLETED RECORD DRAWING PRINTS SHALL BE SUBMITTED TO THE OWNER PRIOR TO FINAL ACCEPTANCE.

SITE MAINTENANCE

- UPON PROJECT COMPLETION THE OWNER SHALL BE SOLELY RESPONSIBLE TO ROUTINELY INSPECT AND MAINTAIN ALL ON-SITE STORM DRAIN FACILITIES. STORM DRAIN FACILITIES INCLUDE: ROOF GUTTERS AND DOWNSPOUTS, SURFACE DRAINS, DRYWELL, PUMP(S) AND DISCHARGE POINTS (BUBBLE UP BOX, CURB DRAIN). STORM DRAIN SYSTEM SHALL BE CLEANED AND/OR FLUSHED ON A BIENNIAL BASIS OR AS FOUND NECESSARY.

GRADING NOTES:

- PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL STRUCTURES BY SLOPING THE FINISHED GROUND SURFACE AT LEAST 5%, UNLESS OTHERWISE NOTED ON THE PLANS. NOT LESS THAN 2% (1/4 INCH FOOT) AWAY FROM THE STRUCTURE UNLESS OTHERWISE NOTED ON PLANS. ANY AREAS ON THE SITE NOT CONFORMING TO THESE BASIC RULES DUE TO EXISTING CONDITIONS OR DISCREPANCIES IN THE DOCUMENTS ARE TO BE REPORTED TO THE CIVIL ENGINEER PRIOR TO PROCEEDING WITH PLACEMENT OF BASE ROCK OR FORMWORK FOR CURBS AND/OR FLATWORK.
- CONTRACTOR SHALL DETERMINE EARTHWORK QUANTITIES BASED ON THE TOPOGRAPHIC SURVEY, THE GEOTECHNICAL INVESTIGATION AND THE PROPOSED SURFACE THICKNESS AND BASE THE BID ACCORDINGLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM IF A SEPARATE DEMOLITION CONTRACT HAS BEEN ISSUED TO TAKE THE SITE FROM THE WAY IT IS AT THE TIME OF THE BID TO THE CONDITIONS DESCRIBED IN THESE DOCUMENTS. BRING ANY DIFFERENCES BETWEEN THE STATE IN WHICH THE SITE IS DELIVERED TO THE CONTRACTOR AND THESE DOCUMENTS TO THE ATTENTION OF THE CIVIL ENGINEER.
- ALL FILL SHALL BE COMPAKTED PER THE GEOTECHNICAL REPORT AND THE CONTRACTOR SHALL COORDINATE AND COMPLY WITH THE GEOTECHNICAL ENGINEER TO TAKE THE APPROPRIATE TESTS TO VERIFY COMPACTION VALUES.
- IMPORT SOILS SHOULD MEET THE REQUIREMENTS OF THE SOILS REPORT AND SPECIFICATIONS.
- DO NOT ADJUST GRADES ON THIS PLAN WITHOUT PRIOR WRITTEN APPROVAL OF THE CIVIL ENGINEER.
- SITE STRIPPINGS THAT CONTAIN ONLY ORGANIC MATERIAL (NO DEBRIS TRASH, BROKEN CONC. OR ROCKS GREATER THAN 1" IN DIAMETER) MAY BE USED IN LANDSCAPE AREAS, EXCEPT FOR AREAS IDENTIFIED AS IMPORT TOP SOIL BY THE LANDSCAPE DRAWINGS. EXCESS STRIPPINGS SHALL BE REMOVED FROM SITE.
- ROUGH GRADING TO BE WITHIN 0.1' AND FINISH GRADES ARE TO BE WITHIN 0.05', HOWEVER CONTRACTOR SHALL NOT CONSTRUCT ANY IMPROVEMENTS THAT WILL CAUSE WATER TO POND OR NOT MEET REQUIREMENTS IN GRADING NOTE #1.
- THE CONTRACTOR SHALL EXERCISE EXTREME CARE TO CONFORM TO THE LINES, GRADES, SECTIONS, AND DIMENSIONS AS SET FORTH ON THESE PLANS. ALL GRADED AREAS SHALL CONFORM TO THE VERTICAL ELEVATIONS SHOWN WITH A TOLERANCE OF ONE-TENTH OF A FOOT. WHERE GRADED AREAS DO NOT CONFORM TO THESE TOLERANCES, THE CONTRACTORS SHALL BE REQUIRED TO DO CORRECTIVE GRADING, AT NO EXTRA COST TO THE CLIENT.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY OF THE SITE PRIOR TO THE START OF CONSTRUCTION AS TO THE ACCURACY BETWEEN THE WORK SET FORTH ON THESE PLANS AND THE WORK IN THE FIELD. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER AND CIVIL ENGINEER IN WRITING PRIOR TO START OF CONSTRUCTION WHICH MAY REQUIRE CHANGES IN DESIGN AND/OR AFFECT THE EARTHWORK QUANTITIES.
- THE CONTRACTOR SHALL ADJUST TO FINAL GRADE ALL EXISTING MANHOLES, CURB INLETS, CATCH BASINS, VALVES, MONUMENT COVERS, AND OTHER CASTINGS WITHIN THE WORK AREA TO FINAL GRADE IN PAVEMENT AND LANDSCAPE AREAS UNLESS NOTED OTHERWISE.

STORM DRAIN NOTES:

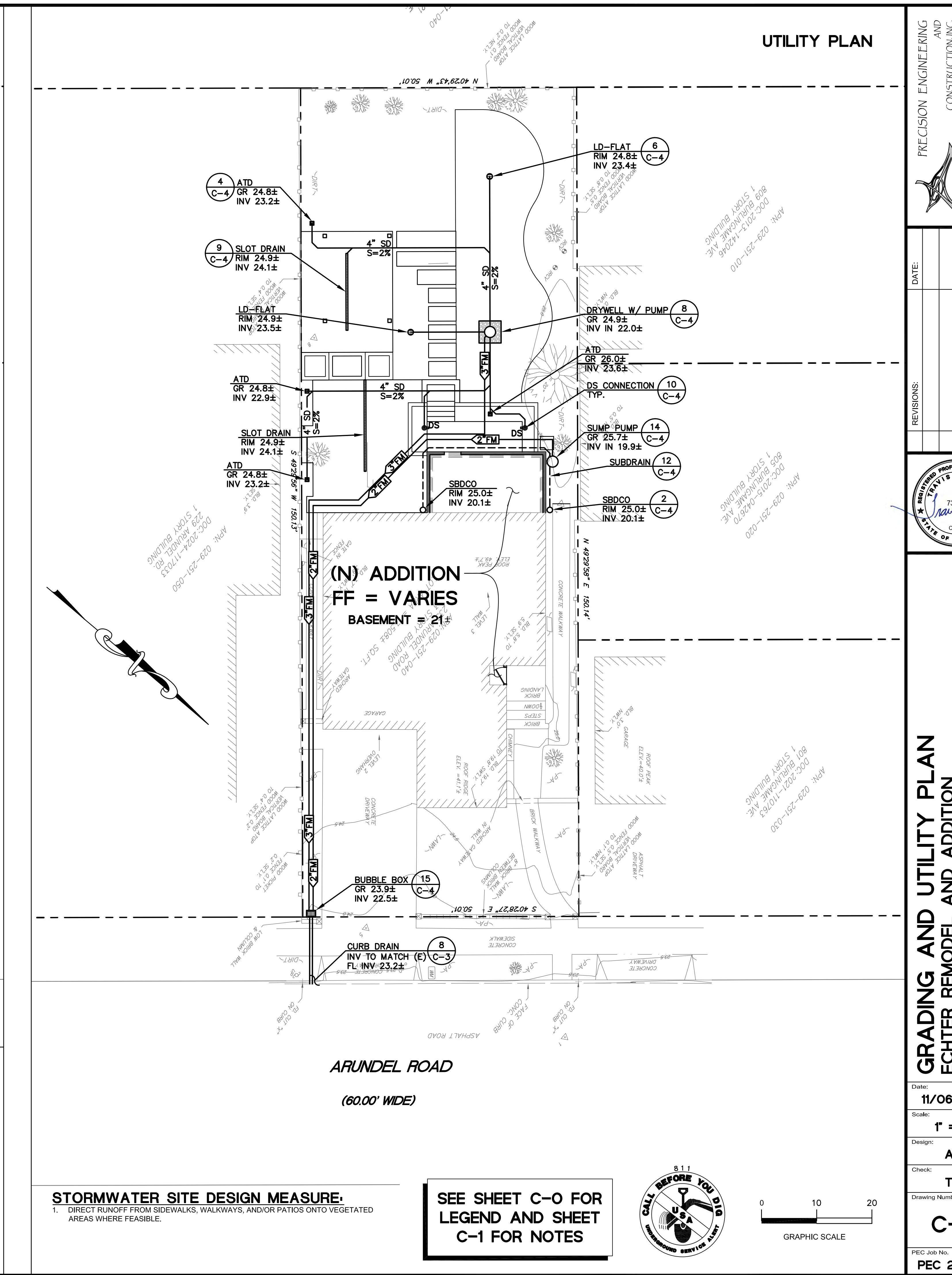
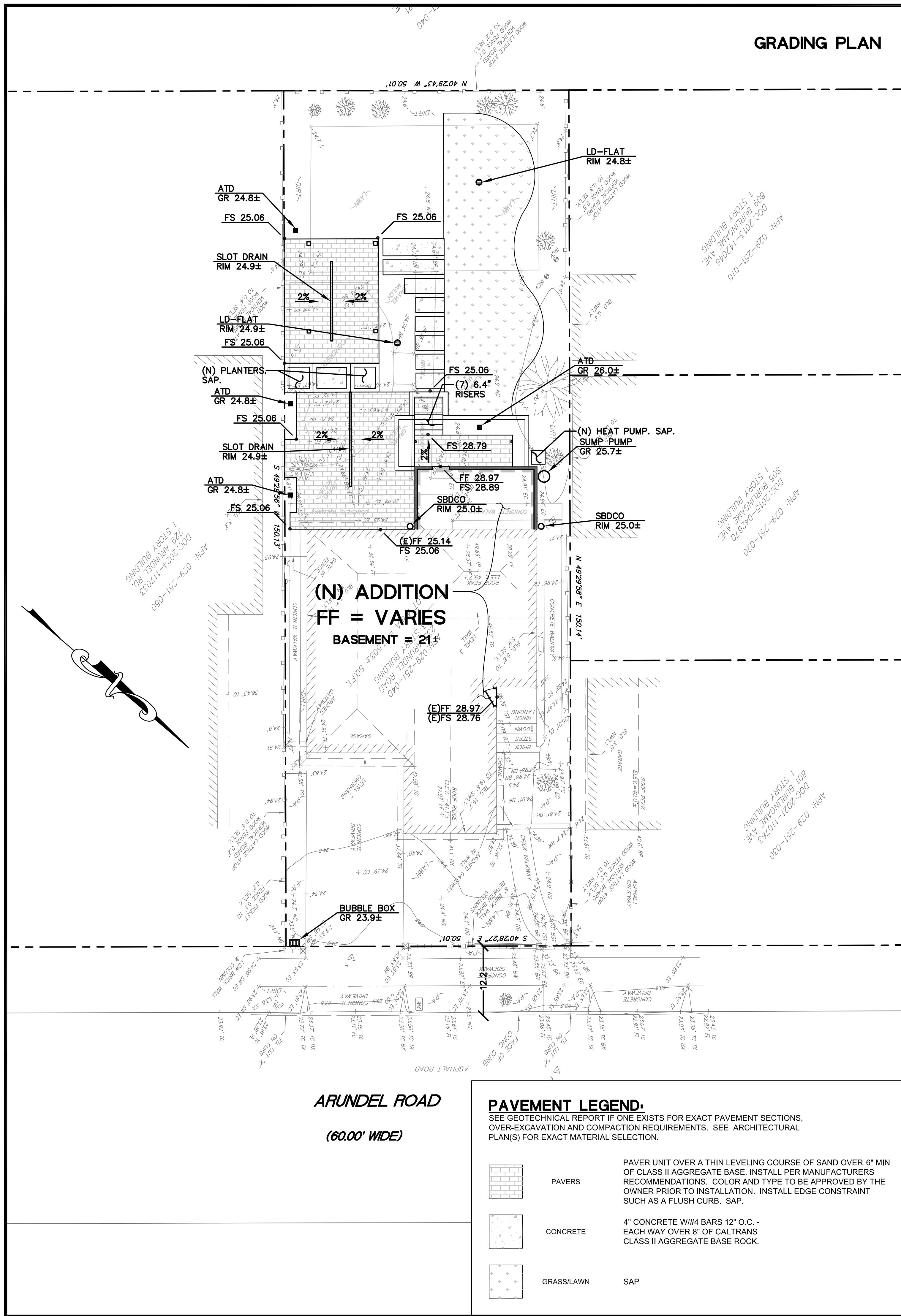
- USE DETECTABLE METALIZED WARNING TAPE APPROXIMATELY 6" BELOW THE SURFACE. TAPE SHALL BE A BRIGHT COLOR AND IMPRINTED WITH "CAUTION-BURIED STORM DRAIN LINE BELOW".
- PRIVATE STORM DRAIN LINE 4-INCH THROUGH 12-INCH IN NON-TRAFFIC AREAS SHALL BE INSTALLED WITH A MINIMUM OF EIGHTEEN (18) INCHES OF COVER AND SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS, 45° ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
- PRIVATE STORM DRAIN LINE 4-INCH THROUGH 12-INCH WITHIN VEHICULAR TRAFFIC AREAS SHALL BE INSTALLED WITH A MINIMUM OF EIGHTEEN (18) INCHES OF COVER AND SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 PIPE. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, OBTUSE ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
- PAINT THE TOP OF THE CURBS ADJACENT TO EACH CATCH BASIN INSTALLED UNDER THIS WORK OR ADJACENT TO THIS SITE WITH THE WORDS "NO DUMPING". WORDING TO BE BLUE 4" HIGH LETTERS ON A PAINTED WHITE BACKGROUND.
- ALL AREA DRAINS AND CATCH BASINS GRATES WITHIN PEDESTRIAN ACCESSIBLE AREAS SHALL MEET ADA REQUIREMENTS.
- DRAINS SHOWN ON CIVIL PLANS ARE NOT INTENDED TO BE THE FINAL NUMBER AND LOCATION OF ALL DRAINS. PLACEMENT AND NUMBER OF LANDSCAPING DRAINS ARE HIGHLY DEPENDENT ON GROUND COVER TYPE AND PLANT MATERIAL. CONTRACTOR SHALL ADD ADDITIONAL AREA DRAINS AS NEEDED AND AS DIRECTED BY THE LANDSCAPE ARCHITECT/OWNER.
- WHERE FEASIBLE ALL DOWNSPOUTS SHALL DISCHARGE TO A SPLASHBLOCK OR IMPERVIOUS SURFACE AND FLOW TO LANDSCAPED FEATURES BEFORE ENTERING THE DRAINAGE SYSTEM. USE OF AREA DRAINS (RATHER THAN DIRECT CONNECTION TO DRAINAGE SYSTEM) TO COLLECT ROOF/SURFACE WATER IS STRONGLY ENCOURAGED IN CONFORMANCE WITH COUNTYWIDE C.3 REQUIREMENTS. OTHERWISE, DOWNSPOUTS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM WITH 4" PVC SDR 35 PIPE WHERE SHOWN ON PLANS. SEE ARCHITECTURE PLANS FOR EXACT LOCATION OF THE DOWNSPOUTS.
- CONTRACTOR SHALL INSTALL RAIN GUTTER GUARDS OR WIRE MESH ON ALL ROOF GUTTERS TO REDUCE THE AMOUNT TO LEAVES AND DEBRIS FROM ENTERING THE STORM DRAIN SYSTEM.
- INSTALL SEPARATE SUB-DRAIN SYSTEM BEHIND RETAINING WALLS PER GEOTECHNICAL REPORT AND CONNECT TO STORM DRAIN SYSTEM AT SUMP PUMP.

