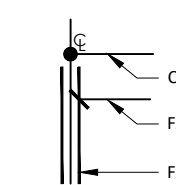
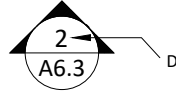
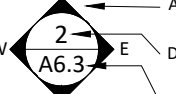
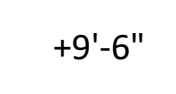
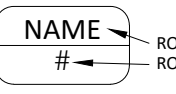

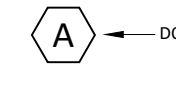
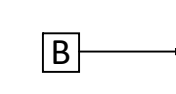

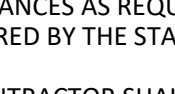
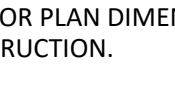
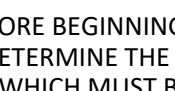
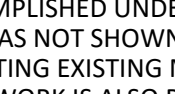
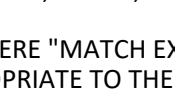


& < > @ / # AB ABV A/C AD ADJ AFF AIA ALT ALUM APPROX ARCH ASPH AWG BD BETW BLDG BLKG BM BOF BOT BUR C CAB CAR CB CC CEC CI CLO CLG CMU C.O. COAX COL COMM CONC CONN CONST CONT CONTR CPR CU DBL DF DET DIA DIM DISP DIST DIV DN DR DSP DW DWG DWR EA EB EF EJ ELECT ELEV EN ENGR EQ ES EW (E) EXIST EXP EXT FB FD FDN FIN FJ FL, FLR FOC FOF FOS FP FR FS FT FTG FUR FURR FUT G GA GALV GB GEN GFI GI GL GR GSM GYP HB HC HDG HDR HORIZ HT HTR HW HWH ID	AND ANGLE, LESS THAN AT PER POUND OR NUMBER ANCHOR BOLT ABOVE AIR CONDITIONING AREA DRAIN ADJUSTABLE ABOVE FINISHED FLOOR AMERICAN INSTITUTE OF ARCHITECTS ALTERNATE ALUMINUM APPROXIMATELY ARCHITECTURAL ASPHALT AMERICAN WIRE GAGE BOARD BETWEEN BUILDING BLOCKING BEAM BOTTOM OF FOOTING BOTTOM BUILT-UP ROOF CENTERLINE CABINET COLD AIR RETURN CATCH BASIN CEMENT COATED CALIFORNIA ENERGY COMMISSION CAST IRON CEILING JOIST CLOSET CEILING CONCRETE MASONRY UNIT C.O. COAXIAL CABLE COLUMN COMMUNICATION CONCRETE CONNECTION CONSTRUCTION CONTINUOUS CONTRACTOR COMPUTER CUBIC DOUBLE DOUGLAS FIR DETAIL DIAMETER DIMENSION DISPOSAL DISTRIBUTION DIVIDED OR DIVISION DOWN DOOR DOWNSPOUT DISHWASHER DRAWING DRAWER EACH EXPANSION BOLT EACH FACE EXPANSION JOINT ELECTRIC ELEVATION EDGE NAIL ENGINEER EQUAL EACH SIDE EACH WAY EXISTING EXPANSION EXTERIOR FLAT BAR FLOOR DRAIN FOUNDATION FINISH FLOOR JOIST FLOOR FACE OF CONCRETE FACE OF FINISH FACE OF STUD FIREPLACE OR FULL PENETRATION FLOOR REGISTER FAR SIDE FOOT OR FEET FOOTING FURRING FUTURE GAS GAUGE GALVANIZED GRADE BEAM GENERAL GROUND FAULT INTERRUPTOR GALVANIZED IRON GLAZING OR GLASS GRADE GALVANIZED SHEET METAL GYPSUM HOSE BIBB HOLLOW CORE HOT DIP GALVANIZED HEADER HORIZONTAL HEIGHT HEATER HOT WATER HOT WATER HEATER INSIDE DIAMETER	IF IN INCL INSUL INT JST JOINT JOINT KILN-DRIED LAVATORY LB LH LP LT MAX MB MED MEMB MEZZ MFR MIN MISC MO MSRY MTD MTL (N) NIC NOM NTS O O/ OA OC OCEW OD OF OFI OH OPP HAND OPNG OVHD PL PLAM PLF PLY PAIR PRCST PSF PSI PT RD REINF REQ RESIL REV RH RJ RM RO RS RWD RWL SAD SC SCHED SD SECT SED SH SHT SIM SLD SMD SPD SPEC SPKR SQ SS SSD STAGG'D STD STL STRUL SUSP SYM T & B TC T & G TEMP THK TOB TOC TOF TOP TOS TOW TYP UON VERT VGDF VIF W/ WC WD WDW WP WP'ING WR	INSIDE FACE INCH INCLUDE INSULATION INTERIOR JOIST JOINT KILN-DRIED LAVATORY POUND LEFT HAND LOW POINT LIGHT MAXIMUM MACHINE BOLT MEDIUM MEMBRANE MEZZANINE MANUFACTURER MINIMUM MISCELLANEOUS MASONRY OPENING MASONRY MOUNTED METAL NEW NOT IN CONTRACT NOMINAL NOT TO SCALE DIAMETER OVER OVERALL ON CENTER ON CENTER EACH WAY OUTSIDE DIAMETER OUTSIDE FACE OWNER FURNISH, CONTRACTOR INSTALL OVERHANG OPPOSITE HAND OPENING OVERHEAD PLATE PLASTIC LAMINATE POUNDS PER LINEAL FOOT PLYWOOD PRECAST POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PRESSURE TREATED WITH PRESERVATIVE ROOF DRAIN REINFORCEMENT REQUIRED RESILIENT REVISION OR REVISED RIGHT HAND ROOF JOIST ROOM ROUGH OPENING OR ROLL OUT RING SHANK REDWOOD RAIN WATER LEADER SEE ARCHITECTURAL DRAWINGS SOLID CORE SCHEDULE SMOKE DETECTOR SECTION SEE ELECTRICAL DRAWINGS SHELF SHEET SIMILAR SEE LANDSCAPE DRAWINGS SHEET METAL SEE MECHANICAL DRAWINGS SEE PLUMBING DRAWINGS SPECIFICATION SPEAKER SQUARE STAINLESS STEEL OR SANITARY SEWER SEE STRUCTURAL DRAWINGS STAGGERED STANDARD STEEL STRUCTURAL SUSPEND (ED) SYMMETRICAL TOP & BOTTOM TOP OF CURB TONGUE & GROOVE TEMPERED THICK TOP OF BEAM TOP OF CONCRETE TOP OF FOOTING TOP OF PLATE TOP OF STEEL TOILET PAPER HOLDER TOP OF WALL TYPICAL UNLESS OTHERWISE NOTED VERTICAL VERT. GRAIN DOUG. FIR (10 RING/IN. MIN.) VERIFY IN FIELD WITH WATER CLOSET WOOD WINDOW WATERPROOF WATERPROOFING WALL REGISTER
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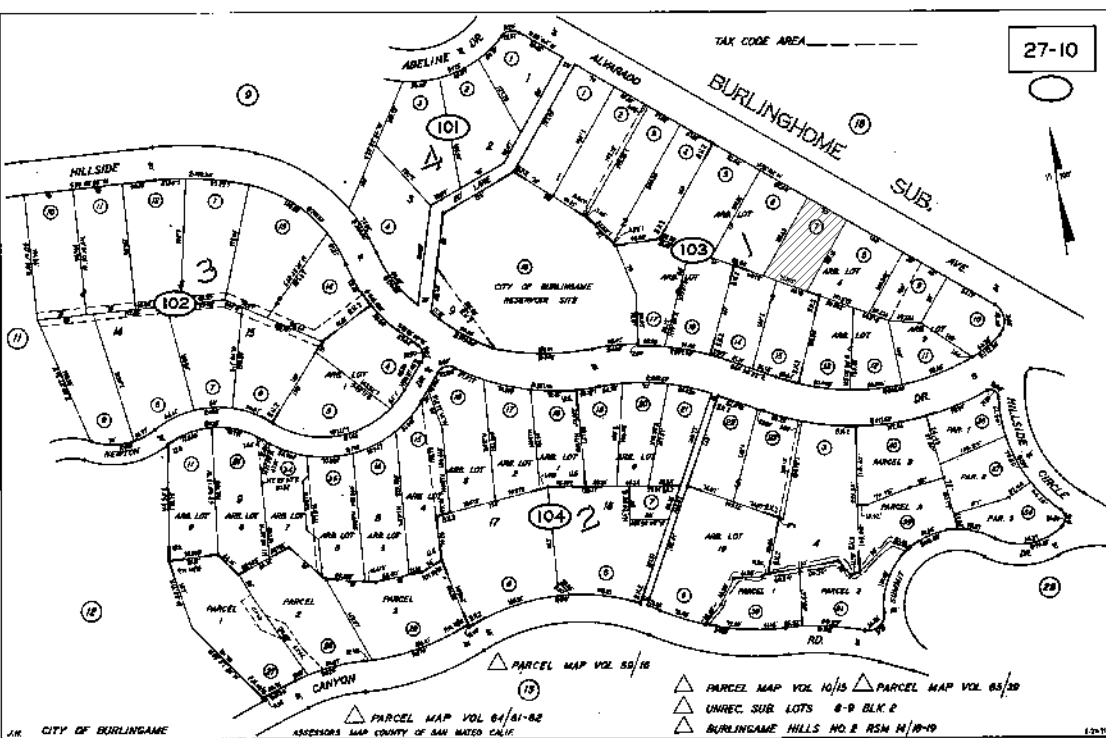
<b>2 ABBREVIATIONS</b>
1. CONSTRUCTION HOURS: <div>WEEKDAYS: 8:00 A.M. - 7:00 P.M. SATURDAYS: 9:00 A.M. - 6:00 P.M. SUNDAYS AND HOLIDAYS: NO WORK ALLOWED (SEE CITY OF BURLINGAME MUNICIPAL CODE, SECTION 18.07.110 FOR DETAILS) CONSTRUCTION HOURS IN THE PUBLIC RIGHT-OF-WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00 AM AND 5:00 PM.</div>
2. GRADING PERMIT: IF REQUIRED, CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS.
3. DUE TO THE EXTENSIVE NATURE OF THIS CONSTRUCTION PROJECT, THE CERTIFICATE OF OCCUPANCY WILL BE RESCINDED ONCE CONSTRUCTION BEGINS. A NEW CERTIFICATE OF OCCUPANCY WILL BE ISSUED AFTER THE PROJECT HAS BEEN FINALED. NO OCCUPANCY OF THE BUILDING IS TO OCCUR UNTIL A NEW CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED.
4. A SUPPLEMENTAL DEMOLITION PERMIT APPLICATION WILL BE PROVIDED UPON SUBMITTAL OF PLANS TO THE BUILDING DIVISION FOR PLAN REVIEW.
<b>1 CITY OF BURLINGAME NOTES</b>

<b>GENERAL</b>	<b>DIMENSIONING</b>
	
	<b>BUILDING SECTION IDENTIFICATION</b>
	<b>EXTERIOR ELEVATION IDENTIFICATION</b>
	<b>DETAIL IDENTIFICATION</b>
	<b>INTERIOR ELEVATION IDENTIFICATION</b>
	<b>DATUM POINT</b>
	<b>CEILING HEIGHT</b>
	<b>SHEET NOTE</b>
	<b>ROOM IDENTIFICATION</b> (SEE INTERIOR FINISH SCHEDULE FOR ALL FINISHES.)
	<b>DRAWING REVISION</b> (MOST RECENT IS CLOUDED; PRIOR REVISIONS ARE PERMANENT)
<b>SCHEDULES</b>	
	<b>DOOR IDENTIFICATION</b> (SEE DOOR/WINDOW SCHEDULE.)
	<b>WINDOW TYPE</b> (SEE DOOR/WINDOW SCHEDULE)
	<b>WALL/PARTITION TYPE</b> (SEE WALL SCHEDULE)
	<b>APPLIANCE</b> (SEE APPLIANCE SCHEDULE)

<b>4 DRAWING SYMBOLS</b>
1. ALL WORK SHALL CONFORM TO APPLICABLE CODES, REGULATIONS, LAWS AND ORDINANCES AS REQUIRED BY CODES AND REGULATIONS LISTED HEREIN AND AS REQUIRED BY THE STATE OF CALIFORNIA AND ALL RELEVANT REGULATORY BODIES.
2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AND NOTIFY THE ARCHITECT PROMPTLY OF ANY DISCREPANCIES AND OBTAIN CLARIFICATION BEFORE PROCEEDING WITH THE AFFECTED WORK. FOLLOW NUMERICAL DIMENSIONS: DO NOT SCALE.
3. FLOOR PLAN DIMENSIONS SHOWN ARE FACE OF FINISH AT NEW CONSTRUCTION.
4. BEFORE BEGINNING WORK AT THE SITE, WHERE POSSIBLE AND THROUGHOUT THE COURSE OF WORK, INSPECT AND VERIFY THE LOCATION AND CONDITION OF EVERY ITEM AFFECTED BY THE WORK UNDER THIS CONTRACT AND REPORT DISCREPANCIES TO THE ARCHITECT BEFORE DOING THE WORK RELATED TO THAT BEING INSPECTED.
5. BEFORE BEGINNING WORK AT THE SITE, INSPECT THE EXISTING SITE CONDITIONS AND DETERMINE THE EXTENT OF THE EXISTING FINISHES, SPECIALTIES, AND OTHER ITEMS WHICH MUST BE REMOVED AND INSTALLED IN ORDER TO PERFORM THE WORK UNDER THIS CONTRACT. COORDINATE AND MAKE THIS INSPECTION WITH THE OWNER.
6. THE ARCHITECTURAL DRAWINGS SHOW PRINCIPLE AREAS WHERE WORK MUST BE ACCOMPLISHED UNDER THIS CONTRACT. INCIDENTAL WORK MAY ALSO BE NECESSARY IN AREAS NOT SHOWN ON THE ARCHITECTURAL DRAWINGS DUE TO CHANGES AFFECTING EXISTING MECHANICAL, ELECTRICAL, PLUMBING, AND OTHER SYSTEMS. SUCH WORK IS ALSO PART OF THIS CONTRACT.
7. DO NOT DRILL OR CUT JOISTS, BEAMS, COLUMNS OR OTHER STRUCTURAL ELEMENTS UNLESS SPECIFICALLY INDICATED. MAKE OPENINGS OF PROPER SIZE FOR CONDUITS, DUCTS, PIPES, AND OTHER ITEMS PASSING THROUGH OPENINGS.
8. WHERE "MATCH EXISTING" IS INDICATED, NEW CONSTRUCTION OR FINISHES, AS APPROPRIATE TO THE NOTE, SHALL MATCH TO THE SATISFACTION OF THE ARCHITECT.

