



APPLICATION TO THE PLANNING COMMISSION

Type of application:

- Design Review Variance Parcel #: _____
- Conditional Use Permit Special Permit Other: _____

PROJECT ADDRESS: 1812 DAVIS DRIVE

APPLICANT project contact person
OK to send electronic copies of documents

Name: JO ANN GANN

Address: 244 FULTON ST

City/State/Zip: REDWOOD CIT, CA

Phone: 650.464.9182 94062

Fax: _____

E-mail: Jmadeira18@aol.com

PROPERTY OWNER project contact person
OK to send electronic copies of documents

Name: CANDY NAGARE

Address: 1812 DAVIS DRIVE

City/State/Zip: BURLINGAME, CA

Phone: 650.689.5464

Fax: _____

E-mail: _____

ARCHITECT/DESIGNER project contact person
OK to send electronic copies of documents

Name: JO ANN GANN

Address: 244 FULTON ST

City/State/Zip: REDWOOD CITY, CA. 94062

Phone: 650.464.9182

Fax: _____

E-mail: Jmadeira18@aol.com

★ Burlingame Business License #: 29884

PROJECT DESCRIPTION: NEW SECOND FLOOR 366.6 SQ FT FOR ONE BEDROOM & ONE BATH

RECEIVED

FEB 17 2015

CITY OF BURLINGAME
CDD-PLANNING DIV.

AFFADAVIT/SIGNATURE: I hereby certify under penalty of perjury that the information given herein is true and correct to the best of my knowledge and belief.

Applicant's signature: [Signature] Date: 2.10.15

I am aware of the proposed application and hereby authorize the above applicant to submit this application to the Planning Commission.

Property owner's signature: [Signature] Date: 2.10.15

Date submitted: _____

★ Verification that the project architect/designer has a valid Burlingame business license will be required by the Finance Department at the time application fees are paid.

Project Comments

Date: February 23, 2015

To:

<input type="radio"/> Engineering Division (650) 558-7230	<input type="radio"/> Fire Division (650) 558-7600
<input type="radio"/> Building Division (650) 558-7260	<input checked="" type="radio"/> Stormwater Division (650) 342-3727
<input type="radio"/> Parks Division (650) 558-7334	<input type="radio"/> City Attorney (650) 558-7204

From: Planning Staff

Subject: Request for Design Review for a second story addition to an existing single family dwelling at **1812 Davis Drive, zoned R-1, APN: 025-201-030**

Staff Review: February 23, 2015

Any construction project in the City, regardless of size, shall comply with the city's stormwater NPDES permit to prevent construction activity stormwater pollution. Project proponents shall ensure that all contractors implement appropriate and effective Best Management Practices (BMPs) during all phases of construction, including demolition. When submitting plans for a building permit, please include a list of construction BMPs as project notes, preferably, on a separate full size (2'x 3' or larger), plan sheet. A downloadable electronic file is available at: <http://www.flowstobay.org/Construction>

Please contact Kiley Kinnon, NPDES Stormwater Coordinator, for assistance at (650) 342-3727.

Reviewed by: KJK

Date: 02/25/15

Project Comments

Date: February 23, 2015

To:

<input checked="" type="checkbox"/> Engineering Division (650) 558-7230	<input type="checkbox"/> Fire Division (650) 558-7600
<input type="checkbox"/> Building Division (650) 558-7260	<input type="checkbox"/> Stormwater Division (650) 342-3727
<input type="checkbox"/> Parks Division (650) 558-7334	<input type="checkbox"/> City Attorney (650) 558-7204

From: Planning Staff

Subject: Request for Design Review for a second story addition to an existing single family dwelling at **1812 Davis Drive, zoned R-1, APN: 025-201-030**

Staff Review: February 23, 2015

No comments at this time.

Reviewed by: M. Quan

Date: 2/23/15

Project Comments

Date: April 14, 2015

To:

<input type="radio"/> Engineering Division (650) 558-7230	<input type="radio"/> Fire Division (650) 558-7600
<input checked="" type="radio"/> Building Division (650) 558-7260	<input type="radio"/> Stormwater Division (650) 342-3727
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From: Planning Staff

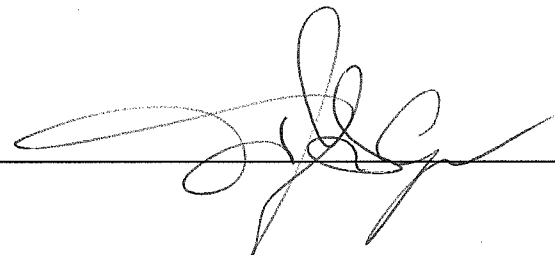
Subject: Request for Design Review for a second story addition to an existing single family dwelling at **1812 Davis Drive, zoned R-1, APN: 025-201-030**

Staff Review: Revised Plans dated April 7, 2015

No further comments.