FIRE PROTECTION NOTES:

- CONTRACTOR SHALL INSTALL THE DESIGN BUILD FIRE SERVICE LINE, BACKFLOW PREVENTOR, SPRINKLERS AND EQUIPMENT IN ACCORDANCE WITH THE FIRE PROTECTION CONSULTANT'S PLANS, SPECIFICATIONS, LATEST EDITION OF THE UNIFORM CALIFORNIA FIRE CODE AND CITY/TOWN STANDARDS.
- THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL PREPARE SHOP DRAWINGS SHOWING ALL INFORMATION REQUIRED BY THE LOCAL FIRE MARSHAL, INCLUDING ANGLES, THRUST BLOCKS, VALVES, FIRE HYDRANTS, PIV'S, FDC's, BACKFLOW ASSEMBLIES, FLEXIBLE CONNECTIONS, VAULTS, ETC.
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE LOCAL FIRE MARSHAL, THE RATING AGENCY AND THE PROJECT MANAGER, ALLOWING TIME FOR REVIEW AND ACCEPTANCE, PRIOR TO START OF WORK.
- THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL OBTAIN ALL APPROVALS AND PERMITS PRIOR TO ORDERING MATERIALS, FABRICATING SYSTEMS OR ANY INSTALLATION.
- ALL LATERALS SHALL HAVE A CLEANOUT AT FACE OF BUILDING, AT THE PROPERTY LINE AND AS SHOWN ON PLANS PER THE CITY STANDARD OR APPROPRIATE SANITARY SEWER DISTRICT.
- IF (E) SEWER LATERAL IS TO BE USED, CONTRACTOR SHALL CONDUCT WATER PRESSURE TEST AND A VIDEO INSPECTION ON THE ENTIRE SECTION OF EXISTING LATERAL FROM HOUSE TO SEWER MAIN. CONTRACTOR SHALL PERFORM ANY NECESSARY CLEANING AND/OR REPAIRS WITHIN THE LATERAL AND AT THE CONNECTION.
- ABANDON EXISTING SEWER LATERAL AS FOLLOWS: PLUG WITH NON SHRINK GROUT A MINIMUM OF 5' AT BOTH THE UPSTREAM AND DOWNSTREAM SIDES OF ALL PIPE SEGMENTS TO BE ABANDONED. UPPER PIPE SECTIONS TO BE PLUGGED MAY REQUIRE INSTALLING SOMETHING IN THE PIPE TO PREVENT NON SHRINK GROUT FROM FLOWING FURTHER DOWN THE ABANDONED MAIN, IN LIEU OF FILLING THE ENTIRE PIPE SECTION WITH NON SHRINK GROUT.
- IF THE LOWEST FINISHED FLOOR ELEVATION OF THE PROPOSED MAIN RESIDENCE WILL BE LESS THAN 1' FOOT HIGHER THAN THE RIM ELEVATION OF THE NEAREST UPSTREAM SANITARY SEWER MANHOLE, A BACKFLOW PREVENTION OR OVERFLOW DEVICE MUST BE INSTALLED IMMEDIATELY UPSTREAM OF THE REQUIRED CLEANOUT NEAR THE PROPERTY LINE TO PREVENT BACKFLOW OF SEWAGE INTO THE BUILDING/PROPERTY.

GENERAL UTILITY SYSTEM NOTES:

- UNDERGROUND UTILITIES OR STRUCTURES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS AND LEVELS BASED UPON FIELD OBSERVATION ONLY. NO GUARANTEE IS MADE TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR SHALL VERIFY THE TYPE, SIZE, LOCATION AND DEPTH OF ALL THE UTILITIES AND CROSSINGS TO ENSURE THEY ARE CORRECT AS SHOWN. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN EXCAVATING AND SHALL PROTECT ALL EXISTING UTILITIES FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS.
- CONTRACTOR SHALL PREPARE AN ACCURATE COMPOSITE UTILITY PLAN THAT TAKES INTO ACCOUNT THE ACTUAL LOCATIONS OF EXISTING UTILITIES AS DETERMINED DURING THE DEMOLITION WORK, AND ALL PROPOSED UTILITIES SHOWN ON THE CIVIL, ELECTRICAL, JOINT TRENCH AND FIRE SPRINKLER DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITIES AND REQUESTING VERIFICATION OF SERVICE POINTS, FIELD, VERIFICATION OF LOCATION, SIZE, DEPTH, ETC. FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.
- ALL FILL SHALL BE COMPACTED PER THE GEOTECHNICAL REPORT AND THE CONTRACTOR SHALL COORDINATE AND COMPLY WITH THE GEOTECHNICAL ENGINEER TO TAKE THE APPROPRIATE TESTS TO VERIFY COMPACTION VALUES.
- CONTRACTOR SHALL REPLACE ALL COVERS AND GRATE LIDS FOR MANHOLES, VAULTS, CATCH BASINS, ETC., WITH VEHICULAR-RATED STRUCTURES IN ALL TRAFFIC ACCESSIBLE AREAS.
- TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT IN EXISTING PUBLIC STREET AREAS. CONTRACTOR SHALL BACKFILL TRENCHES, OR PLACE STEEL PLATING WITH ADEQUATE CUTBACK TO PREVENT SHIFTING OF STEEL PLATE AND/OR HOT-MIX ASPHALT REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF THE WORKING DAY.
- ALL TRENCHES SHALL BE BACK FILLED PER THE SPECIFICATIONS WITH APPROPRIATE TESTS BY THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES.
- CLEAN OUTS, CATCH BASINS, MANHOLES, AREA DRAINS AND UTILITY VAULTS ARE TO BE ACCURATELY LOCATED BY THEIR RELATIONSHIP TO THE BUILDING, FLATWORK, ROOF DRAINS, AND/OR CURE LAYOUT, NOT BY THE LENGTH OF PIPE SPECIFIED IN THE DRAWINGS (WHICH IS APPROXIMATE). CONTRACTOR SHALL STAKE LOCATIONS OF ABOVE GROUND UTILITY EQUIPMENT (BACKFLOW PREVENTOR, TRANSFORMER, UTILITY METERS, ETC.) AND MEET WITH OWNER TO REVIEW LOCATION PRIOR TO INSTALLATION.
- ALL UTILITY SYSTEMS (SANITARY SEWER, STORM DRAIN, WATER SYSTEM, ETC.) ARE DELINEATED IN A SCHEMATIC MANNER ON THESE PLANS. CONTRACTOR IS TO PROVIDE ALL FITTINGS, ACCESSORIES AND WORK NECESSARY TO COMPLETE THE UTILITY SYSTEM SO THAT IT IS FULLY FUNCTIONING FOR THE PURPOSE INTENDED.
- CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO COMMENCEMENT OF ANY WORK. ALL WORK FOR STORM AND SANITARY SEWER INSTALLATION SHALL BE DONE AT THE DOWNSTREAM CONNECTION POINT TO ALLOW FOR ANY NECESSARY ADJUSTMENTS TO BE MADE PRIOR TO THE INSTALLATION OF THE ENTIRE LINE. IF THE CONTRACTOR FAILS TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND WORKS UP STREAM, HE SHALL PROCEED AT HIS OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY. CONTRACTOR SHALL VERIFY LOCATION OF SANITARY SEWER LATERAL WITH OWNER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITIES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT HORIZONTAL AND VERTICAL CLEARANCE. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE CIVIL ENGINEER PRIOR TO INSTALLATION.
- VERTICAL SEPARATION REQUIREMENTS:
A MINIMUM OF SIX (6) INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN CROSSING UTILITY PIPES, EXCEPT THAT THE MINIMUM VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER PIPELINES SHALL BE 12 INCHES AND ALL NEW



