

LIN RESIDENCE

2721 MARTINEZ DR

BURLINGAME, CA

CONDITIONAL OF APPROVAL

SCOPE OF WORK

REVISION TO APPROVED PERMIT:
1. CHANGE FRONT PORCH WALL TO VENEER STONE FINISH
2. NEW VENEER STONE WALL FINISH AT THE FRONT PORCH AND FRONT WALL BASE WITH WOOD BAND
3. NEW SLIDING DOOR FROM MASTER BEDROOM TO YARD WITH 18" HT. PATIO
4. REMOVE SKYLIGHTS AT BATHROOM AND LIBARYAND ADD NEW SKYLIGH ABOVE STAIR
5. NEW LANDSCAPE WALL AND STEPS AT FRONTS

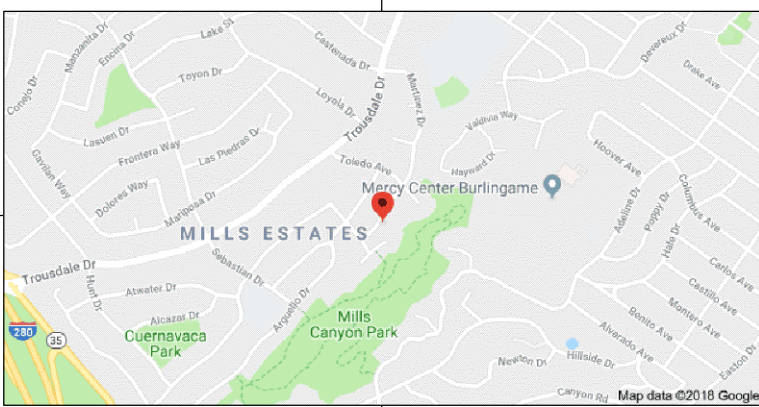
GENERAL NOTES

CONSTRUCTION NOTES

PROPERTY DATA

○ OWNER:	LIN YUN PING
○ ADDRESS:	2721 MARTINEZ DR. BURLINGAME, CA 94010
○ APN #:	025-023-040
○ ZONING:	R1
○ OCCUPANCY GROUPS:	R-3/U
○ TYPE OF CONSTRUCTION:	VB
○ LOT AREA:	10,033⊘
○ MAX. FLOOR AREA(32%)PLUS 1,100 S.F:	4,310⊘
○ MAX. LOT COVERAGE:	4,013⊘ (40%)
○ MAX. BUILDING HIGH	30⊘
○ EXISTING LOT COVERAGE:	1,382⊘
○ EXISTING HABITABLE 2ND FLOOR AREA:	2,624⊘
○ EXISTING HABITABLE 1ST FLOOR AREA:	297⊘
○ EXISTING PARKING SPACE PROVIDED	430⊘ (2 SPACE)
○ EXISTING FLOOR AREA:	3,351⊘
● PROPOSED 1ST FLOOR AREA:	994⊘
● PROPOSED SECOND FLOOR AREA:	3,299⊘
● TOTAL PROPOSED FLOOR AREA :	4,293⊘ <4,310 SF
● TOTAL LOT COVERAGE :	3,992⊘ <4,013

LOCATION MAP



SHEET INDEX

A1.0	SITE PLAN & NOTES
A1.1	(E) SITE PLAN & EROSION PLAN
A2.1	EXISTING AND PROPOSED 2ND FLOOR PLANS
A2.2	(E) & PROPOSED ROOF PLAN
A3.0	PROPOSED EXTERIOR ELEVATIONS
A3.1	PROPOSED EXTERIOR ELEVATIONS
A4.0	SECTIONS & DTLS