All conditions of approval as stated in the review dated 2-26-2015 will apply to this project.

Reviewed by: _____



Date: 4-14-2015

Project Comments

Date: February 23, 2015

To:

<input type="radio"/> Engineering Division (650) 558-7230	<input type="radio"/> Fire Division (650) 558-7600
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From: Planning Staff

Subject: Request for Design Review for a second story addition to an existing single family dwelling at **1812 Davis Drive, zoned R-1, APN: 025-201-030**

Staff Review: February 23, 2015

- 1) On the plans specify that this project will comply with the 2013 California Building Code, 2013 California Residential Code (where applicable), 2013 California Mechanical Code, 2013 California Electrical Code, and 2013 California Plumbing Code, including all amendments as adopted in Ordinance 1889. Note: If the Planning Commission has not approved the project prior to 5:00 p.m. on December 31, 2013 then this project must comply with the 2013 California Building Codes.
- 2) As of January 1, 2014, SB 407 (2009) requires non-compliant plumbing fixtures to be replaced by water-conserving plumbing fixtures when a property is undergoing alterations or improvements. This law applies to all residential and commercial property built prior to January 1, 1994. Details can be found at http://www.leginfo.ca.gov/pub/09-10/bill/sen/sb_0401-0450/sb_407_bill_20091011_chaptered.html. **Revise the plans to show compliance with this requirement.**
- 3) Specify on the plans that this project will comply with the 2013 California Energy Efficiency Standards.
Go to <http://www.energy.ca.gov/title24/2013standards/> for publications and details.
- 4) Provide two completed copies of the attached *Mandatory Measures* with the submittal of your plans for Building Code compliance plan check. In addition, replicate this completed document on the plans. Note: On the Checklist you must provide a reference that indicates the page of the plans on which each Measure can be found.
- 5) Place the following information on the first page of the plans:

"Construction Hours"

Weekdays: 7:00 a.m. – 7:00 p.m.

Saturdays: 9:00 a.m. – 6:00 p.m.

Sundays and Holidays: 10:00 a.m. – 6:00 p.m.

(See City of Burlingame Municipal Code, Section 13.04.100 for details.)

Construction hours in the City Public right-of-way are limited to weekdays and non-City Holidays between 8:00 a.m. and 5:00 p.m.

Note: Construction hours for work in the public right of way must now be included on the plans.

- 6) On the first page of the plans specify the following: "Any hidden conditions that require work to be performed beyond the scope of the building permit issued for these plans may require further City approvals including review by the Planning Commission." The building owner, project designer, and/or contractor must submit a Revision to the City for any work not graphically illustrated on the Job Copy of the plans prior to performing the work.
- 7) Anyone who is doing business in the City must have a current City of Burlingame business license.
- 8) Provide a fully dimensioned site plan which shows the true property boundaries, the location of all structures on the property, existing driveways, and on-site parking.
- 9) Provide existing and proposed elevations.
- 10) Provide a complete demolition plan that includes a legend and indicates existing walls and features to remain, existing walls and features to be demolished, and new walls and features.

NOTE: A condition of this project approval is that the Demolition Permit will not be issued and, and no work can begin (including the removal of any building components), until a Building Permit has been issued for the project. The property owner is responsible for assuring that no work is authorized or performed.

- 11) Show the distances from all exterior walls to property lines or to assumed property lines
- 12) Show the dimensions to adjacent structures.
- 13) Rooms that could be used for sleeping purposes must have at least one window or door that complies with the egress requirements. ***Specify the location and the net clear opening height and width of all required egress windows on the elevation drawings.*** 2013 California Residential Code (CRC) §R310.
- 14) The garage cannot have any direct openings into a room used for sleeping purposes. Please amend the drawings to show code compliance. 2013 CBC §406.3.4
- 15) Indicate on the plans that a Grading Permit, if required, will be obtained from the Department of Public Works.
- 16) Provide guardrails at all landings. NOTE: All landings more than 30" in height at any point are considered in calculating the allowable lot coverage. Consult the Planning Department for details if your project entails landings more than 30" in height.
- 17) Provide handrails at all stairs where there are four or more risers. 2013 CBC §1009.
- 18) Provide lighting at all exterior landings.

NOTE: A written response to the items noted here and plans that specifically address items 13 and 14 must be re-submitted before this project can move forward for Planning Commission action. The written response must include clear direction regarding where the requested information can be found on the plans.

