



Work Order Signature Document

EZIQC Contract No.: CA-R3-GB01-123021-TSW

☒

New Work Order

☐

Modify an Existing Work Order

Work Order Number.: 139157.00

Work Order Date: 03/14/2025

Work Order Title: Burlingame Fire Station 36 Renovation

Owner Name: City of Burlingame

Contractor Name: T&S Intermodal Maintenance, Inc. DBA T&S Wes

Contact: Michael Heathcote

Contact: Travis Collins

Phone: (650)558-7673

Phone:

Work to be Performed

Work to be performed as per the Final Detailed Scope of Work Attached and as per the terms and conditions of Sourcewell EZIQC Contract No CA-R3-GB01-123021-TSW.

Brief Work Order Description:

Burlingame Fire Station 36 Renovation

Time of Performance

Estimated Start Date:

Estimated Completion Date:

Liquidated Damages

Will apply:

☒

Will not apply:

☐

Work Order Firm Fixed Price: \$194,210.32

Owner Purchase Order Number:

Approvals

City of Burlingame

Date

Contractor

Date

Detailed Scope of Work

To: Travis Collins
T&S Intermodal Maintenance, Inc. DBA T&S
West
PO BOX 1592
Linden, CA 95236
No Data Input

From: Michael Heathcote
City of Burlingame

501 Primrose Road
Burlingame, CA 94010
(650)558-7673

Date Printed: March 14, 2025

Work Order Number: 139157.00

Work Order Title: Burlingame Fire Station 36 Renovation

Brief Scope: Burlingame Fire Station 36 Renovation

☐**Preliminary**☐**Revised**☒**Final**

The following items detail the scope of work as discussed at the site. All requirements necessary to accomplish the items set forth below shall be considered part of this scope of work.

See attached. The Contractor shall pay to the City of Burlingame the sum of One-Thousand Dollars (\$1,000) per day for each and every calendar days' delay in finishing the work in excess of the forty (40) working days starting from NTP

Subject to the terms and conditions of EZIQC Contract **CA-R3-GB01-123021-TSW**.

Contractor

Date

City of Burlingame

Date

Contractor's Price Proposal - Summary

Date: March 14, 2025

Re: IQC Master Contract #: CA-R3-GB01-123021-TSW
Work Order #: 139157.00
Owner PO #:
Title: Burlingame Fire Station 36 Renovation
Contractor: T&S Intermodal Maintenance, Inc. DBA T&S West
Proposal Value: \$194,210.32

Section - 01	\$8,935.43
Section - 02	\$9,581.45
Section - 03	\$2,608.67
Section - 05	\$3,104.15
Section - 06	\$1,869.91
Section - 07	\$3,088.19
Section - 08	\$7,412.16
Section - 09	\$91,363.56
Section - 10	\$11,775.74
Section - 12	\$5,375.99
Section - 22	\$32,201.01
Section - 23	\$1,170.27
Section - 26	\$15,723.79
Proposal Total	\$194,210.32

This total represents the correct total for the proposal. Any discrepancy between line totals, sub-totals and the proposal total is due to rounding.

Contractor's Price Proposal - Detail

Date: March 14, 2025

Re: IQC Master Contract #: CA-R3-GB01-123021-TSW
 Work Order #: 139157.00
 Owner PO #:
 Title: Burlingame Fire Station 36 Renovation
 Contractor: T&S Intermodal Maintenance, Inc. DBA T&S West
 Proposal Value: \$194,210.32

Sect.	Item	Mod.	UOM	Description	Line Total
Labor	Equip.	Material	(Excludes)		
Section - 01					
1	01 22 16 00 0002		EA	Reimbursable FeesReimbursable Fees will be paid to the contractor for eligible costs as directed by Owner. Insert the appropriate quantity to adjust the base cost to the actual Reimbursable Fee. If there are multiple Reimbursable Fees, list each one separately and add a comment in the "note" block to identify the Reimbursable Fee (e.g. sidewalk closure, road cut, various permits, extended warranty, expedited shipping costs, etc.). A copy of each receipt shall be submitted with the Price Proposal.	\$4,798.40
			Installation	Quantity 3,880.00 x Unit Price 1.00 x Factor 1.2367 = Total 4,798.40 \$194k bond @ 2% = \$3,880	
2	01 56 16 00 0004		SF	6 Mil, Plastic Sheeting, Applied To Ceilings	\$155.83
			Installation	Quantity 200.00 x Unit Price 0.55 x Factor 1.4166 = Total 155.83 dust control barriers for each restroom	
3	01 56 16 00 0086		LF	36" Wide, 9 Mil, Regular Weight Red Rosin Paper, For Temporary Floor Protection	\$226.66
			Installation	Quantity 500.00 x Unit Price 0.32 x Factor 1.4166 = Total 226.66 floor protection during demo activities	
4	01 74 19 00 0016		EA	40 CY Dumpster (5 Ton) "Construction Debris"Includes delivery of dumpster, rental cost, pick-up cost, hauling, and disposal fee. Non-hazardous material.	\$1,112.00
			Installation	Quantity 1.00 x Unit Price 784.98 x Factor 1.4166 = Total 1,112.00 demo fees of clean debris	
5	01 74 19 00 0017		EA	10 CY Low-Boy Dumpster "Concrete Or Asphalt Only"Includes delivery of dumpster, rental cost, pick-up cost, hauling, and disposal fee. Concrete or asphalt only.	\$1,112.00
			Installation	Quantity 1.00 x Unit Price 784.98 x Factor 1.4166 = Total 1,112.00 dump fees for concrete demo of existing plumbing routes and new shower floor drainage	
6	01 74 19 00 0024		EA	Vacuum, Pickup, Swap And Dump, Concrete Washout BinIncludes vacuum the liquid from the full bin and pick up the bin, and recycle all material. An empty bin will be left at the site if the project is not completed.	\$1,530.54
			Installation	Quantity 1.00 x Unit Price 1,080.43 x Factor 1.4166 = Total 1,530.54 concrete cleanout for floor/plumbing repairs	
Subtotal for Section - 01					\$8,935.43
Section - 02					
7	02 41 16 13 0003		GSF	Up To 2,000 SF Commercial Building Interior Demolition, Gutting And Placing Into Dumpster Or Truck	\$5,898.72
			Installation	Quantity 400.00 x Unit Price 10.41 x Factor 1.4166 = Total 5,898.72 demo restroom facilities	

Contractor's Price Proposal - Detail Continues..

Work Order Number: 139157.00

Work Order Title: Burlingame Fire Station 36 Renovation

Section - 02

8	02	41	16	13	0020	CCF	Sorting Of Material Debris For Recycling Prior To Hauling Off										\$378.52
						Installation	Quantity	Unit Price	Factor	=	Total						
							32.00	8.35	1.4166		378.52						
							400 SF x 8'h = 3200 CF										
9	02	41	16	13	0020	0004	MOD	For Up To 500, Add									\$113.78
						Installation	Quantity	Unit Price	Factor	=	Total						
							32.00	2.51	1.4166		113.78						
10	02	41	16	13	0024	CF	Reinforced Concrete Foundation Demolition										\$1,112.03
						Installation	Quantity	Unit Price	Factor	=	Total						
							50.00	15.70	1.4166		1,112.03						
							demo concrete for new floor drainage in bathroom showers and new misc plumbing for new fixtures										
11	02	41	19	13	0071	EA	Saw Cut Minimum ChargeFor projects where the total saw cutting charge is less than the minimum charge, use this task exclusively. This task should not be used in conjunction with any other tasks in this section.										\$1,313.44
						Installation	Quantity	Unit Price	Factor	=	Total						
							1.00	927.18	1.4166		1,313.44						
							sawcut for flooring in shower and misc plumbing in both rooms										
12	02	41	19	13	0280	IN	1/2" Diameter Drilling In Concrete Per Inch Of Depth										\$764.96
						Installation	Quantity	Unit Price	Factor	=	Total						
							240.00	2.25	1.4166		764.96						
							drill to set rebar dowels in showers and misc plumbing. 60ea locations x 4 in = 240 in										

Subtotal for Section - 02

\$9,581.45

Section - 03

13	03	21	11	00	0120	LF	#4, Grade 40, Slab On Grade, Steel Reinforcement Bar										\$246.49
						Installation	Quantity	Unit Price	Factor	=	Total						
							200.00	0.87	1.4166		246.49						
							reinforcement for shower and misc plumbing repairs										
14	03	30	53	00	0007	CF	Hand Mix And Place ConcreteFor use where conventional equipment access is limited or when directed by the owner.										\$2,020.07
						Installation	Quantity	Unit Price	Factor	=	Total						
							50.00	28.52	1.4166		2,020.07						
							hand mix and place concrete for new shower floors and misc plumbing										
15	03	35	13	00	0006	SF	Steel Trowel, Concrete Floor Finish										\$114.04
						Installation	Quantity	Unit Price	Factor	=	Total						
							50.00	1.61	1.4166		114.04						
16	03	35	13	00	0006	0049	MOD	For Up To 100, Add									\$228.07
						Installation	Quantity	Unit Price	Factor	=	Total						
							50.00	3.22	1.4166		228.07						

Subtotal for Section - 03

\$2,608.67

Section - 05

17	05	05	19	00	0014	EA	1/2" Diameter x 4-1/4" Length, Zinc Plated Steel, Wedge Anchor Expansion Bolt										\$259.96
						Installation	Quantity	Unit Price	Factor	=	Total						
							9.00	20.39	1.4166		259.96						
							anchor bolts for new wall framing to foundation and angle supports										
18	05	41	00	00	0011	SF	6" Width, 16" On Center, 16 Gauge, Load Bearing, Structural Metal Stud Framing With Tracks And Runners										\$936.09
						Installation	Quantity	Unit Price	Factor	=	Total						
							80.00	8.26	1.4166		936.09						

Contractor's Price Proposal - Detail Continues..

Work Order Number: 139157.00

Work Order Title: Burlingame Fire Station 36 Renovation

Section - 05

19	05 41 00 00 0011	0187	MOD	For Up To 200, Add						\$245.92
				Installation	Quantity	Unit Price	Factor	=	Total	
					80.00	2.17	1.4166		245.92	
					x	x				
20	05 43 00 00 0052		EA	6-Hole Electrogalvanized Steel Shelf Bracket For Unistrut						\$1,662.18
				Installation	Quantity	Unit Price	Factor	=	Total	
					8.00	146.67	1.4166		1,662.18	
					x	x				
				brackets for new countertops						

Subtotal for Section - 05

\$3,104.15

Section - 06

21	06 11 16 00 0164		LF	2" x 6" Pressure Treated Wood Blocking To Steel						\$1,869.91
				Installation	Quantity	Unit Price	Factor	=	Total	
					160.00	8.25	1.4166		1,869.91	
					x	x				
				blocking for new material installation behind wall.						

Subtotal for Section - 06

\$1,869.91

Section - 07

22	07 21 16 00 0014		SF	5-1/2" Thick, Unfaced, R-21 Fiberglass Flexible Insulation						\$3,088.19
				Installation	Quantity	Unit Price	Factor	=	Total	
					1,000.00	2.18	1.4166		3,088.19	
					x	x				
				125 LF x 8' H = 1000 SF						

Subtotal for Section - 07

\$3,088.19

Section - 08

23	08 05 13 00 0051		EA	Removal And Reinstallation Of Door						\$130.17
				Installation	Quantity	Unit Price	Factor	=	Total	
					1.00	91.89	1.4166		130.17	
					x	x				
				r/r existing door for new floor tile work						
24	08 05 13 00 0058		EA	Trim Bottom Of Existing Wood Door For Installation Of Carpet Or TileExcludes removal and reinstallation of door.						\$69.41
				Installation	Quantity	Unit Price	Factor	=	Total	
					1.00	49.00	1.4166		69.41	
					x	x				
25	08 17 23 00 0130		EA	3' x 7' x 1-3/4" Prehung Solid Core, Oak Or Maple Faced Door						\$1,003.82
				Installation	Quantity	Unit Price	Factor	=	Total	
					1.00	708.61	1.4166		1,003.82	
					x	x				
26	08 71 11 00 0027		PR	4-1/2" x 4-1/2" Heavy Duty, Full Mortise, Plain Bearing, Brass/Bronze, Satin Chrome Finish Hinge						\$279.45
				Installation	Quantity	Unit Price	Factor	=	Total	
					1.50	131.51	1.4166		279.45	
					x	x				
				New door hinges on new door						
27	08 71 11 00 0859		EA	16" x 38", 0.050" Thick, Satin Aluminum Finish, Aluminum Kick Plate						\$267.40
				Installation	Quantity	Unit Price	Factor	=	Total	
					2.00	94.38	1.4166		267.40	
					x	x				
28	08 71 11 00 2270		EA	Surface Mounted Heavy Duty Door Closer (LCN 4040XP/4041 Series)						\$698.17
				Installation	Quantity	Unit Price	Factor	=	Total	
					1.00	492.85	1.4166		698.17	
					x	x				

Contractor's Price Proposal - Detail Continues..

Work Order Number: 139157.00

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Section - 08

29	08	71	11	00	2270	0250	MOD	For AVB (5 LB Per Push), Add									\$0.00
							Installation	Quantity	Unit Price	Factor	=	Total					
								0.00	6.60	1.4166	x	0.00					
30	08	71	11	00	2298		EA	Bath/Bedroom Privacy F37 Pre-Assembled Lockset (Corbin Russwin UT5220)Locked with push button inside.									\$1,748.91
							Installation	Quantity	Unit Price	Factor	=	Total					
								1.00	1,234.58	1.4166	x	1,748.91					
31	08	72	43	00	0047		LF	5" Width, 1/2" Height, Stainless Steel Saddle Threshold (Pemko 154SS)									\$3,060.07
							Installation	Quantity	Unit Price	Factor	=	Total					
								15.00	144.01	1.4166	x	3,060.07					
								2ea bathroom doors, 3ea in lockers and hallway									
32	08	72	43	00	0210		LF	6" Width, 5/8" Height, Plain Marble Threshold									\$154.76
							Installation	Quantity	Unit Price	Factor	=	Total					
								5.00	21.85	1.4166	x	154.76					
								threshold for glass shower door									

Subtotal for Section - 08

\$7,412.16

Section - 09

33	09	01	20	91	0002		SF	Up To 2 SF, Cut And Patch Hole In Gypsum Board To Match ExistingPer location.									\$5,479.41
							Installation	Quantity	Unit Price	Factor	=	Total					
								200.00	19.34	1.4166	x	5,479.41					
								patch/repair misc holes in locker rooms and hallway walls									
34	09	01	60	91	0013		SY	Chemical Prepare Existing Concrete Floor Prior To Installation Of Flooring									\$894.04
							Installation	Quantity	Unit Price	Factor	=	Total					
								92.00	6.86	1.4166	x	894.04					
								Floor cleaning prior to laying new LVT									
35	09	05	61	13	0009		SF	15# Two Coats, Moisture Vapor Transmission Control (Dependable Cutdown® II)									\$6,396.23
							Installation	Quantity	Unit Price	Factor	=	Total					
								830.00	5.44	1.4166	x	6,396.23					
								vapor barrier for lvp									
36	09	28	13	00	0003		SF	1/2" Cementitious Backer Units For Installation On Floors									\$1,934.93
							Installation	Quantity	Unit Price	Factor	=	Total					
								290.00	4.71	1.4166	x	1,934.93					
								cement backer for showers									
37	09	28	13	00	0003	0063	MOD	For Installation On Wall, Add									\$220.99
							Installation	Quantity	Unit Price	Factor	=	Total					
								240.00	0.65	1.4166	x	220.99					
38	09	28	13	00	0003	0064	MOD	For Installation On Ceiling, Add									\$114.74
							Installation	Quantity	Unit Price	Factor	=	Total					
								50.00	1.62	1.4166	x	114.74					
39	09	29	10	00	0026		SF	5/8", Mesh Reinforced, Moisture And Mold Resistant Gypsum Board (Georgia-Pacific ToughRock® Mold-Guard™)									\$4,184.64
							Installation	Quantity	Unit Price	Factor	=	Total					
								1,400.00	2.11	1.4166	x	4,184.64					
								new gypsum for walls and ceiling. 400 SF for ceiling, 1000 SF for walls									
40	09	29	10	00	0038		SF	Up To 10' High, Walls, Tape, Spackle And Finish Gypsum Board									\$1,034.12
							Installation	Quantity	Unit Price	Factor	=	Total					
								1,000.00	0.73	1.4166	x	1,034.12					

Contractor's Price Proposal - Detail Continues..

Work Order Number: 139157.00

Work Order Title: Burlingame Fire Station 36 Renovation

Section - 09

41	09 29 10 00 0041	SF	Up To 10' High, Ceilings, Tape, Spackle And Finish Gypsum Board						\$543.97
		Installation	Quantity	Unit Price	Factor	=	Total		
			400.00	0.96	1.4166	x	543.97		
42	09 29 10 00 0044	LF	Up To 10' High, Vertical Corners, Tape, Spackle And Finish Gypsum Board						\$489.58
		Installation	Quantity	Unit Price	Factor	=	Total		
			240.00	1.44	1.4166	x	489.58		
43	09 29 10 00 0047	LF	Up To 10' High, Horizontal Corners, Tape, Spackle And Finish Gypsum Board						\$285.59
		Installation	Quantity	Unit Price	Factor	=	Total		
			120.00	1.68	1.4166	x	285.59		
44	09 29 10 00 0051	LF	Corner Bead, Galvanized Steel For Gypsum Board						\$1,927.71
		Installation	Quantity	Unit Price	Factor	=	Total		
			360.00	3.78	1.4166	x	1,927.71		
			horizontal and vertical corner beads						
45	09 30 13 00 0004	SF	8" x 8" And Larger Unmounted Floor TileIncludes glazed porcelain , unglazed porcelain and glazed ceramic tiles.						\$8,352.27
		Installation	Quantity	Unit Price	Factor	=	Total		
			400.00	14.74	1.4166	x	8,352.27		
46	09 30 13 00 0004 0068	MOD	For High-Modulus, High-Strength Epoxy Grout, Add						\$719.63
		Installation	Quantity	Unit Price	Factor	=	Total		
			400.00	1.27	1.4166	x	719.63		
47	09 30 13 00 0007	SF	8" x 8" And Larger Unmounted Wall TileIncludes glazed porcelain , unglazed porcelain and glazed ceramic tiles.						\$19,002.98
		Installation	Quantity	Unit Price	Factor	=	Total		
			825.00	16.26	1.4166	x	19,002.98		
			wall tile partial, plus full tile in shower per plans						
48	09 30 13 00 0007 0073	MOD	For High-Modulus, High-Strength Epoxy Grout, Add						\$1,753.04
		Installation	Quantity	Unit Price	Factor	=	Total		
			825.00	1.50	1.4166	x	1,753.04		
49	09 30 13 00 0008	SF	Less than 8" x 8" Mounted Ceiling TileIncludes glazed porcelain , unglazed porcelain and glazed ceramic tiles. Tiles mounted from back, side or front in 12" x 12", 12" x 24", or similar sized sheets.						\$1,366.31
		Installation	Quantity	Unit Price	Factor	=	Total		
			50.00	19.29	1.4166	x	1,366.31		
			showers						
50	09 30 13 00 0008 0073	MOD	For High-Modulus, High-Strength Epoxy Grout, Add						\$138.83
		Installation	Quantity	Unit Price	Factor	=	Total		
			50.00	1.96	1.4166	x	138.83		
51	09 30 13 00 0011	LF	6" High x 12" Long, Unpolished Ceramic Cove Base (Daltille Portfolio)						\$3,040.38
		Installation	Quantity	Unit Price	Factor	=	Total		
			125.00	17.17	1.4166	x	3,040.38		
52	09 30 13 00 0011 0078	MOD	For High-Modulus, High-Strength Epoxy Grout, Add						\$272.70
		Installation	Quantity	Unit Price	Factor	=	Total		
			125.00	1.54	1.4166	x	272.70		
53	09 31 13 00 0002	SF	Thin Set - Latex Portland Cement Mortar						\$2,932.72
		Installation	Quantity	Unit Price	Factor	=	Total		
			1,225.00	1.69	1.4166	x	2,932.72		
54	09 31 13 00 0002 0060	MOD	For >1,000, Deduct						-\$225.59
		Installation	Quantity	Unit Price	Factor	=	Total		
			1,225.00	-0.13	1.4166	x	-225.59		

Contractor's Price Proposal - Detail Continues..

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Section - 09

55	09 32 13 00 0003	SF	1-1/4" Minimum Thickness Portland Cement Mortar Setting Bed For commercial floors. Includes 15 LB felt and wire reinforcement.							\$3,207.18
			Quantity		Unit Price		Factor	=	Total	
		Installation	400.00	x	5.66	x	1.4166	=	3,207.18	
			mortar bed for leveling in prep for floor tile install							
56	09 34 00 00 0005	EA	48" x 48", Prefabricated Assembly For Tiled Showers (Schluter® KERDI Shower ST/SC)							\$3,253.42
			Quantity		Unit Price		Factor	=	Total	
		Installation	2.00	x	1,148.32	x	1.4166	=	3,253.42	
57	09 34 00 00 0024	SF	5/16" Thick, High-Density Polyethylene Membrane With Grid Structure And Underside Anchoring Fleece, Waterproofing, Uncoupling And Vapor Management Membrane (Schluter® DITRA-XL)							\$2,793.54
			Quantity		Unit Price		Factor	=	Total	
		Installation	400.00	x	4.93	x	1.4166	=	2,793.54	
			floor membrane per specs							
58	09 39 00 00 0033	LF	1/2" Height, Aluminum Transition Trim For Tile (Schluter® RENO-TK)							\$1,046.51
			Quantity		Unit Price		Factor	=	Total	
		Installation	125.00	x	5.91	x	1.4166	=	1,046.51	
			wall trim							
59	09 65 13 13 0011	LF	4-1/2" High, 3/8" Thick, Type TP Thermoplastic Rubber Wall Base, All Colors							\$2,529.48
			Quantity		Unit Price		Factor	=	Total	
		Installation	240.00	x	7.44	x	1.4166	=	2,529.48	
			locker rooms							
60	09 65 19 23 0014	SF	2.5mm Thick, Luxury Vinyl Tile (LVT) (Mannington Amtico)							\$13,509.69
			Quantity		Unit Price		Factor	=	Total	
		Installation	830.00	x	11.49	x	1.4166	=	13,509.69	
			locker rooms and hallway							
61	09 91 23 00 0067	SF	1 Coat Primer, Brush/Roller Work, Paint Interior Plaster/Drywall Walls							\$453.31
			Quantity		Unit Price		Factor	=	Total	
		Installation	500.00	x	0.64	x	1.4166	=	453.31	
			bathroom walls- 125 LF x 4' = 500 SF							
62	09 91 23 00 0067 0283	MOD	For >250 To 500, Add							\$56.66
			Quantity		Unit Price		Factor	=	Total	
		Installation	500.00	x	0.08	x	1.4166	=	56.66	
63	09 91 23 00 0069	SF	2 Coats Paint, Brush/Roller Work, Paint Interior Plaster/Drywall Walls							\$913.71
			Quantity		Unit Price		Factor	=	Total	
		Installation	500.00	x	1.29	x	1.4166	=	913.71	
			bathroom walls							
64	09 91 23 00 0069 0283	MOD	For >250 To 500, Add							\$120.41
			Quantity		Unit Price		Factor	=	Total	
		Installation	500.00	x	0.17	x	1.4166	=	120.41	
65	09 91 23 00 0134	SF	1 Coat Paint, Brush Work, Paint Interior Acoustical Ceiling							\$611.97
			Quantity		Unit Price		Factor	=	Total	
		Installation	450.00	x	0.96	x	1.4166	=	611.97	
			ceilings and skylights							
66	09 91 23 00 0134 0283	MOD	For >250 To 500, Add							\$82.87
			Quantity		Unit Price		Factor	=	Total	
		Installation	450.00	x	0.13	x	1.4166	=	82.87	

Contractor's Price Proposal - Detail Continues..