**EROSION AND SEDIMENT CONTROL PLAN
ECHTER REMODEL AND ADDITION
233 ARUNDEL ROAD
BURLINGAME, CA 94010**

Date: 11/06/2025

Scale: AS SHOWN

Design: AJP

Check: TRL

Drawing Number: C-3

PEC Job No. PEC 25-080

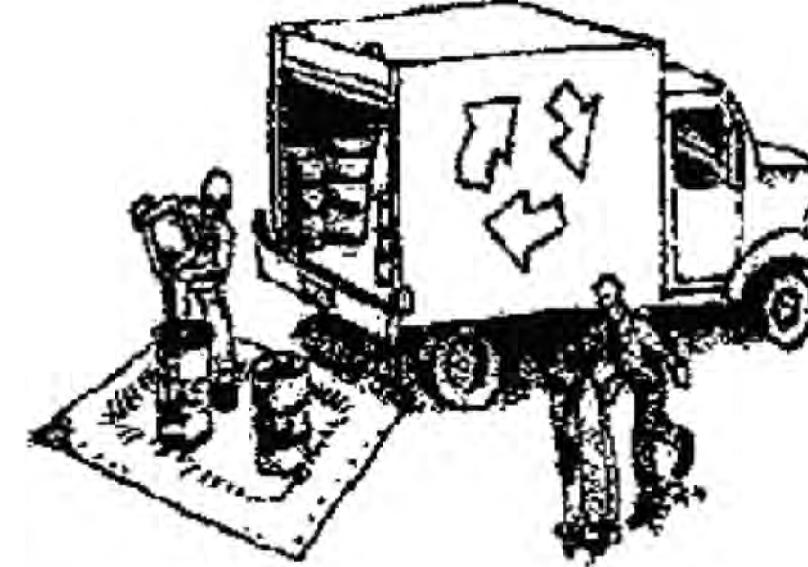
Page: 8 of 11



Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gypsum board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

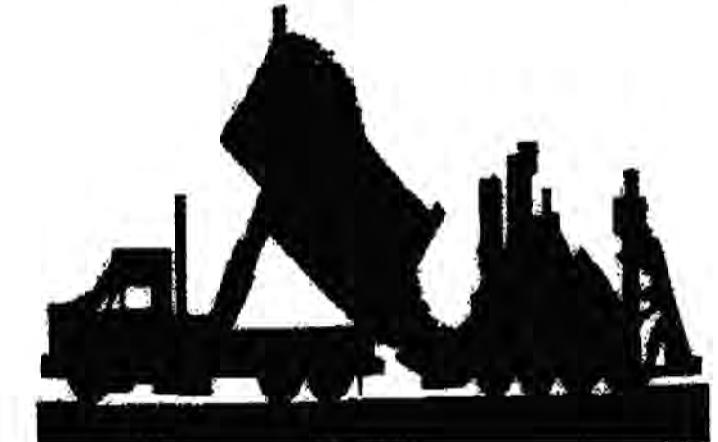
- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.

- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.

- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).

- If sawcut slurry enters a catch basin, clean it up immediately.

Landscaping



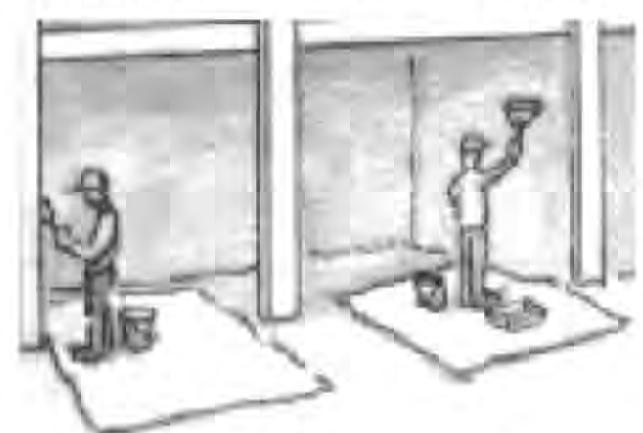
- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.

- Stack bagged material on pallets and under cover.

- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

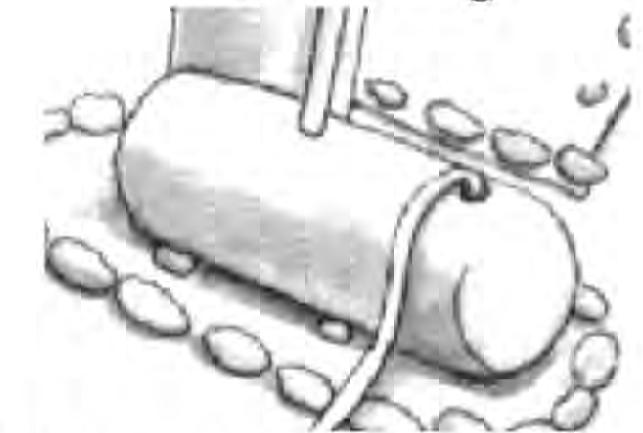
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.

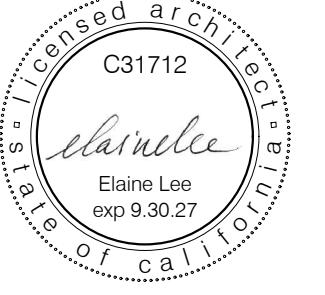
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

BEST MANAGEMENT PRACTICES ECHTER REMODEL AND ADDITION 233 ARUNDEL ROAD BURLINGAME, CA 94010

Date: **11/06/2025**
Scale: **NONE**
Design: **AJP**
Check: **TRL**
Drawing Number:
C-3.1
PEC Job No.
PEC 25-080

PRECISION ENGINEERING
AND
CONSTRUCTION INC.
13918 Old County Road
Brentwood, CA 94513
T: 561-226-8640
Travis@precisioninc.com



ECHTER REMODEL AND ADDITION
233 ARUNDEL ROAD
BURLINGAME, CALIFORNIA

APN: 029-251-040

drawing title

revisions

△ 11.13.25

Design Review Cycle 1

date: 08.21.25

scale: as noted

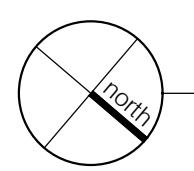
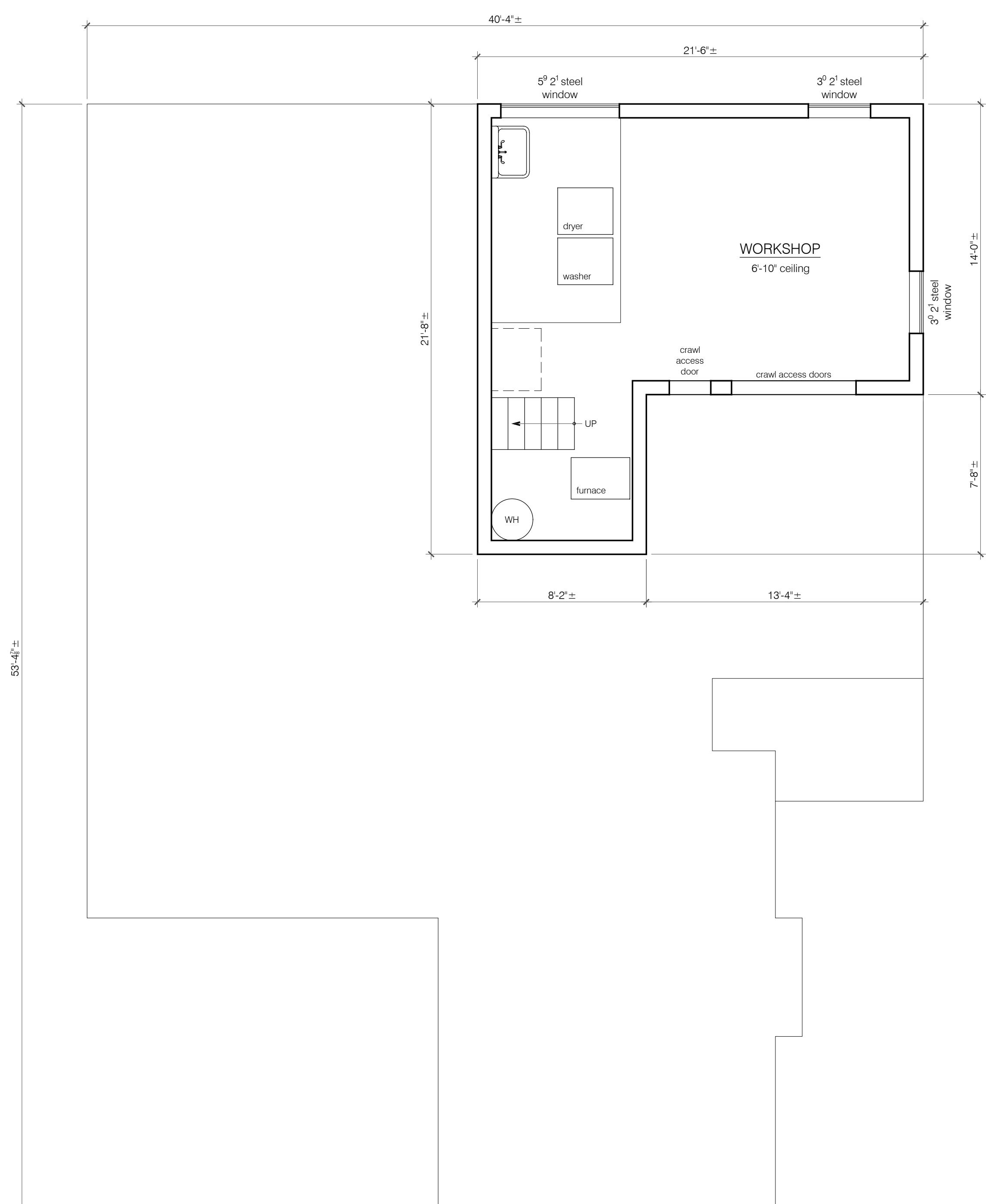
drawn by: EL