Reviewed by:

Joe Cyr, CBO

650-558-7270

Date: 2-26-2015

Project Comments

Date: April 14, 2015

To:

<input type="radio"/> Engineering Division (650) 558-7230	<input type="radio"/> Fire Division (650) 558-7600
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<input checked="" type="radio"/> Parks Division (650) 558-7334	<input type="radio"/> City Attorney (650) 558-7204

From: Planning Staff

Subject: Request for Design Review for a second story addition to an existing single family dwelling at **1812 Davis Drive, zoned R-1, APN: 025-201-030**

Staff Review: Revised Plans dated April 7, 2015

1. Landscape to remain the same.
2. Two new 24"box size Crape Myrtles added to existing landscape to fulfill requirement.
3. No further comments.

Reviewed by: BD

Date: 4/22/15

Project Comments

Date: February 23, 2015

To: Engineering Division
(650) 558-7230

Building Division
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Parks Division
(650) 558-7334

Fire Division
(650) 558-7600

Stormwater Division
(650) 342-3727

City Attorney
(650) 558-7204

From: Planning Staff

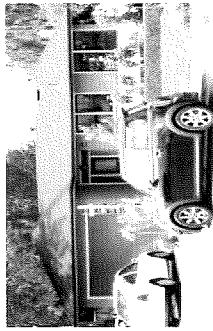
Subject: Request for Design Review for a second story addition to an existing single family dwelling at 1812 Davis Drive, zoned R-1, APN: 025-201-030

Staff Review: February 23, 2015

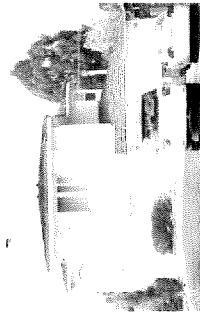
1. Please indicate on plans if landscape will remain or be rehabilitated.
2. Completed landscape must include 3 landscape trees (non-fruit bearing) for final inspection.
3. Identify species of existing trees on property.

Reviewed by: BD

Date: 3/2/15



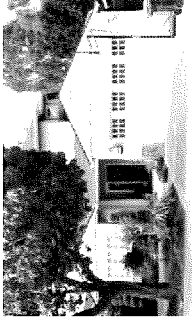
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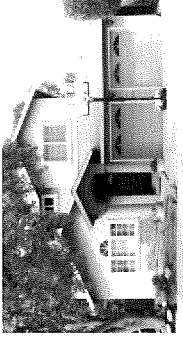
1816



1812



1808



1804



1901



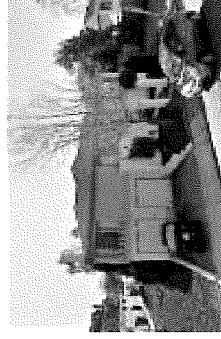
1811



1801



1711



1707

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FEB 17 2011

Project : 1812 DAVIS DRIVE, BURLINGAME



CITY OF BURLINGAME
COMMUNITY DEVELOPMENT DEPARTMENT
501 PRIMROSE ROAD
BURLINGAME, CA 94010
PH: (650) 558-7250 • FAX: (650) 696-3790
www.burlingame.org



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APR 17 2015
Mailed From 94010
US POSTAGE

Site: 1812 DAVIS DRIVE

The City of Burlingame Planning Commission announces the following public hearing on **MONDAY, APRIL 27, 2015 at 7:00 P.M.** in the City Hall Council Chambers, 501 Primrose Road, Burlingame, CA:

Application for Design Review for first and second story additions to an existing single family dwelling at **1812 DAVIS DRIVE** zoned R-1. APN 025-201-030

Mailed: April 17, 2015

**PUBLIC HEARING
NOTICE**

(Please refer to other side)

City of Burlingame

A copy of the application and plans for this project may be reviewed prior to the meeting at the Community Development Department at 501 Primrose Road, Burlingame, California.

If you challenge the subject application(s) in court, you may be limited to raising only those issues you or someone else raised at the public hearing, described in the notice or in written correspondence delivered to the city at or prior to the public hearing.

Property owners who receive this notice are responsible for informing their tenants about this notice.

For additional information, please call (650) 558-7250. Thank you.

William Meeker
Community Development Director

PUBLIC HEARING NOTICE

(Please refer to other side)

Peninsula
Hospital

R-1

DAVIS DR

LASSEN WAY

MARCO POLO WAY

MCDONALD WAY

1812 Davis Drive



Source: Esri, DigitalGlobe, GeoEye, Ikonos, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroX, Geomapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community