DEMO NOTES

1. THE PURPOSE OF THESE DRAWINGS IS TO SHOW INTENT OF DEMOLITION OF INTERIOR ELEMENTS AS INDICATED EXCEPT FOR THOSE ELEMENTS SHOWN TO REMAIN, INCLUDING BUT NOT LIMITED TO STRUCTURAL ELEMENTS, FLOOR BEAMS, COLUMNS, SHEAR WALL & STAIRS. SEE STRUCTURAL DWGS.
2. DEMO SHOWN IS FOR "SOFT" DEMO ONLY. GC WILL NEED TO PROVIDE ADDITIONAL DEMO ASSOCIATED W/ FINAL CONSTRUCTION AS IT RELATES TO WINDOWS, DOORS, STAIRS, ELECTRICAL, & MECHANICAL EQUIPMENT. CONTRACTOR SHALL NOTIFY DESIGNER OF ANY DISCREPANCIES W/ ANY ISSUES AS THEY RELATE TO THESE DEMO PLANS.
3. REFER TO CONSTRUCTION PLAN TO COORDINATE LOCATION OF (N) OPENINGS AT EXISTING WALLS.
4. REMOVE ALL ABANDONED WALL & FLOOR OUTLETS, MECHANICAL DUCTS & SOFFIT, POWER STRIPS, PLUMBING PIPES, BRACKETS, ETC.
5. REMOVE & PATCH ALL ABANDONED FLR OUTLETS.
6. REMOVE ALL ABANDONED UTILITY RISERS EXPOSED DURING DEMO. COORDINATE W/ OWNER
8. CAP OFF ALL PLUMBING AT (E) FIXTURES SHOWN DASHED
9. PATCH & REPAIR ALL DEMO SCARS
10. REMOVE (E) WALL COVERING TO EXPOSE STUDS ON WALLS AS REQUIRED TO RECEIVE NEW WORK FOR PLUMBING, ELECTRICAL, INSULATION AND STRUCTURAL DRAWINGS. REFER TO CONSTRUCTION DRAWINGS
11. REMOVE ALL WATER DAMAGED (E) WALL PLASTER, TYP.
12. REMOVE ALL FLOOR FINISHES, TYP.