job: ECHTER

sheet

A2

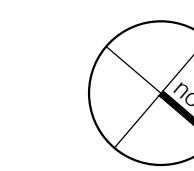
of 16 sheets



EXISTING BASEMENT PLAN

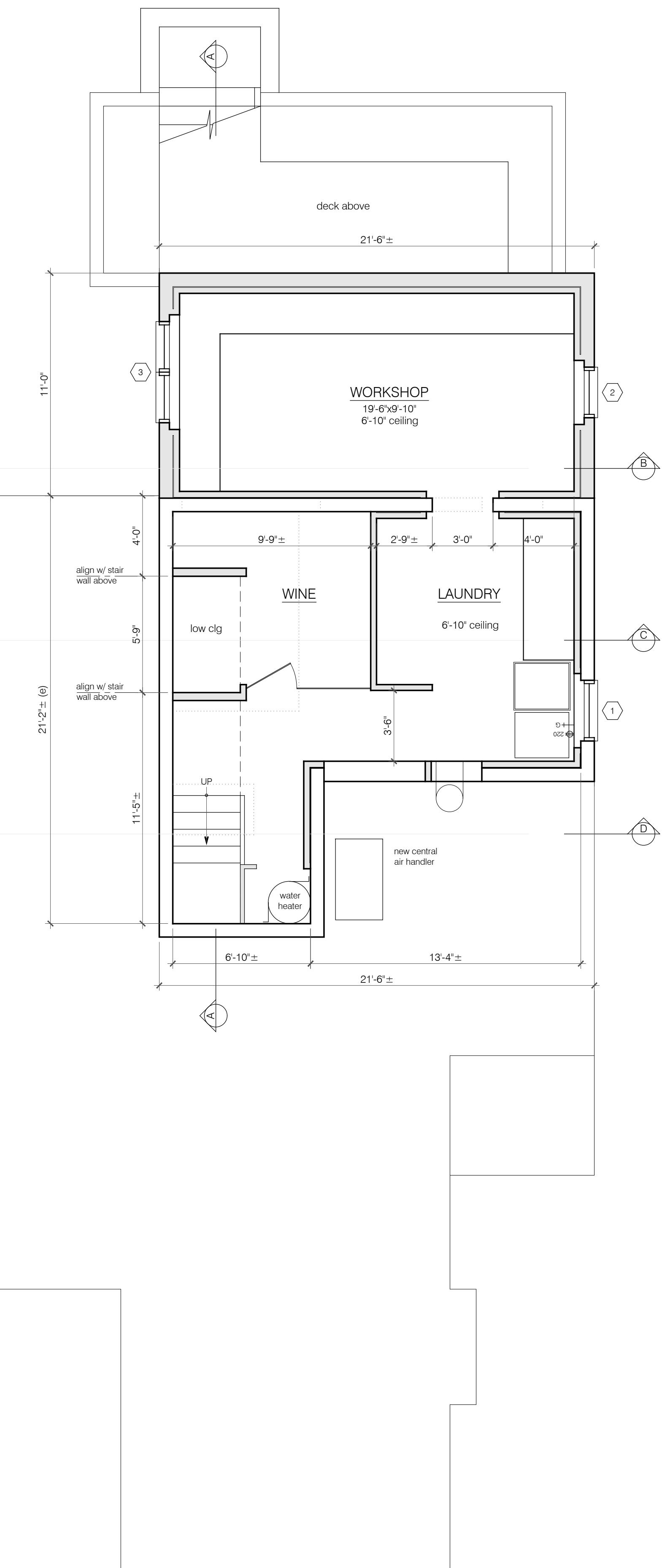
1/4"=1'-0"

WINDOW SCHEDULE BASEMENT							
TAG	Room	Operation	Width (in)	Height (in)	Head Ht (in)	Sill Ht (in)	Comments
1	Laundry	awning	36	24			
2	Workshop	awning	30	24			
3	Workshop	awning	60	24			temp. gl.



PROPOSED BASEMENT PLAN

1/4"=1'-0"



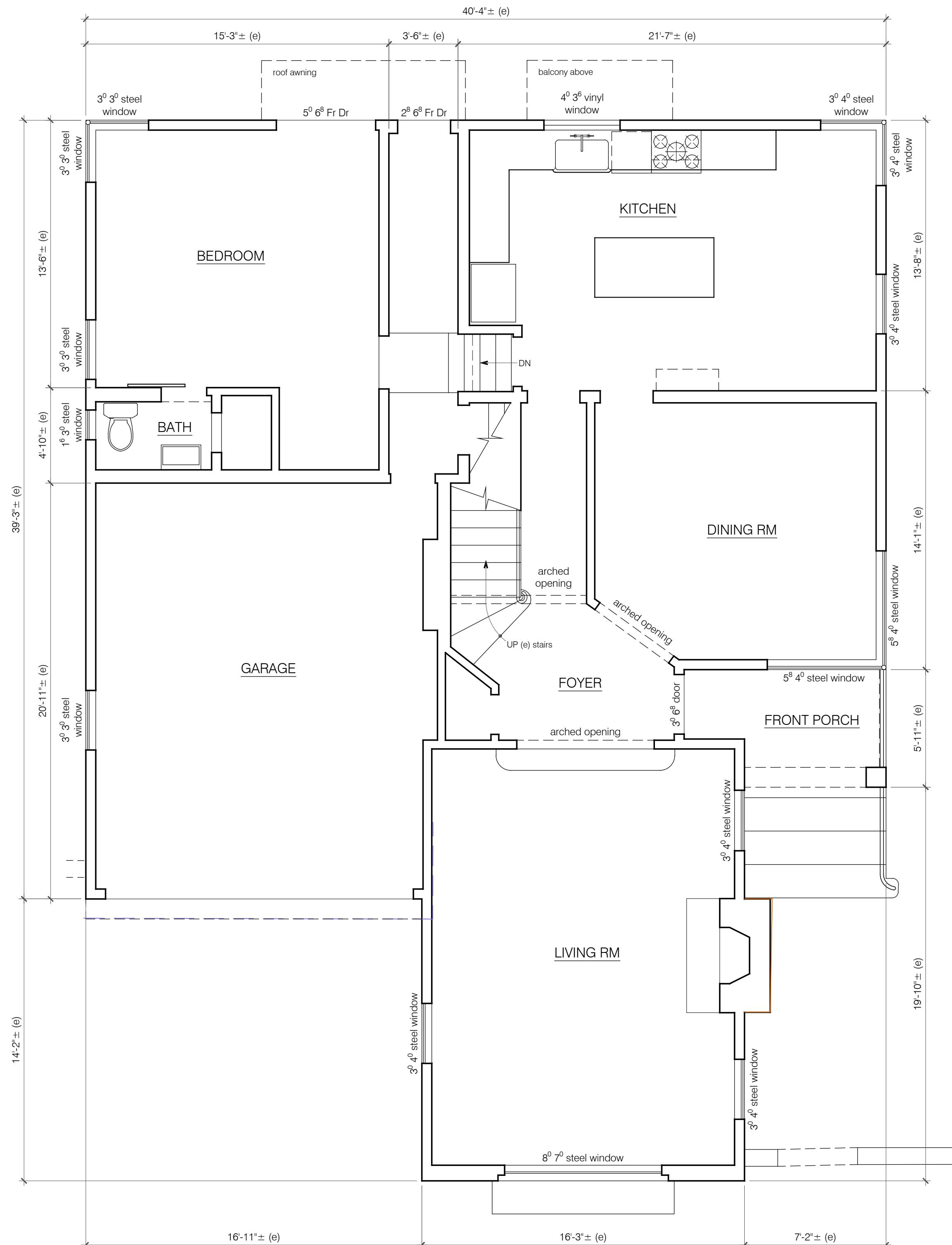
0 5 10 15 20 25



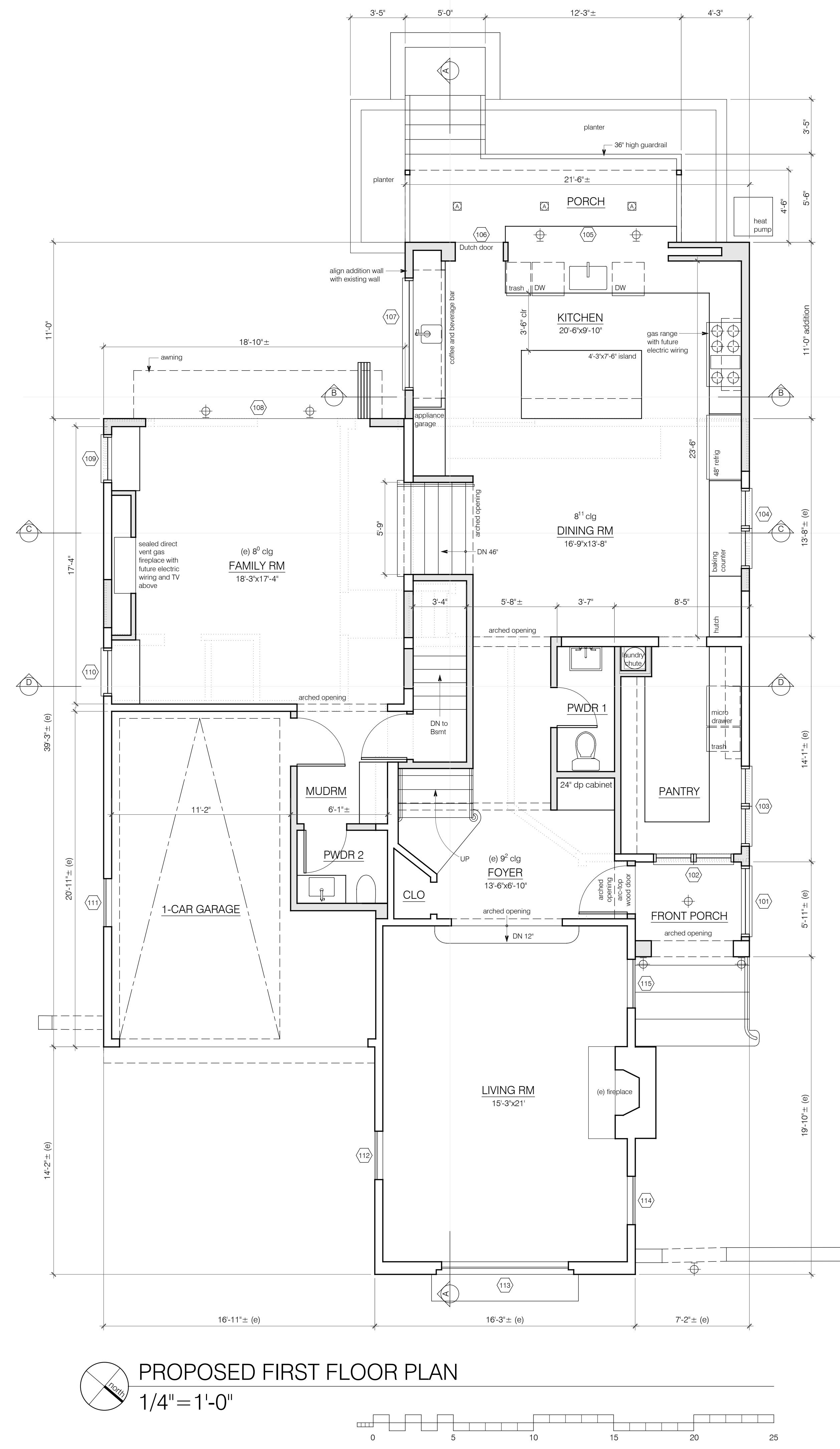
ECHTER REMODEL AND ADDITION
233 ARUNDEL ROAD
BURLINGAME, CALIFORNIA

APN: 029-251-040

drawing title
revisions
△ 11.13.25
Design Review Cycle 1
date: 08.21.25
scale: as noted
drawn by: EL
job: ECHTER
sheet