Work Order Number: 139157.00

Work Order Title: Burlingame Fire Station 36 Renovation

Section - 09

67	09	91	23	00	0135	SF	2 Coats Paint, Brush Work, Paint Interior Acoustical Ceiling										\$1,083.70
						Installation	Quantity		Unit Price		Factor	=	Total				
							450.00	x	1.70	x	1.4166		1,083.70				
68	09	91	23	00	0135	MOD	For >250 To 500, Add										\$146.62
						Installation	Quantity		Unit Price		Factor	=	Total				
							450.00	x	0.23	x	1.4166		146.62				
69	09	91	23	00	0252	LF	1 Coat Primer, Brush/Roller Work, Paint Interior Wood Door Frame And Trim										\$57.23
						Installation	Quantity		Unit Price		Factor	=	Total				
							40.00	x	1.01	x	1.4166		57.23				
							paint 2ea door frames										
70	09	91	23	00	0254	LF	2 Coats Paint, Brush/Roller Work, Paint Interior Wood Door Frame And Trime										\$125.79
						Installation	Quantity		Unit Price		Factor	=	Total				
							40.00	x	2.22	x	1.4166		125.79				
71	09	91	23	00	0275	EA	1 Coat Primer, Brush/Roller Work, Both Faces, Paint Interior Wood Door										\$110.51
						Installation	Quantity		Unit Price		Factor	=	Total				
							1.00	x	78.01	x	1.4166		110.51				
							clean/touch-up existing wood door										
72	09	91	23	00	0277	EA	2 Coats Paint, Brush/Roller Work, Both Faces, Paint Interior Wood Door										\$196.98
						Installation	Quantity		Unit Price		Factor	=	Total				
							1.00	x	139.05	x	1.4166		196.98				
73	09	91	23	00	0288	EA	>20 To 26 SF Window Size, 1 Coat Paint, Brush Work, Interior Metal Window Including Trim, Brush/Roller Work										\$204.76
						Installation	Quantity		Unit Price		Factor	=	Total				
							1.00	x	144.54	x	1.4166		204.76				
							1ea- 5x5' window										

Subtotal for Section - 09

\$91,363.56

Section - 10

74	10	14	23	11	0026	SI	>100 SI, Acrylic, Surface Mount, Indoor/Outdoor Signs With Braille										\$197.87
						Installation	Quantity		Unit Price		Factor	=	Total				
							144.00	x	0.97	x	1.4166		197.87				
							Directional ADA sign										
75	10	14	23	11	0046	EA	1/4" Thick, 12" Diameter, California Title 24, Surface Mount, Geometric Unisex Restroom SignIncludes contrasting color equilateral triangle with 12" long edges superimposed on the circle.										\$921.70
						Installation	Quantity		Unit Price		Factor	=	Total				
							4.00	x	162.66	x	1.4166		921.70				
							2ea signs for each bathroom										
76	10	28	13	13	0054	EA	Two Roll, Recessed Mounted, Stainless Steel Toilet Tissue Dispenser (Bobrick Classic B-3888)										\$431.64
						Installation	Quantity		Unit Price		Factor	=	Total				
							2.00	x	152.35	x	1.4166		431.64				
77	10	28	13	13	0067	EA	40 Fluid Ounce, Concealed Surface Mounted, Translucent Soap Dispenser (Bobrick B-40)										\$231.61
						Installation	Quantity		Unit Price		Factor	=	Total				
							2.00	x	81.75	x	1.4166		231.61				
78	10	28	13	13	0099	EA	Surface Mounted, Stainless Steel Sanitary Seat-Cover Dispenser (Bobrick Contura B-4221)										\$380.41
						Installation	Quantity		Unit Price		Factor	=	Total				
							2.00	x	134.27	x	1.4166		380.41				

Contractor's Price Proposal - Detail Continues..

Work Order Number: 139157.00

Work Order Title: Burlingame Fire Station 36 Renovation

Section - 10

79	10	28	13	13 0140	EA	12 Gallon, Semi-Recess Mounted, Stainless Steel Combination Folded Paper Towel Dispenser/Waste Receptacle (Bobrick Classic B-3909)						\$2,343.59
					Installation	Quantity		Unit Price		Factor	=	Total
						2.00	x	827.19	x	1.4166	=	2,343.59
80	10	28	13	13 0148	EA	Surface Mounted, Stainless Steel Sanitary Napkin/Tampon Disposal (Bobrick Classic B-254)						\$444.30
					Installation	Quantity		Unit Price		Factor	=	Total
						2.00	x	156.82	x	1.4166	=	444.30
81	10	28	13	13 0168	EA	24" Length, 1-1/2" Diameter, Stainless Steel Grab Bar (Bobrick B-6806x24)						\$264.37
					Installation	Quantity		Unit Price		Factor	=	Total
						2.00	x	93.31	x	1.4166	=	264.37
82	10	28	13	13 0170	EA	36" Length, 1-1/2" Diameter, Stainless Steel Grab Bar (Bobrick B-6806x36)						\$137.81
					Installation	Quantity		Unit Price		Factor	=	Total
						1.00	x	97.28	x	1.4166	=	137.81
83	10	28	13	13 0172	EA	48" Length, 1-1/2" Diameter, Stainless Steel Grab Bar (Bobrick B-6806x48)						\$147.47
					Installation	Quantity		Unit Price		Factor	=	Total
						1.00	x	104.10	x	1.4166	=	147.47
84	10	28	13	13 0209	EA	33-1/2" Width, Wall-Mounted, Stainless Steel, Americans With Disabilities Act Compliant Folding Shower Seat, (Acorn Shower-Ware 1103-31/1103-32)						\$4,295.43
					Installation	Quantity		Unit Price		Factor	=	Total
						1.00	x	3,032.21	x	1.4166	=	4,295.43
85	10	28	13	13 0216	EA	Stainless Steel Shower Curtain Hook (Bobrick B-204-1)						\$48.28
					Installation	Quantity		Unit Price		Factor	=	Total
						12.00	x	2.84	x	1.4166	=	48.28
86	10	28	13	13 0217	EA	Telescoping 60" To 72" Length, 20-Gauge, 1" Diameter, Stainless Steel Curved Shower Rod With Concealed Mounting (Kohler Expanse K-9349)						\$178.53
					Installation	Quantity		Unit Price		Factor	=	Total
						1.00	x	126.03	x	1.4166	=	178.53
87	10	28	13	13 0219	EA	70" Width x 72" Height, Vinyl Shower Curtain (Bobrick B-204-3)Requires 12 curtain hooks.						\$64.78
					Installation	Quantity		Unit Price		Factor	=	Total
						1.00	x	45.73	x	1.4166	=	64.78
88	10	28	13	13 0309	EA	Double Stainless Steel Robe Hook (Bobrick B-672 or B-6727)						\$140.44
					Installation	Quantity		Unit Price		Factor	=	Total
						2.00	x	49.57	x	1.4166	=	140.44
89	10	28	13	13 0322	EA	24" Length, 3/4" Diameter, Stainless Steel Towel Bar (Bobrick B-674)						\$147.47
					Installation	Quantity		Unit Price		Factor	=	Total
						1.00	x	104.10	x	1.4166	=	147.47
90	10	28	13	13 0351	EA	24" x 36", Surface Mounted, Stainless Steel Channel Frame Glass Mirror (Bobrick B-165 2436)						\$407.58
					Installation	Quantity		Unit Price		Factor	=	Total
						2.00	x	143.86	x	1.4166	=	407.58
91	10	28	19	16 0013	EA	35-3/16" To 36-1/16" Opening, Frameless, Tempered Safety Glass, Swinging Shower Door (American Standard AM0305D)						\$992.46
					Installation	Quantity		Unit Price		Factor	=	Total
						1.00	x	700.59	x	1.4166	=	992.46
						glass door for shower.						

Subtotal for Section - 10

\$11,775.74

Section - 12

Work Order Number: 139157.00
Work Order Title: Burlingame Fire Station 36 Renovation

Contractor's Price Proposal - Detail Page 9 of 12
3/14/2025

Contractor's Price Proposal - Detail Continues..

Work Order Number: 139157.00

Work Order Title: Burlingame Fire Station 36 Renovation

Section - 22

103	22	13	16	00	0005	LF	4" Underground Bell And Spigot Cast Iron Soil Pipe AssemblyIncludes all fittings and gaskets. Excludes earthwork excavation, backfill and compaction. Not for use where detail is available.								\$5,152.88
							Quantity		Unit Price		Factor	=	Total		
						Installation	50.00	x	60.97	x	1.4166	=	4,318.51		
						Demolition	50.00	x	11.78	x	1.4166	=	834.38		
							Sewer line rework to new toilet, sinks, and showers at both restrooms								
104	22	13	19	13	0003	EA	Bronze Top, 6" Round Top Floor Drain With 2" Outlet								\$2,529.03
							Quantity		Unit Price		Factor	=	Total		
						Installation	2.00	x	775.28	x	1.4166	=	2,196.52		
						Demolition	2.00	x	117.36	x	1.4166	=	332.50		
							r/r shower drains during resloping of floors								
105	22	42	13	13	0015	EA	2 Piece Tank Type, Pressure Assisted, Siphon Jet, Wall Mounted, Wall Outlet, Handicap Accessible, Elongated Vitreous China Water Closet (American Standard Glenwall™)								\$1,785.70
							Quantity		Unit Price		Factor	=	Total		
						Installation	1.00	x	1,135.89	x	1.4166	=	1,609.10		
						Demolition	1.00	x	124.66	x	1.4166	=	176.59		
106	22	42	13	13	0063	EA	Vertical Adjustable On Stack, Hub And Spigot, Single Water Closet Carrier								\$1,599.00
							Quantity		Unit Price		Factor	=	Total		
						Installation	1.00	x	1,077.34	x	1.4166	=	1,526.16		
						Demolition	1.00	x	51.42	x	1.4166	=	72.84		
							carrier for new toilet								
107	22	42	13	13	0071	EA	Removal And Reinstallation Of Wall Hung Water Closet With Tank								\$630.68
							Quantity		Unit Price		Factor	=	Total		
						Installation	1.00	x	445.21	x	1.4166	=	630.68		
							1ea toilet to remain. Will remove for new floor and reset afterwards								
108	22	42	16	13	0014	EA	21" x 18" Vitreous China Countertop Lavatory (American Standard Cadet™ Oval)								\$1,837.64
							Quantity		Unit Price		Factor	=	Total		
						Installation	2.00	x	490.83	x	1.4166	=	1,390.62		
						Demolition	4.00	x	78.89	x	1.4166	=	447.02		
109	22	42	39	00	0054	EA	Single Hole, Chrome, Single Handle Lavatory Faucet (Moen 8417)								\$1,106.99
							Quantity		Unit Price		Factor	=	Total		
						Installation	2.00	x	320.60	x	1.4166	=	908.32		
						Demolition	4.00	x	35.06	x	1.4166	=	198.66		
110	22	42	39	00	0095	EA	Stainless Steel Corner Shower System With Thru-Wall Exposed Piping Covering, Adjustable Shower Head, Soap Dish, Metal Top Cap And Thermostatic/Pressure Balancing Control Valve (Symmons® Hydapipe® 1-807)								\$3,102.44
							Quantity		Unit Price		Factor	=	Total		
						Installation	2.00	x	1,029.29	x	1.4166	=	2,916.18		
						Demolition	2.00	x	65.74	x	1.4166	=	186.25		
111	22	42	39	00	0095	0103	MOD	For Recessed Soap Dish, Add							\$306.33
							Quantity		Unit Price		Factor	=	Total		
						Installation	2.00	x	108.12	x	1.4166	=	306.33		
112	22	42	39	00	0095	0104	MOD	For Hand Spray, Hose And 30" Slide Bar, Add							\$468.92
							Quantity		Unit Price		Factor	=	Total		
						Installation	2.00	x	165.51	x	1.4166	=	468.92		
113	22	42	39	00	0210	EA	Lavatory Protective Enclosure (IPS Truebro Lav Shield)								\$525.56
							Quantity		Unit Price		Factor	=	Total		
						Installation	2.00	x	156.28	x	1.4166	=	442.77		
						Demolition	4.00	x	14.61	x	1.4166	=	82.79		

Contractor's Price Proposal - Detail Continues..

Work Order Number: 139157.00

Work Order Title: Burlingame Fire Station 36 Renovation

Section - 22

114	22	42	39	00	0217	EA	1/2" NPT x 3/8" Compression Chrome, Quarter Turn Dual Angle Stop (SharkBite 25558)								\$458.33
							Quantity		Unit Price		Factor	=	Total		
						Installation	6.00	x	42.00	x	1.4166	=	356.98		
						Demolition	7.00	x	10.22	x	1.4166	=	101.34		
115	22	42	39	00	0219	EA	12" Long, 3/8" OD x 7/8" BC, Stainless Steel Braided Toilet Supply Line								\$81.92
							Quantity		Unit Price		Factor	=	Total		
						Installation	2.00	x	19.00	x	1.4166	=	53.83		
						Demolition	3.00	x	6.61	x	1.4166	=	28.09		

Subtotal for Section - 22

\$32,201.01

Section - 23

116	23	83	33	00	0017	EA	3,000 Watt Wall Heater With Fan, Recessed, Commercial 120-277 Volt								\$1,170.27
							Quantity		Unit Price		Factor	=	Total		
						Installation	1.00	x	716.71	x	1.4166	=	1,015.29		
						Demolition	1.00	x	109.40	x	1.4166	=	154.98		

Subtotal for Section - 23

\$1,170.27

Section - 26

117	26	05	29	00	0272	EA	1", "J" Type Conduit Hanger (Unistrut J1210)								\$628.12
							Quantity		Unit Price		Factor	=	Total		
						Installation	20.00	x	22.17	x	1.4166	=	628.12		
							hangers for electric rework								
118	26	05	29	00	0272	0130	MOD	For Work In Restricted Working Space, Add							\$63.18
							Quantity		Unit Price		Factor	=	Total		
						Installation	20.00	x	2.23	x	1.4166	=	63.18		
119	26	05	33	13	0022	CLF	1" Electrical Metallic Tubing (EMT) Conduit Assembly With 3 #12 Copper THHN And 1 #12 Copper Insulated Grounding ConductorIncludes conduit, set screw connectors, set screw couplings, straps, wire as indicated. Not for use where detail is available.								\$5,641.99
							Quantity		Unit Price		Factor	=	Total		
						Installation	3.00	x	1,068.70	x	1.4166	=	4,541.76		
						Demolition	3.00	x	258.89	x	1.4166	=	1,100.23		
120	26	05	33	13	0022	0018	MOD	For Work In Restricted Working Space, Add							\$943.16
							Quantity		Unit Price		Factor	=	Total		
						Installation	3.00	x	221.93	x	1.4166	=	943.16		
121	26	05	33	23	0242	EA	Switch Cover (Wiremold #3040CE)								\$107.24
							Quantity		Unit Price		Factor	=	Total		
						Installation	5.00	x	15.14	x	1.4166	=	107.24		
122	26	05	33	23	0243	EA	Duplex Receptacle Cover (Wiremold #3043BE)								\$73.39
							Quantity		Unit Price		Factor	=	Total		
						Installation	3.00	x	17.27	x	1.4166	=	73.39		
123	26	09	23	00	0432	EA	120 LF Coverage, Low Temperature, Passive Infrared, Ceiling/Wall Mounted Occupancy Sensor (Watt Stopper CB-100-1/3)								\$1,692.06
							Quantity		Unit Price		Factor	=	Total		
						Installation	5.00	x	238.89	x	1.4166	=	1,692.06		
							occ sensor switches								
124	26	09	23	00	0448	EA	120 Volt AC, Two Relay, Occupancy Sensor Power Pack (Watt Stopper C120E-P)								\$277.12
							Quantity		Unit Price		Factor	=	Total		
						Installation	2.00	x	97.81	x	1.4166	=	277.12		

Contractor's Price Proposal - Detail Continues..

Work Order Number: 139157.00

Work Order Title: Burlingame Fire Station 36 Renovation

Section - 26

125	26 09 23 00 0461	EA	Mounting Bracket For Occupancy Sensor (Watt Stopper MB)Includes J-plate for mounting to HID fixtures or L-plate for mounting to fluorescent fixtures, walls, shelves and girders.						\$105.82
			Quantity	Unit Price	Factor	=	Total		
		Installation	2.00 x	37.35 x	1.4166	=	105.82		
126	26 27 26 00 0005	EA	20 Amperes, 1 Gang, NEMA 5-20, Duplex Receptacle Assembly						\$518.39
			Quantity	Unit Price	Factor	=	Total		
		Installation	3.00 x	86.62 x	1.4166	=	368.12		
		Demolition	3.00 x	35.36 x	1.4166	=	150.27		
127	26 27 26 00 0068	EA	20 Amperes, Ground Fault Circuit Interrupter (GFCI), Duplex Receptacle						\$261.83
			Quantity	Unit Price	Factor	=	Total		
		Installation	3.00 x	47.65 x	1.4166	=	202.50		
		Demolition	3.00 x	13.96 x	1.4166	=	59.33		
128	26 27 26 00 0138	EA	1 Gang, 20 Amperes, 120/277 Volt, SPST, Switch Assembly						\$893.66
			Quantity	Unit Price	Factor	=	Total		
		Installation	5.00 x	90.81 x	1.4166	=	643.21		
		Demolition	5.00 x	35.36 x	1.4166	=	250.45		
129	26 51 13 00 0021	EA	3 Lamp Vanity Light, Wall Mounted, Glass Globe, Compact Fluorescent/Incandescent Fixture (Progressive P2708)						\$543.61
			Quantity	Unit Price	Factor	=	Total		
		Installation	2.00 x	191.87 x	1.4166	=	543.61		
130	26 51 19 00 0663	EA	1,400 Lumens, 25 Watt, Pendant Mount, Wet Location, NEMA 4X, Low Bay, LED Fixture (Cooper Vaporgard™ Pro P2LC)						\$3,320.23
			Quantity	Unit Price	Factor	=	Total		
		Installation	2.00 x	1,171.90 x	1.4166	=	3,320.23		
		shower lights							
131	26 51 19 00 0663 0453	MOD	For Ceiling Mount, Add						\$222.72
			Quantity	Unit Price	Factor	=	Total		
		Installation	2.00 x	78.61 x	1.4166	=	222.72		
132	26 51 19 00 0722	EA	14" Diameter, 2,240 Lumens, 17 Watt, 4000K CCT, LED Drum Fixture (Enertron 10LED4X614-40)						\$431.27
			Quantity	Unit Price	Factor	=	Total		
		Installation	2.00 x	152.22 x	1.4166	=	431.27		

Subtotal for Section - 26

\$15,723.79

Proposal Total

\$194,210.32

This total represents the correct total for the proposal. Any discrepancy between line totals, sub-totals and the proposal total is due to rounding.

Subcontractor Listing

Date: March 14, 2025

Re: IQC Master Contract #: CA-R3-GB01-123021-TSW
Work Order #: 139157.00
Owner PO #:
Title: Burlingame Fire Station 36 Renovation
Contractor: T&S Intermodal Maintenance, Inc. DBA T&S West
Proposal Value: \$194,210.32

Name of Contractor	Duties	Amount	%
Gold Country Tile Co Inc		\$35,000.00	18.02



Scope of Work

Project Description: Burlingame Fire Station 36– Bathroom Tenant Improvements
Date: March 11, 2025 (valid for 30 days)
Contractor: T & S West

T & S West (T & S) is pleased to submit a proposal for the above referenced project. Scope based per onsite investigation by Randy Bese on 02/11/24 and plans by FV Architecture dated 1/29/25.

Price: See Gordian Proposal

T&S will provide the following

Inclusions:

1. General Account

- a. Supervision, Mobilization, Demobilization, Insurance, Builders Risk Insurance, Bond, Job Setup/Startup, Final Cleanup

2. Demolition

- a. Demo remainder of bathrooms, as needed, after abatement demolition by others.

3. Plumbing

- a. Reconfigure water, sewer, and drain lines for new layout, per plan
 - i. Plumbing assumes we can tie-in to existing utilities
- b. Sawcut, remove, and replace concrete for utility reconfigurations and shower floors
- c. Install new Sinks- 2ea, Toilets- 1ea, Floor Drains- 2ea.

4. Electrical

- a. Remove and replace all lights, switches and occupancy sensors

5. HVAC

- a. Remove and replace wall mounted space heater

6. Framing/Furring

- a. Frame/Fur new walls, 2ea
- b. Provide blocking for new bathroom fixtures

T & S West

P O Box 1592 Linden, CA 95236 Office: (209) 942-1360 Fax: (209) 942-1368



7. Gypsum Board / Tape / Texture / Concrete Backer

- a. Moisture Resistant Gypsum Board
- b. Tape and Texture
- c. Concrete backer boards in showers

8. Tile

- a. The Daltile Veranda requested by owner has been discontinued. Job budgeted with \$5.45/SF tile price. Daltile Synchronic SY33 or equivalent.
- b. Install tile on floors
- c. Install tile on walls in Bathrooms and showers, per plan.
- d. Float floors, as needed to provide proper sloping in showers and level floor in remaining areas

9. Bathroom Finishes

- a. Paint both bathrooms
- b. Remove and replace 1ea door
- c. Per plans

10. LVP in Locker Rooms and Hallway

- a. Clean existing floors.
- b. Place Luxury Vinyl Planks (LVP) over concrete flooring. Existing flooring to be removed by others.
- c. Place rubber cove base.
- d. Lockers to remain in place, and flooring to go up to existing lockers.