1. ALL THE WEATHER EXPOSED BOLTS OR NAILS SHALL BE GALVANIZED
2. ALL EXPOSED WOOD MEMBERS SHALL BE RED WOOD OR PRESSURE TREATED
3. PROVIDE ALL LIVING SPACE SHALL HAVE 7'-6" MIN. CLR CEILING HEIGHT AND EVEN & FLAT FLOOR SURFACE
4. SHEETROCK FINISH: ALL JOINTS AND INTERIOR ANGLES SHALL HAVE TAPE EMBEDDED IN JOINT COMPOUND AND SHALL BE IMMEDIATELY WIPE WITH JOINT KNIFE LEAVING A THIN COATING OF JOINT COMPOUND OVER ALL JOINTS AND INTERIOR ANGLES. TWO SEPARATE COATS OF JOINT COMPOUND SHALL BE APPLIED OVER ALL FLATS JOINTS AND ONE SEPARATE COAT OF JOINTS COMPOUND SHALL BE APPLIED OVER INTERIOR ANGLES. FASTENER HEADS AND ACCESSORIES SHALL BE COVERED WITH THREE SEPARATE COATS OF JOINT COMPOUND. A THIN SKIM COAT OF JOINT COMPOUND TROWEL APPLIED, OR A MATERIAL MANUFACTURED ESPECIALLY FOR THIS PURPOSE AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, APPLIED TO THE ENTIRE SURFACE. THE SURFACE SHALL BE SMOOTH AND FREE OF TOOL MARKS AND RIDGES. PREPARED SURFACE SHALL BE COATED WITH A DRYWALL PRIMER PRIOR TO THE APPLICATION OF FINISH PAINT. OR MATCH (E)
5. THE CONTRACTOR SHALL PROVIDE BACKING PLATES FOR ALL CASEWORK, COUNTERS, FIXTURES, AND SPECIAL EQUIPMENT U.N.O. VERIFY MOUNTING HEIGHTS OF BACKING PLATES W/ MANUFACTURERS SPECIFICATIONS PRIOR TO INSTALLATION.
6. CONTRACTOR SHALL FIELD VERIFY ALL (E) CONSTRUCTION RELATED CONDITIONS PRIOR TO COMMENCING WITH THE WORK
7. ALL WORK ARE NEW U.O.N. OR SHOWN TO BE EXISTING.
8. ALL OPENINGS, VOIDS, AND PARTIALLY DEMOLISHED WALLS RESULTING FROM THE CONTRACTORS WORK SHALL BE PATCHED AND SEALED TO MAINTAIN FIRE RATINGS IN WALLS, FLOOR, AND CEILINGS.
9. REFER TO BUILDING ELEVATION FOR WINDOW HEIGHT
10. WINDOW OPENING WIDTHS AND HEIGHTS SHOWN HERE CORRESPOND WITH NOMINAL OPENING WIDTHS SHOWN ON FLOOR PLAN. REVIEW WINDOW JAMB DETAILS TO DETERMINE ROUGH OPENINGS. MEASURE AS-BUILT OPENINGS PRIOR TO FABRICATION OF UNITS
11. GLAZING GREATER THAN 9 SQ. FT. IN AREA W/ BOTTOM EDGE LESS THAN 18" ABOVE FINISH FLR & HORIZONTALLY WITHIN 36" OF A WALKING SURFACE SHALL BE SAFETY GLAZED (TEMPERED GLASS)
12. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN ALL PARTITION LOCATIONS. ALL DOOR AND OPENING LOCATIONS SHALL BE SHOWN ON FLOOR PLAN. IN CASE OF CONFLICT, NOTIFY OWNER. FLOOR PLAN BY OWNER SUPERCEDES ALL OTHER PLANS. ALL DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES.
13. ALL DIMENSIONS ARE FROM FINISH FACE TO FACE-U.O.N.
14. WHERE INDICATED ON PLANS, ALIGN NEW WALLS WITH THE FACE OF EXISTING WALLS AND FURRING FOR A FLUSH CONDITION.
15. DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALL AS SHOWN OR SHALL BE LOCATED 4" FROM JAMB
16. PROVIDE REQUIRED BLOCKING AND BACKING FOR ALL WALL-HUNG PICTURES AND ACCESSORIES.
17. PROVIDE "BOSTIK" HYDROMENT ULTRASET WATERPROOFING MEMBRANE. TROWEL APPLICATION WITH TWO STEP PROCESS: 1ST STEP: AS A CONTINUOUS WATERPROOF MEMBRANE 2ND STEP: AS A SETTING ADHESIVE FOR CERAMIC TILE AT TOILET ROOMS
18. THERMOSTATS SHALL BE MOUNTED AT 54" AFF TO TOP OF THERMOSTATS
19. VERIFY ALL DIMENSIONS OF NEW COSTRUCTION WITH EXISTING WALLS, FLOORS, FURRING, MECHANICAL CONSTRUCTION AND EXISTING CONDITIONS TO REMAIN
20. PROVIDE BULLNOSE (ROUND RADIUS) CORNER AT ALL (N) GYP. BD PARTITION CORNERS.
21. WHERE THERE ARE FRAMING CONFLICTS WITH SKYLIGH. NOTIFIED OWNER ASAP.
22. INSTALL ALL MATERIAL PER MANUFACTURERS SPEC.
23. ALL NEW EXTERIOR WALL IS 5'-0" FROM THE PROPERTY LINES -OPENING IS NOT LIMITED IN R-3 WHEN EXTERIOR WALL IS SETBACK 5'-0" OR MORE FROM THE PROPERTY LINE, PER 2016 CBC, TABLE 705.8/F
24. ALL LIGHT FIXTURES, POWER OUTLES ARE SWITCHES LOCATIONS ARE FOR REFERENCE ONLY. FINAL LOCATION SHALL BE DETERMINED BY OTHERS
25. ALL PLUMBING, LIGHT FIXTURES, FINISHES SHALL BE DETERMINED BY OTHERS
26. PROVIDE NATURAL LIGHT AT ALL HABITABLE ROOMS BY MEANS OF EXTERIOR GLAZED OPENINGS WITH AN AREA NOT LESS THAN 8% THE FLOOR AREA AND PROVIDE NATURAL VENTILATION AT ALL HABITABLE ROOMS BY MEANS OF OPENABLE EXTERIOR OPENINGS WITH AN AREA OF NOT LESS THAN 4% OF THE FLOOR AREA
31. PROVIDE LEVEL FLOOR FOR NEW LIVING SPACE, AND ALIGN NEW FLOOR WITH EXISTING FLOOR, TYP.
32. FINISHED SHEETROCK AT HABITABLE AREAS TO BE SPRAY KNOCKDOWN U.N.O. ALL FINAL FINSHES DESIGN ARE BY OTHERS
33. SPECIFY ALL RECESSED LIGHTING FIXTURE INSTALLED SHALL BE INSULATION COVER AND AIR TIGHT RATED
34. MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS ARE SCHEMATIC AND FOR DESIGN INTEND AND THE INSTALLATION SHALL BE REVIEWED BY THE BUILDING INSPECTOR IN THE FIELD.
36. INSTALLED LUMINARIES IN BATHROOMS, LAUNDRY ROOMS, GARAGE AND UTILITY ROOMS WILL MEET THE NEW 2016 BUILDING ENERGY EFFICIENCY STANDARDS INCLUDING THE REQUIREMENT "A MIN. OF ONE HIGH EFFICACY LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENORS. 150.0(K) 2. .J.
37. NEW AC EQUIPMENTS WILL BE LOCATED IN THE REAR 75% OF THE LOT. EQUIPMENT SHALL NOT EXCEEDED A MAX. OUTDOOR NOISE LEVEL OF 60 DBA DAYTIME(7AM-10PM OR 50 DBA NIGHTTIME(10PM-7AM) AS MEASURE FROM THE PROPERTY LINE.