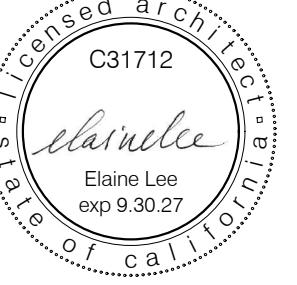


WINDOW SCHEDULE							
Tag	Room	Operation	Width (in)	Height (in)	Head Ht (in)	Sill Ht (in)	Comments
FIRST FLOOR							
101	Front Porch	fixed	54	48	80	32	temp. gl.
102	Pantry	fxd-csmt	(2) 30	42	80	38	
103	Pantry	csmt-csmt	(2) 30	42	80	38	
104	Kitchen	csmt-csmt	(2) 30	54	96	42	
105	Kitchen	sliding pocket	120	60	96	36	temp. gl.
106	Kitchen	Dutch dr w/ lte	(2) 36	96	96	0	temp. gl.
107	Kitchen	csmt-csmt	(2) 30	54	96	42	temp. gl.
108	Family Rm	folding doors	168	84	84	0	temp. gl.
109	Family Rm	casement	36	60	84	24	
110	Family Rm	casement	36	60	84	24	
111	Garage	csmt-csmt	36	36			existing to remain
112	Living Rm	csmt-csmt	36	50			existing to remain
113	Living Rm	csmt-fxd-csmt	96	84			existing to remain
114	Living Rm	csmt-csmt	36	50			existing to remain
115	Living Rm	csmt-csmt	36	50			existing to remain



A3

of 16 sheets



ECHTER REMODEL AND ADDITION
233 ARUNDEL ROAD
BURLINGAME, CALIFORNIA

APN: 029-251-040

drawing title

revisions

△ 11.13.25

Design Review Cycle 1

date: 08.21.25

scale: as noted

drawn by: EL

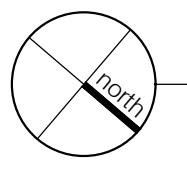
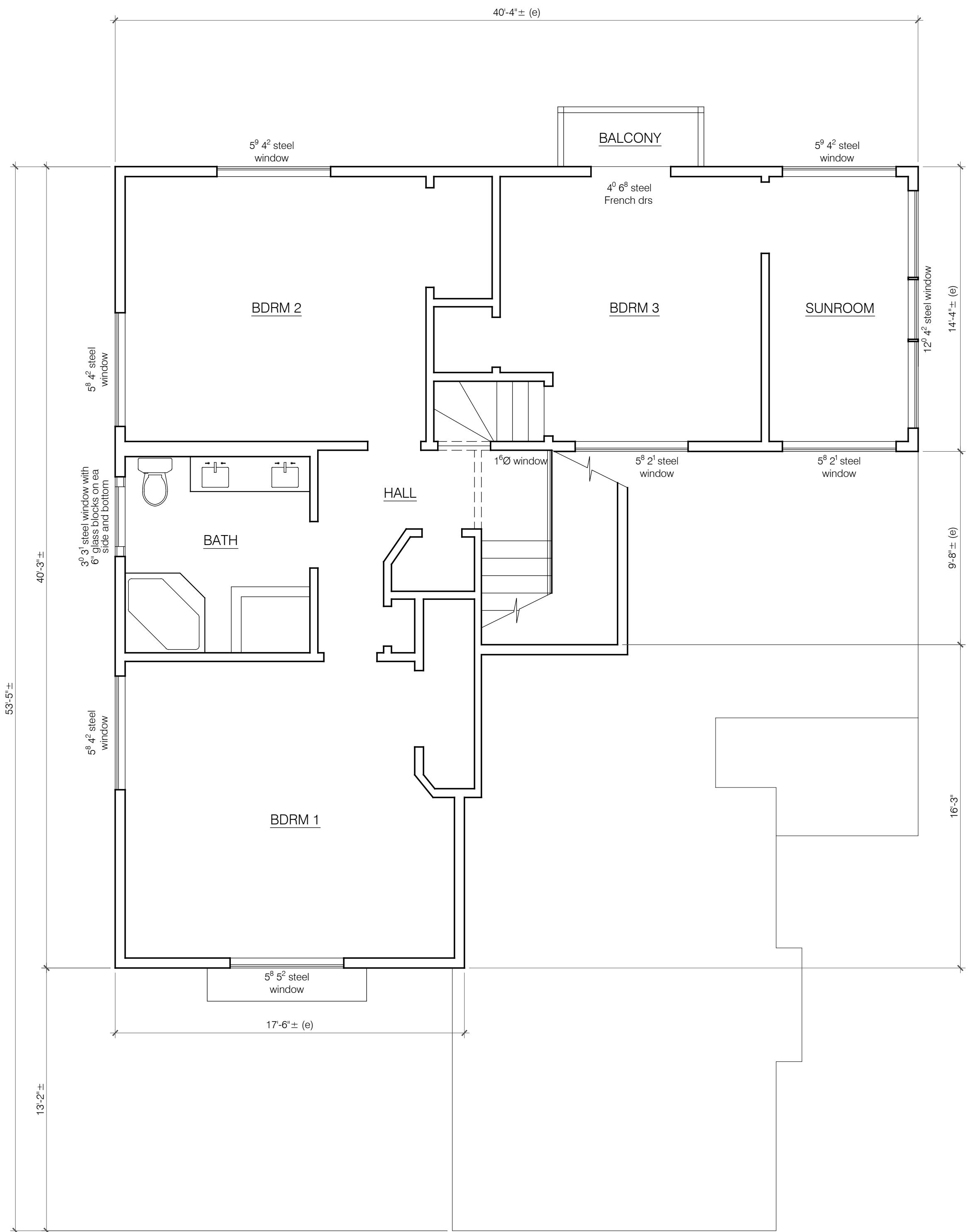
job: ECHTER

sheet

A4

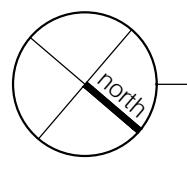
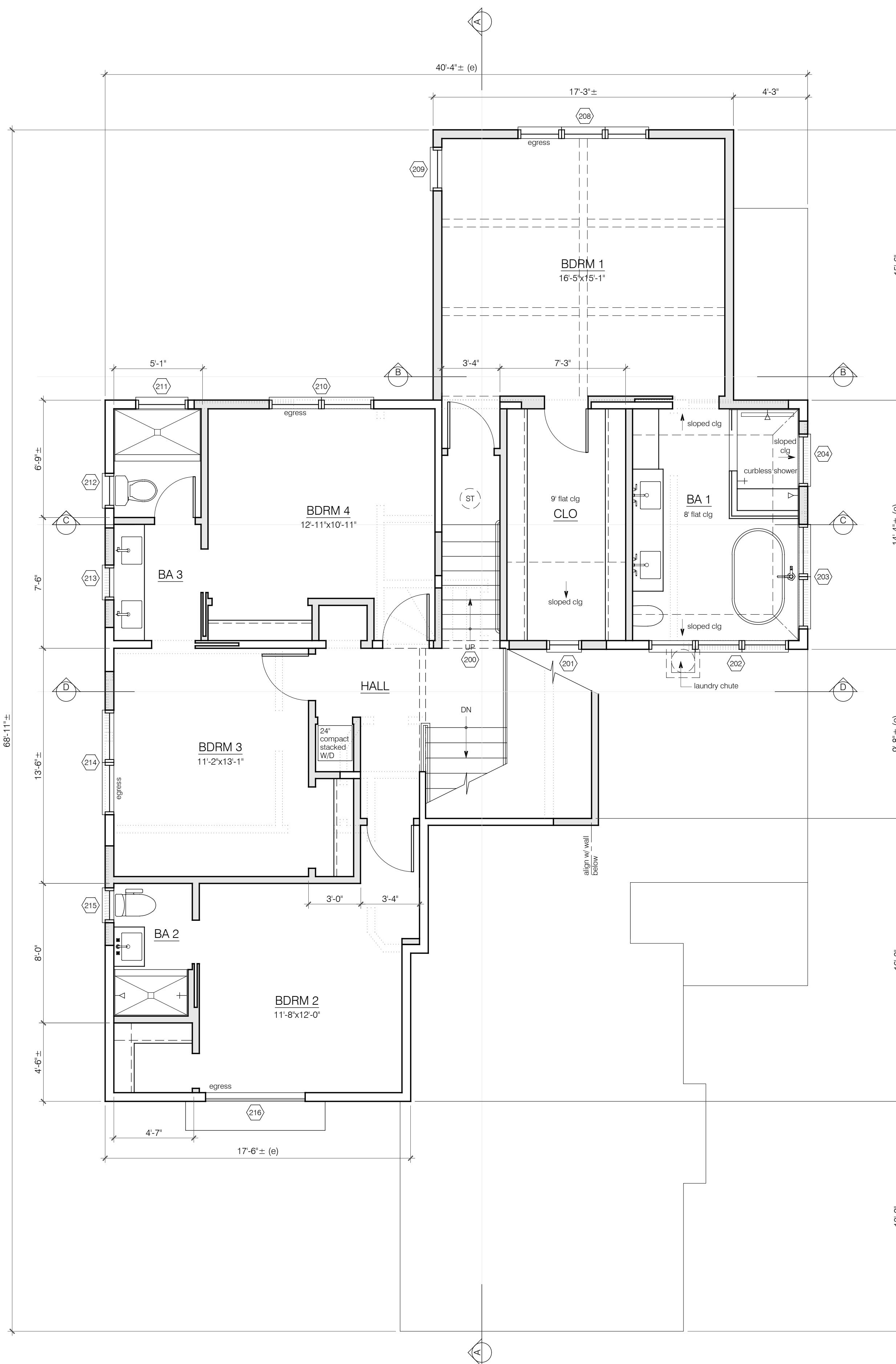
of 16 sheets