Notes:

- This proposal is based on performing all work in one move in for all operations, during normal working hours 7am-4pm, Monday through Friday, unless otherwise stated above. We would be happy to discuss alternatives for scheduling, if other requests are needed.
- Bid subject to award of all items of work. Deletion of any bid items are subject to price changes for all other items of work.
- Owner to provide staging area directly adjacent for work.
- Owner is responsible for having work areas clear prior to mobilization and during work, unless noted otherwise above in proposal.
- Bid subject to work areas being accessible to personnel, material and equipment throughout the length of construction, approximately 6-8 weeks.
- Owner expressly acknowledges that T&S West is a licensed contractor authorized to perform work provided in this Contract and that T&S West is not an engineer or a design consultant. Proposals made by T&S West with respect to work to be performed are made solely for the consideration of Owner and Owner's design engineer or design consultant, who shall be solely

T & S West

P O Box 1592 Linden, CA 95236 Office: (209) 942-1360 Fax: (209) 942-1368



responsible for determining whether any such work proposed by T&S West is, or will be, adequate to satisfy the needs and or purposes of the Owner. Except as expressly provided in this Contract, no warranty or representation of any kind or nature with respect to any such proposal. Warranty with respect to fitness for any purpose or use is expressly disclaimed to the fullest extent of the law.

Exclusions:

- Moisture testing concrete prior to new flooring
- HVAC modifications, Mechanical, Fire Sprinklers, Fire Alarm, Security Access of any kind, Data/Cat 5 cabling or outlets, etc.
- Temporary utilities (heat, power, water, lights), porta potties.
- Adjusting/Relocating conduit, utilities, boxes, etc.
- Removal/Storage/Handling of any furniture, lockers, electronic equipment, etc.
- Encountering unknown conditions, conflicts, etc.
- This proposal specifically excludes: shop drawings; engineering or architectural services; as-built plans; survey staking; all permits and fees; bond costs; inspection fees.
- Items of work not specifically mentioned above and in proposal.

Travis Collins
T & S West
805-215-8694 Cell
estimating@tandsinc.us
License # 939001
DIR# 1000011948

Acceptance of Proposal: The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above. I understand and agree to the terms and conditions on the following page(s) of this proposal.

Authorized Owner Signature

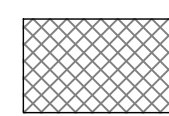
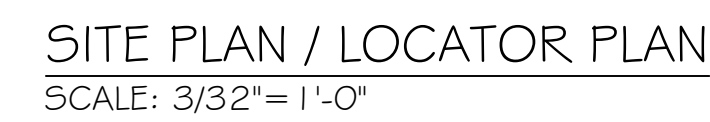
Date

T & S West

P O Box 1592 Linden, CA 95236 Office: (209) 942-1360 Fax: (209) 942-1368

CENTRAL COUNTY FIRE STATION 36
BATHROOM REMODEL/ACCESSIBILITY UPGRADE
1399 ROLLINS ROAD,
BURLINGAME, CA 94010

DEPARTMENT OF PUBLIC WORKS
CITY OF BURLINGAME



— — — INDICATES EXISTING ACCESSIBLE
PATH OF TRAVEL

A map of a residential area in San Jose, California. The map shows a grid of streets including California Dr, El Camino Real, Rollins Rd, and various local streets like Mills Ave, Grove Ave, Lincoln Ave, Broadway, Balboa Ave, Cortez Ave, Cabrillo Ave, Drake Ave, Hinkley Ct, Vinton, Ben, and Equinox. A black dot marks the location of 1399 Rollins Rd. A yellow line highlights the route from the dot to the San Jose International Airport (SJC), passing through the San Jose-Silicon Valley International Airport (SJC) and the San Jose-Silicon Valley International Airport (SJC). The map also shows the San Jose-Silicon Valley International Airport (SJC) and the San Jose-Silicon Valley International Airport (SJC).



EXISTING BUILDING CONSTRUCTION:	ASSUMED TYPE III-B, 1-STORY BUILDING, NOT SPRINKLERED
OCCUPANCY OF BUILDING:	B
DESCRIPTION OF USE:	B, NO CHANGE IN USE
DESCRIPTION OF WORK:	EXISTING MEN'S BATHROOM AND WOMEN'S BATHROOM SHALL BE REMODELED AND CONVERTED TO SINGLE-USE ALL-GENDER BATHROOMS, AND MEN'S BATHROOM SHALL BE UPGRADED TO BE FULLY ADA-COMPLIANT. WORK INVOLVES REMOVAL OF NON-BEARING WALL, MILLWORK, GYP. BD, SOFFIT, LIGHT FIXTURES, PLUMBING FIXTURES AND ACCESSORIES, AND FINISHES. IT ALSO INCLUDES BUILDING NEW NON-BEARING WALL AND GYP. BD, SOFFIT PROVIDING NEW AND RELOCATING EXISTING PLUMBING FIXTURES, ACCESSORIES, LIGHT FIXTURES, AND FINISHES.
AREA OF WORK:	APPROX. 276 SQ. FT.
INDEX:	<p>SHEET A-1.0 - TITLE SHEET</p> <p>SHEET A-2.0 - CONSTRUCTION PLANS & DETAILS</p> <p>SHEET A-3.0 - REFLECTED CEILING PLANS & DETAILS</p> <p>SHEET A-4.0 - FINISH PLANS/SCHEUDS AND INTERIOR ELEVATIONS</p>

1. EXAMINATION OF SITE: CONTRACTOR SHALL THOROUGHLY EXAMINE SITE AND SATISFY HIMSELF AS TO THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL FIELD VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS WORK, AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA EXPENSE WILL BE ALLOWED FOR THE CONTRACTOR FOR EXPENSES DUE TO HIS NEGLECT TO EXAMINE, OR FAILURE TO DISCOVER, CONDITIONS WHICH AFFECT HIS WORK.
2. MEASUREMENTS: CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS BY TAKING FIELD MEASUREMENTS; PROPER FIT AND ATTACHMENT OF ALL PARTS IS REQUIRED. BEFORE COMMENCING WORK, CHECK ALL LINES AND LEVELS INDICATED AND SUCH OTHER WORK AS BEEN PROPERLY COMPLETED. SHOULD CONTRACTOR HAVE ANY DOUBTS OR IMMEDIATELY REPORT IN WRITING TO THE ARCHITECT FOR CORRECTION OR ADJUSTMENT PRIOR TO THE COMMENCEMENT OF ANY RELATED WORK. IN THE EVENT OF THE CONTRACTOR'S FAILURE TO DO SO, THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE CORRECTION OR ADJUSTMENT OF ANY SUCH RELATED WORK OR ERRORS.
3. INFORMATION GIVEN HEREIN AND ON THE DRAWINGS WAS OBTAINED FROM DATA AVAILABLE ARCHITECT AT THE TIME OF DESIGN, BUT ACCURACY CANNOT BE GUARANTEED. DRAWINGS AND SPECIFICATIONS ARE PROVIDED FOR GUIDANCE. ACTUAL DIMENSIONS AND ELEVATIONS SHALL BE GOVERNED BY ACTUAL CONDITIONS ON THE SITE AND SHALL BE CHECKED BY THE CONTRACTOR.
4. RULES AND REGULATIONS: ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED RULES AND REGULATIONS OF THE LOCAL ENFORCING AGENCY AS FOLLOWS:
 - 2022 CALIFORNIA BUILDING CODE
 - 2022 CALIFORNIA PLUMBING CODE
 - 2022 CALIFORNIA MECHANICAL CODE
 - 2022 CALIFORNIA ELECTRICAL CODE
 - 2022 NFPA 101 LIFE SAFETY CODE
 - 2022 CALIFORNIA FIRE CODE
 - 2022 CALIFORNIA GREEN BUILDING CODE
 - 2022 BUILDING ENERGY EFFICIENCY STANDARDS AND ALL APPLICABLE STATE TITLE 24, AND ALL APPLICABLE LOCAL MUNICIPAL CODES & ORDINANCESNOTHING ON THE DRAWINGS IS CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.
5. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE MECHANICAL, ELECTRICAL, PLUMBING AND OTHER SUB TRADES, AND REPORT ANY CONFLICTS OR DISCREPANCIES TO THE ARCHITECT OR ENGINEER FOR CORRECTION OR ADJUSTMENT. NO ALLOWANCE WILL BE MADE FOR INCREASED COSTS INCURRED DUE TO LACK OF PROPER COORDINATION.
6. THE CONTRACTOR SHALL PROTECT AREA AND NEW OR EXISTING MATERIALS AND FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DUST, WATER, ETC., AND SHALL PROVIDE AND MAINTAIN TEMPORARY BARRIERS AND FENCING AS REQUIRED. TO PROTECT THE PUBLIC WORK AREAS DURING CONSTRUCTION, DAMAGE TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES, ETC., SHALL BE REPAIRED OR REPLACED AT THE EXPENSE OF THE GENERAL CONTRACTOR AND TO THE SATISFACTION OF THE OWNER.
7. COORDINATE WITH ALL TRADES INVOLVED AND COMPARE COMPOSITE DRAWINGS TO ENSURE CLEARANCES FOR LIGHT FIXTURES. VERIFY AND SIGN THE FINISH CEILING HEIGHT ABOVE THE FINISHED FLOOR SLAB AND CLEARANCES REQUIRED FOR LIGHT FIXTURES. CLARIFY ANY CONFLICTS WITH ARCHITECT.
8. CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, SPECIFICATIONS, NOTES AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND RESOLVED BEFORE PROCEEDING WITH WORK.

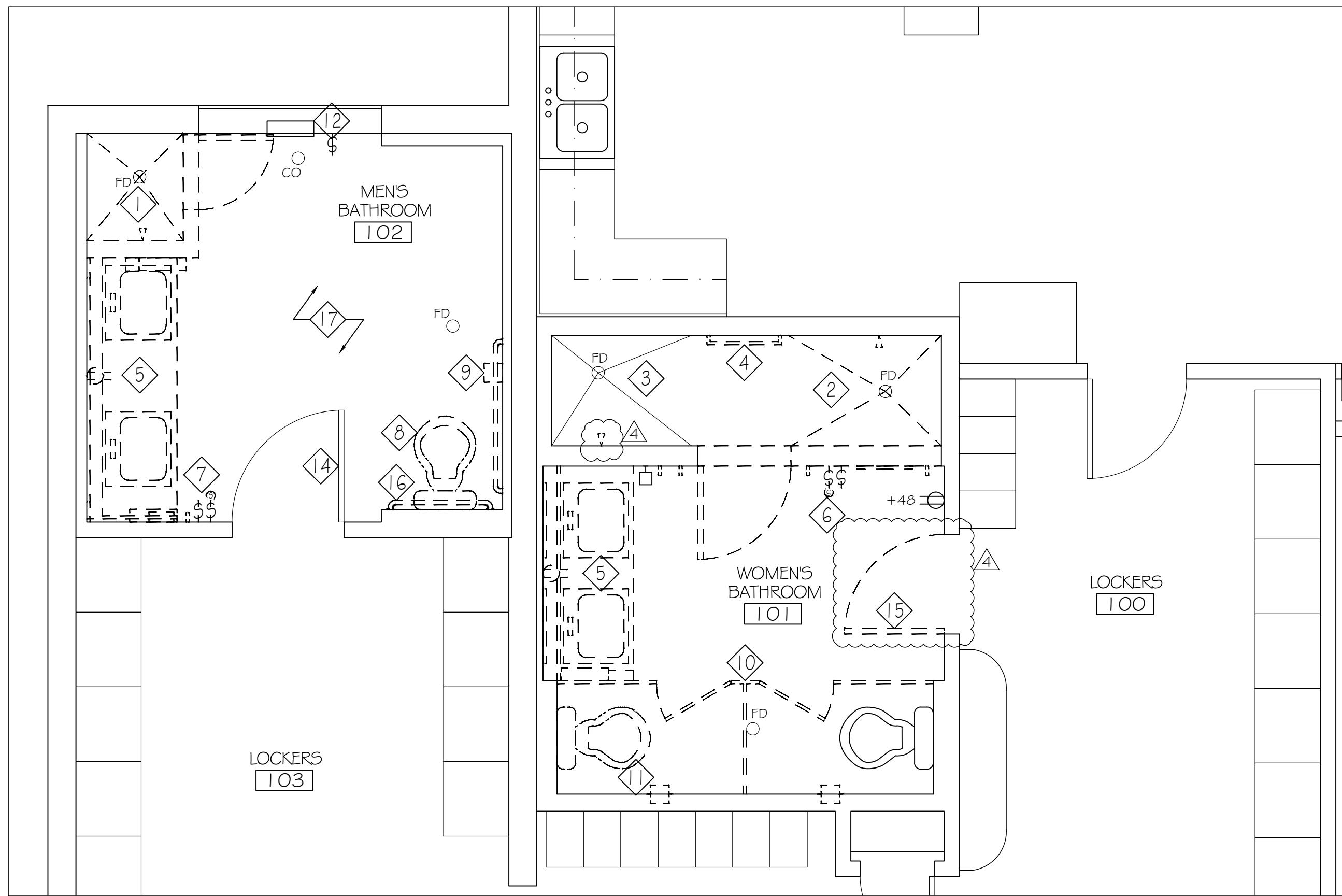
1. FIRE/LIFE SAFETY (FIRE ALARM) SYSTEM TO BE MODIFIED UNDER SEPARATE PERMIT IF REQUIRED.

MARK	DATE	DESCRIPTION
1	1-25-25	ISSUE FOR REVIEW
2	1-29-25	ISSUE FOR PERMIT
3	2-14-25	REVISED PER CLIENT COMMENTS

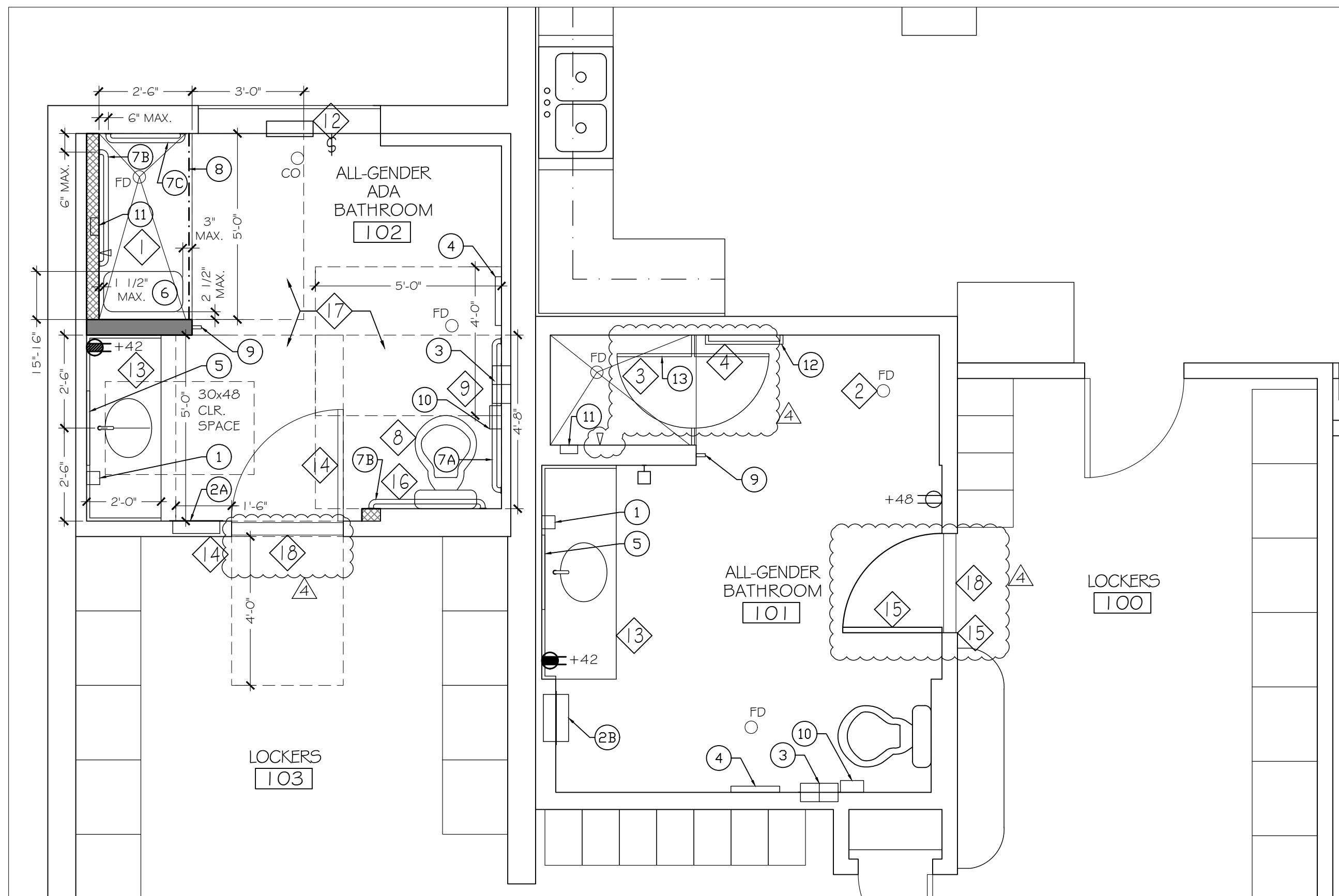
SHEET TITLE

TITLE SHEET

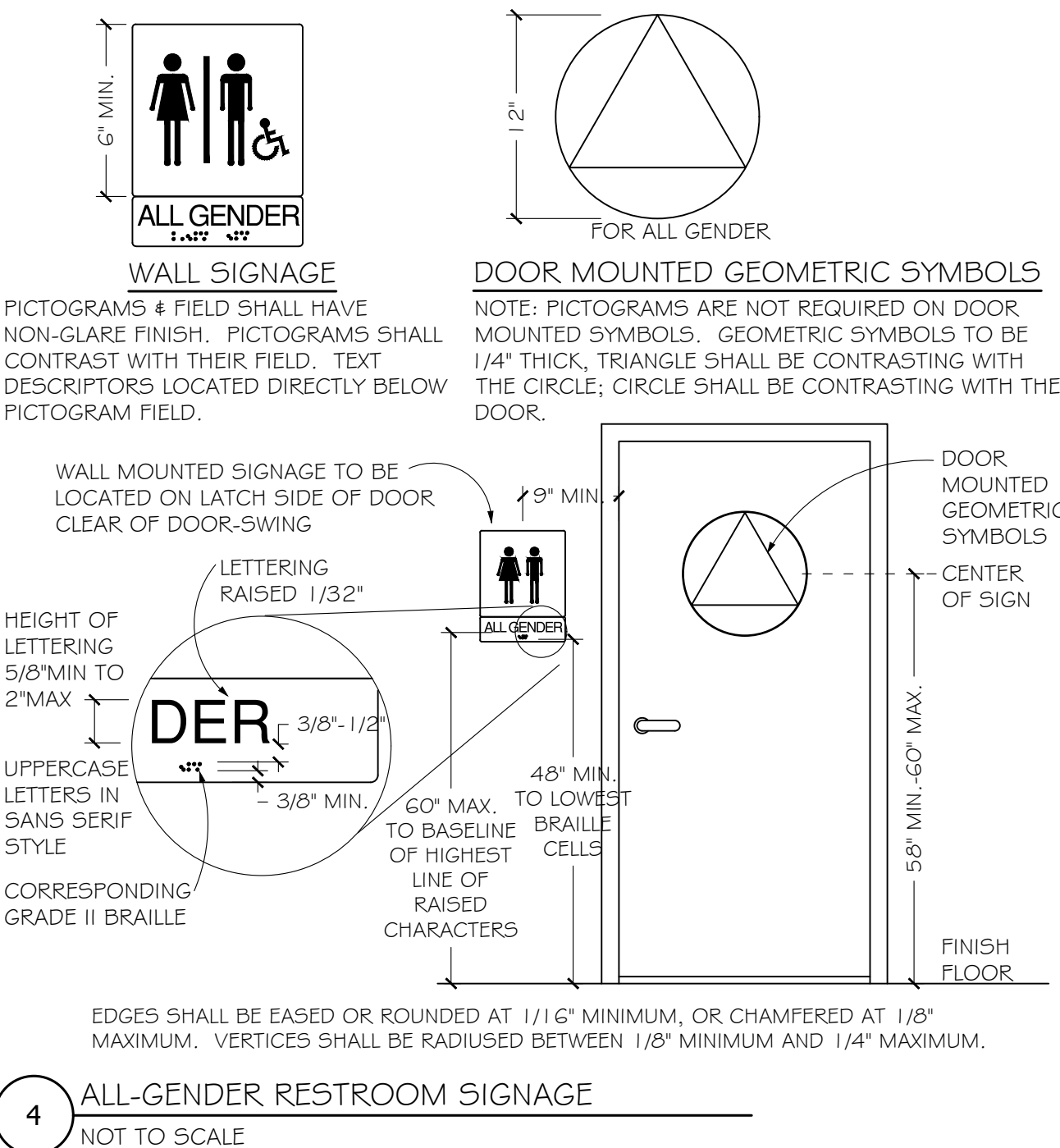
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1 DEMOLITION (EXISTING) PLAN
SCALE: 3/8" = 1'-0"