<b>3 GENERAL NOTES</b>
------------------------

ALL CONSTRUCTION SHALL COMPLY WITH ALL LOCAL CODES AND ORDINANCES AND THE CODES LISTED BELOW:  2019 CALIFORNIA CODES  1. 2019 CALIFORNIA RESIDENTIAL CODE 2. 2019 CALIFORNIA BUILDING CODE 3. 2019 CALIFORNIA ELECTRICAL CODE 4. 2019 CALIFORNIA PLUMBING CODE 5. 2019 CALIFORNIA ENERGY CODE 6. 2019 CALIFORNIA MECHANICAL CODE 7. 2019 CALIFORNIA GREEN BUILDING CODE
---

<b>7 APPLICABLE CODES</b>


6

ASSESSORS MAP

NOT TO SCALE

SCOPE OF WORK:

ALTERATIONS TO AN EXISTING SINGLE-FAMILY RESIDENCE, ADDITION OF A NEW 2-CAR ATTACHED GARAGE, EXTENSION TO THE BEDROOM WING, ADDITION OF A COVERED VERANDA, CONVERSION OF AN EXISTING DECK FACING THE PUBLIC RIGHT-OF-WAY INTO A CONDITIONED OFFICE, AND DEMOLITION OF AN EXISTING WOOD PERGOLA. WORK TO INCLUDE NEW LANDSCAPING, AND UPGRADED MECHANICAL, ELECTRICAL, AND PLUMBING

DEFERRED SUBMITTAL:

A FIRE SPRINKLER SYSTEM WILL BE INSTALLED THROUGHOUT THE BUILDING UNDER A SEPARATE PERMIT.

ADDRESS:

1441 ALVARADO AVE., BURLINGAME, CA 94010

ZONING DESIGNATION:

R1 + HILLSIDE OVERLAY DISTRICT

APN:

027-103-070

ACTUAL SITE AREA:

9,128 SQ. FT.

YEAR BUILT:

1929

COUNTY:

SAN MATEO COUNTY, INCORPORATED

AREA TAKE-OFFS

	EXISTING	PROPOSED	TOTAL
BASEMENT	(252 SF)	+88 SF	88 SF
COVERED GARAGE	0	+503 SF	503 SF
FIRST FLOOR	2,058 SF	+171 SF	2,229 SF
SECOND FLOOR	841 SF	+359	1,200 SF
PERGOLA	(168 SF)	0	-
TOTAL AREA	3,319 SF	1,121 SF	4,020 SF

LOT COVERAGE

LOT SIZE: 9,128 SQ. FT.  
MAX LOT COVERAGE ALLOWED: 40% OR 3,651.2 SQ. FT.  
EXISTING LOT COVERAGE: 2,226 SF / 9,128 SQ. FT. = 24.4%  
PROPOSED LOT COVERAGE: HOUSE STRUCTURE = 2,349 SF  
LANDSCAPE PLANTERS = 202.3 SF (REFER TO SHT. L.9)  
TOTAL = 2,551.3 / 9,128 SQ. FT. = 28%

FLOOR AREA RATIO

ALLOWABLE F.A.R. FOR INTERIOR LOTS W/ ATTACHED GARAGE: 32% + 1,100  
.32 x (9,128 SQ. FT.) + 1,100 = 4020.96

TOTAL PROPOSED FLOOR AREA: 4,020 SQ. FT.

SETBACKS

	REQUIRED	PROVIDED
FRONT SETBACK	35'-0"	42'-1"
SIDE SETBACK (WEST)	7'-0"	3'-8" (EXISTING CONDITION)
SIDE SETBACK (EAST)	7'-0"	15'-7"
REAR SETBACK TO 1ST FLOOR	15'-0"	21'-4"
REAR SETBACK TO 2ND FLOOR	20'-0"	22'-4"

BUILDING HEIGHT

MAXIMUM ALLOWABLE HEIGHT: 30' OR 2 1/2 STORIES WHICHEVER IS LESS, MEASURED FROM CURB

EXISTING BUILDING HEIGHT: 41'-4" FROM TOP OF AVG. CURB TO HIGHEST (E) RIDGE

PROPOSED BUILDING HEIGHT: 36'-0" FROM TOP OF AVG. CURB TO TOP OF NEW ROOF

AVERAGE SLOPE AT SITE: 15.4%

MISCELLANEOUS

CONSTRUCTION TYPE: V-B

NUMBER OF PARKING: 2 COVERED, 2 UNCOVERED

5

PROJECT DATA

<b>5 PROJECT DATA</b>
-----------------------



<div>9AERIAL PHOTO</div> <div>NOT TO SCALE</div>			
OWNER:	MIKAYLA & ROBERT CAMERON 1441 ALVARADO AVE BURLINGAME, CA 94010 EMAIL: mikaylancameron@gmail.com	ARCHITECTURAL:	A0.0 PROJECT INFORMATION A0.1 GREEN BUILDING MANDATORY MEASURES CHECKLIST A1.0 EXISTING & PROPOSED SITE PLAN A1.1 PROPOSED SITE SECTION & GARAGE PATTERN A2.0 EXISTING BASEMENT FLOOR PLAN A2.1 PROPOSED BASEMENT FLOOR PLAN A2.2 EXISTING FIRST FLOOR PLAN A2.3 PROPOSED FIRST FLOOR PLAN A2.4 EXISTING SECOND FLOOR PLAN A2.5 PROPOSED SECOND FLOOR PLAN A2.6 EXISTING ROOF PLAN A2.7 PROPOSED ROOF PLAN A3.0 EXISTING & PROPOSED EXTERIOR ELEVATION - SOUTH A3.1 EXISTING & PROPOSED EXTERIOR ELEVATION - WEST A3.2 EXISTING & PROPOSED EXTERIOR ELEVATION - NORTH A3.3 EXISTING & PROPOSED EXTERIOR ELEVATION - EAST A4.0 EXISTING & PROPOSED BUILDING SECTION
ARCHITECT:	JOSH LARSON LARSON SHORES ARCHITECTURE + INTERIORS 1940 UNION STREET #22 OAKLAND, CA 94607 TEL: 510.444.9788 EMAIL: josh@larsonshores.com	SURVEYOR:	1 OF 1 TOPOGRAPHIC SURVEY
LANDSCAPE ARCHITECT:	ORIO ROYO ROYO DESIGN STUDIO P. O. BOX 14071 SAN FRANCISCO, CA 94114 TEL: 415.225.4255 EMAIL: oriol@royo-studio.com	LANDSCAPE:	L.1 SITE PLAN - EXISTING L.2 SITE PLAN - PROPOSED L.3 PLANTING PLAN - FRONT YARD L.4 PLANTING PLAN - BACKYARD L.5 PLANTING NOTES & DETAILS L.6 IRRIGATION PLAN 1/2 L.7 IRRIGATION PLAN 2/2 L.8 IRRIGATION CALCULATIONS & NOTES L.9 SITE PLAN - PLANTERS AREAS L.10 FRONT ELEVATION - PROPOSED L.11 SIDE ELEVATION - PROPOSED
SURVEYOR:	SAVIOR MICALLEF SAVIOR P. MICALLEF LAND SURVEYING 421 WILDWOOD DRIVE SOUTH SAN FRANCISCO, CA 94080 TEL: 805.709.2423 EMAIL: saviormicallef@gmail.com	CIVIL:	1 OF 6 COVER SHEET 2 OF 6 GRADING PLAN 3 OF 6 DRAINAGE PLAN 4 OF 6 UTILITY PLAN 5 OF 6 EROSION CONTROL PLAN 6 OF 6 DETAILS CONSTRUCTION BEST MANAGEMENT PRACTICES
CIVIL ENGINEER:	AUSTIN PAYNE UPRIGHT ENGINEERING 3705 MT. DIABLO BLVD, SUITE B LAFAYETTE, CA 94549 TEL: 925.275.5304 EMAIL: austin@upcivil.com		
<div>RECEIVED</div> <div>10/7/2022</div> <div>CITY OF BURLINGAME</div> <div>CDD-PLANNING DIVISION</div>			
<div>8PROJECT TEAM</div>		<div>10SHEET INDEX</div>	

<b>8 PROJECT TEAM</b>
-----------------------

<b>10 SHEET INDEX</b>
-----------------------

LARSON  
SHORES  
ARCHITECTURE  
AND INTERIORS

ARCHITECT:  
LARSON SHORES ARCHITECTURE + INTERIORS  
1940 UNION STREET #22  
OAKLAND, CA 94607  
PHONE/FAX: 510-444-9788  
PROJECT ARCHITECT: JOSH LARSON

OWNERS:  
MIKAYLA & ROBERT CAMERON  
1441 ALVARADO AVE  
BURLINGAME, CA 94010  
EMAIL: mikaylancameron@gmail.com

LICENSED ARCHITECT  
JOSHUA G. LARSON  
C30827  
11-30-23  
RENEWAL  
DATE  
STATE OF CALIFORNIA

RESIDENTIAL ADDITION  
1441 ALVARADO AVE  
BURLINGAME | CA 94010  
APN #: 027-103-070

SUBMITTAL:  
  
PLANNING SUBMITTAL  
26 MAY 2021

SUBMITTALS HISTORY & REVISIONS:

#	DATE	DESCRIPTION
1	02/10/2021	PLANNING/DESIGN REVIEW RESUBMITTAL
2	08/9/2022	PLANNING/DESIGN REVIEW RESUBMITTAL 2
3	09/29/2022	PLANNING/DESIGN REVIEW RESUBMITTAL 3

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SHEET TITLE:

PROJECT  
INFORMATION

SHEET NUMBER:  
  
A0.0

DATE OF LATEST UPDATE: September 26, 2022





















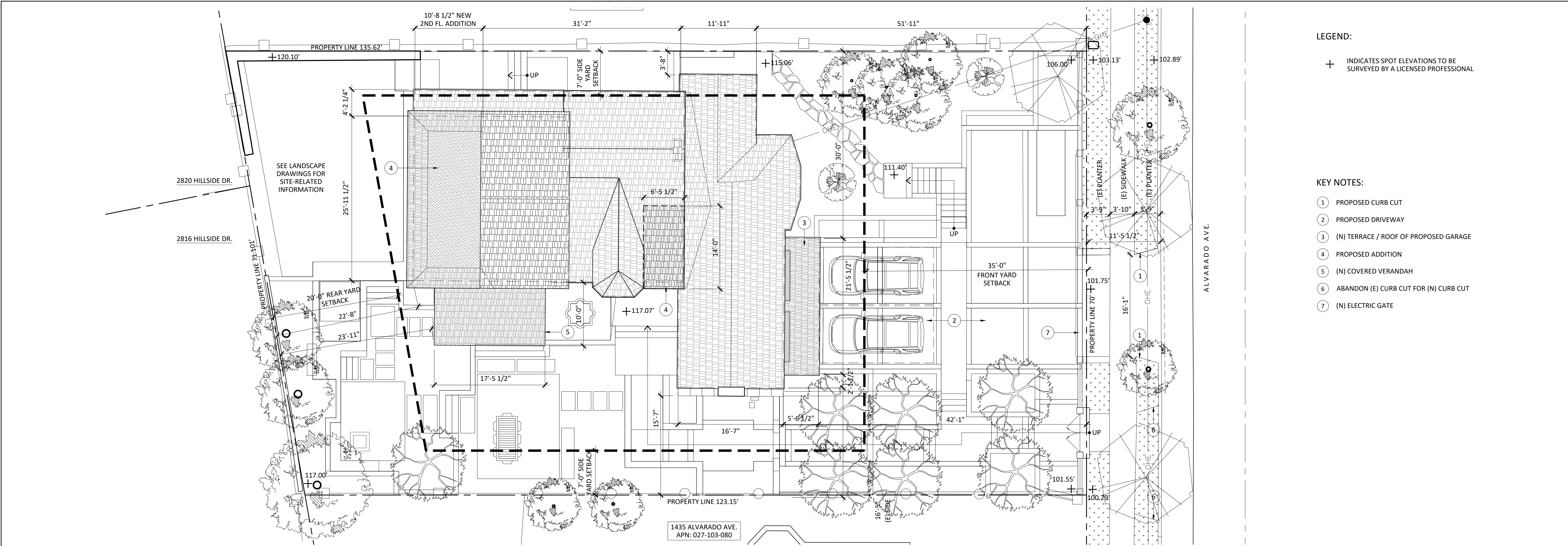




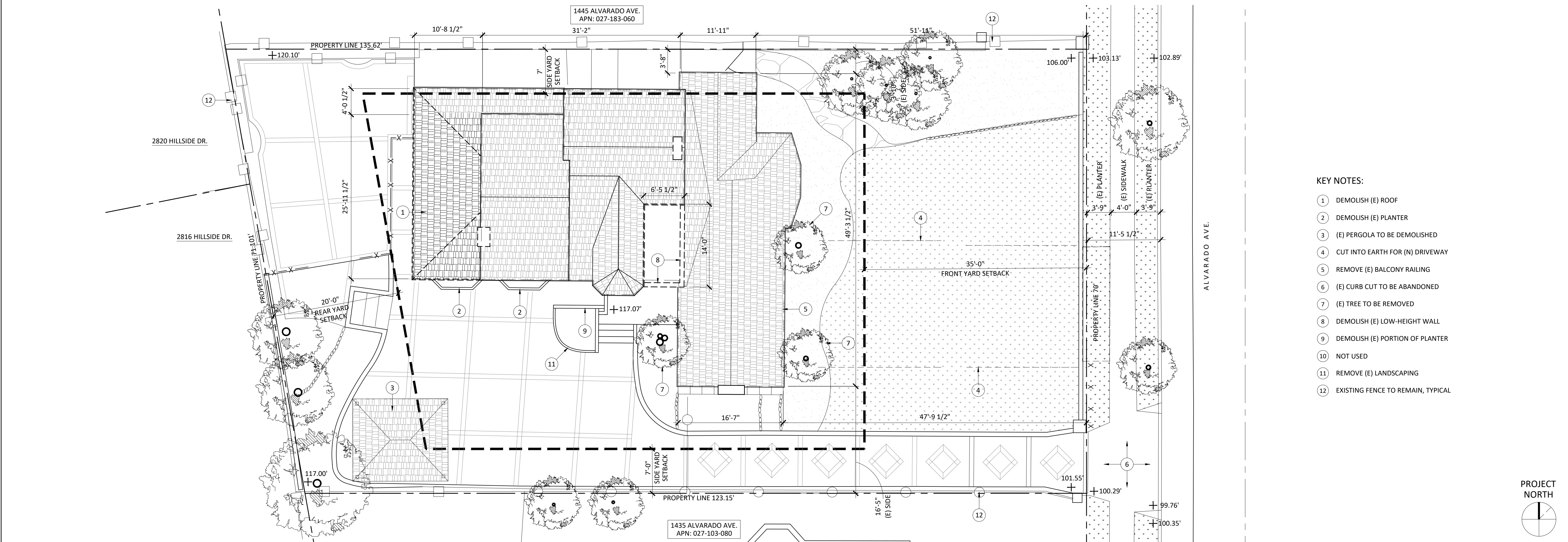








**2 PROPOSED SITE PLAN**  
SCALE: 1/8" = 1'-0"



**1 EXISTING SITE PLAN**  
SCALE: 1/8" = 1'-0"

LEGEND:  
+ INDICATES SPOT ELEVATIONS TO BE SURVEYED BY A LICENSED PROFESSIONAL

- KEY NOTES:
- 1 PROPOSED CURB CUT
  - 2 PROPOSED DRIVEWAY
  - 3 (N) TERRACE / ROOF OF PROPOSED GARAGE
  - 4 PROPOSED ADDITION
  - 5 (N) COVERED VERANDAH
  - 6 ABANDON (E) CURB CUT FOR (N) CURB CUT
  - 7 (N) ELECTRIC GATE

- KEY NOTES:
- 1 DEMOLISH (E) ROOF
  - 2 DEMOLISH (E) PLANTER
  - 3 (E) PERGOLA TO BE DEMOLISHED
  - 4 CUT INTO EARTH FOR (N) DRIVEWAY
  - 5 REMOVE (E) BALCONY RAILING
  - 6 (E) CURB CUT TO BE ABANDONED
  - 7 (E) TREE TO BE REMOVED
  - 8 DEMOLISH (E) LOW-HEIGHT WALL
  - 9 DEMOLISH (E) PORTION OF PLANTER
  - 10 NOT USED
  - 11 REMOVE (E) LANDSCAPING
  - 12 EXISTING FENCE TO REMAIN, TYPICAL