CITY OF BURLINGAME
City Hall – 501 Primrose Road
Burlingame, California 94010-3997



COMMUNITY DEVELOPMENT DEPARTMENT
Planning Division
PH: (650) 555-7250
FAX: (650) 696-3790

March 11, 2019

Xie Guan
501 Crescent Way #5412
San Francisco, CA 94134

Re: 2721 Martinez Drive

Dear Mr. Guan,

Since there was no appeal to or suspension by the City Council, the January 28, 2019, Planning Commission approval of your application for Design Review and Hillside Area Construction Permit became effective February 7, 2019. This application was for a first and second story addition to an existing single family dwelling at 2721 Martinez Drive, zoned R-1.

The January 28, 2019, minutes of the Planning Commission state your application was approved with the following conditions:

1. that the project shall be built as shown on the revised plans submitted to the Planning Division date stamped January 7, 2019, sheets A1.0 through A4.0;
2. that the wood bench, built-in planter, landscape screening and irrigation on the deck off the dining room shall be installed and maintained as shown on the Landscape Plan and Proposed Second Floor Plan;
3. that the building permit shall include a planting and irrigation plan for the planter located on the left side of the deck at the rear of the second floor; the deck planter landscaping and irrigation shall be maintained and in proper working order to sustain the privacy screening;
4. that any changes to building materials, exterior finishes, windows, architectural features, roof height or pitch, and amount or type of hardscape materials shall be subject to Planning Division or Planning Commission review (FYI or amendment) to be determined by Planning staff;
5. that any changes to the size or envelope of the first or second floors, or garage, which would include adding or enlarging a dormer(s), shall require an amendment to this permit;
6. that any recycling containers, debris boxes or dumpsters for the construction project shall be placed upon the private property, if feasible, as determined by the Community Development Director.

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March 11, 2019
2721 Martinez Drive
Page 3

All site improvements and construction work will require separate application to the Building Department. This approval is valid for one year during which time a building permit must be issued. An extension of up to one year may be considered by the Planning Commission if application is made before the end of the first year.

The decision of the Council is a final administrative decision pursuant to Code of Civil Procedure Section 1004.6. If you wish to challenge the decision in a court of competent jurisdiction, you must do so within 90 days of the date of the decision unless a shorter time is required pursuant to state or federal law.

Sincerely,

Kevin Gardiner

Kevin Gardiner
Community Development Director

c. Lin Yun Ping, property owner

Chief Deputy Valuation, Assessor's Office
(LOT 4 BLOCK 34 MILLS ESTATE NO 11 RSM 46/35 36 CITY OF BURLINGAME; APN: 025-023-040)

File

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March 11, 2019
2721 Martinez Drive
Page 2

7. that demolition or removal of the existing structures and any grading or earth moving on the site shall not occur until a building permit has been issued and such site work shall be required to comply with all the regulations of the Bay Area Air Quality Management District;
 8. that prior to issuance of a building permit for construction of the project, the project construction plans shall be modified to include a cover sheet listing all conditions of approval adopted by the Planning Commission, or City Council on appeal, which shall remain a part of all sets of approved plans throughout the construction process. Compliance with all conditions of approval is required; the conditions of approval shall not be modified or changed without the approval of the Planning Commission, or City Council on appeal;
 9. that all air ducts, plumbing vents, and flues shall be combined, where possible, to a single termination and installed on the portions of the roof not visible from the street; and that these venting details shall be included and approved in the construction plans before a Building permit is issued;
 10. that the project shall comply with the Construction and Demolition Debris Recycling Ordinance which requires affected demolition, new construction and alteration projects to submit a Waste Reduction plan and meet recycling requirements; any partial or full demolition of a structure, interior or exterior, shall require a demolition permit;
 11. that the project shall meet all the requirements of the California Building and Uniform Fire Codes, 2016 Edition, as amended by the City of Burlingame;
- THE FOLLOWING CONDITIONS SHALL BE MET DURING THE BUILDING INSPECTION PROCESS PRIOR TO THE INSPECTIONS NOTED IN EACH CONDITION:**
12. that prior to scheduling the framing inspection the project architect or residential designer, or another architect or residential design professional, shall provide an architectural certification that the architectural details shown in the approved design which should be evident at framing, such as window locations and bays, are built as shown on the approved plans; architectural certification documenting framing compliance with approved design shall be submitted to the Building Division before the final framing inspection shall be scheduled;
 13. that prior to scheduling the framing inspection the applicant shall provide a certification by the project architect or residential designer, or another architect or residential design professional, that demonstrates that the project falls at or below the maximum approved floor area ratio for the property;
 14. that prior to scheduling the roof deck inspection, a licensed surveyor shall shoot the height of the roof ridge and provide certification of that height to the Building Division, and
 15. that prior to final inspection, Planning Division staff will inspect and note compliance of the architectural details (trim materials, window type, etc.) to verify that the project has been built according to the approved Planning and Building plans.