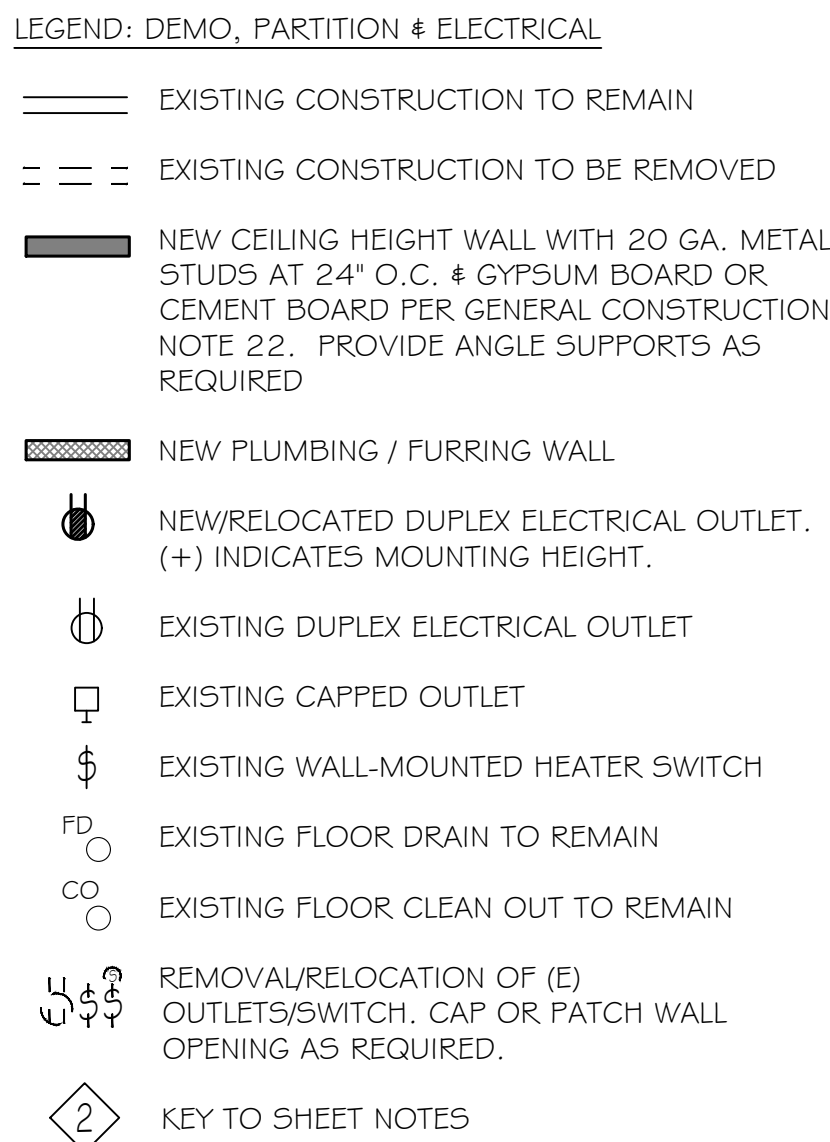


2 NEW PARTITION PLAN
SCALE: 3/8" = 1'-0"



4 ALL-GENDER RESTROOM SIGNAGE
NOT TO SCALE

5 ELEVATIONS: ACCESSIBLE FIXTURES
NOT TO SCALE



TOILET ACCESSORIES SCHEDULE

- 1 WALL-MOUNTED SOAP DISPENSER - BOBRICK B-211
- 2 RECESSED PAPER TOWEL DISPENSER AND WASTE RECEPTACLE
A. BOBRICK B-3940
B. BOBRICK B-3944
- 3 TOILET TISSUE DISPENSER - BOBRICK B-6977
- 4 TOILET SEAT COVER DISPENSER - BOBRICK B-221
- 5 24"W x 36"H MIRROR - BOBRICK B-1658 2436
- 6 SHOWER SEAT - BOBRICK B-5193
- 7 GRAB BARS - BOBRICK B-5806
A. 48" LONG
B. 36" LONG
C. 24" LONG
- 8 60" LONG SHOWER CURTAIN ROD (BOBRICK B-207) WITH VINYL SHOWER CURTAIN (BOBRICK B-204-3)
- 9 TOWEL HANGER/HOOK - BOBRICK B-76727
- 10 SANITARY NAPKIN DISPOSAL - BOBRICK B-270
- 11 SOAP DISH - BOBRICK B-4380
- 12 TOWEL BAR - BOBRICK B-530
- 13 SHOWER DOOR - CARDINAL SHOWER ENCLOSURES, TRUFT SERIES, ±6'-8" HIGH (TO BE CONFIRMED)

PLUMBING FIXTURE SPECIFICATIONS:

1. LAVATORY - KOHLER "CANTON" MODEL K-2210-0 19-1/4" OVAL VITREOUS CHINA UNDERMOUNT LAVATORY
2. FAUCET - CHICAGO FAUCETS MODEL 420-POE2605ABCP SINGLE HANDLE FAUCET WITH 0.5 GPM NON-AERATING LAMINAR FLOW OUTLET & POP-UP DRAIN
3. WALL-HUNG WATER CLOSET - AMERICAN STANDARD GLENWALL VORMAX ELONGATED TOILET, 1.28 GPF, WITH TOILET SEAT
4. ADA SHOWER - AMERICAN STANDARD FLOWWISE SHOWER SYSTEM WITH SLIDE-GRAB BAR AND HAND SHOWER, 1.5 GPM
5. SHOWER - AMERICAN STANDARD FLOWWISE SHOWER SYSTEM, 1.5 GPM

CITY NOTES:
1. HAZARDOUS MATERIAL ABATEMENT AND FULL GUT DEMOLITION DOWN TO STUDS OF BOTH BATHROOMS SHALL BE A BID ALTERNATE. CONTRACTOR SHALL ASSUME NEW BATHROOMS CONSTRUCTION WILL BE AFTER DEMOLITION TO BE COMPLETED BY THE CONTRACTOR OR A SEPERATE CONTRACTOR HIRED BY THE CITY.
2. ADD LVP FLOORING IN HALLWAY AND LOCKER ROOMS. ABATING FLOORING IN HALLWAY AND LOCKER ROOMS SHALL BE INCLUDED IN THE ABATEMENT BID ALTERNATE. LOCKERS WILL BE REMOVED BY THE CITY PRIOR TO WORK.
3. INCLUDE PATCH WALLS AND PAINT IN THE HALLWAY AND LOCKER ROOMS.

CONSTRUCTION SHEET NOTES: DEMO/PARTITION & ELECTRICAL

1. DEMOLISH EXISTING SHOWER ENCLOSURE INCLUDING WALLS, CURB, DOOR, SHOWER HEAD, SOAP HOLDER, AND RAISED FLOOR. MODIFY/RELOCATE PLUMBING FOR NEW SHOWERHEAD. SEE NEW PARTITION PLAN 2/A-2.0. AND DETAIL 3/A-2.0 FOR NEW SHOWER ENCLOSURE PLAN AND DETAILS. EXISTING FLOOR DRAIN SHALL REMAIN; MODIFY HEIGHT OF DRAIN ACCORDING TO NEW SHOWER FLOOR LEVEL. PROVIDE 1/2" HIGH THRESHOLD AT SHOWER STALL ENTRY PER GENERAL CONSTRUCTION NOTE 15/A-2.0.
2. DEMOLISH EXISTING SHOWER ENCLOSURE INCLUDING WALLS, DOOR, SHOWER HEAD, SOAP HOLDER AND ACCESSORIES ATTACHED TO WALL. DEMOLISH EXISTING FLOOR FINISH AND PROVIDE LEVEL FLOOR, AS REQUIRED. PROVIDE NEW FLOOR AND WALL TILES. EXISTING FLOOR DRAIN SHALL REMAIN AND BE FLUSH WITH NEW FINISHED FLOOR.
3. EXISTING SHOWER STALL SHALL REMAIN. REMOVE EXISTING AND PROVIDE NEW CEMENT BACKING BOARD, FLOORWALL TILES, SHOWER HEAD, CONTROLS AND SOAP HOLDER. PROVIDE NEW SHOWER DOOR PER SPECS. PROVIDE THRESHOLD AS REQUIRED TO PREVENT WATER FROM FLOWING OUT OF SHOWER STALL. PROVIDE REQUIRED SLOPE TO FLOOR DRAIN.
4. REMOVE EXISTING TOWEL BAR AND PROVIDE NEW. SEE SPECS.
5. DEMOLISH EXISTING LAVATORY COUNTER, FIXTURES AND WALL-MOUNTED BATHROOM ACCESSORIES AS SHOWN. PATCH/REPAIR WALL SURFACES AS REQUIRED. MODIFY/RELOCATE EXISTING PLUMBING FOR NEW LAVATORY PER PARTITION PLAN 2/A-2.0.
6. REMOVE AND RELOCATE SWITCHES AS SHOWN IN NEW REFLECTED CEILING PLAN.
7. REMOVE AND RELOCATE SWITCHES AS REQUIRED BY INSTALLATION OF NEW PAPER TOWEL/WASTE RECEPTACLE. SEE RELOCATED SWITCHES IN NEW REFLECTED CEILING PLAN.
8. REMOVE EXISTING AND PROVIDE/INSTALL NEW ADA COMPLIANT WATER CLOSET TO COMPLY WITH REQUIREMENTS SHOWN IN DETAIL 5/A-2.0.
9. REMOVE EXISTING TOILET TISSUE HOLDER AND PROVIDE NEW TOILET TISSUE HOLDER AND SANITARY NAPKIN DISPOSAL PER DETAIL 5/A-2.0.
10. REMOVE EXISTING TOILET PARTITIONS AND MOUNTED ACCESSORIES. COORDINATE WITH OWNER REGARDING SALVAGING AND STORING FOR FUTURE REUSE.
11. REMOVE EXISTING WATER CLOSET AND TISSUE HOLDER. PATCH/REPAIR WALL AS REQUIRED.
12. EXISTING WALL HEATER AND SWITCH SHALL REMAIN - BE REPLACED WITH A SIMILAR SYSTEM.
13. PROVIDE 24" DEEP SOLID SURFACE COUNTER WITH 4" SPLASH AND ADA APPROVED LAVATORY AND FAUCET PER DETAIL 6/A-2.0. SEE SPECS. PROVIDE METAL ANGLE SUPPORT BRACKETS AS REQUIRED.
14. REMOVE EXISTING MEN'S DOOR SIGN AND PROVIDE NEW ALL-GENDER BATHROOM SIGN ON DOOR AND WALL PER DETAIL 4/A-2.0.
15. REMOVE EXISTING WOMEN'S DOOR AND PROVIDE NEW INTERIOR SOLID CORE WOOD DOOR WITH ADA APPROVED LEVER HARDWARE AND LOCKSET. TO FIT INTO EXISTING FRAME AND TO MATCH EXISTING DOOR/HARDWARE AT ALL-GENDER ADA BATHROOM 102. REMOVE EXISTING FLOOR HINGECLOSER AND REPAIR FLOOR AS REQUIRED. PROVIDE NEW ALL-GENDER BATHROOM SIGN ON DOOR AND WALL PER DETAIL 4/A-2.0. PROVIDE ADA DIRECTIONAL SIGN ON WALL WITH ARROW POINTING TOWARDS ADA-COMPLIANT ALL-GENDER BATHROOM.
16. REMOVE EXISTING 32" LONG REAR GRAB BAR AND PROVIDE/INSTALL NEW 36" LONG REAR GRAB BAR PER DETAIL 5/A-2.0. MATCH HEIGHT OF EXISTING SIDE GRAB BAR. PROVIDE NEW FURRING WALL AS SHOWN AS REQUIRED TO ACCOMMODATE NEW REAR GRAB BAR INSTALLATION.
17. SURVEY EXISTING FLOOR THROUGHOUT BATHROOM TO VERIFY THAT NEW FINISHED FLOOR SHALL HAVE A MAXIMUM SLOPE OF 1:48 IN ANY DIRECTION. REPAIR FLOOR AS NECESSARY. PROVIDE REQUIRED SLOPES TOWARDS FLOOR DRAIN AS NECESSARY AT 1:48 MAXIMUM. SEE GENERAL CONSTRUCTION NOTE 14.
18. PROVIDE NEW FLOOR THRESHOLD/TRANSITION PER GENERAL CONSTRUCTION NOTE 15.

NOTE: FLOOR-CEILING TRACKS, STUDS & JOINTS SHALL BE CEMCO STEEL FRAMING, ASTM C645, OR APPROVED EQUAL.

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GENERAL CONSTRUCTION NOTES: CONSTRUCTION FLOOR PLAN

1. ALL DIMENSIONS SHOWN ARE CLEAR DIMENSIONS BETWEEN FINISHED WALL SURFACES, UNLESS OTHERWISE NOTED (EQ) TO CENTER LINE.
2. PATCH & REPAIR ALL SURFACES WHERE REMOVAL OCCURS AS NECESSARY TO MATCH EXISTING ADJACENT SURFACE.
3. EXIT DOORS SHALL BE OPERABLE FROM INSIDE WITHOUT USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT PER CODE.
4. OPERABLE PARTS OF ACCESSIBLE HARDWARE SHALL BE 34" MIN. AND 44" MAX. ABOVE THE FINISH FLOOR.
5. HAND-ACTIVATED DOOR OPENING HARDWARE, HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE. LATCHING AND LOCKING DOORS THAT ARE HAND-ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER-TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE.
6. THE BOTTOM 10" OF THE DOOR SHALL HAVE A SMOOTH, UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.
7. IF DOOR HAS A CLOSER, THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPENING POSITION OF 90 DEGREES TO 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM.
8. DOORS AND OPENINGS IN 1-HR CORRIDOR WALLS (E.G. EXISTING ELECTRICAL ROOM) SHALL BE PROTECTED BY TIGHT FITTING SMOKE & DRAFT ASSEMBLIES HAVING A FIRE PROTECTION RATING OF NOT LESS THAN 20-MINUTE FIRE ASSEMBLY WITH SELF-GLASSING. MAX. EFFORT TO OPERATE FIRE RATED DOOR SHALL BE 15 LBS.
9. PROVIDE ADA TACTILE EGRESS SIGNAGE AT BUILDING ENTRY/EXIT DOORS IF NOT ALREADY EXISTING, AND AT NEW EXIT ROUTE DOORS.
10. ANY PENETRATION TO FIRE RESISTIVE ASSEMBLIES SHALL COMPLY WITH CHAPTER 7 OF 2022 C.B.C., INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
(a) ELECTRICAL CONDUCTORS SHALL BE IN RIGID STEEL CONDUIT OR ELECTRICAL METAL TUBING (EMT). ELECTRICAL COMPONENTS SHALL BE UL LISTED AND LABELED.
(b) PROVIDE SMOKE/FIRE DAMPERS NOT LESS THAN CLASS II, 250 DEGREE FAHRENHEIT WITH APPROVED RECOGNIZED STANDARDS TO BE ACTUATED BY SMOKE DETECTION SYSTEM CONNECTED TO THE EXISTING BUILDING FIRE ALARM SYSTEM.
(c) ALL INTERIOR PLUMBING PIPING TO BE COPPER.
(d) SEAL ALL GAPS WITH APPROVED FIRE CAULKING.
11. ALL NEW RECEPTACLES SHALL BE MOUNTED MINIMUM 15" A.F.F. (MEASURED FROM THE BOTTOM OF THE OUTLET BOX) PER ELECTRICAL CODE, UNLESS OTHERWISE NOTED. RECEPTACLES INSTALLED WITHIN 6 FEET OF THE OUTSIDE EDGE OF THE SINK SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION FOR PERSONNEL.
12. MAXIMUM FORCE TO PUSH OR PULL OPEN INTERIOR AND EXTERIOR DOORS (OTHER THAN FIRE DOORS) SHALL BE 5 LBF, AND 15 LBF FOR FIRE DOORS.
13. PROVIDE WALL-MOUNTED PORTABLE FIRE EXTINGUISHERS (MIN. 2A-10BC RATING) WITHIN 75'-0" OF ANY POINT IN THE BUILDING. LOCATION SHALL BE APPROVED BY FIRE DEPARTMENT. ADDITIONAL MAY BE REQUIRED AS DETERMINED BY THE INSPECTOR. REPOSITION EXISTING WALL-MOUNTED PORTABLE FIRE EXTINGUISHERS TO ADA ACCESSIBLE HEIGHT AS NEEDED.
14. FLOORING CONTRACTOR SHALL CHECK FOR ANY FLOOR LEVELING ISSUES, AND ALLOW FOR FLOATING, GRINDING, OR FILLING AS NECESSARY TO PROVIDE LEVELED SUB-FLOOR FOR NEW FLOORING INSTALLATION (1:48 MAX. SLOPE IN ANY DIRECTION).
15. THRESHOLDS/TRANSITIONS, IF PROVIDED, SHALL BE 1/2" HIGH MAX. CHANGE IN LEVEL OF 1/4" MAX. SHALL BE PERMITTED TO BE VERTICAL. CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH 1:2 MAX. SLOPE.
16. VERTICAL CLEARANCE SHALL BE 80" HIGH MINIMUM. DOOR CLOSERS AND STOPS SHALL BE PERMITTED TO BE 78" MINIMUM ABOVE THE FINISH FLOOR OR GROUND.
17. PROVIDE CONCEALED WALL BACKING SUPPORT/REINFORCEMENT FOR ALL WALL-MOUNTED ACCESSORIES, FIXTURES, ETC. AS REQUIRED PER CODE.
18. HIGHEST OPERABLE PART OF ALL CONTROLS, RECEPTACLES AND OTHER OPERABLE EQUIPMENT SHALL NOT BE MORE THAN 48" ABOVE THE FLOOR, AND WITHIN REACH RANGES SPECIFIED IN CBC 11B-308.
19. PROVIDE NEW PAINT THROUGHOUT AREA OF WORK. SEE SPECS.
20. REMOVE ALL EXISTING WALL AND FLOOR TILES IN EXISTING BATHROOMS AND SHOWER ENCLOSURES. PROVIDE NEW PORCELAIN FLOOR TILES & GLAZED CERAMIC WALL TILES (4-6 CM WANSICOT) AT BATHROOMS. PROVIDE FLOORWALL TILES IN SHOWER ENCLOSURE. ENSURE THAT ALL FLOOR DRAINS AND FLOOR CLEANOUTS ARE FLUSH WITH NEW FINISHED FLOOR. PROVIDE SOLID SURFACE COUNTERTOPS AT BATHROOMS. SEE FINISH SPECS.
21. NOT ALL EXISTING OUTLETS MAY HAVE BEEN INDICATED ON PLAN. VERIFY IN FIELD EXISTING OUTLETS INDICATED. EXISTING OUTLETS SHALL REMAIN U.O.N. PROVIDE NEW OUTLETS AS SHOWN, OR RELOCATE EXISTING IF WITHIN CLOSE PROXIMITY TO NEW OUTLET SHOWN. VERIFY WITH ARCHITECT AND OWNER PRIOR TO RELOCATING OUTLET.
22. PROVIDE 5/8" WATER-RESISTANT GYP. BD. (I.E. GREENBOARD) FOR BATHROOM WALLS. PROVIDE WATERPROOF BOARDS (I.E. CEMENT BOARD) FOR SHOWER ENCLOSURES.
23. COORDINATE WITH CLIENT REGARDING HAZARDOUS MATERIAL ABATEMENT INFORMATION AND PROCEDURES.

SHOWER COMPARTMENT NOTES:

PER 2022 CBC SECTION 11B-608.5.2, IN STANDARD ROLL-IN TYPE SHOWER COMPARTMENTS, THE CONTROLS, FAUCETS AND THE SHOWER SPRAY UNIT SHALL BE LOCATED ON THE BACK WALL OF THE COMPARTMENT ADJACENT TO THE SEAT WALL 16 INCHES MINIMUM AND 27 INCHES MAXIMUM FROM THE SEAT WALL; AND SHALL BE LOCATED ABOVE THE GRAB BAR, BUT NO HIGHER THAN 48 INCHES ABOVE THE SHOWER FLOOR.

PER 2022 CBC SECTION 11B-608.6, A SHOWER SPRAY UNIT WITH A HOSE 59" LONG MIN. THAT CAN BE USED BOTH AS A FIXED-POSITION SHOWER HEAD & AS A HANDHELD SHOWER SHALL BE PROVIDED. THE SHOWER SPRAY UNIT SHALL HAVE AN ON/OFF CONTROL WITH A NON-POSITIVE SHUT-OFF. IF AN ADJUSTABLE-HEIGHT SHOWER HEAD ON A VERTICAL BAR IS USED, THE BAR SHALL BE INSTALLED SO AS NOT TO OBSTRUCT THE USE OF GRAB BARS. THERMOSTATIC VALVE REQUIRED. SHOWER SPRAY UNIT SHALL DELIVER WATER THAT IS 120 DEGREES F MAXIMUM.

PER 2022 CBC SECTION 11B-608.3.2, GRAB BARS SHALL BE PROVIDED ON THE BACK WALL AND THE SIDE WALL OPPOSITE THE SEAT. GRAB BARS SHALL NOT BE PROVIDED ABOVE THE SEAT. GRAB BARS SHALL BE INSTALLED 6 INCHES (152 MM) MAXIMUM FROM ADJACENT WALLS.

PER 2022 CBC SECTION 11B-609.3, THE SPACE BETWEEN THE WALL AND THE GRAB BAR SHALL BE 1 1/2 INCHES. THE SPACE BETWEEN THE GRAB BAR AND PROJECTING OBJECTS BELOW AND AT THE ENDS SHALL BE 1 1/2 INCHES MINIMUM. THE SPACE BETWEEN THE GRAB BARS AND SHOWER CONTROLS/SHOWER FITTINGS ABOVE SHALL BE PERMITTED TO BE 1 1/2 INCHES MINIMUM.

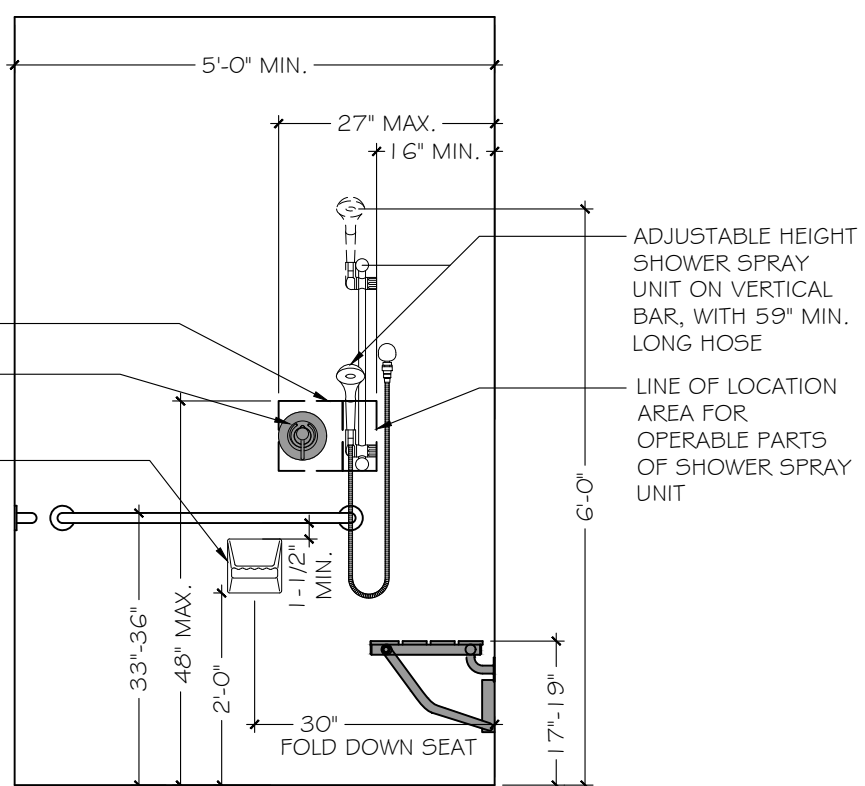
PER 2022 CBC SECTION 11B-608.7, THRESHOLDS IN ROLL-IN TYPE SHOWER COMPARTMENTS SHALL BE 1/2" HIGH (SEE CONSTRUCTION FLOOR PLAN GENERAL CONSTRUCTION NOTE 15 ON SHEET A-2.0).