ARCHITECT:  
LARSON SHORES ARCHITECTURE + INTERIORS  
1940 UNION STREET #22  
OAKLAND, CA 94607  
PHONE/FAX: 510-444-9788  
PROJECT ARCHITECT: JOSH LARSON

OWNERS:  
MIKAYLA & ROBERT CAMERON  
1441 ALVARADO AVE  
BURLINGAME, CA 94010  
EMAIL: mikaylancameron@gmail.com



**RESIDENTIAL ADDITION**  
**1441 ALVARADO AVE**  
**BURLINGAME | CA 94010**  
**APN #: 027-103-070**

SUBMITTAL:

PLANNING SUBMITTAL	
26 MAY 2021	

SUBMITTALS HISTORY & REVISIONS:

#	DATE	DESCRIPTION
1	02/10/2021	PLANNING/DESIGN REVIEW
2	08/9/2022	RESUBMITTAL 1
3	09/29/2022	PLANNING/DESIGN REVIEW
		RESUBMITTAL 2
		RESUBMITTAL 3

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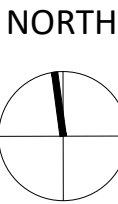
SHEET TITLE:  
**EXISTING & PROPOSED SITE PLAN**

SHEET NUMBER:  
**A1.0**



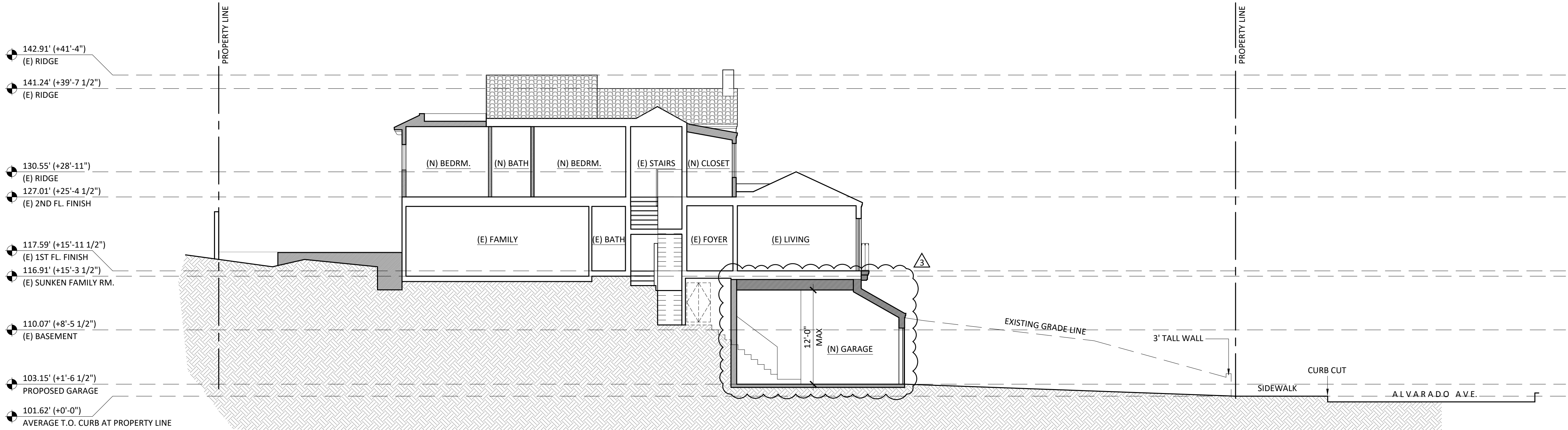
- LEGEND:
- GARAGE AT FRONT (CENTERED)
  - GARAGE AT THE SIDE
  - GARAGE AT THE SIDE TOWARDS REAR OF LOT
  - SUBJECT PROPERTY

NEIGHBORHOOD GARAGES	
GARAGES AT THE FRONT (CENTERED)	14 (52 %)
GARAGES AT THE SIDE	3 (11%)
GARAGES AT THE SIDE & SETBACK FROM THE FRONT	9 (33%)
TOTAL DOCUMENTED:	27 (100%)



## 2 DOCUMENTATION OF NEIGHBORHOOD GARAGES

NOT TO SCALE



## 1 PROPOSED SITE SECTION

SCALE: 1/8" = 1'-0"

# LARSON SHORES

ARCHITECTURE AND INTERIORS

ARCHITECT:  
LARSON SHORES ARCHITECTURE + INTERIORS  
1940 UNION STREET #22  
OAKLAND, CA 94607  
PHONE/FAX: 510-444-9788  
PROJECT ARCHITECT: JOSH LARSON

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3	09/29/2022	PLANNING/DESIGN REVIEW RESUBMITTAL 3

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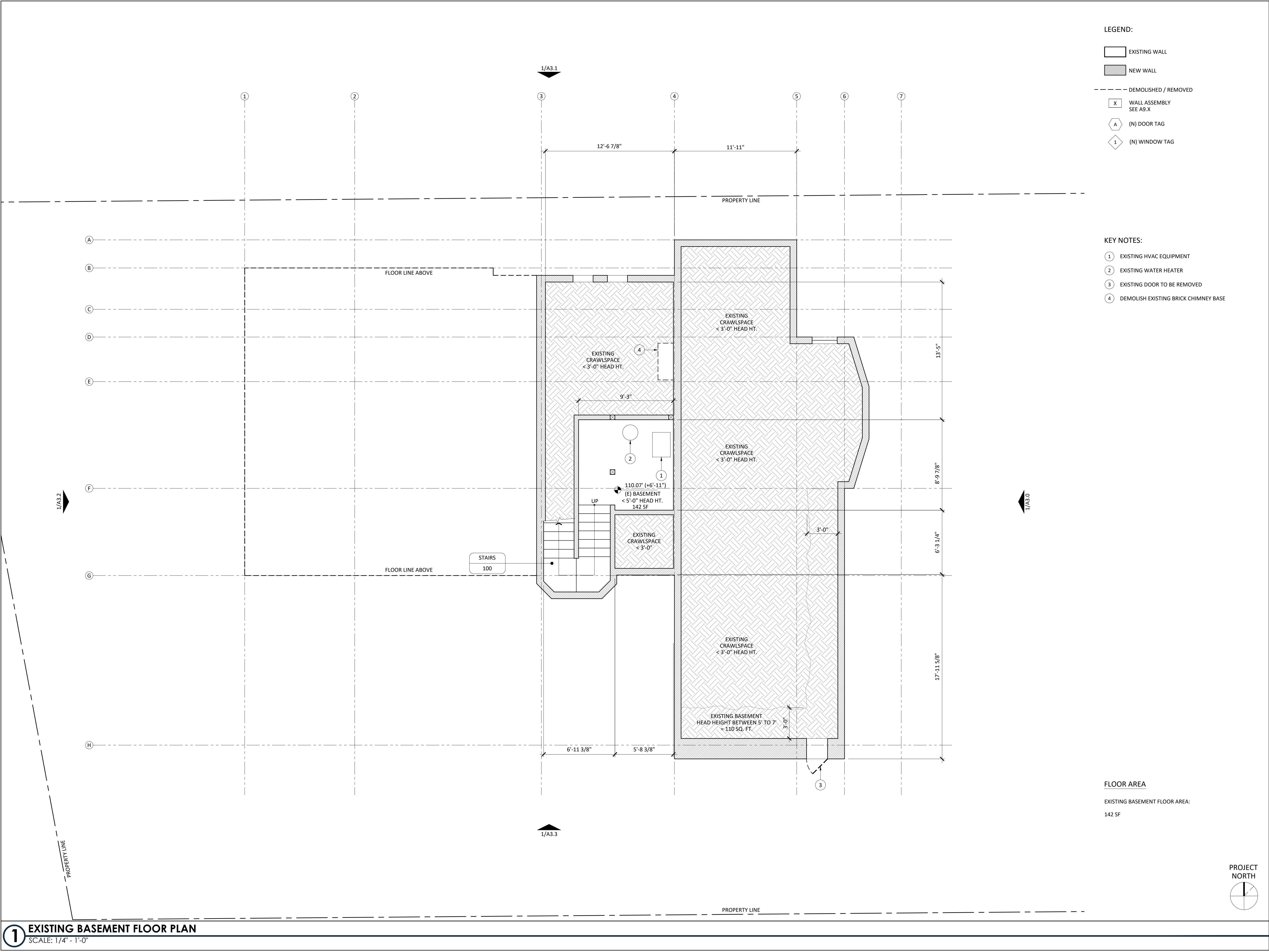
### SHEET TITLE:

PROPOSED SITE  
SECTION

### SHEET NUMBER:

A1.1





**1** EXISTING BASEMENT FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**ARCHITECT:**  
LARSON SHORES ARCHITECTURE + INTERIORS  
1940 UNION STREET #22  
OAKLAND, CA 94607  
PHONE/FAX: 510-444-9788  
PROJECT ARCHITECT: JOSH LARSON

**OWNERS:**  
MIKAYLA & ROBERT CAMERON  
1441 ALVARADO AVE  
BURLINGAME, CA 94010  
EMAIL: mikaylancameron@gmail.com



**RESIDENTIAL ADDITION**  
**1441 ALVARADO AVE**  
**BURLINGAME | CA 94010**  
**APN #: 027-103-070**

**SUBMITTAL:**

**PLANNING SUBMITTAL**  
**26 MAY 2021**

**SUBMITTALS HISTORY & REVISIONS:**

#	DATE	DESCRIPTION
1	02/10/2021	PLANNING/DESIGN REVIEW
2	08/9/2022	RESUBMITTAL 1
3	09/29/2022	RESUBMITTAL 2
		RESUBMITTAL 3

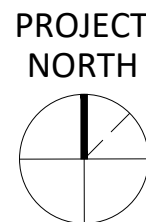
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**SHEET TITLE:**

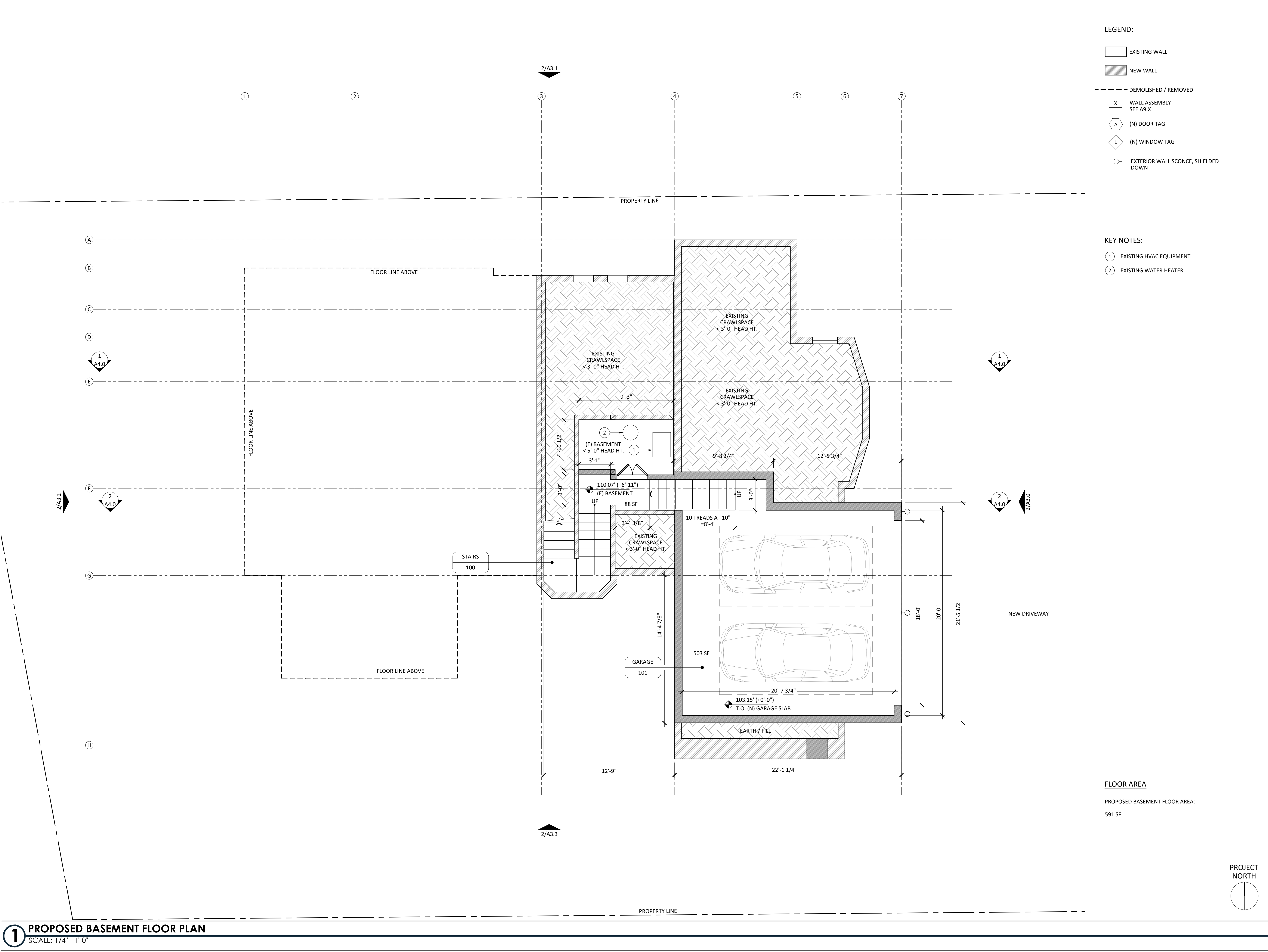
**EXISTING BASEMENT**  
**FLOOR PLAN**

**SHEET NUMBER:**

**A2.0**





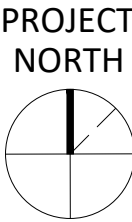


- LEGEND:
- EXISTING WALL
  - NEW WALL
  - DEMOLISHED / REMOVED
  - X WALL ASSEMBLY SEE A9.X
  - A (N) DOOR TAG
  - 1 (N) WINDOW TAG
  - EXTERIOR WALL SCONCE, SHIELDED DOWN
- KEY NOTES:
- 1 EXISTING HVAC EQUIPMENT
  - 2 EXISTING WATER HEATER

FLOOR AREA

PROPOSED BASEMENT FLOOR AREA:

591 SF



RESIDENTIAL ADDITION  
1441 ALVARADO AVE  
BURLINGAME | CA 94010  
APN #: 027-103-070

SUBMITTAL:

PLANNING SUBMITTAL  
26 MAY 2021

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#	DATE	DESCRIPTION
1	02/10/2021	PLANNING/DESIGN REVIEW RESUBMITTAL
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3	09/29/2022	PLANNING/DESIGN REVIEW RESUBMITTAL 3

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SHEET TITLE:

PROPOSED  
BASEMENT FLOOR  
PLAN

SHEET NUMBER:

A2.1





RESIDENTIAL ADDITION  
1441 ALVARADO AVE  
BURLINGAME | CA 94010  
APN #: 027-103-070

SUBMITTAL:

PLANNING SUBMITTAL  
26 MAY 2021

SUBMITTALS HISTORY & REVISIONS:

#	DATE	DESCRIPTION
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SHEET TITLE:

EXISTING FIRST  
FLOOR PLAN

SHEET NUMBER:

A2.2

LEGEND:

EXISTING WALL

NEW WALL

DEMOLISHED / REMOVED

DOOR TO BE REMOVED

X WALL ASSEMBLY  
SEE A9.X

A (N) DOOR TAG

1 (N) WINDOW TAG

KEY NOTES:

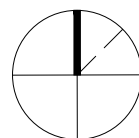
- DEMOLISH (E) WALL
- REMOVE (E) DOOR
- REMOVE (E) WINDOW
- REMOVE (E) PLUMBING FIXTURES
- DEMOLISH (E) PLANTER
- REMOVE (E) PLANTER
- DEMOLISH (E) BALCONY
- REMOVE (E) APPLIANCE
- DEMOLISH (E) CABINETS
- (E) FLOOR TO BE LOWERED
- DEMOLISH (E) STEPS
- SHORE MASONRY FIREPLACE AS NECESSARY FOR (N) GARAGE BELOW; EXISTING WOOD-BURNING HEARTH TO BE REPLACED WITH NEW GAS FIREPLACE INSERT; CHIMNEY TO BE LINED WITH NEW FLUE AS NECESSARY
- DEMOLISH EXISTING BRICK CHIMNEY

FLOOR AREA

EXISTING 1ST FLOOR AREA:

2,058 SF

PROJECT  
NORTH







RESIDENTIAL ADDITION  
1441 ALVARADO AVE  
BURLINGAME | CA 94010  
APN #: 027-103-070

SUBMITTAL:

PLANNING SUBMITTAL  
26 MAY 2021

SUBMITTALS HISTORY & REVISIONS:

#	DATE	DESCRIPTION
1	02/10/2021	PLANNING/DESIGN REVIEW RESUBMITTAL
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3	09/29/2022	PLANNING/DESIGN REVIEW RESUBMITTAL 3

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SHEET TITLE:

PROPOSED FIRST  
FLOOR PLAN

SHEET NUMBER:

A2.3

LEGEND:

- EXISTING WALL
- NEW WALL
- X WALL ASSEMBLY SEE A9.X
- A (N) DOOR TAG
- 1 (N) WINDOW TAG
- EXTERIOR WALL SCONCE, SHIELDED DOWN

KEY NOTES:

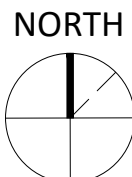
- NEW FIREPLACE INSERT TO REPLACE EXISTING SOLID WOOD-BURNING FIREPLACE
- NEW JULIET BALCONY

FLOOR AREA

PROPOSED 1ST FLOOR AREA:

2,229 SF

PROJECT  
NORTH



1 PROPOSED FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"





RESIDENTIAL ADDITION  
1441 ALVARADO AVE  
BURLINGAME | CA 94010  
APN #: 027-103-070

SUBMITTAL:		
PLANNING SUBMITTAL 26 MAY 2021		
SUBMITTALS HISTORY & REVISIONS:		
#	DATE	DESCRIPTION
1	02/10/2021	PLANNING/DESIGN REVIEW RESUBMITTAL
2	08/9/2022	PLANNING/DESIGN REVIEW RESUBMITTAL 2
3	09/29/2022	PLANNING/DESIGN REVIEW RESUBMITTAL 3

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SHEET TITLE:

EXISTING SECOND  
FLOOR PLAN

SHEET NUMBER:

A2.4

LEGEND:

EXISTING WALL

NEW WALL

DEMOLISHED / REMOVED

DOOR TO BE REMOVED

X WALL ASSEMBLY  
SEE A9.X

A (N) DOOR TAG

1 (N) WINDOW TAG

KEY NOTES:

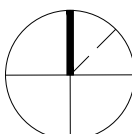
- DEMOLISH (E) WALL
- REMOVE (E) DOOR
- REMOVE (E) WINDOW
- REMOVE (E) PLUMBING FIXTURE
- DEMOLISH (E) LOW-HEIGHT WALL
- DEMOLISH EXISTING BRICK CHIMNEY INSIDE WALL

FLOOR AREA

EXISTING 2ND FLOOR AREA:

841 SF

PROJECT  
NORTH







RESIDENTIAL ADDITION  
1441 ALVARADO AVE  
BURLINGAME | CA 94010  
APN #: 027-103-070

SUBMITTAL:

PLANNING SUBMITTAL  
26 MAY 2021

SUBMITTALS HISTORY & REVISIONS:

#	DATE	DESCRIPTION
1	02/10/2021	PLANNING/DESIGN REVIEW RESUBMITTAL 1
2	08/9/2022	PLANNING/DESIGN REVIEW RESUBMITTAL 2
3	09/29/2022	PLANNING/DESIGN REVIEW RESUBMITTAL 3

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SHEET TITLE:

PROPOSED SECOND  
FLOOR PLAN

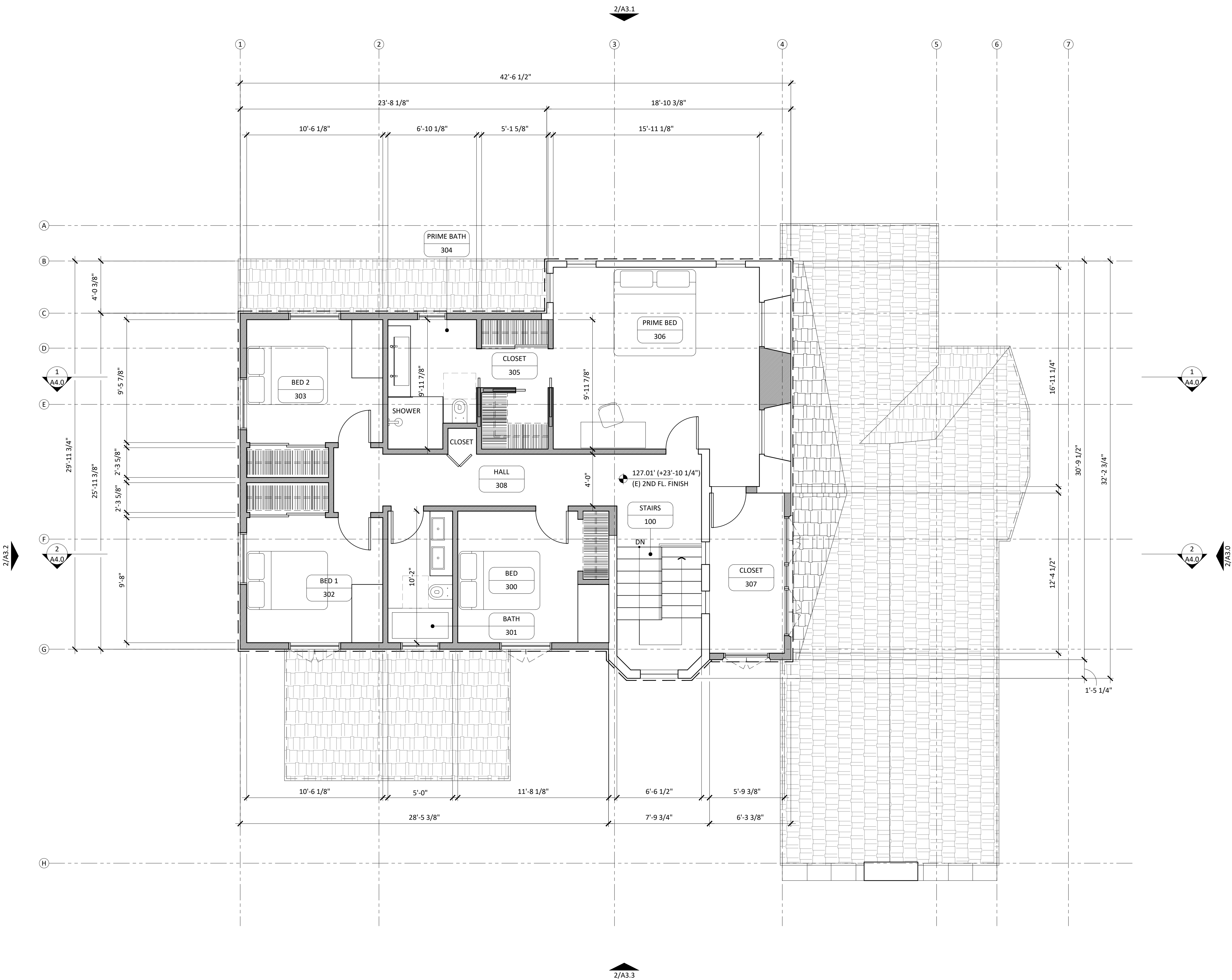
SHEET NUMBER:

A2.5

DATE OF LATEST UPDATE: April 14, 2022

LEGEND:

- EXISTING WALL
- NEW WALL
- X WALL ASSEMBLY  
SEE A9.X
- A (N) DOOR TAG
- 1 (N) WINDOW TAG



FLOOR AREA

PROPOSED 2ND FLOOR AREA:

1,200 SF

PROJECT  
NORTH







RESIDENTIAL ADDITION  
1441 ALVARADO AVE  
BURLINGAME | CA 94010  
APN #: 027-103-070

SUBMITTAL:

PLANNING SUBMITTAL  
26 MAY 2021

SUBMITTALS HISTORY & REVISIONS:

#	DATE	DESCRIPTION
1	02/10/2021	PLANNING/DESIGN REVIEW RESUBMITTAL
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SHEET TITLE:

EXISTING ROOF  
PLAN

SHEET NUMBER:

A2.6

LEGEND:

EXISTING WALL

NEW WALL

DEMOLISHED / REMOVED

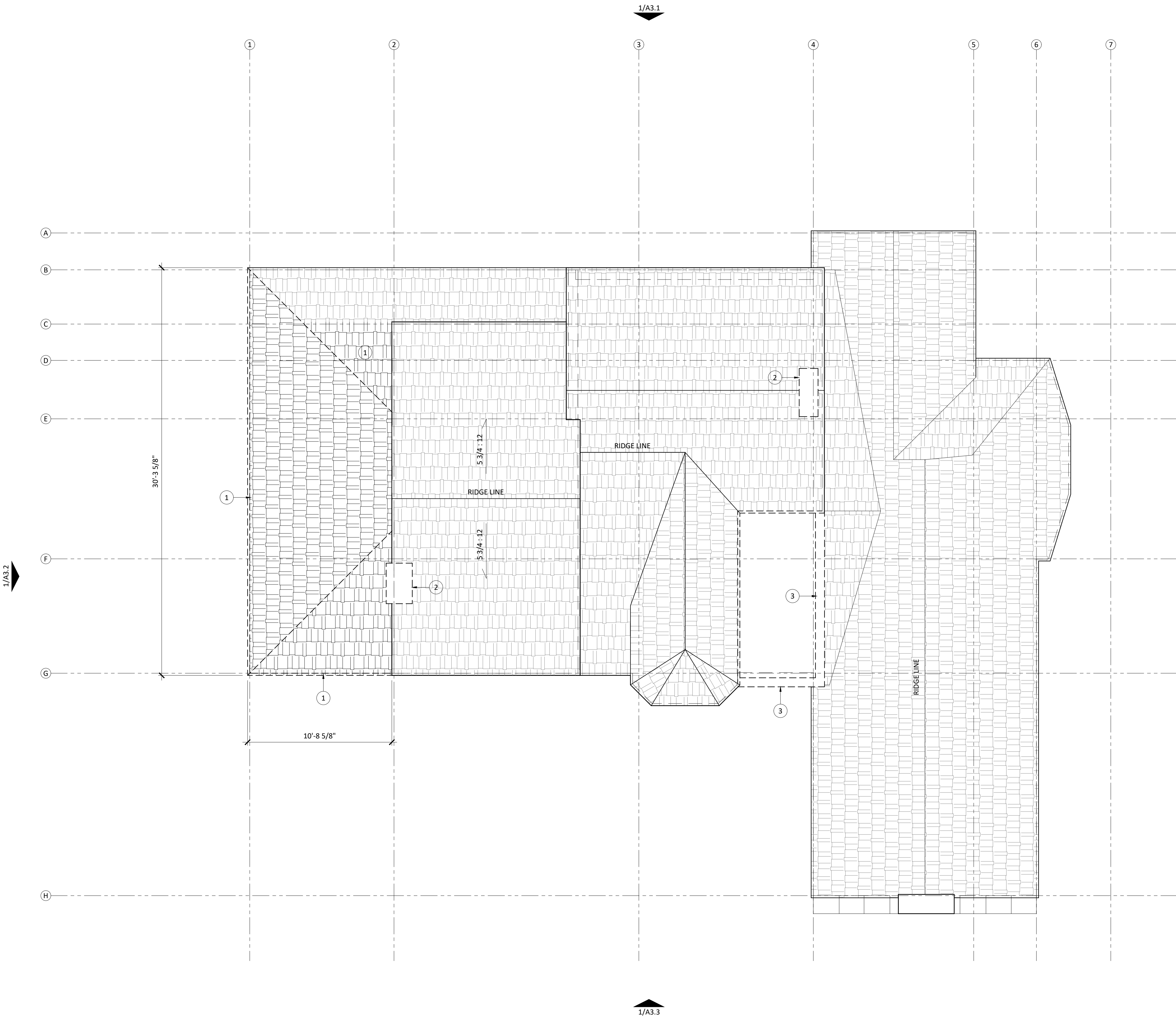
X WALL ASSEMBLY  
SEE A9.X

A (N) DOOR TAG

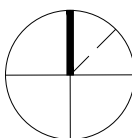
1 (N) WINDOW TAG

KEY NOTES:

- DEMOLISH (E) ROOF. SALVAGE CLAY ROOF TILES FOR POTENTIAL REUSE
- DEMOLISH BRICK CHIMNEY IN ITS ENTIRETY
- DEMOLISH LOW-HEIGHT WALL



PROJECT  
NORTH







RESIDENTIAL ADDITION  
1441 ALVARADO AVE  
BURLINGAME | CA 94010  
APN #: 027-103-070

SUBMITTAL:

PLANNING SUBMITTAL  
26 MAY 2021

SUBMITTALS HISTORY & REVISIONS:

#	DATE	DESCRIPTION
1	02/10/2021	PLANNING/DESIGN REVIEW RESUBMITTAL
2	08/9/2022	PLANNING/DESIGN REVIEW RESUBMITTAL 2
3	09/29/2022	PLANNING/DESIGN REVIEW RESUBMITTAL 3

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SHEET TITLE:

PROPOSED ROOF  
PLAN

SHEET NUMBER:

A2.7

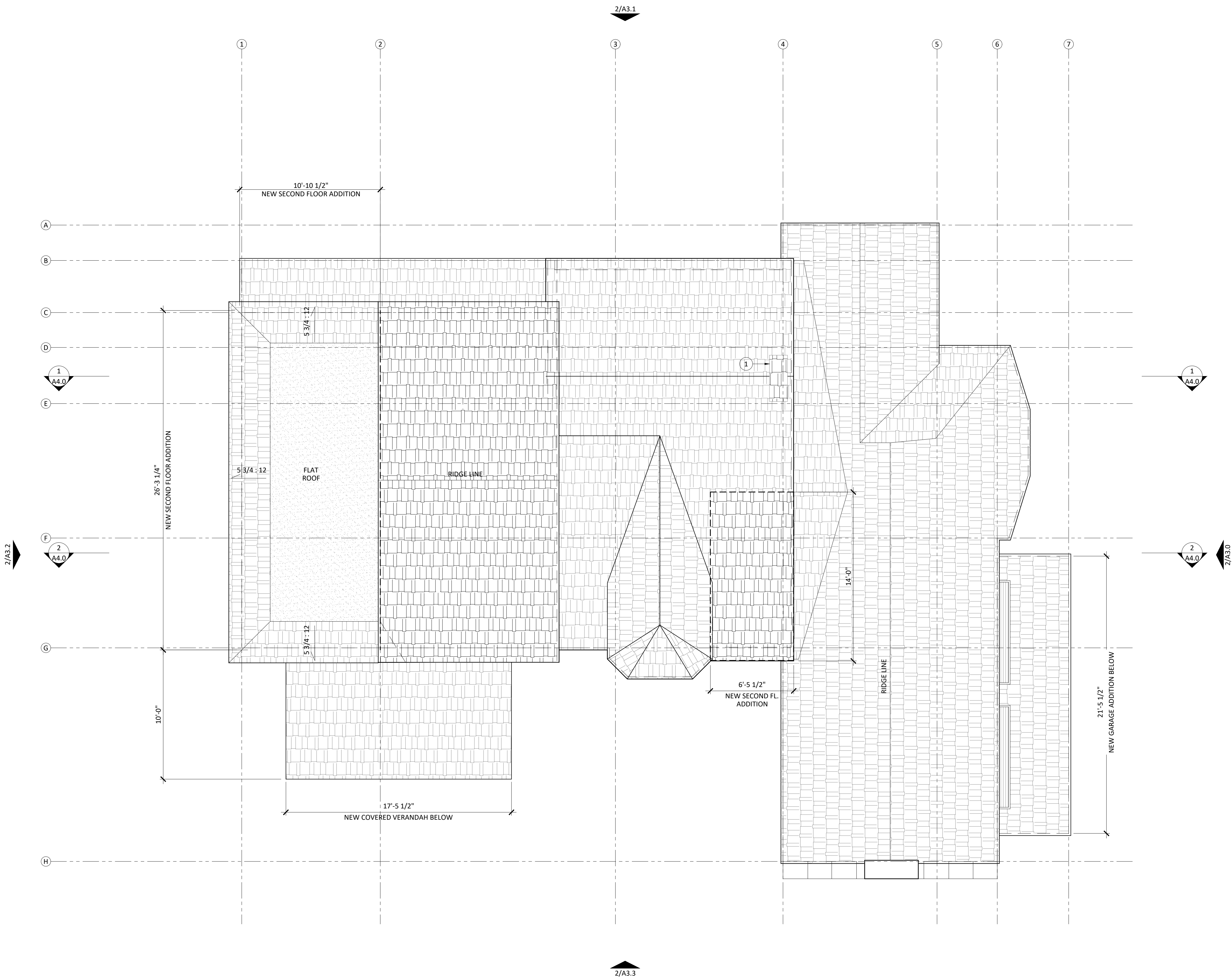
DATE OF LATEST UPDATE: December 15, 2021

LEGEND:

- EXISTING WALL  
NEW WALL  
X WALL ASSEMBLY SEE A9.X  
A (N) DOOR TAG  
1 (N) WINDOW TAG

KEY NOTES:

- 1 PATCH ROOF WITH NEW CLAY ROOF TILE WHERE CHIMNEY WAS REMOVED







RESIDENTIAL ADDITION  
1441 ALVARADO AVE  
BURLINGAME | CA 94010  
APN #: 027-103-070

SUBMITTAL:

PLANNING SUBMITTAL  
26 MAY 2021

SUBMITTALS HISTORY & REVISIONS:

#	DATE	DESCRIPTION
1	02/10/2021	PLANNING/DESIGN REVIEW RESUBMITTAL 1
2	08/9/2022	PLANNING/DESIGN REVIEW RESUBMITTAL 2
3	09/29/2022	PLANNING/DESIGN REVIEW RESUBMITTAL 3

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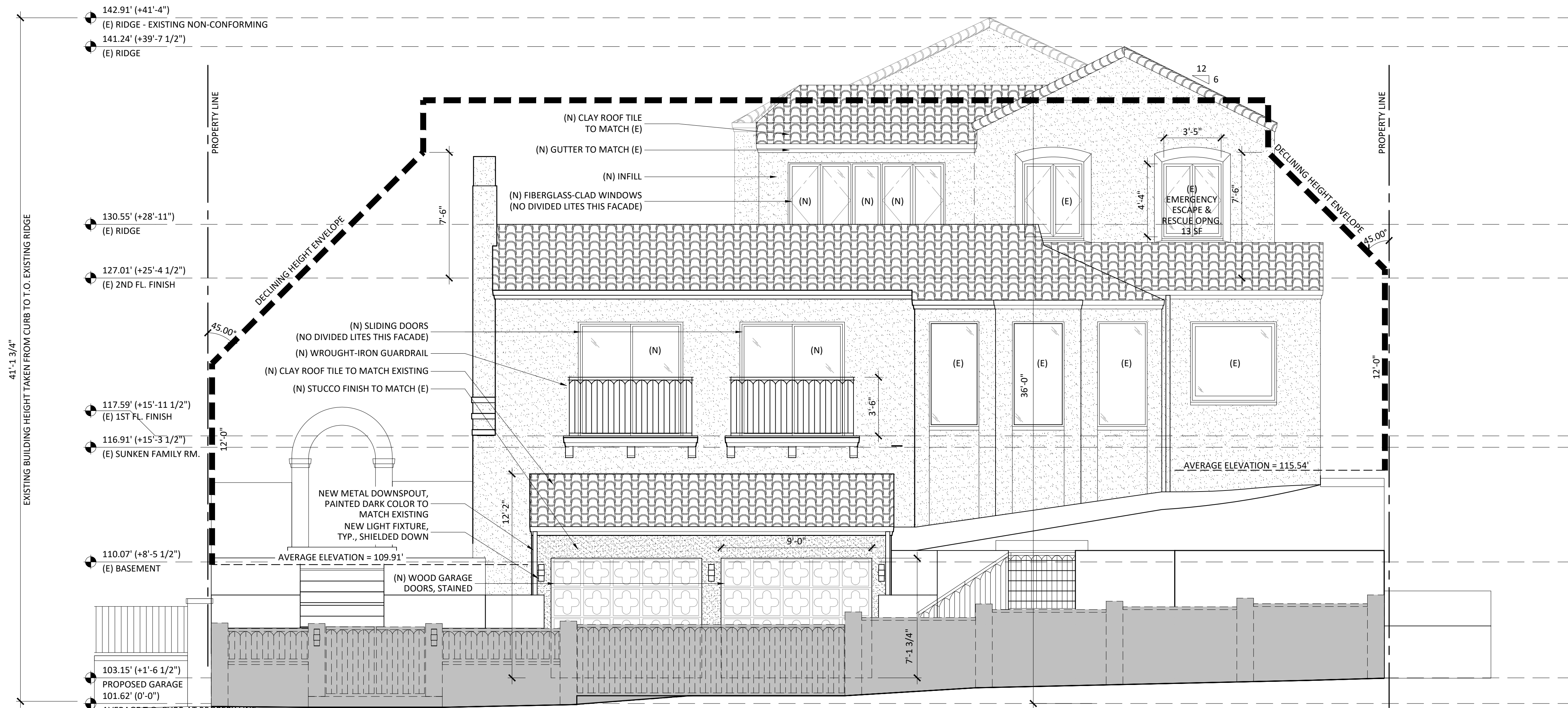
SHEET TITLE:

EXISTING &  
PROPOSED  
EXTERIOR  
ELEVATIONS - EAST

SHEET NUMBER:

A3.0

DATE OF LATEST UPDATE: September 26, 2022



2 PROPOSED EXTERIOR ELEVATION - EAST (STREET ELEVATION)

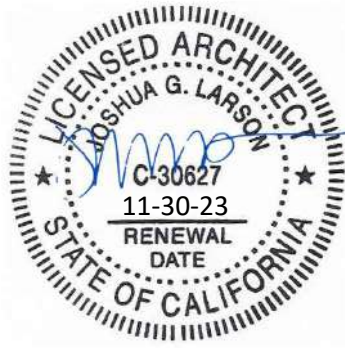
SCALE: 1/4" = 1'-0"



1 EXISTING EXTERIOR ELEVATION - EAST (STREET ELEVATION)

SCALE: 1/4" = 1'-0"





RESIDENTIAL ADDITION  
1441 ALVARADO AVE  
BURLINGAME | CA 94010  
APN #: 027-103-070

SUBMITTAL:

PLANNING SUBMITTAL  
26 MAY 2021

SUBMITTALS HISTORY & REVISIONS:

#	DATE	DESCRIPTION
1	02/10/2021	PLANNING/DESIGN REVIEW RESUBMITTAL
2	08/9/2022	PLANNING/DESIGN REVIEW RESUBMITTAL 2
3	09/29/2022	PLANNING/DESIGN REVIEW RESUBMITTAL 3

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SHEET TITLE:

EXISTING &  
PROPOSED  
EXTERIOR  
ELEVATION - NORTH

SHEET NUMBER:

A3.1

DATE OF LATEST UPDATE: September 26, 2022



2 PROPOSED EXTERIOR ELEVATION - NORTH  
SCALE: 1/4" = 1'-0"



1 EXISTING EXTERIOR ELEVATION - NORTH  
SCALE: 1/4" = 1'-0"





RESIDENTIAL ADDITION  
1441 ALVARADO AVE  
BURLINGAME | CA 94010  
APN #: 027-103-070

SUBMITTAL:

PLANNING SUBMITTAL  
26 MAY 2021

SUBMITTALS HISTORY & REVISIONS:

#	DATE	DESCRIPTION
1	02/10/2021	PLANNING/DESIGN REVIEW
2	08/9/2022	RESUBMITTAL PLANNING/DESIGN REVIEW
3	09/29/2022	RESUBMITTAL 2 PLANNING/DESIGN REVIEW
		RESUBMITTAL 3

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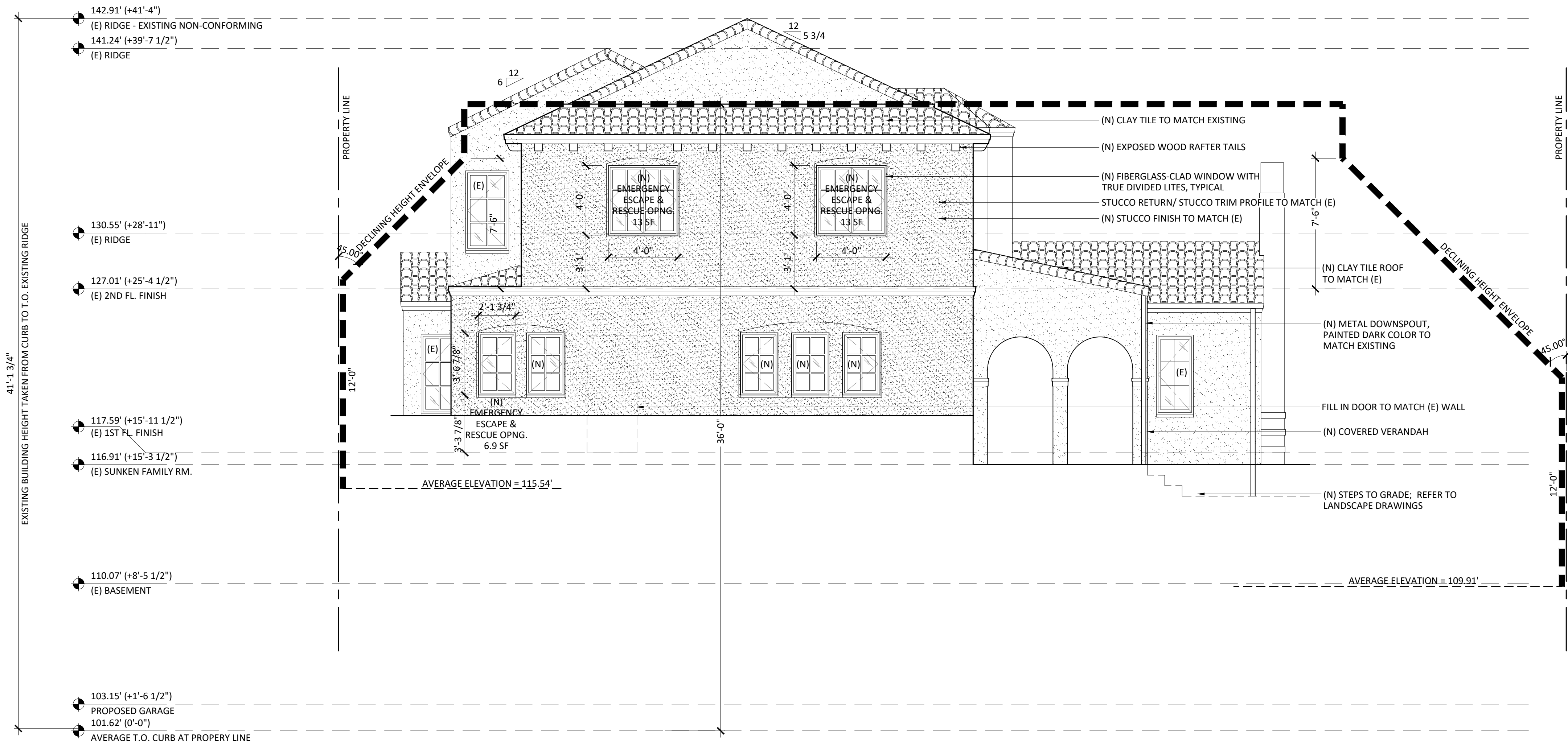
SHEET TITLE:

EXISTING &  
PROPOSED  
EXTERIOR  
ELEVATION - WEST

SHEET NUMBER:

A3.2

DATE OF LATEST UPDATE: September 26, 2022



2 PROPOSED EXTERIOR ELEVATION - WEST (REAR)

SCALE: 1/4" = 1'-0"



1 EXISTING EXTERIOR ELEVATION - WEST (REAR)

SCALE: 1/4" = 1'-0"



ARCHITECT:  
LARSON SHORES ARCHITECTURE + INTERIORS  
1940 UNION STREET #22  
OAKLAND, CA 94607  
PHONE/FAX: 510-444-9788  
PROJECT ARCHITECT: JOSH LARSON

OWNERS:  
MIKAYLA & ROBERT CAMERON  
1441 ALVARADO AVE  
BURLINGAME, CA 94010  
EMAIL: mikaylancameron@gmail.com



RESIDENTIAL ADDITION  
1441 ALVARADO AVE  
BURLINGAME | CA 94010  
APN #: 027-103-070

SUBMITTAL:

PLANNING SUBMITTAL  
26 MAY 2021

SUBMITTALS HISTORY & REVISIONS:

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1	02/10/2021	PLANNING/DESIGN REVIEW RESUBMITTAL
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3	09/29/2022	PLANNING/DESIGN REVIEW RESUBMITTAL 3