WINDOW SCHEDULE							
Tag	Room	Operation	Width (in)	Height (in)	Head Ht (in)	Sill Ht (in)	Comments
SECOND FLOOR							
200	Upper Stairs	fxd	24	24	80	56	
201	Bed 1 Clo	csmt	24	24	80	56	
202	Bath 1	awn-fxd-awn	(3) 32	24	80	56	temp. gl.
203	Bath 1	csmt-csmt	(2) 36	54	80	26	temp. gl.
204	Bath 1	awning	36	24	80	56	temp. gl., fiberglass
205	not used						
206	not used						
207	not used						
208	Bedroom 1	csmt-fxd-csmt	(3) 30	66	96	30	egress
209	Bedroom 1	casement	30	54	84	30	
210	Bedroom 4	csmt-csmt	24	48	80	32	egress
211	Bath 3	awning	36	24	80	56	temp. gl., fiberglass
212	Bath 3	casement	24	36	80	44	temp. gl.
213	Bath 3	casement	24	36	80	44	temp. gl.
214	Bedroom 3	csmt-csmt	(2) 30	48	80	32	egress
215	Bath 2	casement	24	36	80	44	temp. gl.
216	Bedroom 2	csmt-fxd-csmt	68	62	80	18	egress



EXISTING SECOND FLOOR PLAN

1/4"=1'-0"



PROPOSED SECOND FLOOR PLAN

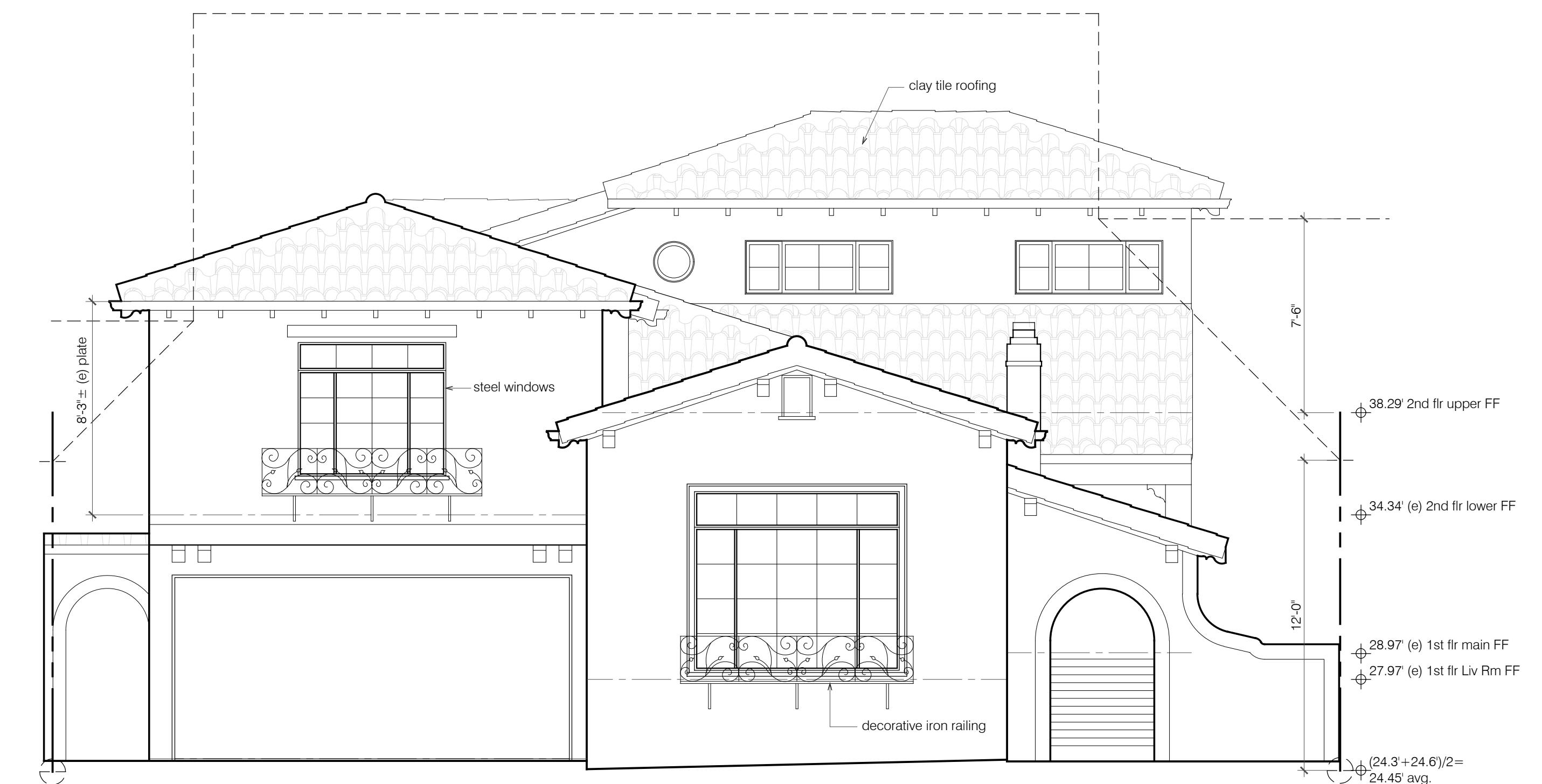
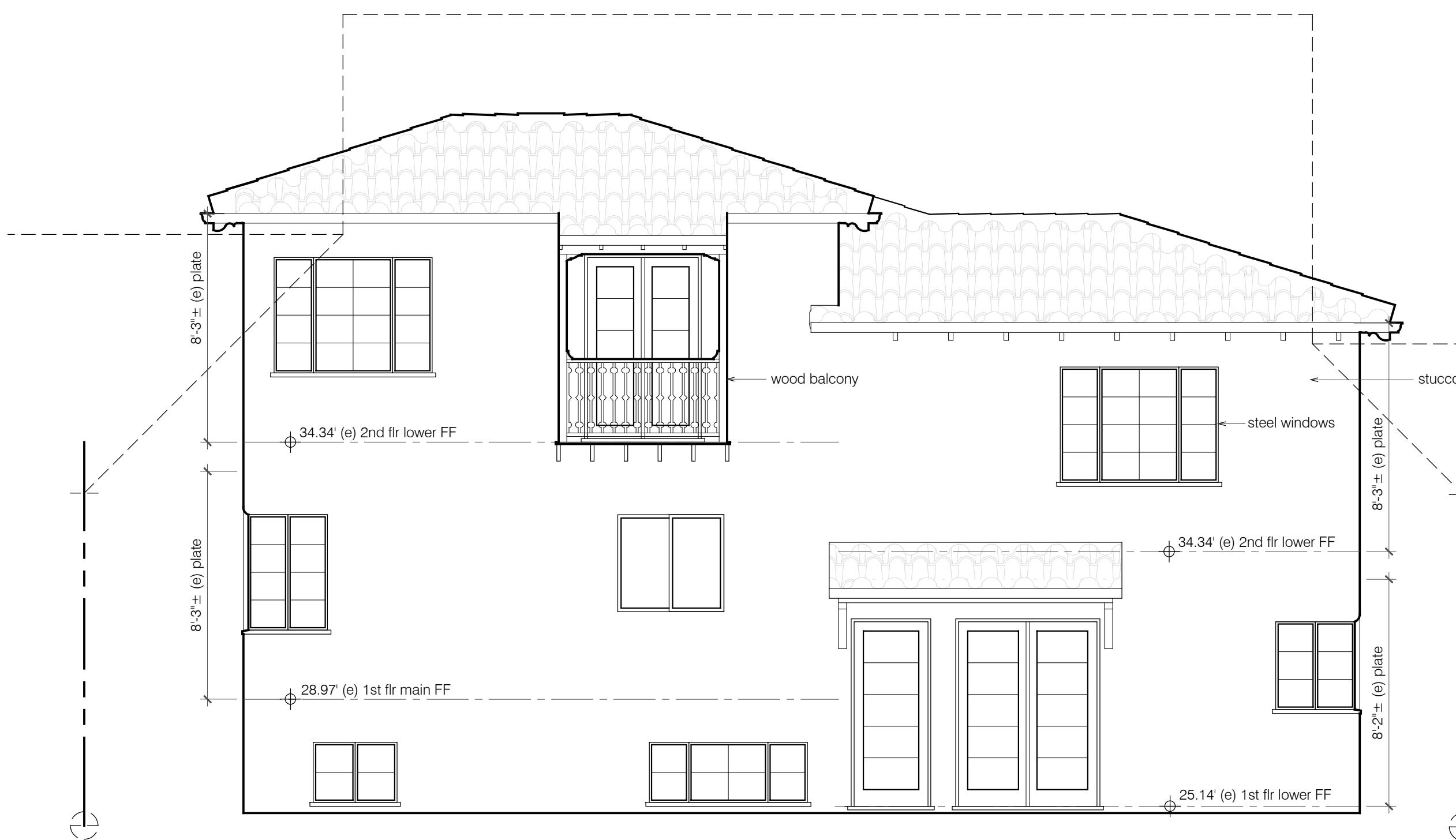
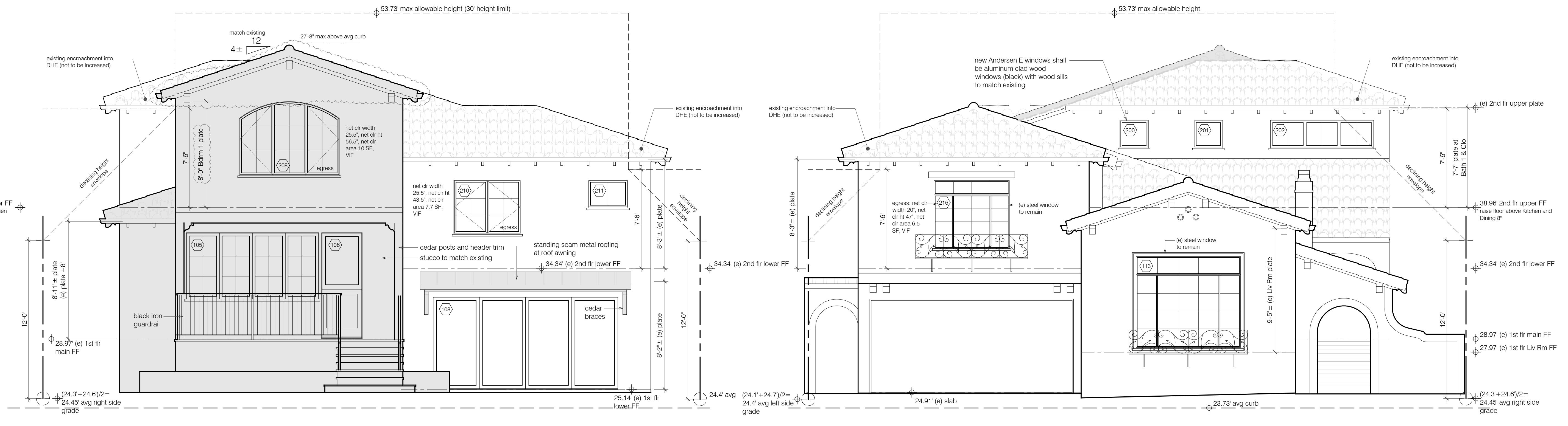
1/4"=1'-0"