PER 2022 CBC SECTION 11B-608.9, FLOOR SURFACES OF SHOWERS SHALL HAVE A SLOPE OF 1:48 UNIFORMLY FROM THE SIDES TOWARDS THE DRAIN. GRATE OPENINGS AT DRAIN SHALL BE 1/4" MAXIMUM AND FLUSH WITH FLOOR SURFACE.

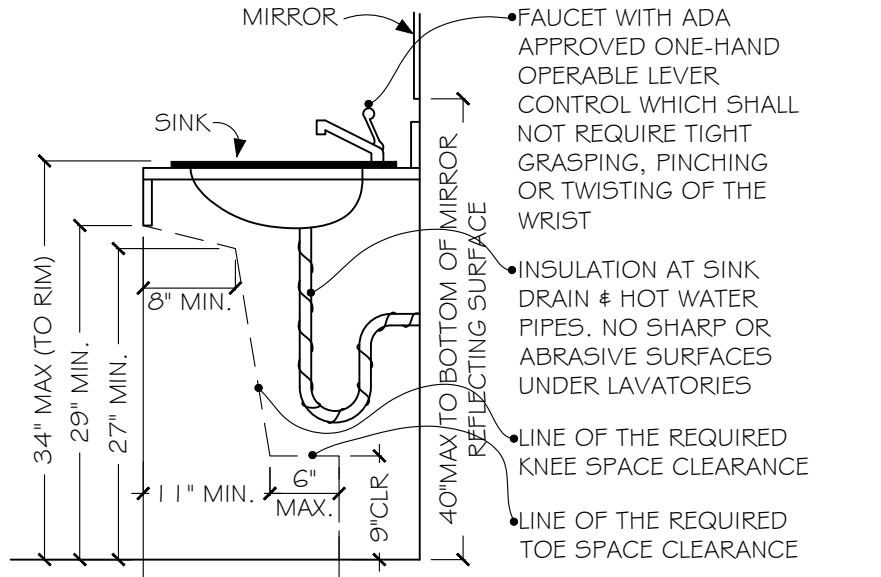
PER 2022 CBC SECTION 11B-307.4, PROVIDE 80" MIN. VERTICAL CLEARANCE AT SHOWER CURTAIN ROD.

PER 2022 CBC SECTION 11B-610.3, THE SHOWER SEAT, WHEN FOLDED, SHALL EXTEND 6" MAXIMUM FROM THE MOUNTING WALL.

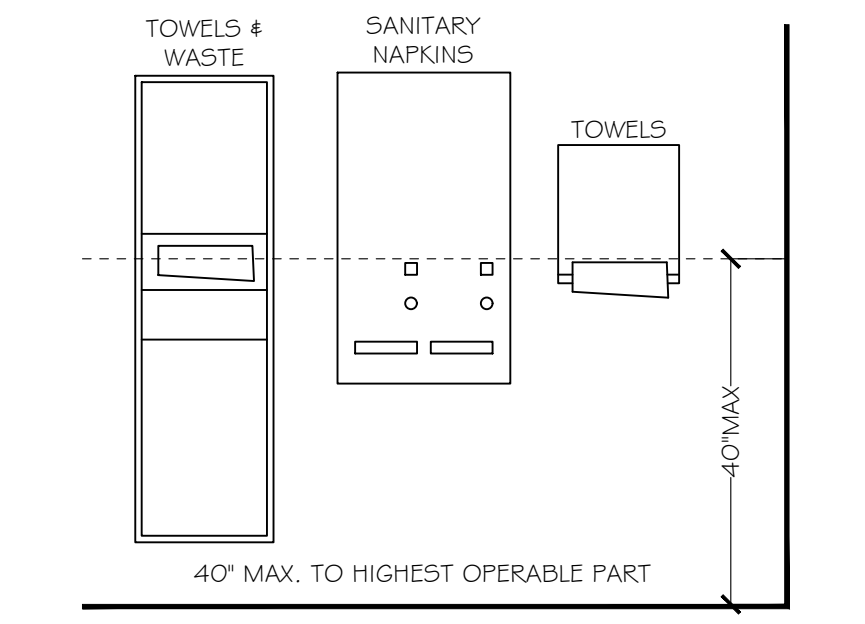
PER 2022 CBC SECTIONS 11B-609.9 & 11B-610.4, ALLOWABLE STRESSES SHALL NOT BE EXCEEDED FOR MATERIALS USED WHEN A VERTICAL OR HORIZONTAL FORCE OF 250 POUNDS IS APPLIED AT ANY POINT ON THE SHOWER SEAT OR GRAB BAR, FASTENER, MOUNTING DEVICE OR SUPPORTING STRUCTURE.



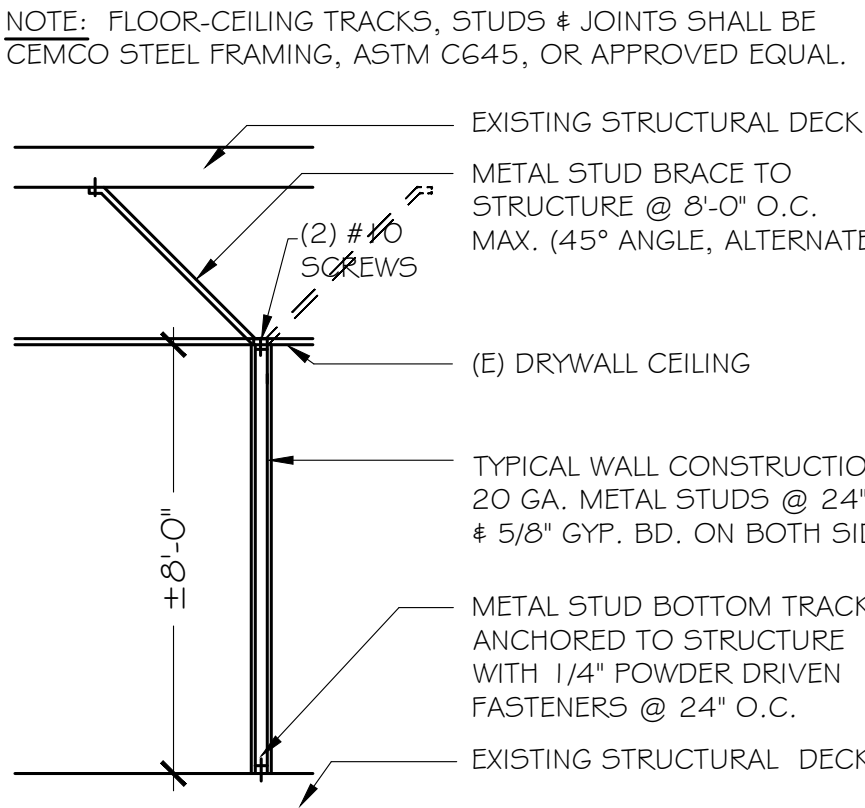
3 ELEVATION: TYPICAL STANDARD ROLL-IN TYPE ACCESSIBLE SHOWER STALL
SCALE: 1/2" = 1'-0"



6 SECTION: ACCESSIBLE LAVATORY COUNTER
NOT TO SCALE



7 ELEVATIONS: ACCESSIBLE FIXTURES
NOT TO SCALE



8 SECTION: CEILING HT. PARTITION
NOT TO SCALE

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BURLINGAME, CA 94010

OWNER

DEPARTMENT OF PUBLIC WORKS
CITY OF BURLINGAME

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3	2-14-25	REVISED PER CLIENT COMMENTS
4	2-27-25	REVISED PER CLIENT COMMENTS

PROJECT NO: FVA-1399RR

CAD DWG FILE: 1399 ROLLINS ROAD_CD.DWG

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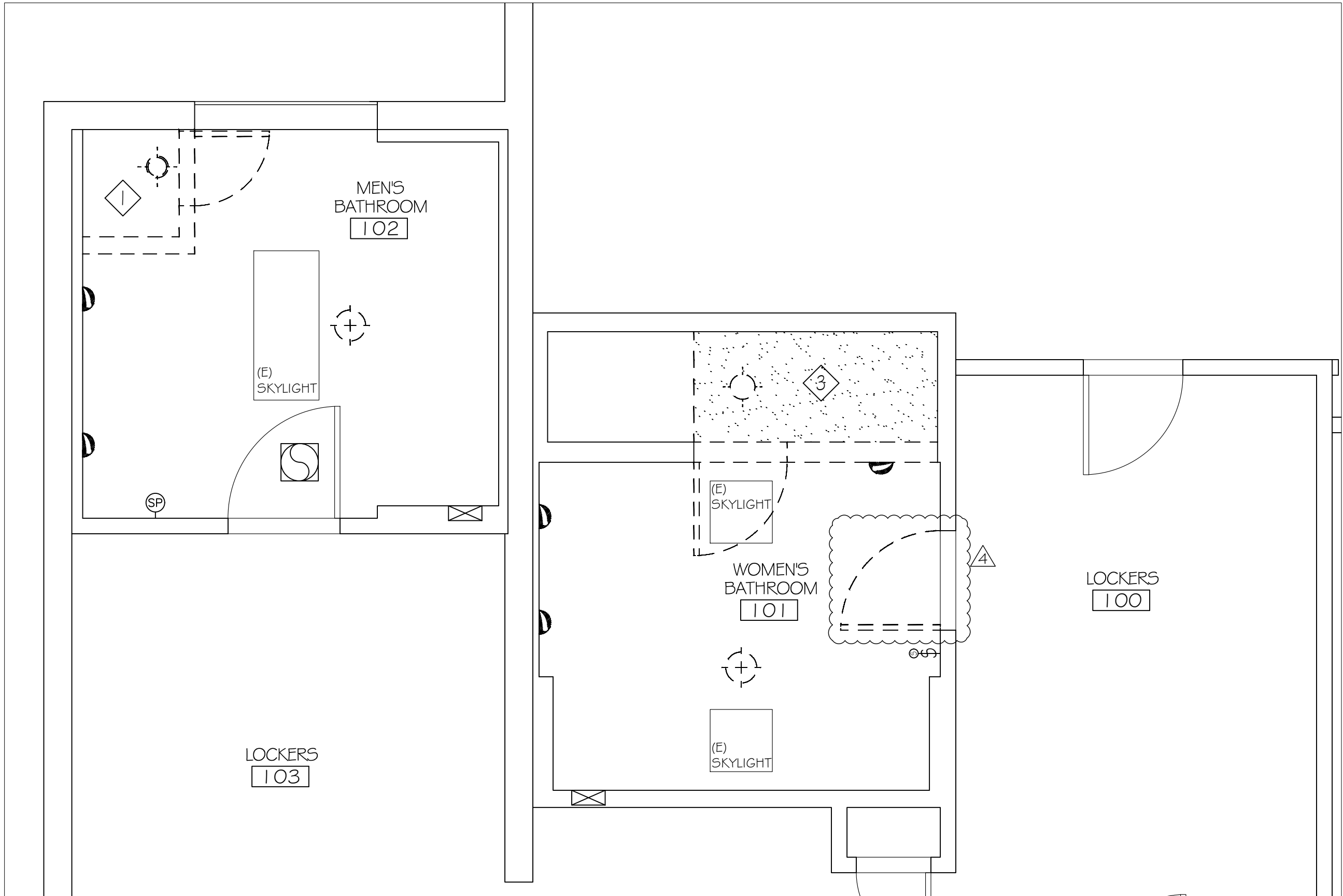
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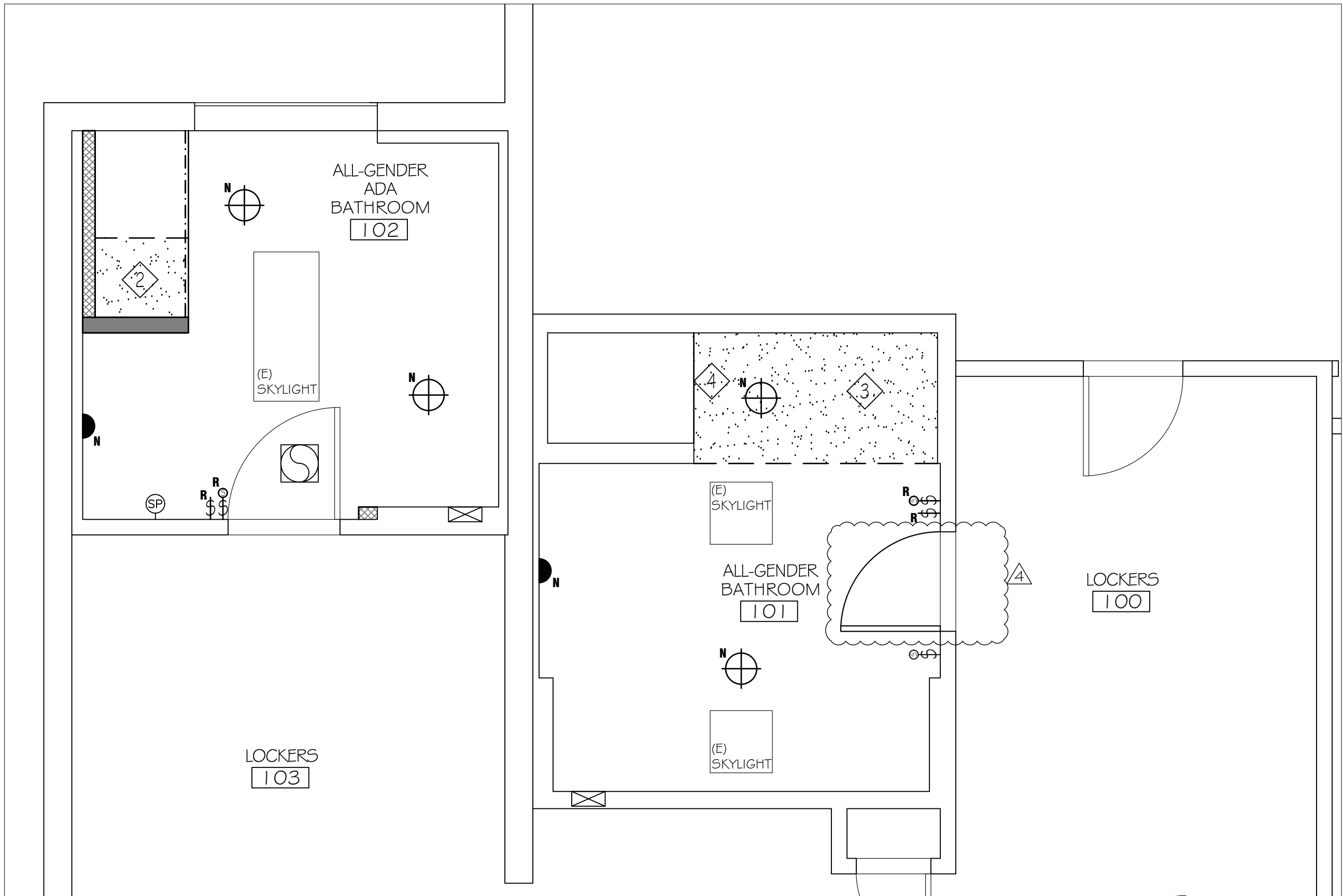
CONSTRUCTION PLANS AND DETAILS

A-2.0

SHEET 2 OF 4



1 DEMOLITION (EXISTING) REFLECTED CEILING PLAN
SCALE: 3/8" = 1'-0"



2 NEW REFLECTED CEILING PLAN
SCALE: 3/8" = 1'-0"

LEGEND: REFLECTED CEILING PLANS

- REMOVAL OF EXISTING CEILING-MOUNTED LIGHT FIXTURE IN SHOWER ENCLOSURE
- REMOVAL OF EXISTING DOWNLIGHT FIXTURE IN SHOWER ENCLOSURE
- NEW CEILING-MOUNTED LED LIGHT FIXTURE
- REMOVAL OF EXISTING WALL-MOUNTED VANITY LIGHT FIXTURE
- NEW WALL-MOUNTED VANITY LIGHT FIXTURE
- REMOVAL OF EXISTING CEILING-MOUNTED BATHROOM LIGHT FIXTURE
- EXISTING SENSOR LIGHT SWITCH
- RELOCATED SENSOR LIGHT SWITCH
- RELOCATED SWITCH
- EXISTING EXHAUST FAN TO REMAIN
- EXISTING HVAC SUPPLY AIR WALL FIXTURE
- EXISTING WALL-MOUNTED SPEAKER
- KEY TO SHEET NOTES

CONSTRUCTION SHEET NOTES: REFLECTED CEILING PLAN

- EXISTING ±8'-3" SOFFIT IN SHOWER ENCLOSURE SHALL REMAIN. REMOVE EXISTING TILES AND LIGHT FIXTURE. PATCH AND REPAIR, OR PROVIDE NEW GYP. BD. SHEATHING. PROVIDE NEW SEMI-GLOSS PAINT. SEE SPECS.
- PROVIDE NEW SHOWER ENCLOSURE SOFFIT TO MATCH, TIE IN AND ALIGN WITH EXISTING. PROVIDE NEW SEMI-GLOSS PAINT. SEE SPECS.
- DEMOLISH EXISTING SOFFIT AT PORTION OF SHOWER ENCLOSURE TO BE DEMOLISHED. PROVIDE NEW GYP. BD. CEILING TO MATCH, TIE IN AND ALIGN WITH EXISTING BATHROOM CEILING. PROVIDE NEW SEMI-GLOSS PAINT. SEE SPECS.
- PATCH AND REPAIR SIDE/EDGE OF PORTION OF EXISTING SHOWER ENCLOSURE SOFFIT TO REMAIN WITH NEW GYP. BD. PROVIDE NEW SEMI-GLOSS PAINT. SEE SPECS.

GENERAL CONSTRUCTION NOTES: REFLECTED CEILING

- PROVIDE FOR ALL LIGHT FIXTURES TO BE IN GOOD WORKING ORDER.
- PROVIDE EGRESS ILLUMINATION LEVEL NOT LESS THAN ONE FOOT-CANDLE AT THE WALKING SURFACE PER 2022 CBC 1008.2. EMERGENCY LIGHTING SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT-CANDLE AND A MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL, PER 2022 CBC 1008.3.
- PROVIDE NEW OR RELOCATE EXISTING LIGHT SWITCHES AS SHOWN TO BE MOUNTED MIN. 3'-0" A.F.P. TO MAX. 4'-0" A.F.P. MEASURED FROM THE TOP OF THE OUTLET BOX. PROVIDE NEW OCCUPANCY SENSORS AS REQUIRED FOR PROPER LIGHTING CONTROL. REWIRE LIGHT FIXTURES THROUGHOUT AS REQUIRED FOR PROPER SWITCHING CONTROL. HIGHEST OPERABLE PART OF ALL CONTROLS, DISPENSERS, RECEPTACLES AND OTHER OPERABLE EQUIPMENT SHALL NOT BE MORE THAN 48" ABOVE THE FLOOR, AND WITHIN REACH RANGES SPECIFIED IN CBC 11B-308.
- THE HVAC FIXTURE LOCATIONS SHOWN ARE EXISTING LOCATIONS FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY, ADJUST HVAC FIXTURE LOCATIONS AND REZONE HVAC AS NECESSARY TO COMPLY WITH CODE & REGULATIONS AND SHALL COMFORT BALANCE ENTIRE HVAC SYSTEM. CONTRACTOR SHALL ADJUST & RELOCATE THERMOSTATS WHERE APPROPRIATE AND CONFIRM LOCATION WITH LANDLORD & TENANT PRIOR TO INSTALLATION FOR ANY CONFLICT.
- FIRE EXTINGUISHERS, EXIT SIGNS, & EMERGENCY LIGHTING TO COMPLY WITH CURRENT CODE.
- CONTRACTOR TO PROVIDE ALL NECESSARY CEILING HORNS, STROBES, SIGNALING DEVICES, EXIT SIGNS, EMERGENCY LIGHTING, ETC. AS NEEDED AND APPLICABLE TO THE BUILDING PER FIRE/LIFE SAFETY REGULATIONS.
- EXISTING CEILING THROUGHOUT BOTH ALL-GENDER BATHROOMS 101 AND 102 SHALL BE REFINISHED / REPAINTED WITH SEMI-GLOSS PAINT PER FINISH SPECS ON SHEET A-4.0. PATCH AND REPAIR CEILING AS REQUIRED.
- COORDINATE WITH CLIENT REGARDING HAZARDOUS MATERIAL ABATEMENT INFORMATION AND PROCEDURES.