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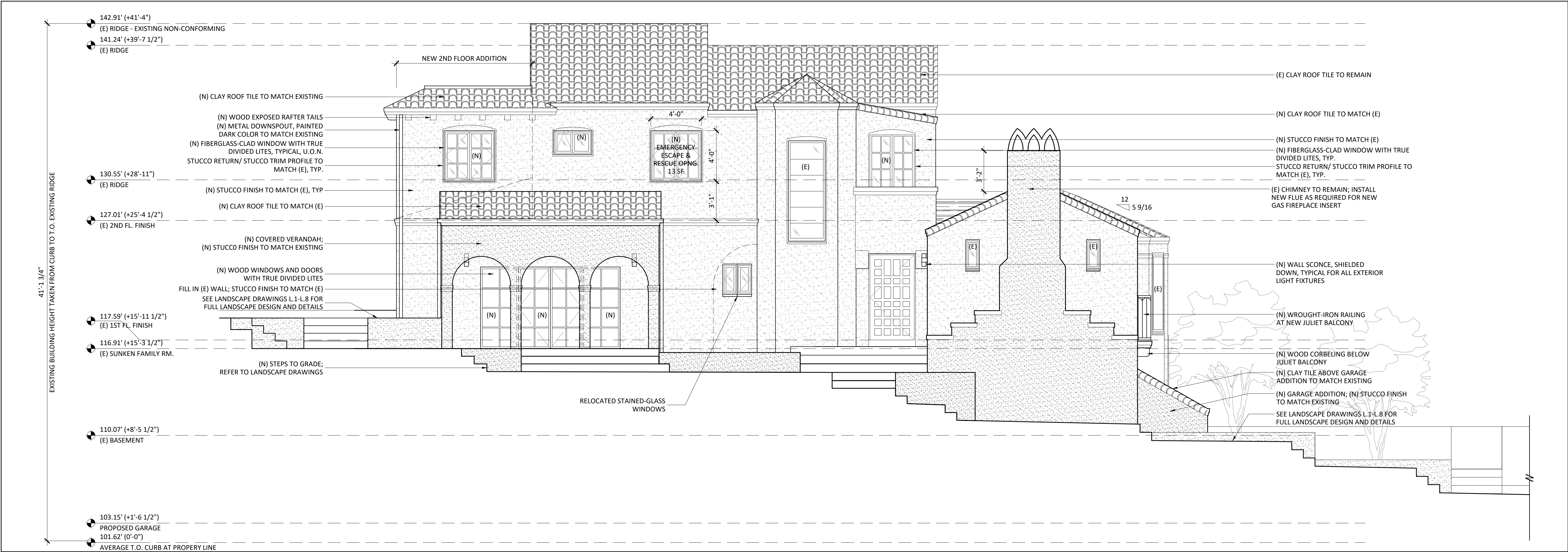
SHEET TITLE:

EXISTING &  
PROPOSED  
EXTERIOR  
ELEVATION - SOUTH

SHEET NUMBER:

A3.3

DATE OF LATEST UPDATE: September 26, 2022



2 PROPOSED EXTERIOR ELEVATION - SOUTH  
SCALE: 1/4" = 1'-0"



1 EXISTING EXTERIOR ELEVATION - SOUTH  
SCALE: 1/4" = 1'-0"



ARCHITECT:  
LARSON SHORES ARCHITECTURE + INTERIORS  
1940 UNION STREET #22  
OAKLAND, CA 94607  
PHONE/FAX: 510-444-9788  
PROJECT ARCHITECT: JOSH LARSON

OWNERS:  
MIKAYLA & ROBERT CAMERON  
1441 ALVARADO AVE  
BURLINGAME, CA 94010  
EMAIL: mikaylancameron@gmail.com



RESIDENTIAL ADDITION  
1441 ALVARADO AVE  
BURLINGAME | CA 94010  
APN #: 027-103-070

SUBMITTAL:

PLANNING SUBMITTAL  
26 MAY 2021

SUBMITTALS HISTORY & REVISIONS:

#	DATE	DESCRIPTION
1	02/10/2021	PLANNING/DESIGN REVIEW RESUBMITTAL
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3	09/29/2022	PLANNING/DESIGN REVIEW RESUBMITTAL 3

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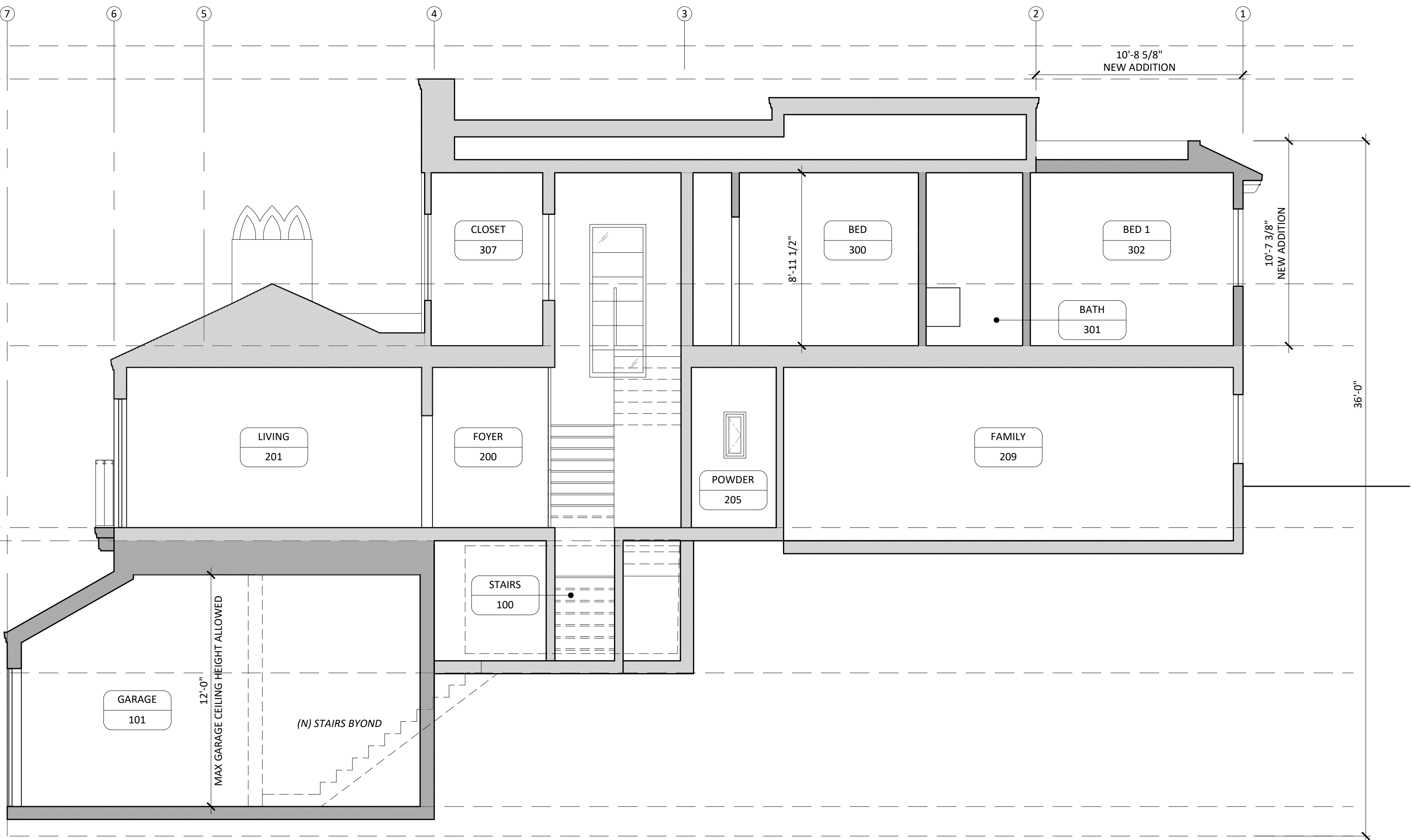
SHEET TITLE:

EXISTING &  
PROPOSED  
BUILDING SECTION

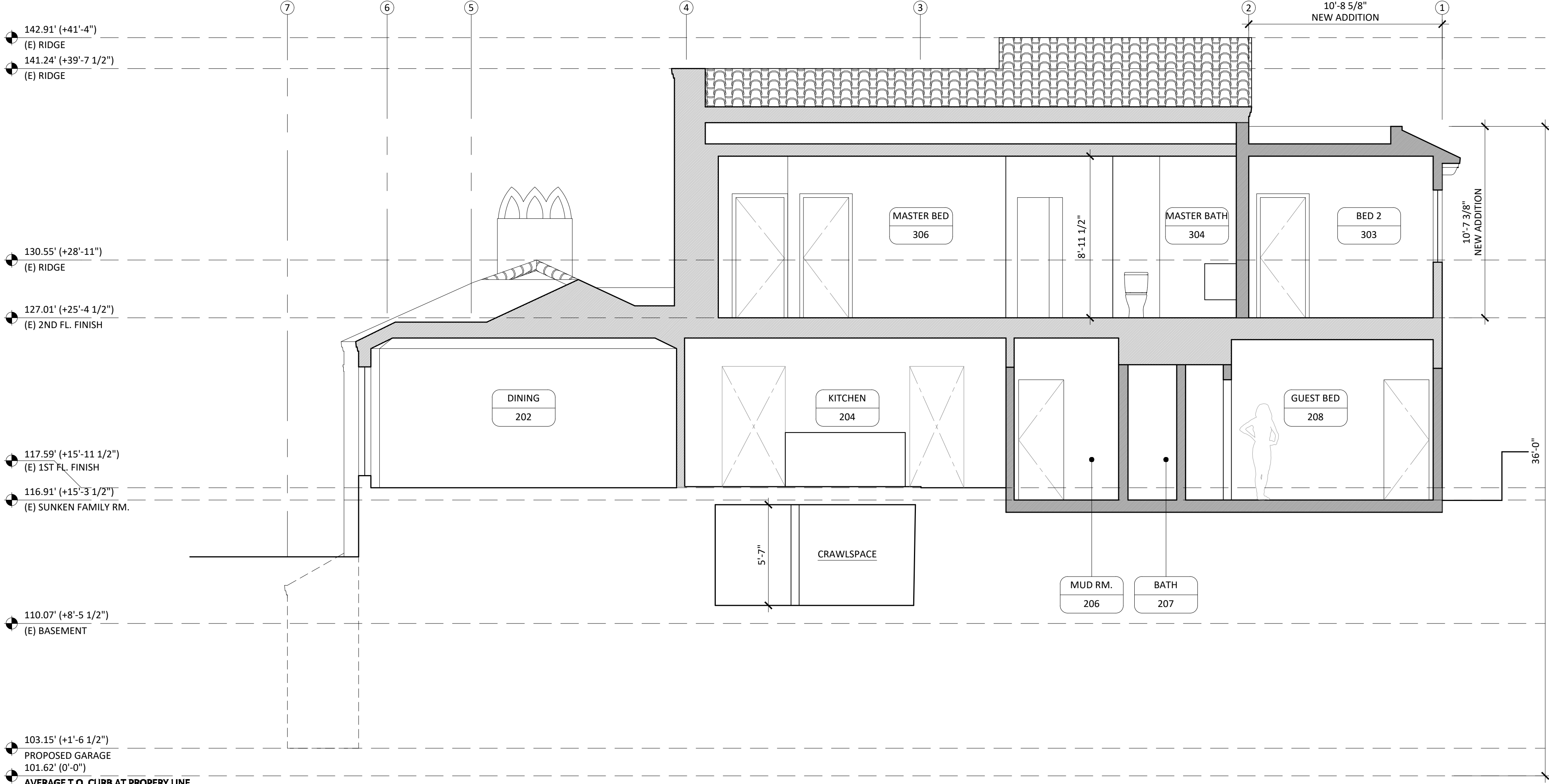
SHEET NUMBER:

A4.0

DATE OF LATEST UPDATE: September 26, 2022

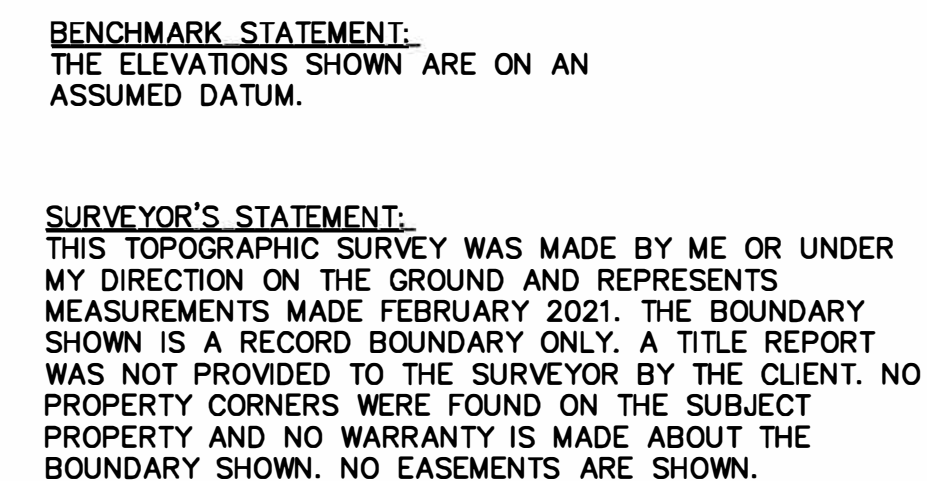


2 LONGITUDINAL BUILDING SECTION  
SCALE: 1/4" = 1'-0"



1 LONGITUDINAL BUILDING SECTION  
SCALE: 1/4" = 1'-0"





02-25-21  
-----  
DATE

TOPOGRAPHIC SURVEY OF  
1441 ALVARADO AVENUE  
CITY OF BURLINGAME      SAN MATEO COUNTY      CALIFORNIA

1	Drawing Number:	Date	02-25-21	No.	Revisions
OF		Scale	1"=10'		
1		Design			
		Drawn	SPM		
		Approved	SPM		
		Job No			



ARCHITECT:

LARSON SHORES ARCHITECTURE + INTERIORS  
1940 UNION STREET #22  
OAKLAND, CA 94607  
PHONE/FAX: 510-444-9788  
PROJECT ARCHITECT: CARRIE FINLAY SHORES

OWNER:

MIKAYLA & ROBERT CAMERON  
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BURLINGAME, CA 94010  
EMAIL: mikaylancameron@gmail.com



RESIDENTIAL ADDITION  
1441 ALVARADO AVE.  
BURLINGAME, CA 94010  
APN: 027-103-070

SUBMITTAL:

PLANNING / DESIGN REVIEW  
RESUBMITTAL  
02 FEBRUARY 2022

SUBMITTALS HISTORY & REVISIONS:

#	DATE	DESCRIPTION
1	02/10/2022	MODIFICATIONS
2	02/24/2022	MODIFICATIONS

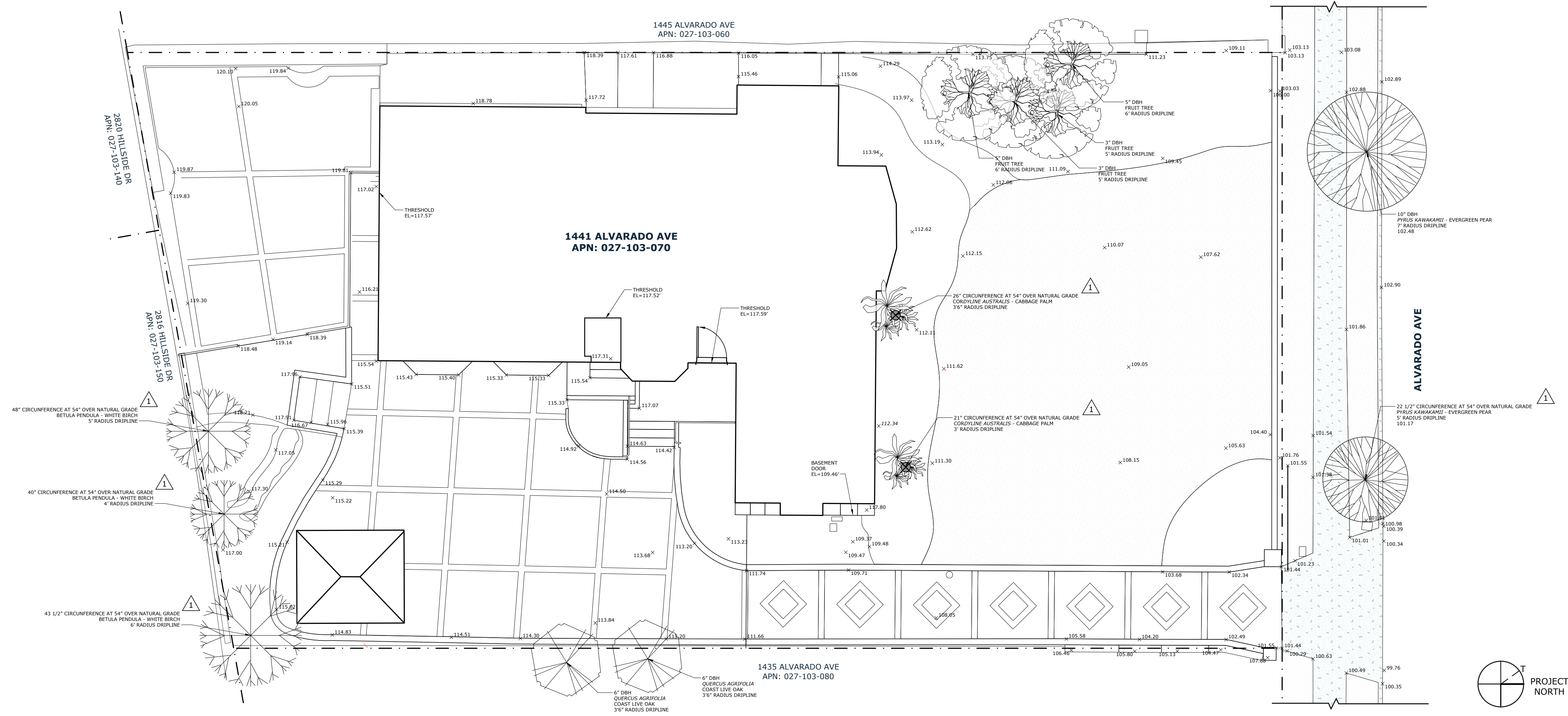
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SHEET TITLE:

SITE PLAN -  
EXISTING

SHEET NUMBER:

L.1

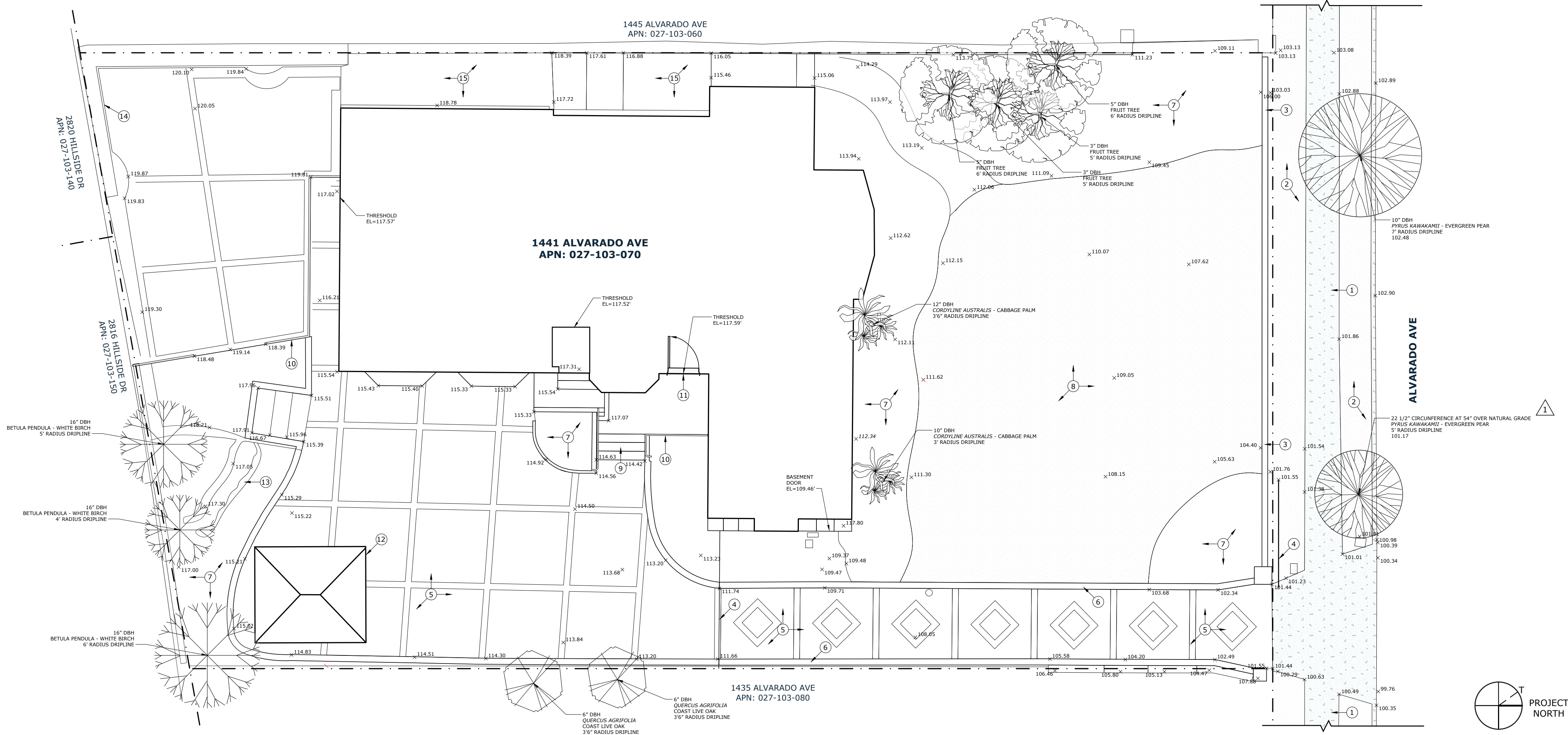


LEGEND:

✕ EXISTING TREE TO BE REMOVED

2 SITE PLAN - TREE REMOVAL

SCALE: 1/8"=1'-0"



KEY NOTES:

- 1 EXISTING SIDEWALK
- 2 EXISTING SIDEWALK LAWN STRIP
- 3 EXISTING EXTERIOR STONE WALL - 3' HGT.
- 4 EXISTING METAL GATE
- 5 EXISTING DRIVEWAY - BRICK & CONCRETE
- 6 EXISTING DRIVEWAY LEDGE - 10" HGT.
- 7 EXISTING PLANTING
- 8 EXISTING LAWN
- 9 EXISTING FRONT STEPS
- 10 EXISTING RAILING
- 11 HOUSE - MAIN ENTRANCE
- 12 EXISTING COVERED GAZEBO
- 13 EXISTING SHORT ROCK WALL
- 14 EXISTING FENCE
- 15 CONCRETE SIDEYARD

1 SITE PLAN - EXISTING

SCALE: 1/8"=1'-0"



NOTES

1. LIVING SPACE within PROPERTY LINE: 3,160.06 sq ft
2. LIVING SPACE outside of PROPERTY LINE - STREET STRIP: 349.79 sq ft
3. TOTAL LIVING SPACE: 3,509.85 sq ft (MIN. 4 NON-FRUIT TREES)
4. EXISTING FENCES TO BE PRESERVED

LEGEND:

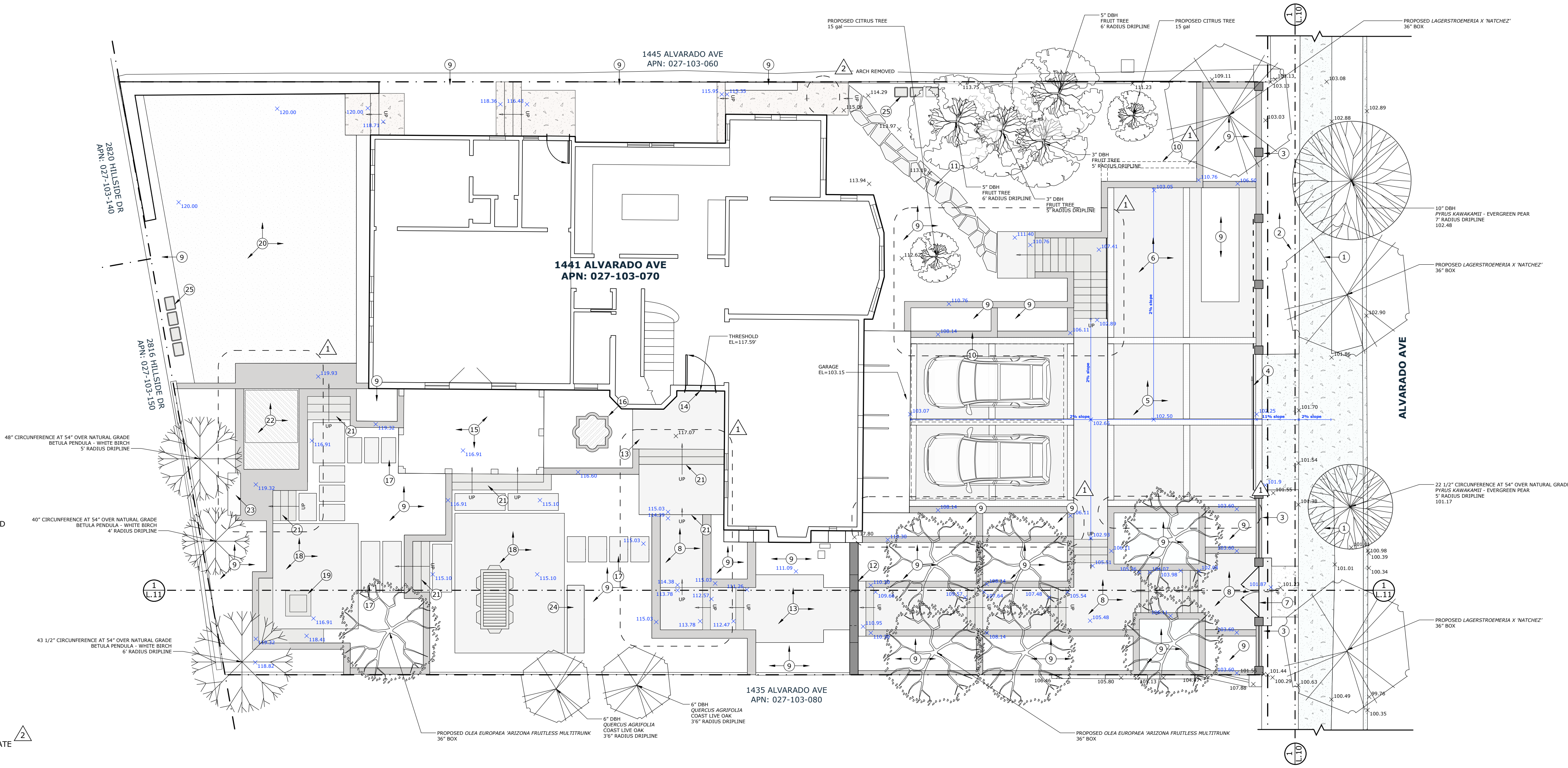
- EXISTING GRADE TO BE KEPT
- PROPOSED GRADE
- CONCRETE
- WALKWAYS & PATIOS- MATERIAL TO BE DECIDED
- STEP - SAME MATERIAL AS WALKWAY
- WALL - MATERIAL TO BE DECIDED
- ARTIFICIAL LAWN
- FLAGSTONE SET IN GRAVEL

KEY NOTES:

- 1 EXISTING SIDEWALK
- 2 EXISTING SIDEWALK PLANTING STRIP
- 3 PROPOSED EXTERIOR WALL
- 4 PROPOSED AUTOMATIC ELECTRIC SLIDING METAL GATE
- 5 PROPOSED PERMEABLE DRIVEWAY
- 6 CAR TURN-AROUND
- 7 PROPOSED ENTRANCE GATE
- 8 PROPOSED WALKWAY
- 9 PROPOSED PLANTING
- 10 PROPOSED TRASH ENCLOSURE - RECESSED IN WALL
- 11 PROPOSED SECONDARY PATH
- 12 PROPOSED ENTRANCE ARCH - MAIN WALKWAY
- 13 ENTRANCE PATIO
- 14 EXISTING MAIN ENTRANCE
- 15 PROPOSED VERANDA
- 16 PROPOSED WATER FEATURE
- 17 PROPOSED PATHWAY
- 18 PROPOSED PATIO
- 19 PROPOSED BUILT-IN BENCH & FIRE PIT
- 20 PROPOSED ARTIFICIAL LAWN - 716.4 sq ft
- 21 PROPOSED STEPS
- 22 PROPOSED HOT TUB, UNDER SEPARATE PERMIT
- 23 PROPOSED BENCH
- 24 PROPOSED BUILT-IN BARBECUE, TO BE DESIGNED
- 25 IRRIGATION BOXES

1 SITE PLAN - PROPOSED

SCALE: 1/8"=1'-0"



LARSON  
SHORES  
ARCHITECTURE  
AND INTERIORS

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PROJECT ARCHITECT: CARRIE FINLAY SHORES

OWNER:

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RESIDENTIAL ADDITION  
1441 ALVARADO AVE.  
BURLINGAME, CA 94010  
APN: 027-103-070

SUBMITTAL:

PLANNING / DESIGN REVIEW  
RESUBMITTAL  
02 FEBRUARY 2022

SUBMITTALS HISTORY & REVISIONS:

#	DATE	DESCRIPTION
1	02/10/2022	MODIFICATIONS
2	02/22/2022	MODIFICATIONS

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SHEET TITLE:

SITE PLAN -  
PROPOSED

SHEET NUMBER:

L.2



LEGEND:

MINI-MULCH - MIN 3" LAYER OVER WEED BARRIER

GRAVEL or PEBBLES - MIN 3" LAYER OVER WEED BARRIER

Street Garden							
Plant Type	Symbol	Scientific Name	Common Name	Mature Size	Qty.	Size	WUCOLS*
Tree		Lagerstroemia x 'Natchez'	Natchez Crape Myrtle	25' H & 15' W	2	24" Box	L
Shrub		Rosmarinus officinalis 'Roman Beauty'	Roman Beauty Rosemary	2-3' H & W	2	5 gal	L
Succulent		Agave x 'Blue Glow'	Blue Glow Agave	1-2' H & 2-3' W	14	5 gal	L/VL
Grass-like		Leymus condensatus 'Canyon Prince'	Canyon Prince Lyme Grass	3-5' H & W	5	5 gal	L
		Lamandra longifolia 'Lime Tuff'	Dwarf Mat Rush	2-3' H & W	6	5 gal	L
Vine		Ficus pumila	Creeping Fig	Kept in wall within columns	6	5 gal	M
Front Yard							
Plant Type	Symbol	Scientific Name	Common Name	Mature Size	Qty.	Size	WUCOLS*
Tree		Lagerstroemia x 'Natchez'	Natchez Crape Myrtle	25' H & 15' W	1	36" Box	L
		Olea europaea 'Arizona Fruitless' Multitrunk	Multitrunk Arizona Fruitless Olive	Kept at 12-15' H & W	6	36" Box	VL
		Citrus x meyeri	Meyer Lemon	Kept at 8-10' H & W	1	15 gal	M
		Citrus x latifolia	Bearss Lime	Kept at 8-10' H & W	1	15 gal	M
Shrub		Olea europaea 'Little Ollie'	Little Ollie Dwarf Olive	4-6' H & W	15	5 gal	VL
		Rosmarinus officinalis 'Roman Beauty'	Roman Beauty Rosemary	2-3' H & W	6	5 gal	L
		Lavandula angustifolia 'Hidcote Giant'	Hidcote Giant English Lavender	2-3' H & W	8	5 gal	L
		Rosmarinus officinalis 'Huntington Carpet'	Huntington Carpet Rosemary	1-2' H & 4-8' Cascading	12	5 gal	L
		Westringia fruticosa 'Morning Light'	Morning Light Coast Rosemary	3-4' H & 4-5' W	7	5 gal	L
Succulent		Agave x 'Blue Flame'	Blue Flame Agave	2-5' H & W	8	5 gal	L
Grass-like		Lamandra longifolia 'Lime Tuff'	Dwarf Mat Rush	2-3' H & W	30	5 gal	L
		Muhlenbergia dubia	Pine Muhly	3' H & W	11	1 gal	L