0 5 10 15 20 25

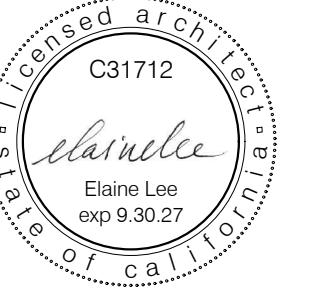


ECHTER REMODEL AND ADDITION
233 ARUNDEL ROAD
BURLINGAME, CALIFORNIA

APN: 029-251-040

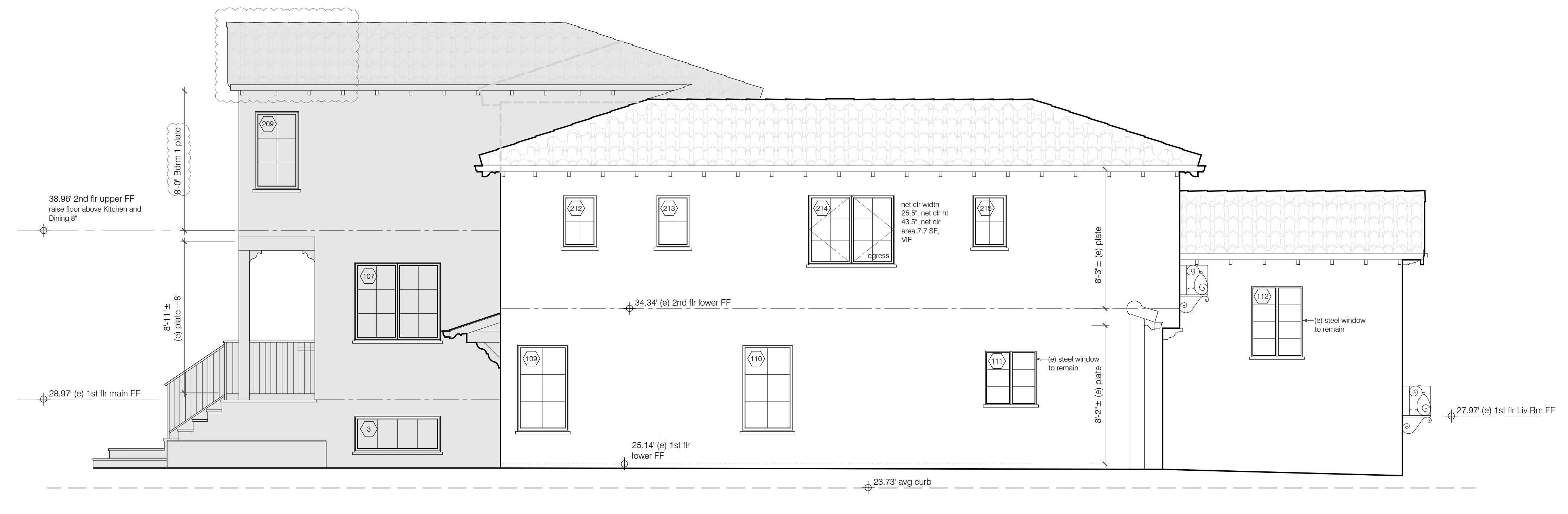


drawing title
revisions
△ 11.13.25
Design Review Cycle 1
date: 08.21.25
scale: as noted
drawn by: EL
job: ECHTER
sheet



ECHTER REMODEL AND ADDITION
233 ARUNDEL ROAD
BURLINGAME, CALIFORNIA

APN: 029-251-040



PROPOSED LEFT-SIDE (SOUTH) ELEVATION
1/4"=1'-0"



EXISTING LEFT-SIDE (SOUTH) ELEVATION
1/4"=1'-0"

drawing title

revisions

△ 11.13.25

Design Review Cycle 1

date: 08.21.25

scale: as noted

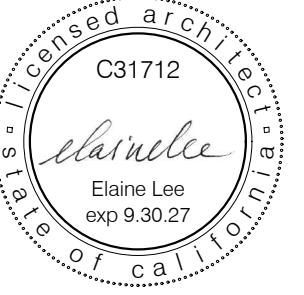
drawn by: EL

job: ECHTER

sheet

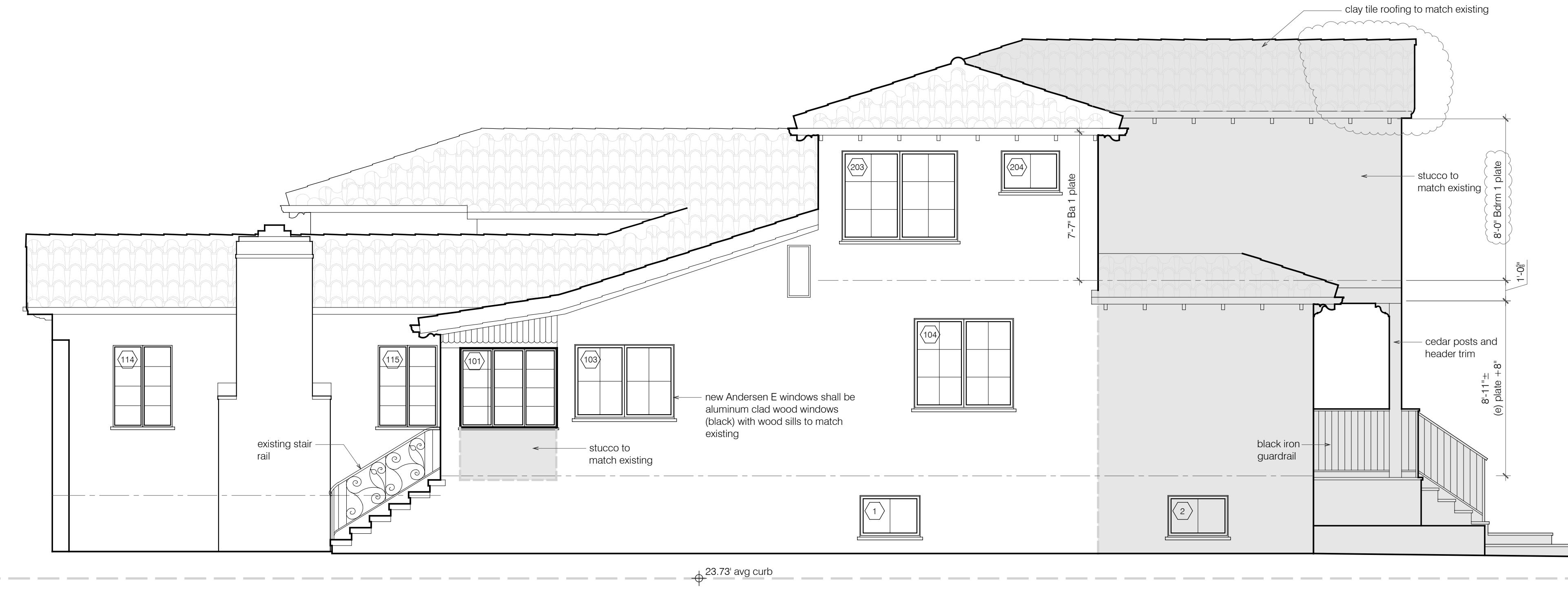
A6

of 16 sheets



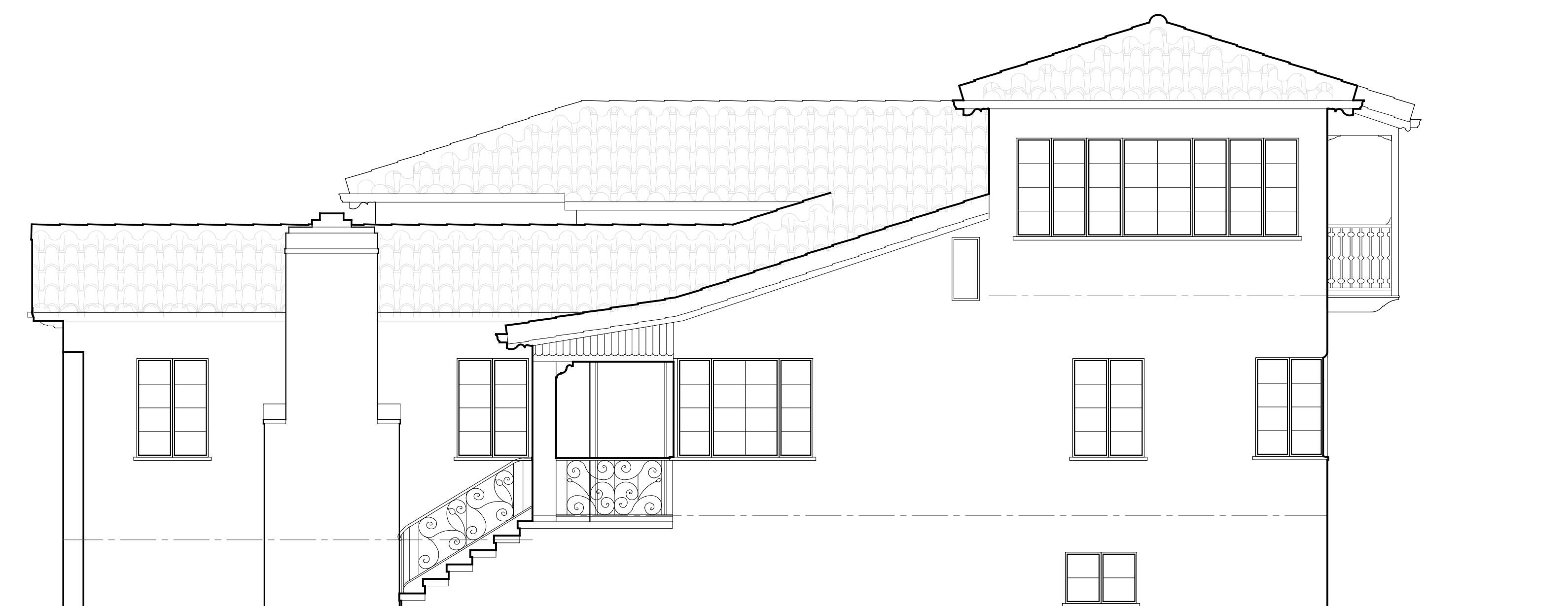
ECHTER REMODEL AND ADDITION
233 ARUNDEL ROAD
BURLINGAME, CALIFORNIA

APN: 029-251-040



PROPOSED RIGHT-SIDE (NORTH) ELEVATION

1/4"=1'-0"