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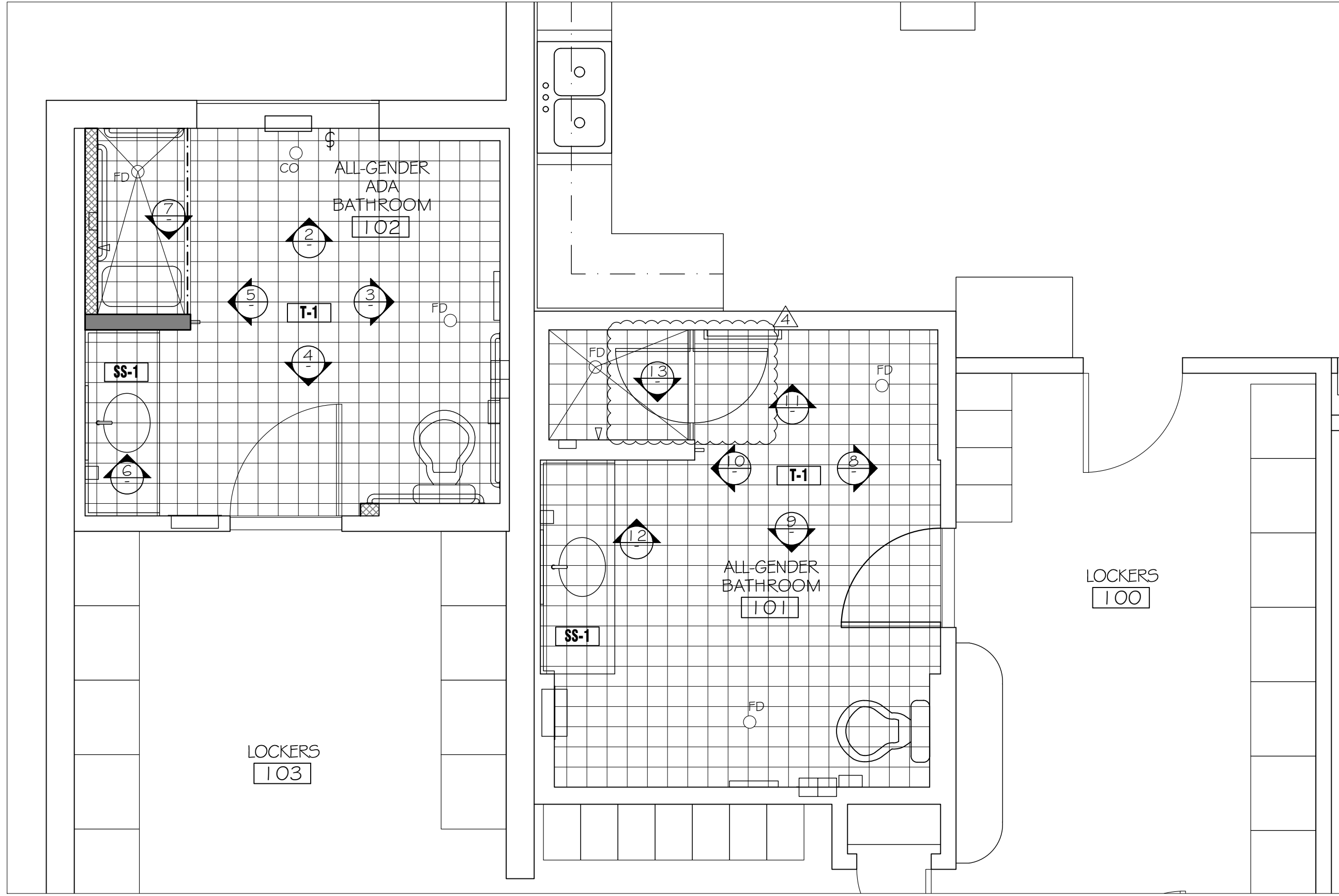
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REFLECTED CEILING PLANS
AND DETAILS

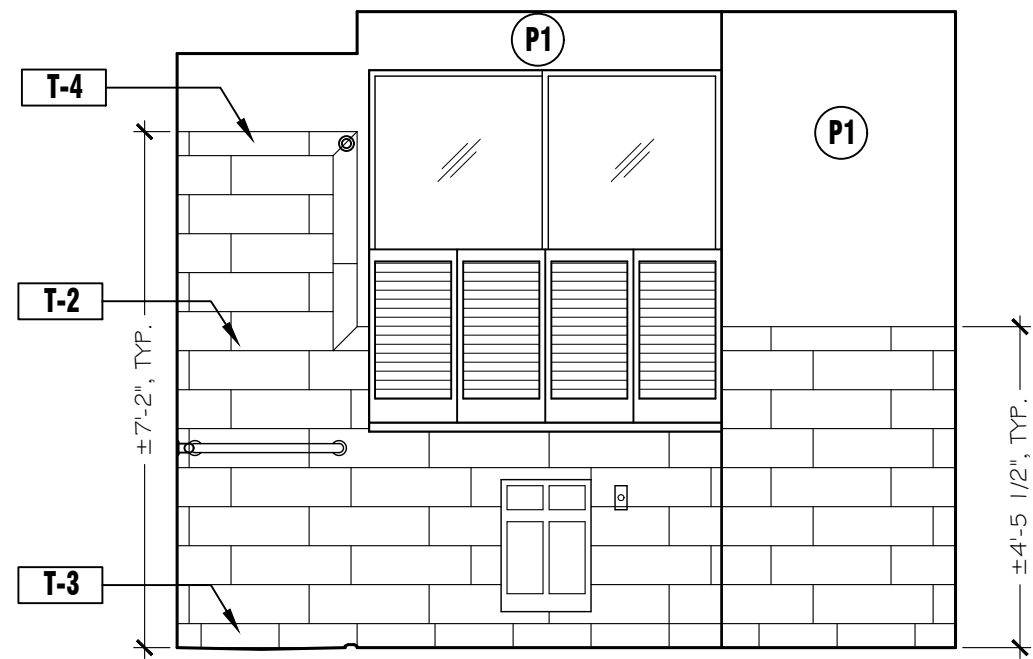
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SHEET 3 OF 4

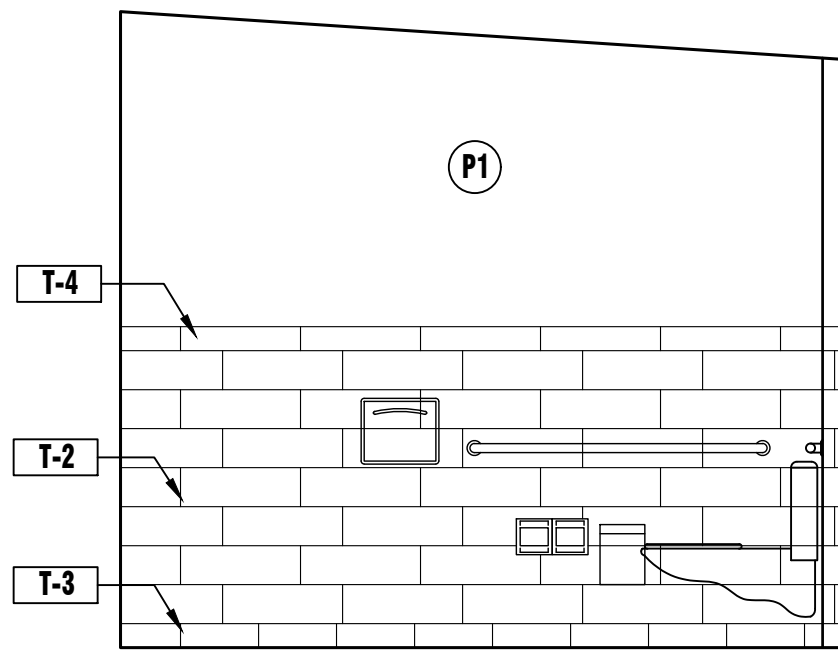


1 NEW FINISH PLAN
SCALE: 3/8"=1'-0"

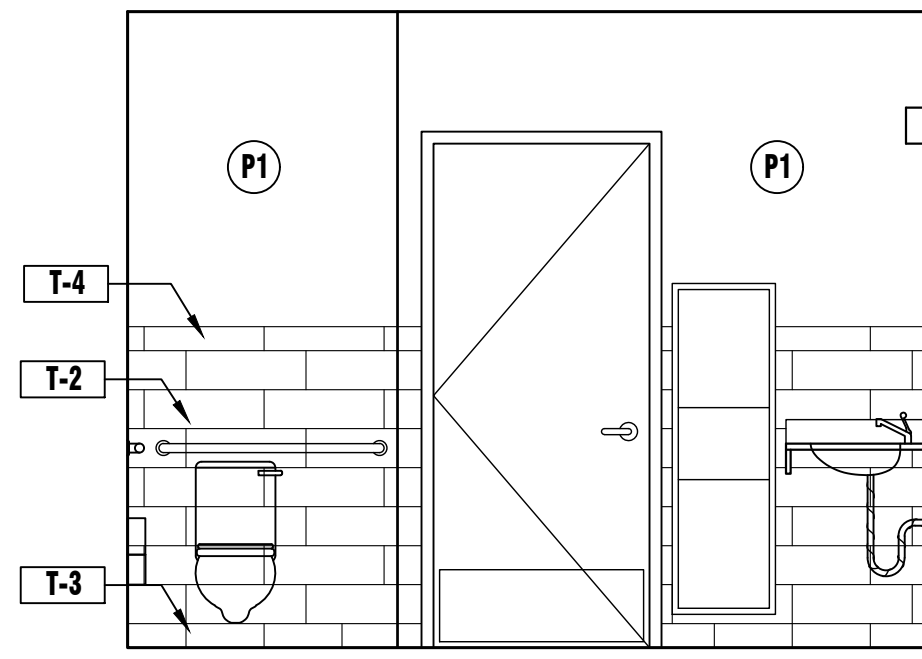
- FINISHES (ALL FINISHES/SIZES TO BE CONFIRMED):
- P1** PAINT - DUNN EDWARDS, MUSLIN, DEG227, SEMI-GLOSS FINISH (WALLS)
 - P2** PAINT - DUNN EDWARDS, WHISPER, DEW340, SEMI-GLOSS FINISH (CEILING AND TRIM)
 - T-1** DALTILE, VERANDA SOLIDS, ROCK P543, 6 1/2 x 6 1/2 (TO BE VERIFIED), FLOOR TILES, UNGLAZED/ANTI-SLIP FINISH (BATHROOM AND SHOWER FLOOR)
 - T-2** DALTILE, VERANDA SOLIDS, ROCK P543, 6 1/2 x 20 (TO BE VERIFIED), WALL TILES (BATHROOM AND SHOWER WALLS)
 - T-3** DALTILE, VERANDA SOLIDS, ROCK P543, 4 x 13 COVE BASE (TO BE VERIFIED), (BATHROOM AND SHOWER WALLS)
 - T-4** DALTILE, VERANDA SOLIDS, ROCK P543, 4 x 20 BULLNOSE (TO BE VERIFIED), (BATHROOM AND SHOWER WALLS)
 - SS-1** CORIAN, SOLID SURFACE, WILLOW (BATHROOM COUNTERTOP)



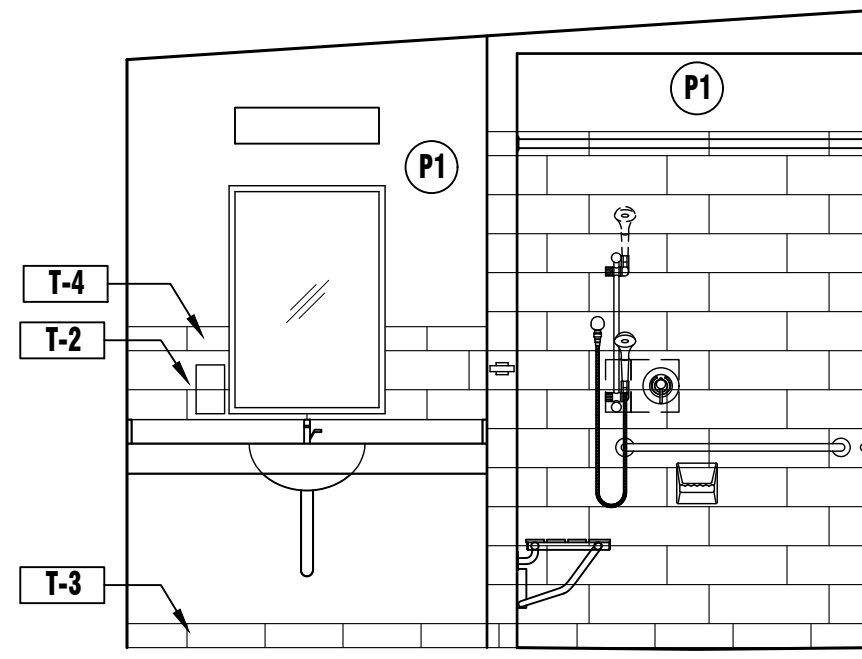
2 SOUTH ELEVATION
SCALE: 3/8"=1'-0"



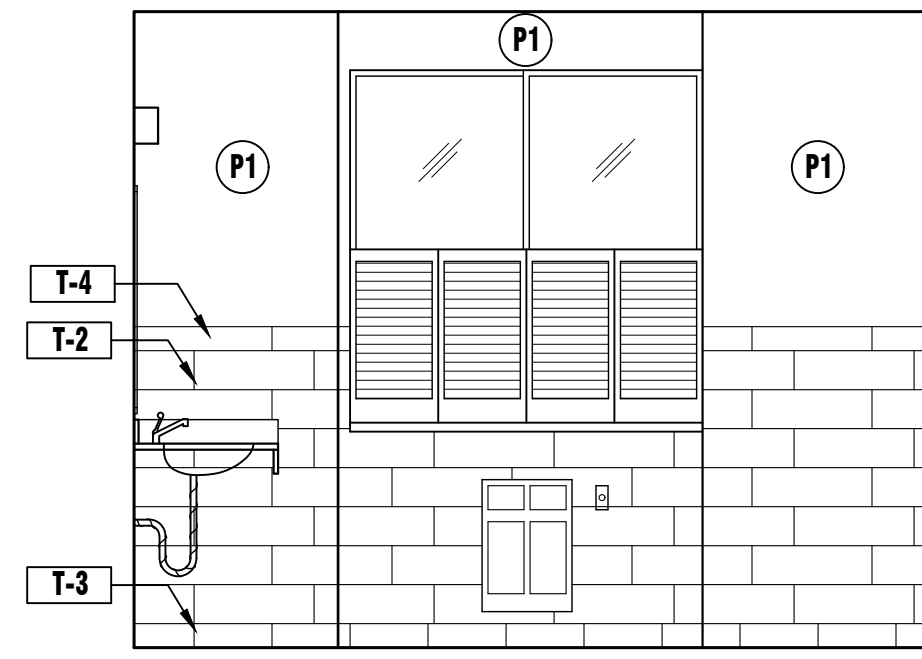
3 WEST ELEVATION
SCALE: 3/8"=1'-0"



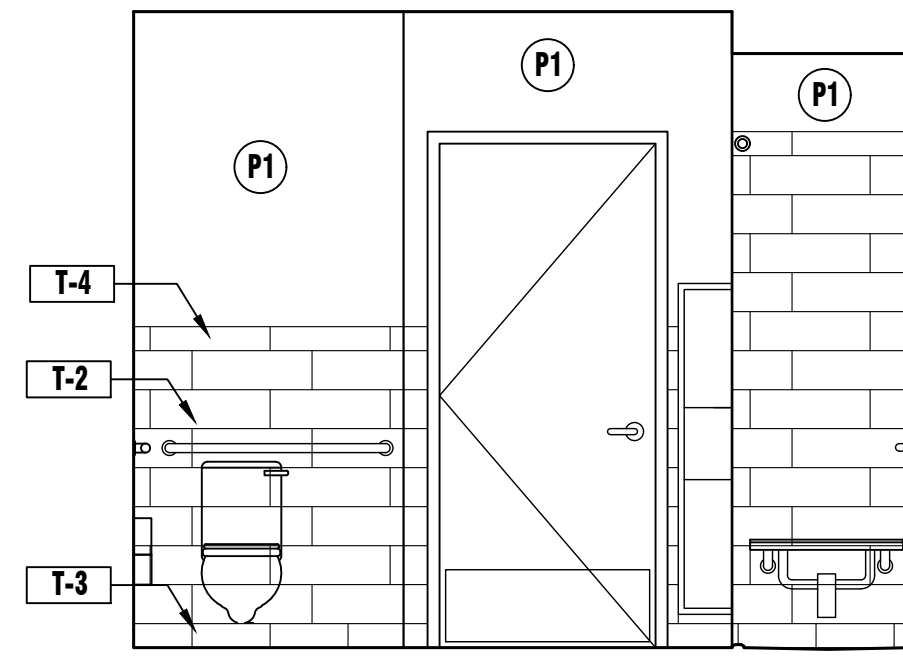
4 NORTH ELEVATION
SCALE: 3/8"=1'-0"



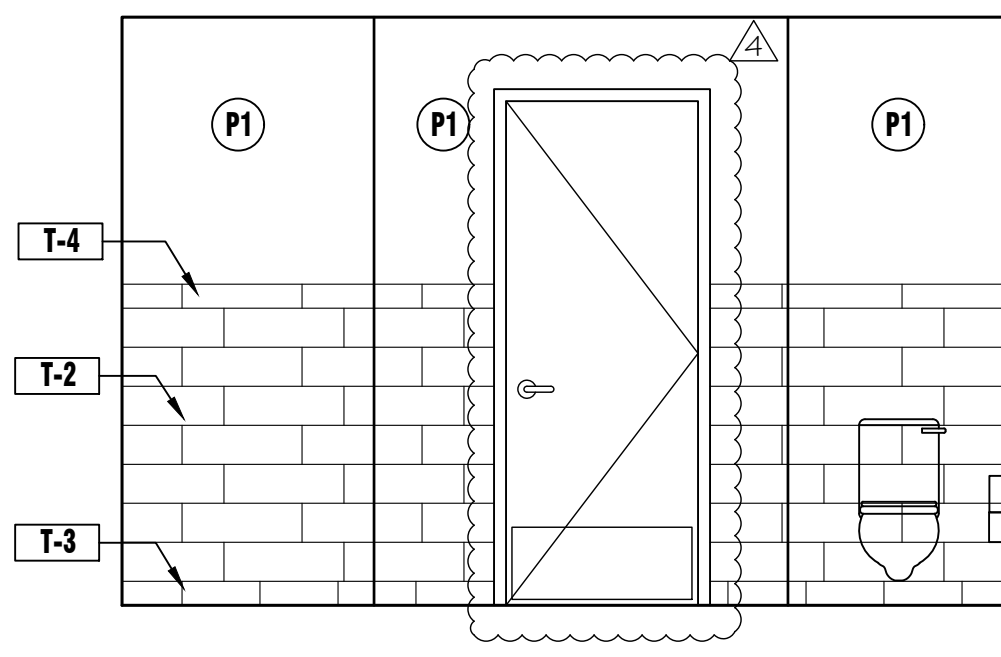
5 EAST ELEVATION
SCALE: 3/8"=1'-0"



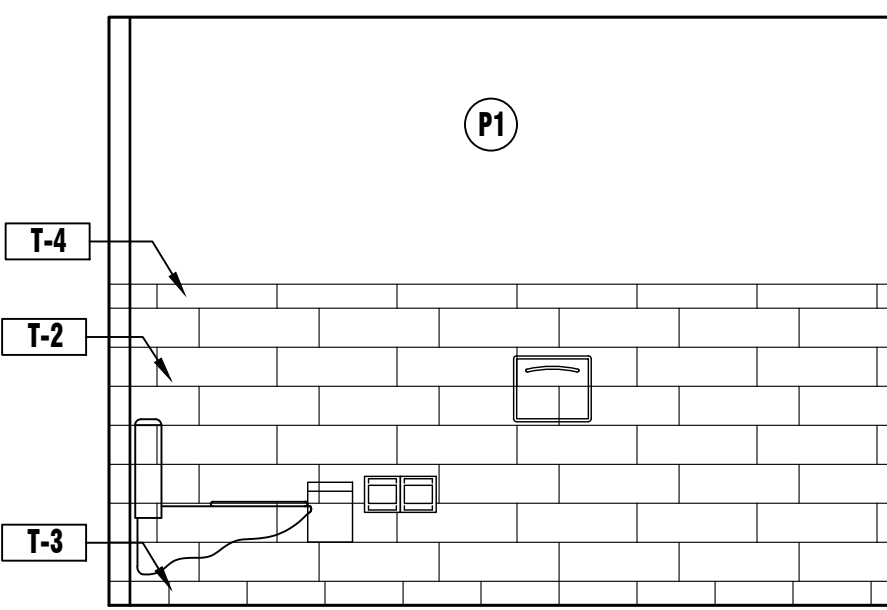
6 SOUTH ELEVATION
SCALE: 3/8"=1'-0"



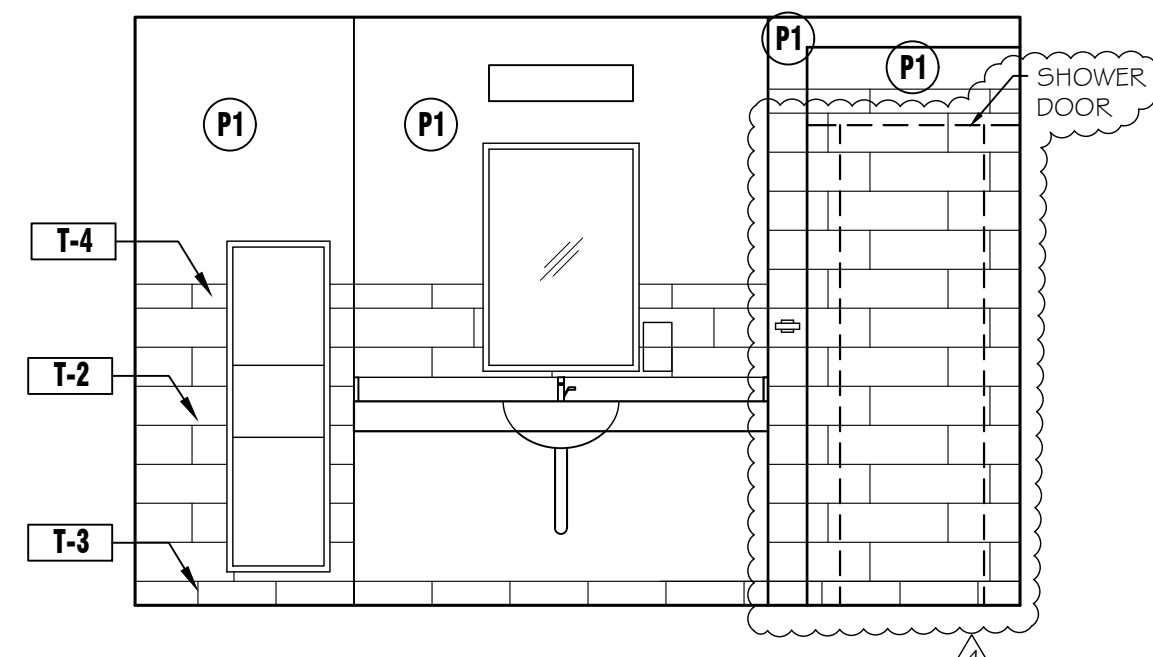
7 NORTH ELEVATION
SCALE: 3/8"=1'-0"