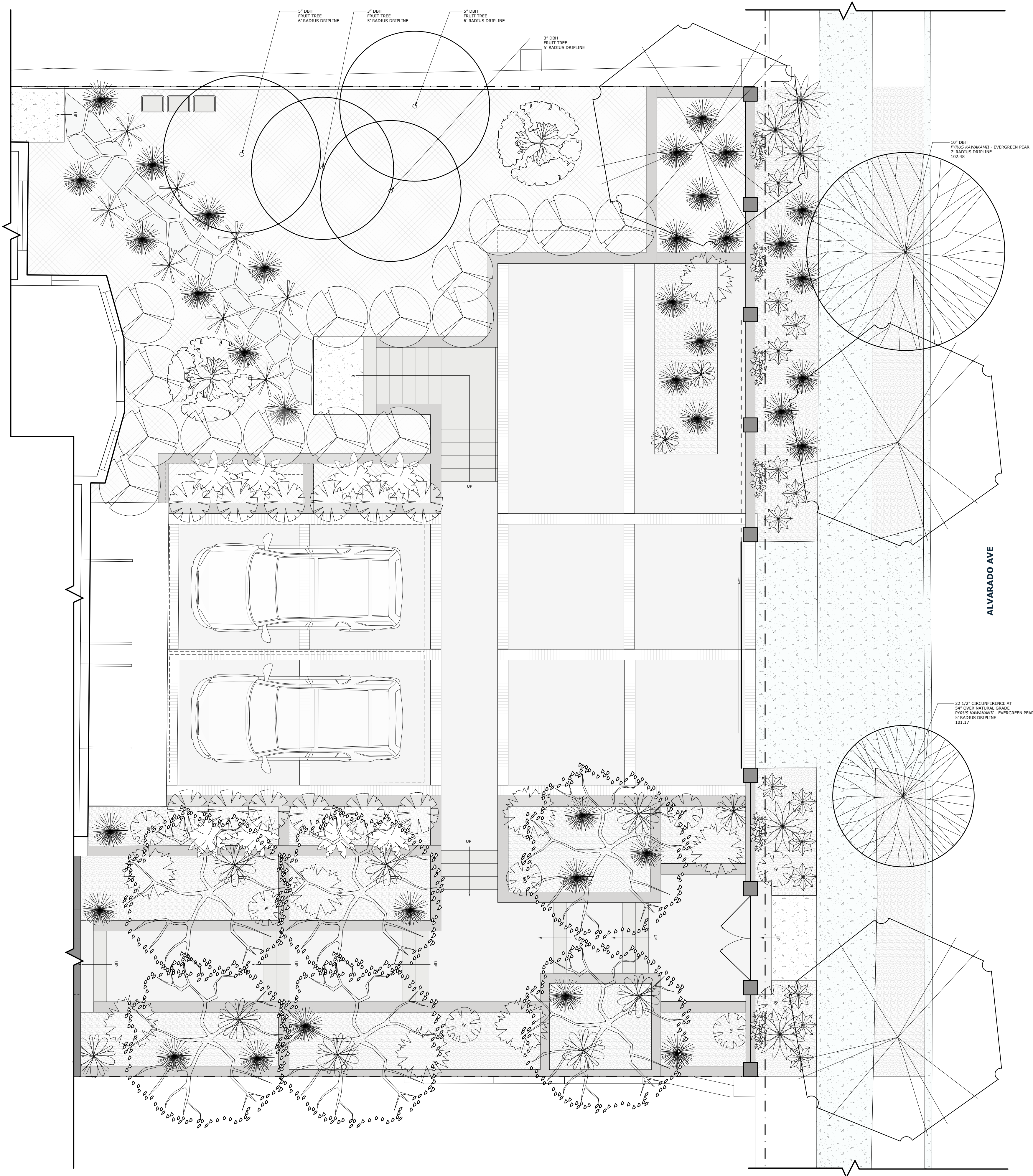
\*WUCOLS IV CLASSIFICATION FOR BURLINGAME

VL: VERY LOW

L: LOW

M: MODERATE

H: HIGH



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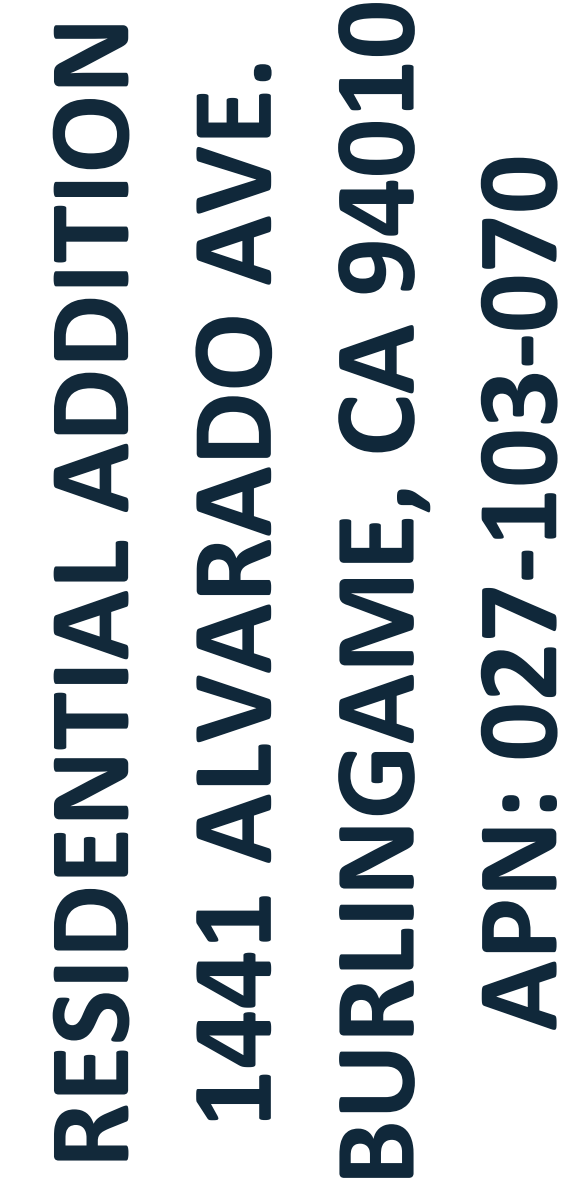
SHEET TITLE:

PLANTING PLAN -  
FRONT YARD

SHEET NUMBER:

L.3





**PLANNING / DESIGN REVIEW  
RESUBMITTAL  
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## PLANTING PLAN - BACKYARD

## L.4

\*WUCOLS IV CLASSIFICATION FOR BURLINGAME  
 VL: VERY LOW  
 L: LOW  
 M: MODERATE  
 H: HIGH  
 \*\*FINAL SPECIES TO BE DECIDED BEFORE  
 PLANTING



NOTES

- LIVING SPACE within PROPERTY LINE: 3,160.06 sq ft
- LIVING SPACE outside of PROPERTY LINE - STREET STRIP: 349.79 sq ft
- TOTAL LIVING SPACE: 3,509.85 sq ft (MIN. 4 NON-FRUIT TREES)
- EXISTING FENCES TO BE PRESERVED
- PLANTING AREAS MORE THAN 30" FROM EXISTING GRADE or MORE THAN 30" FROM PROPOSED ADJACENT GRADE<sup>1</sup>
  - MORE THAN 30" FROM EXISTING GRADE & LESS THAN 30" FROM PROPOSED ADJACENT GRADE: 84.0 sq ft
  - MORE THAN 30" FROM EXISTING GRADE & MORE THAN 30" FROM PROPOSED ADJACENT GRADE: 48.8 sq ft
  - LESS THAN 30" FROM EXISTING GRADE & MORE THAN 30" FROM PROPOSED ADJACENT GRADE: 69.5 sq ft

LEGEND:

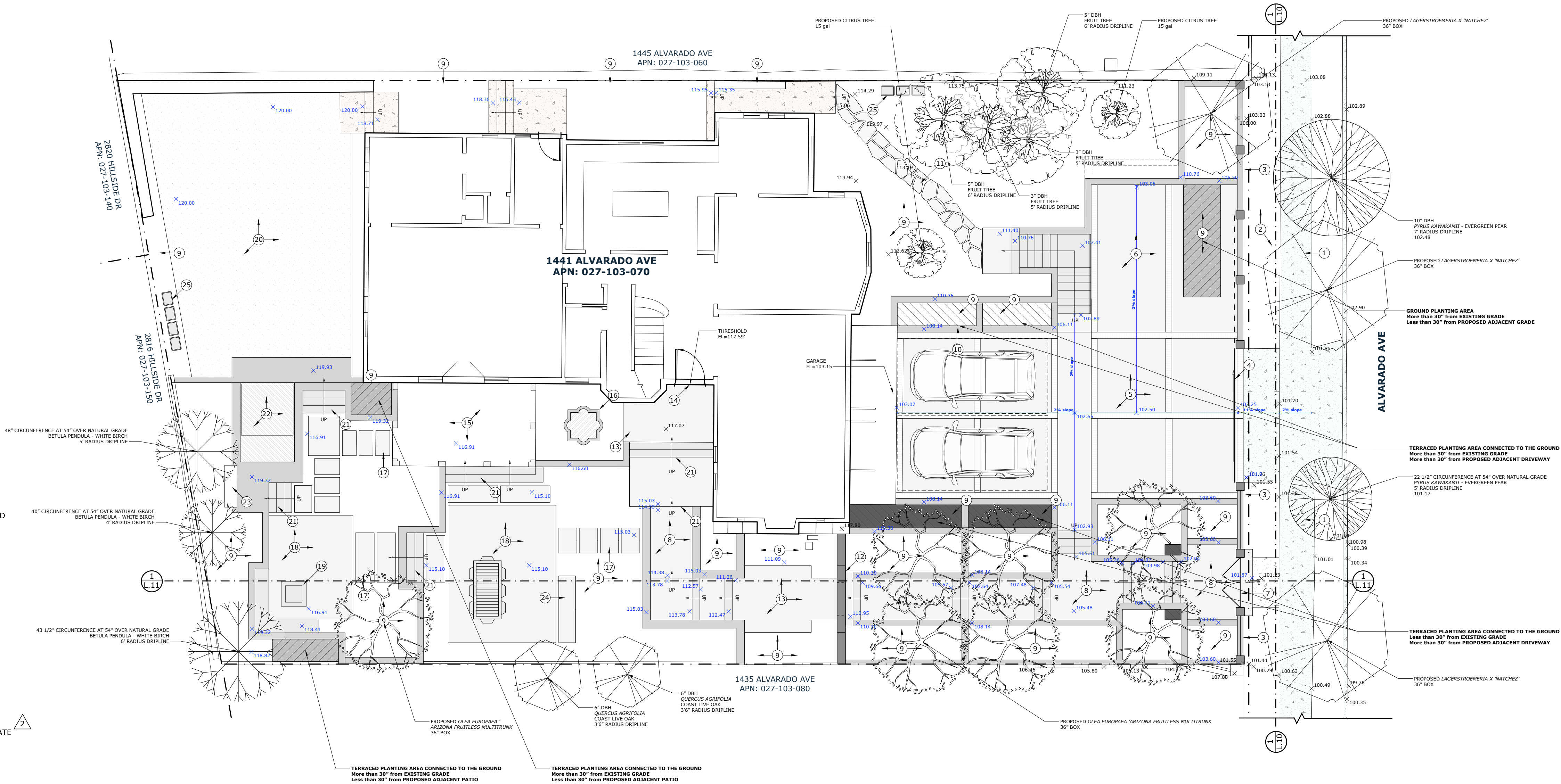
- XXXX-XX EXISTING GRADE TO BE KEPT
- XXXX-XX PROPOSED GRADE
- CONCRETE
- WALKWAYS & PATIOS- MATERIAL TO BE DECIDED
- STEP - SAME MATERIAL AS WALKWAY
- WALL - MATERIAL TO BE DECIDED
- ARTIFICIAL LAWN<sup>1</sup>
- FLAGSTONE SET IN GRAVEL

KEY NOTES:

- EXISTING SIDEWALK
- EXISTING SIDEWALK PLANTING STRIP
- PROPOSED EXTERIOR WALL
- PROPOSED AUTOMATIC ELECTRIC SLIDING METAL GATE<sup>2</sup>
- PROPOSED PERMEABLE DRIVEWAY
- CAR TURN-AROUND
- PROPOSED ENTRANCE GATE
- PROPOSED WALKWAY
- PROPOSED PLANTING
- PROPOSED TRASH ENCLOSURE - RECESSED IN WALL
- PROPOSED SECONDARY PATH
- PROPOSED ENTRANCE ARCH - MAIN WALKWAY
- ENTRANCE PATIO
- EXISTING MAIN ENTRANCE
- PROPOSED VERANDA
- PROPOSED WATER FEATURE
- PROPOSED PATHWAY
- PROPOSED PATIO
- PROPOSED BUILT-IN BENCH & FIRE PIT<sup>1</sup>
- PROPOSED ARTIFICIAL LAWN - 716.4 sq ft
- PROPOSED STEPS
- PROPOSED HOT TUB, UNDER SEPARATE PERMIT<sup>1</sup>
- PROPOSED BENCH
- PROPOSED BUILT-IN BARBECUE, TO BE DESIGNED
- IRRIGATION BOXES

1 SITE PLAN- PLANTERS AREAS

SCALE: 1/8"=1'-0"



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SHEET TITLE:

SITE PLAN-  
PLANTERS AREAS

SHEET NUMBER:

L.9



ARCHITECT:

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SHEET TITLE:

FRONT ELEVATION -  
PROPOSED

SHEET NUMBER:

L.10



KEY NOTES:

- 1 STREET
- 2 EXTERIOR WALL - 5'-0" MAX. HEIGHT
- 3 STEPS
- 4 TERRACES
- 5 BACKYARD ENTRANCE WALL - NOT TO EXCEED 9'-0" FROM ADJACENT GRADE
- 6 SIDE STEPS
- 7 METAL RAILING
- 8 SIDE YARD ENTRANCE WALL
- 9 NEIGHBORING EXTERIOR WALLS
- 10 NEIGHBORING SECONDARY STONE WALL



ARCHITECT:

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SHEET TITLE:

SIDE ELEVATION -  
PROPOSED

SHEET NUMBER:

L.11



- KEY NOTES:
- 1 STREET
  - 2 EXTERIOR WALL
  - 3 STEPS
  - 4 TERRACES
  - 5 BACKYARD ENTRANCE WALL - NOT TO EXCEED 9'-0" FROM ADJACENT GRADE
  - 6 SIDE STEPS
  - 7 NORTHWEST TERRACES
  - 8 BENCH