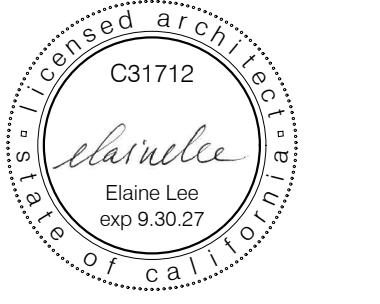
EXISTING RIGHT-SIDE (NORTH) ELEVATION

1/4"=1'-0"

Design Review Cycle 1
date: 08.21.25
scale: as noted
drawn by: EL
job: ECHTER
sheet

A7

of 16 sheets



ECHTER REMODEL AND ADDITION
233 ARUNDEL ROAD
BURLINGAME, CALIFORNIA

APN: 029-251-040

drawing title

revisions

Design Review Cycle 1

date: 08.21.25

scale: as noted

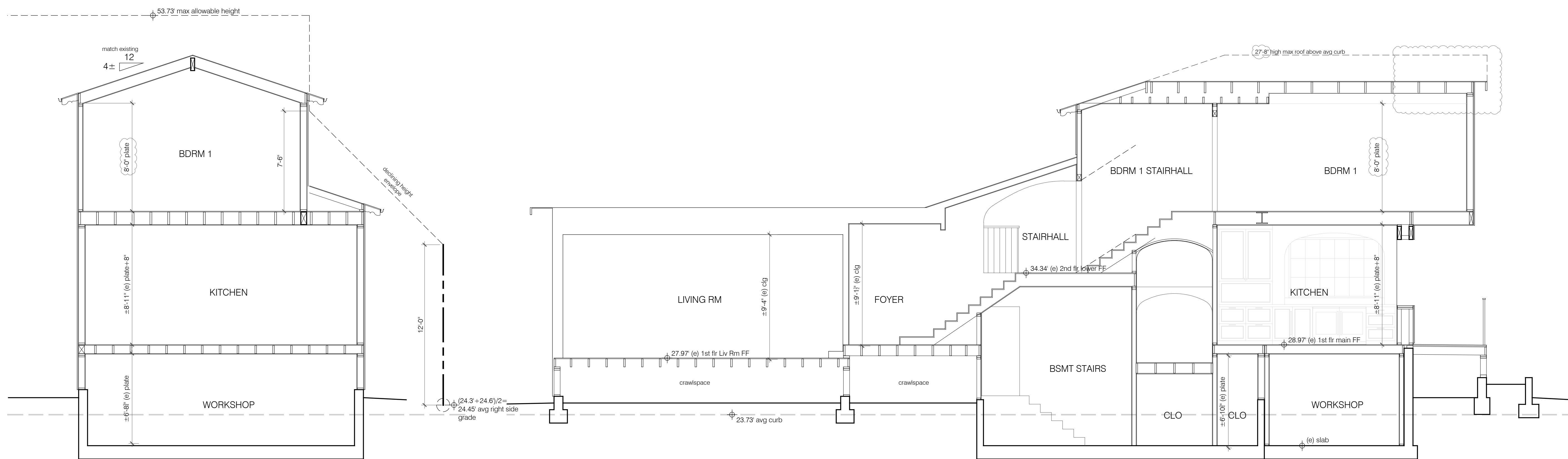
drawn by: EL

job: ECHTER

sheet

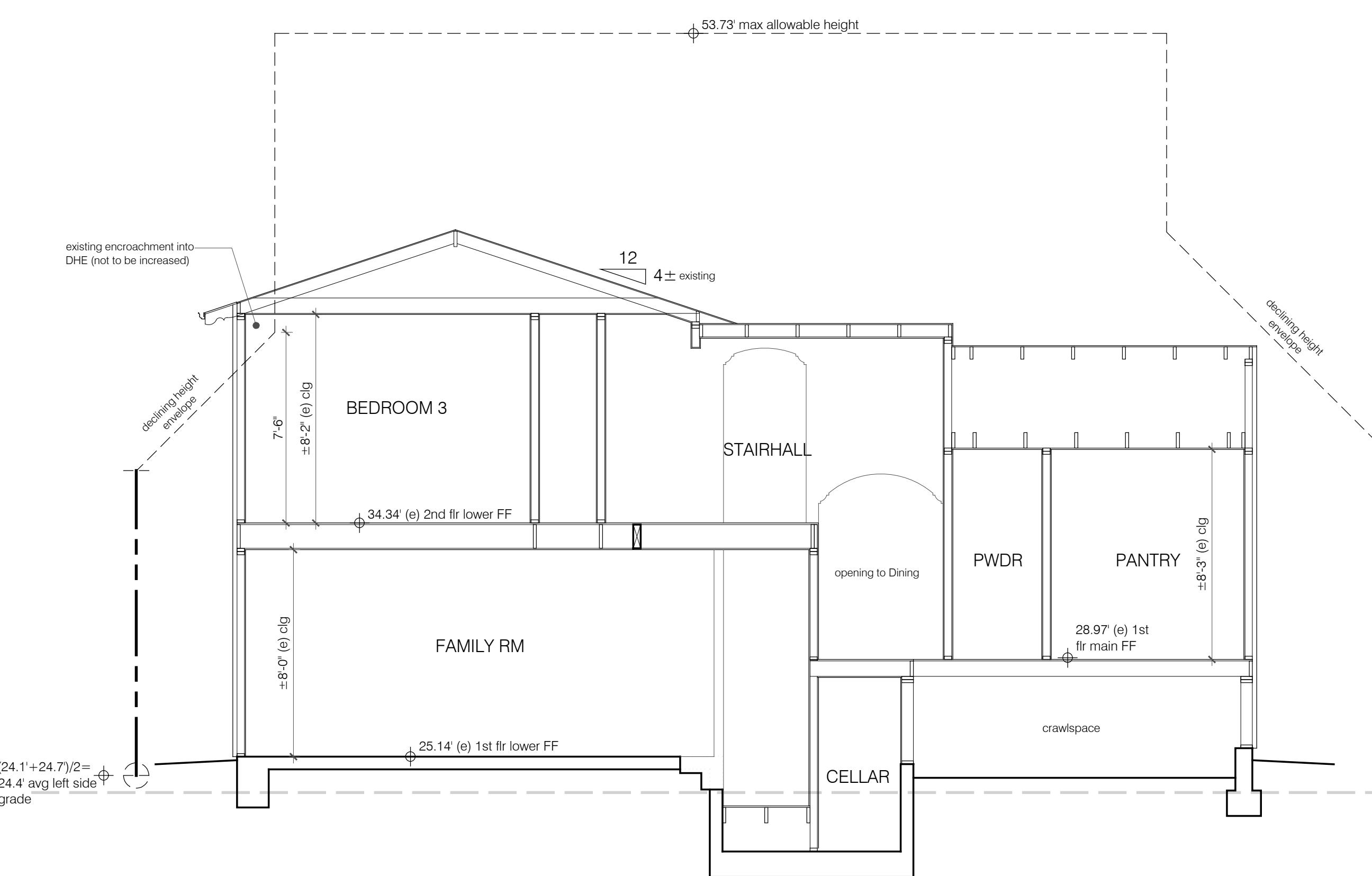
A8

of 16 sheets

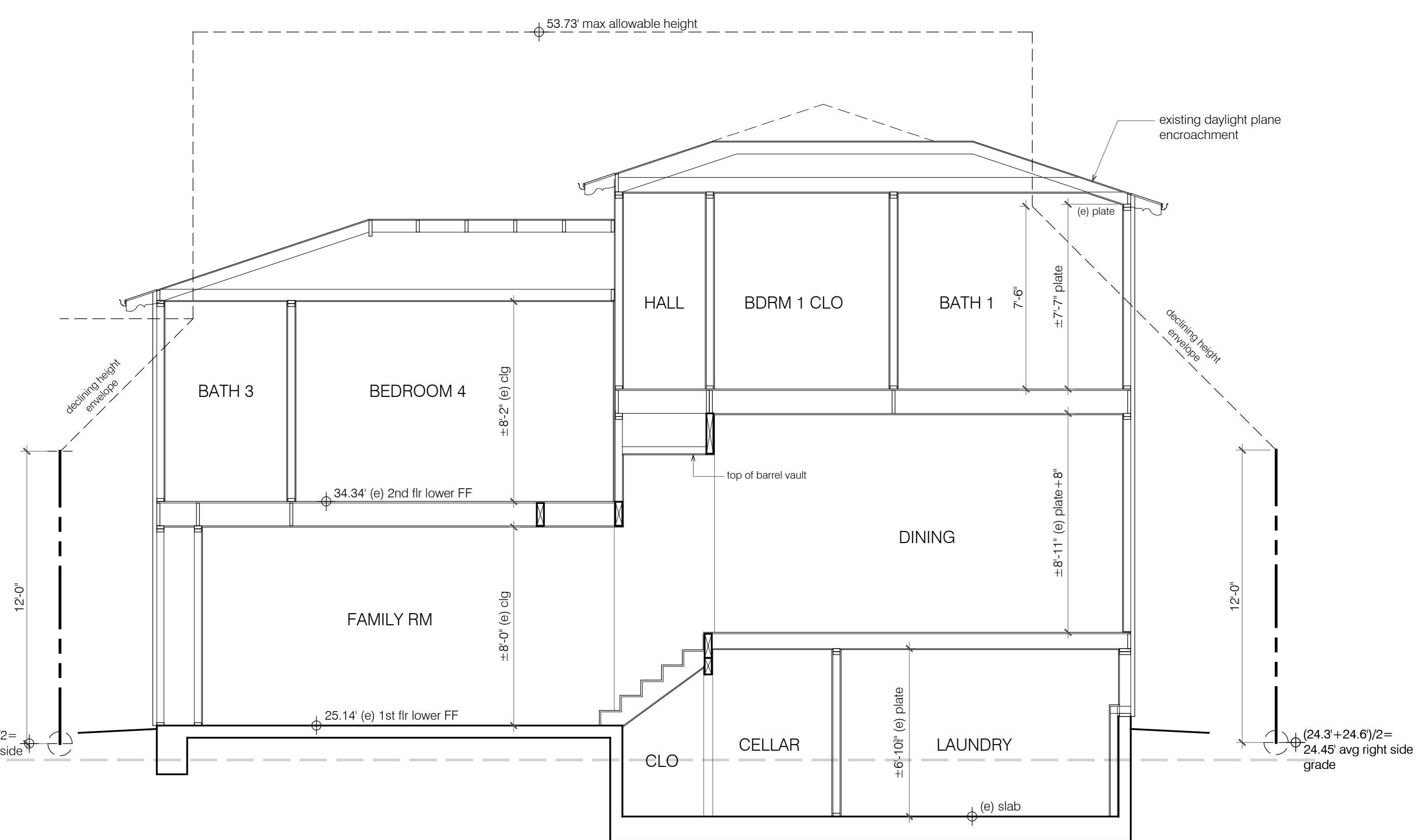


B SECTION
1/4"=1'-0"

A SECTION
1/4"=1'-0"



D SECTION
1/4"=1'-0"



C SECTION
1/4"=1'-0"