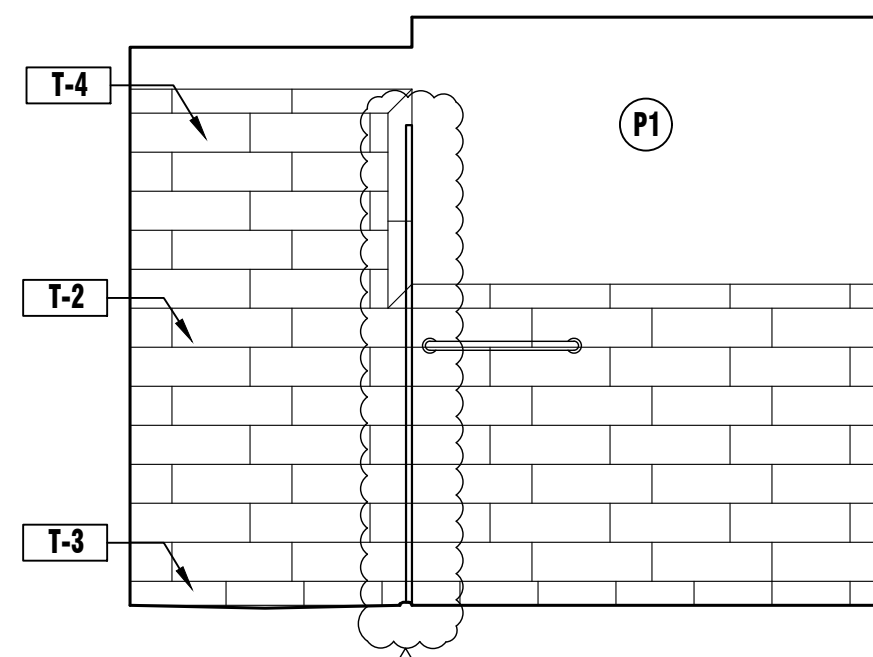
8 WEST ELEVATION
SCALE: 3/8"=1'-0"



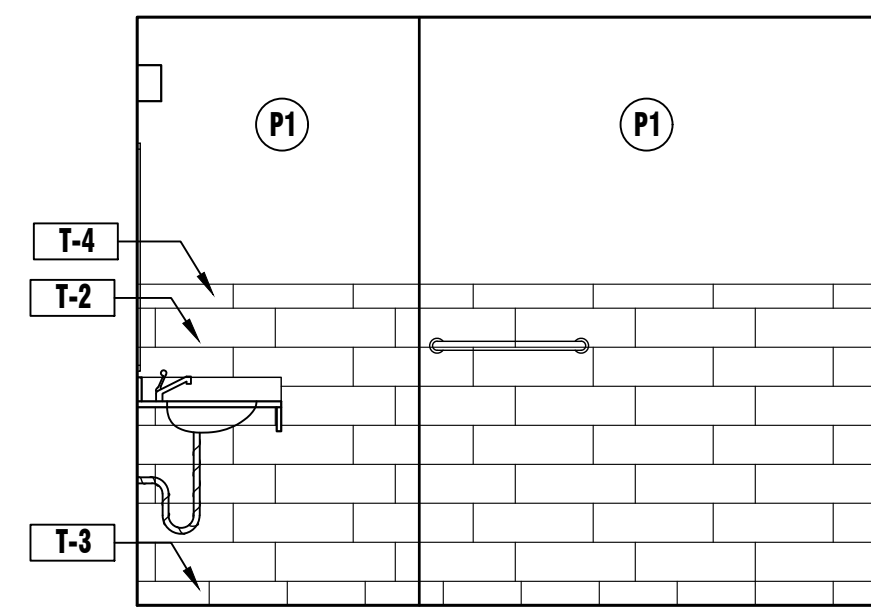
9 NORTH ELEVATION
SCALE: 3/8"=1'-0"



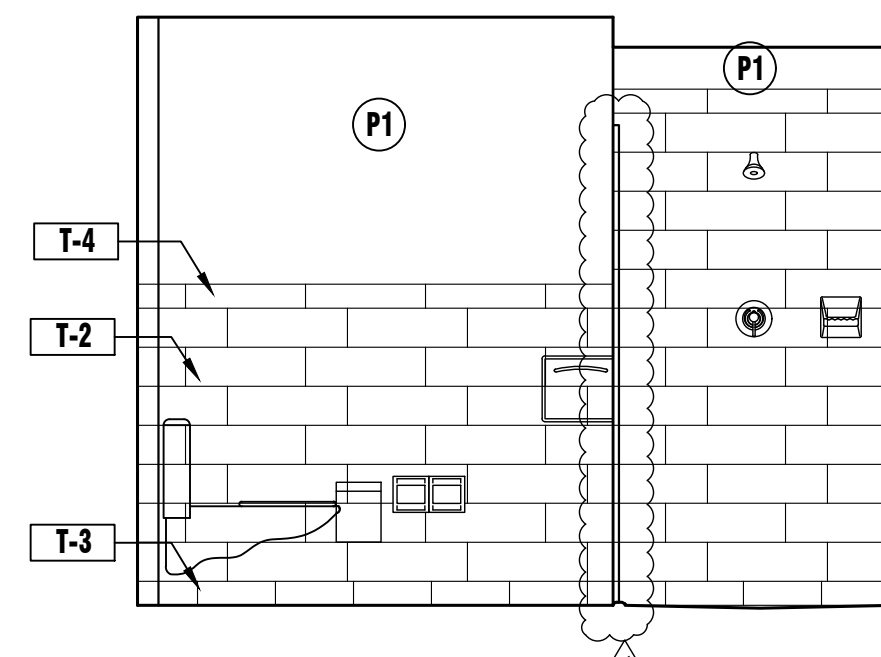
10 EAST ELEVATION
SCALE: 3/8"=1'-0"



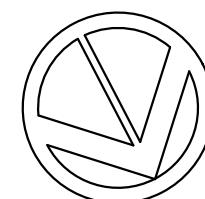
11 SOUTH ELEVATION
SCALE: 3/8"=1'-0"



12 SOUTH ELEVATION
SCALE: 3/8"=1'-0"



13 NORTH ELEVATION
SCALE: 3/8"=1'-0"



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FINISH PLAN/SCHEDULE AND
INTERIOR ELEVATIONS

A-4.0

SHEET 4 OF 4



IFB #CA-123021
Invitation for Bids
for
Indefinite Delivery-Indefinite Quantity
Construction Contracts
in the
State of California

Bid Due Date: December 30, 2021, 4:30 p.m., Central Time

Sourcewell, a State of Minnesota local government entity and public agency, is issuing this Invitation for Bid (IFB) on behalf of its participating entities to create indefinite delivery-indefinite quantity construction (IDIQ) contracts that may be used by those participating entities for projects related to construction or the repair, alteration, modernization, or renovation of buildings, structures, or other real property.

This IFB consists of the following parts:

1. Invitation for Bids, including Table of Solicitations and Map of Regions
2. Template IDIQ Construction Contract
3. IDIQ Contract General Terms and Conditions
4. Construction Task Catalog
5. Technical Specifications

A full copy of the IFB can be found on the Sourcewell Procurement Portal (<https://proportal.sourcewell-mn.gov>), and only bids submitted through the Sourcewell Procurement Portal will be considered. Bids are due no later than December 30, 2021, at 4:30 p.m. Central Time, and late bids will not be considered.

Solicitation Schedule

Notice of Solicitation Published:	November 22, 2021
Pre-bid Conference:	December 8, 2021, 11:00 a.m., Central Time
Question Submission Deadline:	December 21, 2021, 4:30 p.m., Central Time
Bid Due Date:	December 30, 2021, 4:30 p.m., Central Time Late responses will not be considered.
Opening:	December 30, 2021, 6:30 p.m., Central Time. See Article VII. G. for more information.

I. ABOUT SOURCEWELL AND ITS PARTICIPATING ENTITIES

Sourcewell is a State of Minnesota local government agency and service cooperative created under the laws of the State of Minnesota (Minnesota Statutes Section 123A.21) that facilitates a competitive public solicitation and contract award process for the benefit of its participating entities across the United States. Sourcewell's solicitation process complies with State of Minnesota law and policies.

Sourcewell's participating entities in the State of California may include:

- Federal and state government
- Cities, towns, and counties/parishes
- Education service cooperatives
- K-12 and higher education
- Tribal government
- Some nonprofit
- Other public entities

For a listing of current participating entities visit Sourcewell's website: <https://www.sourcewell-mn.gov/sourcewell-for-vendors/agency-locator>.

II. INDEFINITE DELIVERY-INDEFINITE QUANTITY CONSTRUCTION PROGRAM

Sourcewell is soliciting bids for its IDIQ construction program. IDIQ contracting offers participating entities access to competitively solicited and awarded contracts for construction projects related to repair, alteration, modernization, or renovation of buildings, structures, or other real property.

Sourcewell has engaged The Gordian Group, Inc. (Gordian) to provide management of its IDIQ construction program. In this role, Gordian provides support to Sourcewell in the administration of the program, including: preparing Construction Task Catalogs and related technical specifications, providing information management systems and licenses to contractors, training to contractors, administering fee collection, consulting services to Sourcewell, and assisting with proposal package or work order development. Participating Entities access Sourcewell IDIQ contracts resulting from this IFB through relevant purchasing authority, and work directly with Contractors awarded through this IFB.

Under IDIQ, an awarded Contractor furnishes management, labor, materials, equipment, and incidental design support needed to perform the work. Details of the program's operation can be found within the Contract, and General Terms and Conditions document included in this IFB.

III. REQUIRED BIDDER QUALIFICATIONS

In determining a Bidder's responsibility and ability to perform under a Contract, Sourcewell has the right to investigate and request information concerning the financial condition, experience record, personnel, equipment, facilities, principal business location and organization of the Bidder, the Bidder's record with environmental regulations, and the claims and litigation history of the Bidder. Sourcewell reserves the right to verify the Bidder's information and may request clarification from a Bidder.

A. A Bidder's business must be normally engaged in performing the type of work specified within this IFB and must have adequate organization, facilities, equipment, and personnel to ensure prompt and efficient service to a Sourcewell participating entity (as solely determined by Sourcewell).

B. Bidders responding to a General Building solicitation must be willing and capable of providing all or a majority of the various types of construction work as specified in the Construction Task Catalog. Bidder may provide the work using its own forces or by using subcontractors.

C. Bidders responding to the Electrical, Low Voltage Systems, Paving, HVAC/Mechanical, Painting, Roofing/Waterproofing, Flooring, Asbestos Abatement, Plumbing, Sanitation Systems, Landscaping, Prefabricated Equipment, Athletic Surfacing, and Geotechnical Stabilization solicitations will perform at least 51% of all contracted work with its own organization and forces. The percentage calculation does not include field superintendents or office management personnel.

D. Bidders must have a fixed office location within the geographic boundary of the region(s) they are bidding as identified in the Map of Sourcewell Contract Regions.

IV. BID OVERVIEW AND PREPARATION INSTRUCTIONS

A. REQUESTED INDEFINITE DELIVERY-INDEFINITE QUANTITY CONSTRUCTION SERVICES. The IQC services specified in the table of solicitations listed below, include General Building, Electrical, Low Voltage Systems, Paving, HVAC/Mechanical, Painting, Roofing/Waterproofing, Flooring, Asbestos Abatement, Plumbing, Sanitation Systems, Landscaping, Prefabricated Equipment, Athletic Surfacing, and Geotechnical Stabilization. At this time, no specific projects have been identified; work and work volume from any resulting contract are not guaranteed. Specific description of work and summary of duties for each category of construction can be found in the Technical Specifications.

B. PREPARATION INSTRUCTIONS. Strict compliance with the following instructions is required for properly preparing a bid. Before submitting a bid, it is the responsibility of each Bidder to:

- 1) Examine the IFB Documents thoroughly;
- 2) Consider all applicable federal, state and local laws, regulations, ordinances, and procurement codes that may affect costs, progress, performance, or furnishing of a participating entity's work; and,
- 3) Notify Sourcewell of all conflicts, errors, or discrepancies in the IFB Documents of which Bidder knows.

The submission of a Bid constitutes a representation by the Bidder to Sourcewell that it has complied with the above requirements and, that without exception, its Bid is premised upon performing and furnishing the Work required by this IFB.

Bidders should include all relevant information in its bid. Sourcewell cannot consider information that is not provided in the bid.

C. ESTIMATED CONTRACT VALUE AND USAGE. Based on past volume of similar contracts, the estimated annual value of each contract resulting from this IFB is \$5,185,000.00. Sourcewell anticipates considerable activity under the contract(s) awarded from this IFB; however, work and work volume from any resulting contract are not guaranteed; and the estimated volume is neither a minimum or maximum contract volume.

V. BID PRICING

A. CONSTRUCTION TASK CATALOG AND ADJUSTMENT FACTOR. In order to evaluate bid pricing and the retain consistency within contract pricing, Sourcewell uses Gordian's proprietary Construction Task Catalog (CTC). The CTC as a comprehensive listing of specific repair and construction related Tasks, together with a specific unit of measurement and a pre-set unit price (Unit Price). All Unit Prices within the CTC are based on local labor, material, and equipment prices for the direct cost of construction.

Under this IFB, Bidders will offer price adjustments (Adjustment Factors) that will be applied to CTC Unit Prices. The Adjustment Factors represent either an increase to the present Unit Prices (such as 1.1000) or a decrease from the preset Unit Prices (such as 0.9800).

A participating entity's cost for a specific task will be determined by multiplying the preset Unit Prices by the appropriate quantities and by the appropriate Adjustment Factor (e.g., specific task cost = preset unit price in CTC * quantity needed * Adjustment Factor).

- 1) Each Bidder must submit five Adjustment Factors to be applied to every task in the CTC. The bid must be either an adjustment "decrease from" (e.g. 0.9800) or "increase to" (e.g. 1.1000) the Unit Prices listed in the CTC.
- 2) The Bidder's Adjustment Factors must include all of the Bidder's direct and indirect costs. This includes, but is not limited to, its costs for overhead, profit, bond premiums above the reimbursable amount, insurance, mobilization, purchase order proposal development, and all contingencies in connection therewith. See pages 00t-1 – 00-6 of the CTC for a complete explanation of what is and is not included in the Unit Prices.
 - a. *The first Adjustment Factor* will be applied to work to be accomplished during Normal Working Hours and are performed on projects that **do require** prevailing wage rates. Note, where applicable, the bidder must comply with all applicable prevailing wage laws. The wage rates in the CTC were current at the time these IFB Documents were issued.
 - b. *The second Adjustment Factor* will be applied to work to be accomplished during Other Than Normal Working Hours and are performed on projects that **do require** prevailing wage rates.
 - c. *The third Adjustment Factor* will be applied to work to be accomplished at Secure/Medical Facilities and **do require** prevailing wage rates.
 - d. *The fourth Adjustment Factor* will be applied to work to be accomplished on all Union Wage Projects.
 - e. *The fifth Adjustment Factor* will be for work tasks not identified in the Construction Task Catalog. IQCC includes a provision for establishing of prices for Work requirements which are within the general scope of IQCC but were not included in the CTC at the time of Contract award. These Tasks are referred to as "Non Pre-priced Tasks (NPP)." NPP Tasks may require new specifications and drawings and may subsequently be incorporated into the CTC. The bidders will offer an Adjustment Factor to be applied to the actual material, equipment, and labor cost for NPP work Tasks.

- 3) Adjustment Factors may be specified to the fourth decimal place. For example:

1	.	1	0	0	0
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Or

0	.	9	8	0	0
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- 4) For bid evaluation purposes only, the following weighing of the Adjustment factors will be used to determine the Combined Adjustment Factor. Complete the following information within the Sourcewell Procurement Portal:

Adjustment Factors	Weight
NORMAL WORKING HOURS - PREVAILING WAGE RATE PROJECTS	50%
OTHER THAN NORMAL WORKING HOURS - PREVAILING WAGE RATE PROJECTS	15%
SECURED/MEDICAL FACILITIES - PREVAILING WAGE RATE PROJECTS	15%
ALL-UNION WAGE PROJECTS	10%
NON-PRE-PRICED	10%

B. **ADMINISTRATIVE FEES.** Awarded contractors must pay an administrative fee in exchange for the administration of the contracts by Sourcewell and Sourcewell's contract administrator, Gordian. The bidder must include the administrative fee in calculating the Contractor's Adjustment Factors.

Detailed information about Sourcewell's administrative fee can be found in the Contract, and General Terms and Conditions.

VI. CONTRACT

Bidders awarded a contract will be required to execute the Contract (including its General Terms and Conditions) attached to this IFB.

VII. BIDDING PROCESS

A. **PRE-BID CONFERENCE.** Sourcewell will hold a pre-bid conference via webcast on the date and time noted in the Solicitation Schedule and on the Sourcewell Procurement Portal. The purpose of this conference is to allow potential bidders to ask questions regarding this IFB. Information about the webcast will be sent to all entities that have registered for this solicitation opportunity through their Sourcewell Procurement Portal Vendor Account.

B. **QUESTIONS REGARDING THIS IFB AND ORAL COMMUNICATION.** Any questions regarding this IFB must be submitted through the Sourcewell Procurement Portal. The deadline for submission of questions is found in the Solicitation Schedule and on the Sourcewell Procurement Portal. Answers to

questions will be issued through an addendum to this IFB. Repetitive questions will be summarized into a single answer and identifying information will be removed from the submitted questions.

All questions, whether specific to a Bidder or generally related to the IFB, must be submitted using this process. Do not contact individual Sourcewell staff to ask questions or request information as this may disqualify the Bidder from responding to this IFB. Sourcewell will not respond to questions submitted after the deadline.

C. ADDENDA. Sourcewell may modify this IFB; however, no Addenda will be issued later than 5 days prior to the Bid Due Date, except an Addendum that withdraws or postpones this IFB. Addenda issued by Sourcewell become a part of the IFB and will be delivered to potential Bidders through the Sourcewell Procurement Portal. Sourcewell accepts no liability in connection with the delivery of any addenda.

Before a bid will be accepted through the Sourcewell Procurement Portal, all addenda, if any, must be acknowledged by the Bidder by checking the box for each addendum. It is the responsibility of the Bidder to check for any addenda that may have been issued up to the solicitation due date and time.

If an addendum is issued after a Bidder submitted its Bid, the Sourcewell Procurement Portal will WITHDRAW the submission and change the Bidder's Bid status to INCOMPLETE. The Bidder can view this status change in the "MY BIDS" section of the Sourcewell Procurement Portal Vendor Account. The Bidder is solely responsible to check the "MY BIDS" section of the Sourcewell Procurement Portal Vendor Account periodically after submitting its Bid (and up to the Bid due date). If the Bidder's Bid status has changed to INCOMPLETE, the Bidder is solely responsible to:

- 1) make any required adjustments to its bid,
- 2) acknowledge the addenda, and
- 3) ensure the re-submitted bid is received through the Sourcewell Procurement Portal no later than the Bid Due Date and time shown in the Solicitation Schedule above.

D. BID SUBMISSION. Bidder's complete bid must be submitted through the Sourcewell Procurement Portal no later than the date and time specified in the Solicitation Schedule and on the Sourcewell Procurement Portal. Any other form of bid submission, whether electronic, paper, or otherwise, will not be considered by Sourcewell. Late bids will not be considered. It is the Bidder's sole responsibility to ensure that the bid is received on time. To ensure receipt of the latest information and updates via email regarding this solicitation, or if the Bidder has obtained this IFB from a third party, the onus is on the Bidder to create a Sourcewell Procurement Portal Vendor Account and register for this solicitation opportunity.

Within the Procurement Portal, all bids must be digitally acknowledged by an authorized representative of the Bidder attesting that the information contained in the bid is true and accurate. By submitting a bid, Bidder warrants that the information provided is true, correct, and reliable for purposes of evaluation for potential contract award. The submission of inaccurate, misleading, or false information is grounds for disqualification from a contract award and may subject the Bidder to remedies available by law.

It is recommended that Bidders allow sufficient time to upload the bid and to resolve any issues that may arise. The time and date that a bid is received by Sourcewell is solely determined by the Sourcewell Procurement Portal web clock. In the event of problems with the Sourcewell Procurement Portal, follow

the instructions for technical support posted in the portal. It may take up to 24 hours to respond to certain issues.

Upon successful submission of a bid, the Portal will automatically generate a confirmation email to the Bidder. If the Bidder does not receive a confirmation email, contact Sourcewell's support provider at support@bidsandtenders.ca.

E. GENERAL BID REQUIREMENTS. Bids must be:

- In substantial compliance with the requirements of this IFB or it will be considered nonresponsive and be rejected
- Complete—a bid will be rejected if it is conditional or incomplete
- Submitted in English
- Valid and irrevocable for 180 days following the Bid Due Date

Any and all costs incurred in responding to this IFB will be borne by the Bidder.

F. BID MODIFICATION WITHDRAWAL. A submitted bid may not be modified, withdrawn, or cancelled by the Bidder for a period of 180 calendar days following the time and date designated for the receipt of bids. Prior to the deadline for submission of bids, any bid submitted may be modified or withdrawn through the Sourcewell Procurement Portal.

G. OPENING. The Opening of Bids will be conducted electronically through the Sourcewell Procurement Portal. A list of all Bidders will be made publicly available in the Sourcewell Procurement Portal after the Bid Due Date, but no later than the Opening time listed in the Solicitation Schedule.

To view the list of Bidders, verify that the Sourcewell Procurement Portal opportunities list search is set to "All" or "Closed." The solicitation status will automatically change to "Closed" after the Bid Due Date and Time.

VIII. EVALUATION AND AWARD

A. EVALUATION. Only responsive bids will be evaluated. A responsive bid must have been submitted on time and materially satisfy all mandatory requirements identified in this IFB. Deviations or exceptions stipulated in Bidder's response, while possibly necessary in the view of the Bidder, may result in disqualification.

B. AWARD(S). It is the intent of Sourcewell to award each Contract to the lowest, responsive, responsible Bidder(s) based on the Combined Adjustment Factor as calculated by Sourcewell within each Region.

A Bidder will not be awarded more than one same scope Contract within any Region. In the event a Bidder submits the lowest bid on more than one Solicitation, Sourcewell will determine which Contract will be awarded to which Bidder based on the combination of bids resulting in the lowest overall cost to the Sourcewell Participating Entities.

Sourcewell retains the right to waive any informality in a Bidder's response. Sourcewell reserves the right to reject all bids and advertise again if, in Sourcewell's opinion, the bids received do not meet or exceed the minimum needs and expectations of Sourcewell and its participating entities. Sourcewell

reserves the right to award additional Contracts from this solicitation up to 180 calendar days after the close of the IFB.

Competitive Range. If Sourcewell receives a wide margin of bid Adjustment Factors, either too high or too low, then the Sourcewell Bid evaluation committee may establish a Competitive Range for the IFB. If it is determined that a Bidder's Combined Adjustment Factor is too far outside the Competitive Range, then the Bidder can be removed from consideration. The Bidder will be notified that it was determined to be outside the Competitive Range after award of the contracts.

Unbalanced Bid. A Bid may be removed from consideration if it is determined that the Bidder has mathematically unbalanced its Bid to gain a competitive advantage. The Bid will be considered to be unbalanced if any Adjustment Factor is found to not cover the contractor's reasonable actual cost. Those costs would include a reasonable prorated share of its anticipated profit, overhead cost, and other indirect costs that the bidder anticipates for the performance of the work as determined by the Sourcewell Bid Review Committee.

Other Than Normal Working Hours Adjustment Factors. A Bidder's Other Than Normal Working Hours Adjustment Factors must be higher or equal to its Normal Working Hours Adjustment Factors.

IX. ASSIGNMENT OF WORK

See the Contract, and General Terms and Conditions for a detailed description of how work will be assigned.

X. PROTESTS OF AWARDS

Any protest made under this IFB by a Bidder must be in writing, addressed to Sourcewell's Executive Director, and delivered to the Sourcewell office located at 202 12th Street NE, P.O. Box 219, Staples, MN 56479. All documents that comprise the complete protest package must be received no later than 10 calendar days following Sourcewell's notice of contract award(s) or non-award and must be time stamped by Sourcewell no later than 4:30 p.m., Central Time.

A protest must allege a procedural or technical defect, with supporting documentation. A request for re-evaluation of a bid's content will not be entertained.

A protest must include the following items:

- The name, address, and telephone number of the protester
- The original signature of the protester or its representative
- Identification of the solicitation by IFB number
- A precise statement of the relevant facts
- Identification of the alleged breakdown in procedure or technical issues
- Identification of the legal or factual basis
- Any additional supporting documentation
- Protest bond in the amount of \$20,000, except where prohibited by law or treaty

Protests that do not address these elements will not be reviewed.

XI. RIGHTS RESERVED

This IFB does not commit Sourcewell to award any contract, and a bid may be rejected if it is nonresponsive, conditional, incomplete, conflicting, or misleading. Bids that contain false statements or do not support an attribute or condition stated by the Bidder may be rejected.

Sourcewell reserves the right to:

- Modify or cancel this IFB at any time
- Reject any and all bids received
- Reject bids that do not comply with the provisions of this IFB
- Independently verify any information provided in a Bid
- Disqualify any Bidder that does not meet the requirements of this IFB, is debarred or suspended by the United States or Canada, State of Minnesota, participating entity's state; has an officer, or other key personnel, who have been charged with a serious crime; or is bankrupt, insolvent, or where bankruptcy or insolvency are a reasonable prospect;
- Waive or modify any informalities, irregularities, or inconsistencies in the bids received
- Clarify any part of a bid
- Award a contract if only one responsive bid is received if it is in the best interest of participating entities
- Award a contract to one or more Bidders if it is in the best interest of participating entities

XII. DISPOSITION OF BIDS

All materials submitted in response to this IFB will become property of Sourcewell and will become public record in accordance with Minnesota Statutes Section 13.591. It is the Bidder's responsibility to clearly identify any data submitted that it considers to be protected. Bidder must also include a justification for the classification citing the applicable Minnesota law.

Sourcewell will not consider the prices submitted by the Bidder to be confidential, proprietary, or trade secret materials. Financial information, including financial statements, provided by a Bidder is not considered trade secret under the statutory definition.

The Bidder understands that Sourcewell will reject bids that are marked confidential nonpublic, either substantially or in their entirety.

[Table of Solicitations and Map of Regions to Follow]

Table of Solicitations for
IDIQ Construction Contracts in the State of California
Solicitation IFB #CA-123021

Solicitation Trade / Solicitation Number	Region
General Building – CA-R1-GB01-123021	Region 1
General Building – CA-R1-GB02-123021	Region 1
Electrical – CA-R1-E01-123021	Region 1
Electrical – CA-R1-E02-123021	Region 1
Paving – CA-R1-PAV01-123021	Region 1
Paving – CA-R1-PAV02-123021	Region 1
HVAC/Mechanical – CA-R1-HVAC01-123021	Region 1
HVAC/Mechanical – CA-R1-HVAC01-123021	Region 1
General Building – CA-R2-GB01-123021	Region 2
General Building – CA-R2-GB02-123021	Region 2
Electrical – CA-R2-E01-123021	Region 2
Electrical – CA-R2-E02-123021	Region 2
Paving – CA-R2-PAV01-123021	Region 2
Paving – CA-R2-PAV02-123021	Region 2
HVAC/Mechanical – CA-R2-HVAC01-123021	Region 2
HVAC/Mechanical – CA-R2-HVAC02-123021	Region 2
General Building – CA-R3-GB01-123021	Region 3
General Building – CA-R3-GB02-123021	Region 3
Electrical – CA-R3-E01-123021	Region 3
Electrical – CA-R3-E02-123021	Region 3
Paving – CA-R3-PAV01-123021	Region 3
Paving – CA-R3-PAV02-123021	Region 3
Paving – CA-R3-PAV03-123021	Region 3

Paving – CA-R3-PAV04-123021	Region 3
HVAC/Mechanical – CA-R3-HVAC01-123021	Region 3
HVAC/Mechanical – CA-R3-HVAC02-123021	Region 3
Geotechnical Stabilization – CA-R3-GS01-123021	Region 3
Geotechnical Stabilization – CA-R3-GS02-123021	Region 3
General Building – CA-R4-GB01-123021	Region 4
General Building – CA-R4-GB02-123021	Region 4
General Building – CA-R4-GB03-123021	Region 4
General Building – CA-R4-GB04-123021	Region 4
General Building – CA-R4-GB05-123021	Region 4
General Building – CA-R4-GB06-123021	Region 4
Electrical – CA-R4-E01-123021	Region 4
Electrical – CA-R4-E02-123021	Region 4
Paving – CA-R4-PAV01-123021	Region 4
Paving – CA-R4-PAV02-123021	Region 4
HVAC/Mechanical – CA-R4-HVAC01-123021	Region 4
HVAC/Mechanical – CA-R4-HVAC02-123021	Region 4
Geotechnical Stabilization – CA-R4-GS01-123021	Region 4
Geotechnical Stabilization – CA-R4-GS02-123021	Region 4
General Building – CA-R5-GB01-123021	Region 5
General Building – CA-R5-GB02-123021	Region 5
General Building – CA-R5-GB03-123021	Region 5
General Building – CA-R5-GB04-123021	Region 5
Electrical – CA-R5-E01-123021	Region 5
Electrical – CA-R5-E02-123021	Region 5
Paving – CA-R5-PAV01-123021	Region 5
Paving – CA-R5-PAV02-123021	Region 5
HVAC/Mechanical – CA-R5-HVAC01-123021	Region 5

HVAC/Mechanical – CA-R5-HVAC02-123021	Region 5
Geotechnical Stabilization – CA-R5-GS01-123021	Region 5
Geotechnical Stabilization – CA-R5-GS02-123021	Region 5
General Building – CA-R6-GB01-123021	Region 6
General Building – CA-R6-GB02-123021	Region 6
Electrical – CA-R6-E01-123021	Region 6
Electrical – CA-R6-E02-123021	Region 6
Paving – CA-R6-PAV01-123021	Region 6
Paving – CA-R6-PAV02-123021	Region 6
HVAC/Mechanical – CA-R6-HVAC01-123021	Region 6
HVAC/Mechanical – CA-R6-HVAC02-123021	Region 6
Geotechnical Stabilization – CA-R6-GS01-123021	Region 6
Geotechnical Stabilization – CA-R6-GS02-123021	Region 6
General Building – CA-R7-GB01-123021	Region 7
General Building – CA-R7-GB02-123021	Region 7
General Building – CA-R7-GB03-123021	Region 7
General Building – CA-R7-GB04-123021	Region 7
General Building – CA-R7-GB05-123021	Region 7
General Building – CA-R7-GB06-123021	Region 7
Electrical – CA-R7-E01-123021	Region 7
Electrical – CA-R7-E02-123021	Region 7
Paving – CA-R7-PAV01-123021	Region 7
Paving – CA-R7-PAV02-123021	Region 7
Paving – CA-R7-PAV03-123021	Region 7
Paving – CA-R7-PAV04-123021	Region 7
HVAC/Mechanical – CA-R7-HVAC01-123021	Region 7
HVAC/Mechanical – CA-R7-HVAC02-123021	Region 7
Painting – CA-R7-P01-123021	Region 7

Painting – CA-R7-P02-123021	Region 7
Roofing/Waterproofing – CA-R7-RW01-123021	Region 7
Roofing/Waterproofing – CA-R7-RW02-123021	Region 7
Athletic Surfacing – CA-R7-AS01-123021	Region 7
Athletic Surfacing – CA-R7-AS02-123021	Region 7
Geotechnical Stabilization – CA-R7-GS01-123021	Region 7
Geotechnical Stabilization – CA-R7-GS02-123021	Region 7
General Building – CA-R8-GB01-123021	Region 8
General Building – CA-R8-GB02-123021	Region 8
General Building – CA-R8-GB03-123021	Region 8
General Building – CA-R8-GB04-123021	Region 8
General Building – CA-R8-GB05-123021	Region 8
General Building – CA-R8-GB06-123021	Region 8
General Building – CA-R8-GB07-123021	Region 8
General Building – CA-R8-GB08-123021	Region 8
General Building – CA-R8-GB09-123021	Region 8
General Building – CA-R8-GB10-123021	Region 8
General Building – CA-R8-GB11-123021	Region 8
General Building – CA-R8-GB12-123021	Region 8
General Building – CA-R8-GB13-123021	Region 8
General Building – CA-R8-GB14-123021	Region 8
General Building – CA-R8-GB15-123021	Region 8
Electrical – CA-R8-E01-123021	Region 8
Electrical – CA-R8-E02-123021	Region 8
Electrical – CA-R8-E03-123021	Region 8
Electrical – CA-R8-E04-123021	Region 8
Low Voltage Systems – CA-R8-LVS01-123021	Region 8
Low Voltage Systems – CA-R8-LVS02-123021	Region 8

Low Voltage Systems – CA-R8-LVS03-123021	Region 8
Low Voltage Systems – CA-R8-LVS04-123021	Region 8
Paving – CA-R8-PAV01-123021	Region 8
Paving – CA-R8-PAV02-123021	Region 8
Paving – CA-R8-PAV03-123021	Region 8
Paving – CA-R8-PAV04-123021	Region 8
Flooring – CA-R8-F01-123021	Region 8
Flooring – CA-R8-F02-123021	Region 8
Flooring – CA-R8-F03-123021	Region 8
Flooring – CA-R8-F04-123021	Region 8
HVAC/Mechanical – CA-R8-HVAC01-123021	Region 8
HVAC/Mechanical – CA-R8-HVAC02-123021	Region 8
HVAC/Mechanical – CA-R8-HVAC03-123021	Region 8
HVAC/Mechanical – CA-R8-HVAC04-123021	Region 8
Asbestos Abatement – CA-R8-AA01-123021	Region 8
Asbestos Abatement – CA-R8-AA02-123021	Region 8
Asbestos Abatement – CA-R8-AA03-123021	Region 8
Asbestos Abatement – CA-R8-AA04-123021	Region 8
Painting – CA-R8-P01-123021	Region 8
Painting – CA-R8-P02-123021	Region 8
Painting – CA-R8-P03-123021	Region 8
Painting – CA-R8-P04-123021	Region 8
Plumbing – CA-R8-PLUM01-123021	Region 8
Plumbing – CA-R8-PLUM02-123021	Region 8
Plumbing – CA-R8-PLUM03-123021	Region 8
Plumbing – CA-R8-PLUM04-123021	Region 8
Roofing/Waterproofing – CA-R8-RW01-123021	Region 8
Roofing/Waterproofing – CA-R8-RW02-123021	Region 8

Roofing/Waterproofing – CA-R8-RW03-123021	Region 8
Roofing/Waterproofing – CA-R8-RW04-123021	Region 8
Sanitation System – CA-R8-SS01-123021	Region 8
Sanitation System – CA-R8-SS02-123021	Region 8
Sanitation System – CA-R8-SS03-123021	Region 8
Sanitation System – CA-R8-SS04-123021	Region 8
Prefabricated Equipment – CA-R8-PFE01-123021	Region 8
Prefabricated Equipment – CA-R8-PFE02-123021	Region 8
Prefabricated Equipment – CA-R8-PFE03-123021	Region 8
Prefabricated Equipment – CA-R8-PFE04-123021	Region 8
Athletic Surfacing – CA-R8-AS01-123021	Region 8
Athletic Surfacing – CA-R8-AS02-123021	Region 8
Geotechnical Stabilization – CA-R8-GS01-123021	Region 8
Geotechnical Stabilization – CA-R8-GS02-123021	Region 8
General Building – CA-R9-GB01-123021	Region 9
General Building – CA-R9-GB02-123021	Region 9
General Building – CA-R9-GB03-123021	Region 9
General Building – CA-R9-GB04-123021	Region 9
General Building – CA-R9-GB05-123021	Region 9
General Building – CA-R9-GB06-123021	Region 9
General Building – CA-R9-GB07-123021	Region 9
General Building – CA-R9-GB08-123021	Region 9
Electrical – CA-R9-E01-123021	Region 9
Electrical – CA-R9-E02-123021	Region 9
Paving – CA-R9-PAV01-123021	Region 9
Paving – CA-R9-PAV02-123021	Region 9
HVAC/Mechanical – CA-R9-HVAC01-123021	Region 9
HVAC/Mechanical – CA-R9-HVAC02-123021	Region 9

HVAC/Mechanical – CA-R9-HVAC03-123021	Region 9
HVAC/Mechanical – CA-R9-HVAC04-123021	Region 9
Landscaping – CA-R9-L01-123021	Region 9
Landscaping – CA-R9-L02-123021	Region 9
Plumbing – CA-R9-PLUM01-123021	Region 9
Plumbing – CA-R9-PLUM02-123021	Region 9
Plumbing – CA-R9-PLUM03-123021	Region 9
Plumbing – CA-R9-PLUM04-123021	Region 9
Roofing/Waterproofing – CA-R9-RW01-123021	Region 9
Roofing/Waterproofing – CA-R9-RW02-123021	Region 9
Roofing/Waterproofing – CA-R9-RW03-123021	Region 9
Roofing/Waterproofing – CA-R9-RW04-123021	Region 9
Geotechnical Stabilization – CA-R9-GS01-123021	Region 9
Geotechnical Stabilization – CA-R9-GS02-123021	Region 9
General Building – CA-R10-GB01-123021	Region 10
General Building – CA-R10-GB02-123021	Region 10
Electrical – CA-R10-E01-123021	Region 10
Electrical – CA-R10-E02-123021	Region 10
Paving – CA-R10-PAV01-123021	Region 10
Paving – CA-R10-PAV02-123021	Region 10
HVAC/Mechanical – CA-R10-HVAC01-123021	Region 10
HVAC/Mechanical – CA-R10-HVAC02-123021	Region 10

MAP OF SOURCEWELL CONTRACT REGIONS Solicitation IFB #CA-123021



Created with mapcreator.net

Region 1

Del Norte	Humboldt	Trinity
Mendocino	Glenn	Lake
Colusa		

Region 2

Siskiyou	Modoc	Shasta
Lassen	Tehama	Plumas
Butte	Sierra	

Region 3

Sutter	Yuba	Nevada
Placer	El Dorado	Sacramento
Amador	Alpine	

Region 4

Sonoma	Napa	Yolo
Marin	Solano	Contra Costa

Region 5

San Joaquin	Stanislaus	Merced
Madera	Fresno	Kings
Tulare		

Region 6

Alameda	San Francisco	San Mateo
Santa Clara	Santa Cruz	San Benito
Monterey		

Region 7

San Luis Obispo	Kern	Santa Barbara
Ventura		

Region 8

Los Angeles	San Bernardino	Orange
Riverside		

Region 9

San Diego	Imperial	

Region 10

Calavera	Tuolumne	Mariposa
Mono	Inyo	



Indefinite Delivery-Indefinite Quantity Construction Contract

Contract Number: CA-R3-GB01-123021-TSW

This Indefinite Delivery-Indefinite Quantity Construction Contract (Contract) is between **Sourcewell**, 202 12th Street Northeast, P.O. Box 219, Staples, MN 56479 and **T&S Intermodal Maintenance, Inc. DBA T&S West**, PO BOX 1592, Linden, CA 95236 (Contractor).

Sourcewell is a State of Minnesota local government agency and service cooperative created under the laws of the State of Minnesota (Minnesota Statutes Section 123A.21) that offers cooperative procurement solutions to government entities. Participation is open to federal, state and municipal governmental entities, K-12 and higher education entities, nonprofit entities, tribal governments, and other public entities located within the United States.

The Contractor desires to contract with Sourcewell to provide construction services to entities that access Sourcewell's indefinite delivery-indefinite quantity (IDIQ) construction contracts within the Region.

I. TERM OF CONTRACT

A. EFFECTIVE DATE. This Contract, including the General Terms and Conditions incorporated by reference, is effective upon the later of February 1, 2022 or the date of the final signature below.

B. EXPIRATION DATE AND EXTENSION. This Contract expires **January 31, 2023**, unless it is terminated sooner pursuant to Article XX of the General Terms and Conditions, which are incorporated into this Contract by reference. This Contract may be extended up to three additional one-year periods upon request of Sourcewell and with written agreement by the Contractor, not to exceed a total of four years.

II. REGION

The Contractor's Region is as follows: Region 3.

III. ADJUSTMENT FACTORS

The Contractor will perform any or all Tasks in the Construction Task Catalog for the Unit Price appearing therein multiplied by the following Adjustment Factors. See the General Terms and Conditions for additional information.

A. **Normal Working Hours - Prevailing Wage Rate Projects**: Work performed from 7:00 a.m. until 4:00 p.m. Monday to Friday, except Holidays. The Contractor will perform Tasks during Normal Working Hours for the Unit Price set forth in the CTC multiplied by the Adjustment Factor of: 1.2600.

B. **Other Than Normal Working Hours - Prevailing Wage Rate Projects**: Work performed from 4:00 p.m. to 7:00 a.m. Monday to Friday, and any time Saturday, Sunday and Holidays. The Contractor will

perform Tasks during Other Than Normal Working Hours for the Unit Price set forth in the CTC multiplied by the Adjustment Factor of: 1.2900.

C. **Secured/Medical Facilities - Prevailing Wage Rate Projects:** Work performed from 7:00 a.m. until 4:00 p.m. Monday to Friday, except Holidays. The Contractor will perform Tasks during Normal Working Hours for the Unit Price set forth in the CTC multiplied by the Adjustment Factor of: 1.3100.

D. **All-Union Wage Projects:** Work performed from 7:00 a.m. until 4:00 p.m. Monday to Friday, except Holidays. The Contractor will perform Tasks during Normal Working Hours for the Unit Price set forth in the CTC multiplied by the Adjustment Factor of: 1.2600.

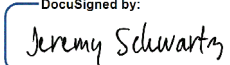
E. **Non pre-priced Adjustment Factor:** To be applied to Work determined not to be included in the CTC but within the general scope of the work: 1.2600.

VI. AUTHORIZED REPRESENTATIVE

A. Sourcewell's Authorized Representative is its Chief Procurement Officer.

B. The Contractor's Authorized Representative is Sammy Cox. If the Contractor's Authorized Representative changes at any time during this Contract, Contractor must promptly notify Sourcewell in writing.

Sourcewell

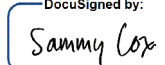
DocuSigned by:

By: C0FD2A139D06489...

Jeremy Schwartz, CSSBB, CPPO

Title: Chief Procurement Officer

Date: 2/1/2022 | 10:29 PM CST

T&S Intermodal Maintenance, Inc. DBA T&S West

DocuSigned by:

By: FE1BC3FDC4754A2...

Sammy Cox

Title: President

Date: 2/1/2022 | 10:01 AM CST

**AGREEMENT TO
MODIFY AND EXTEND
SOURCEWELL CONTRACT #CA-R3-GB01-123021-TSW**

THIS AGREEMENT TO MODIFY AND EXTEND, Sourcewell Contract #CA-R3-GB01-123021-TSW, is effective upon the date of the last signature below.

Sourcewell and T&S Intermodal Maintenance, Inc. DBA T&S West (“Contractor”) have entered into an Indefinite Quantity Construction Contract, Contract Number **CA-R3-GB01-123021-TSW**, with an initial term ending January 31, 2023, and three bilateral options to extend for an additional one-year term (“Contract”). The Contract has previously been extended by the parties for the term ending January 31, 2025. The parties agree that the Contractor’s Adjustment Factors will be modified, and that Sourcewell’s offer of a one-year extension term will be accepted by Contractor.

MODIFICATION: OPTION PERIOD

Pursuant to the Contract, the following are the Adjustment Factors for the term ending January 31, 2026:

Base Year Index			Third Year Index		
Date		Index	Date		Index
1	December 2020	11625.95	1	December 2023	13514.76
2	January 2021	11627.94	2	January 2024	13515.02
3	February 2021	11698.79	3	February 2024	13518.12
4	March 2021	11749.75	4	March 2024	13532.01
5	April 2021	11849.32	5	April 2024	13532.08
6	May 2021	11989.91	6	May 2024	13532.44
7	June 2021	12112.05	7	June 2024	13546.80
8	July 2021	12237.69	8	July 2024	13556.09
9	August 2021	12463.13	9	August 2024	13593.65
10	September 2021	12464.55	10	September 2024	13632.23
11	October 2021	12464.94	11	October 2024	13632.34
12	November 2021	12467.32	12	November 2024	13632.39
Base Year Average 12062.6116			Third Year Average 13561.4941		

Adjustment:
$$\frac{\text{Third Year Index Average}}{\text{Base Year Index Average}} = \frac{13561.4941}{12062.6116} = 1.1243$$

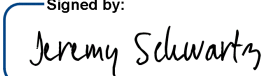
CA-R3-GB01-123021-TSW	Original Adjustment Factor	x	Adjustment	=	Adjustment Factor 02/01/25 through 01/31/26
Normal Working Hours – Prevailing Wage	1.2600		1.1243		1.4166
Other Than Normal Working Hours – Prevailing Wage	1.2900		1.1243		1.4503
Secured/Medical Facilities – Prevailing Wage Rate	1.3100		1.1243		1.4728
All-Union Wage	1.2600		1.1243		1.4166
Non Pre-Priced	1.2600		1.0000		1.2600

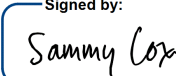
EXERCISE OF OPTION: EXTENSION

Contractor and Sourcewell hereby desire and agree to extend the Contract, with the above modification, for the period February 1, 2025 through January 31, 2026.

Sourcewell

T&S Intermodal Maintenance, Inc. DBA T&S West

Signed by:

By: C0FD2A139D06489...
Jeremy Schwartz
Title: Chief Procurement Officer
Date: 1/9/2025 | 5:36 AM CST

Signed by:

By: FE1BC3FDC4754A2...
Sammy Cox
Title: President
Date: 1/8/2025 | 6:16 PM CST