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DEFERRED PERMIT

1—GRADING PERMIT, IF REQUIRED, WILL BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS

2—DEMOLITION PERMIT WILL NOT BE ISSUED UNTIL A BUILDING PERMIT IS ISSUED FOR THE PROJECT

- 3—NO OCCUPANCY OF THE BUILDING IS TO OCCUR UNTIL A NEW CERTIFICATED OF OCCUPANCY HAS BEEN ISSUED
4. STORMWATER CONSTRUCTION POLLUTION PREVENTION PERMIT. THIS PERMIT IS REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT. AN INITIAL FILED INSPECTION IS REQUIRED PRIOR TO THE START OF ANY CONSTRUCTION
5. CONTRACTOR SHALL SECURE AN ENVOACHMENT PERMIT FROM THE CITY'S ENGINEERING DEPT. PRIOR TO INSTALLATION OF WATER SERVICE, CURB DRAIN, DRIVEWAY AND OTHER ITEMS TO BE INSTALLED WITHIN THE CITY RIGHT-OF-WAY
6. SEWER BACKWATER PROTECTION CERTIFICATION IS REQUIRED PRIOR TO THE ISSUANCE OF BUILDING PERMIT
7. THE SANITARY LATERAL SHALL BE TESTED PER ORIDANCE CODE CHAPTER 15.12. TESTING INFO. IS AVAILABLE AT THE BUILDING DEPT. COUNTER. A SEWER ENVOACHMENT PERMIT IS REQUIRED
8. PLUMBING CONTRACTOR WILL PROVIDE A SINGLE LINE DIAGRAM AT TIME OF INSPECTION AND ANY INSTALLATION PRIOR TO PLAN CHECK AND APPROVAL IS AT CONTRACTOR'S RISK
9. PROVIDE FIRE SPRINKLER SYSTTEM THROUGHOUT ENTIRE RESIDENCE UNDER SEPARATE PLANS, CALCULATIONS AND PERMIT APPLICATION
10. RECYCLING AND WASTE REDUCTION FORM WILL NEEDED TO BE SUBMITTED AND APPROVED PRIOR TO ISSUANCE OF BLDG PERMIT

PROJECT:

**RESIDENTIAL
REMODEL
& ADDITION**

FOR

LIN FAMILY

XIE ASSOCIATES, INC.
Architectural Design & Planning

26 FARVIEW CT
SAN FRANCISCO, CA 94131

Tel: (415) 662-3047

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Email: bill@xiearchdesign.com

**2721
MARTINEZ DR.
BURLINGAME
CALIFORNIA**

4

AS—BUILT
09/06/2021

3

FRONT PORCH
11/06/2019

2

BY OWNER
08/26/2019

DRAWN BY: DM

CHECK BY:

DATE: 08/17/21

10/15/2021

10/15/2021

10/15/2021

10/15/2021

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**CONDITIONAL
APPROVAL**

A0.1

HOURS OF CONSTRUCTION	WATER CONSERVATION	PUBLIC WORK NOTES
<p>NO PERSON SHALL ERECT (INCLUDING EXCAVATION AND GRADING),DEMOLISH, ALTER OR REPAIR ANY BUILDING OR STRUCTURE OTHER THAN BETWEEN THE FOLLOWING HOURS EXCEPT IN THE CASE OF URGENT NECESSITY IN THE INTEREST OF PUBLIC HEALTH AND SAFETY, AND THEN ONLY WITH PRIOR WRITTEN APPROVAL FROM THE BUILDING OFFICAL,WHICH APPROVAL SHALL BE GRANTED FOR A PERIOD NOT TO EXCEED THREE DAYS. HOLIDAY ARE THE FIRST DAY OF JANUARY, THE THIRD MONDAY OF FEBRUARY, THE LAST MONDAY OF MAY, THE FOURTH DAY OF JULY, THE ELEVENTH DAY OF NOVEMBER, OR THE TWENTH-FITHDAY OF DEC. FALLS UPON A SUNDAY THE FOLLOWING MONDAY IS A HOLIDAY.</p> <p>PROJECT CONSTRUCTION SHALL BE LIMITED TO THE FOLLOW:</p> <p>MONDAY THROUGH FRIDAY: 8AM TO 7PM</p> <p>SATURDAYS: 9AM TO 6PM</p> <p>SUNDAYS AND HOLIDAYS: NO WORK ALLOWED</p> <p>(SEE CITY OF BURLINGAME MUNICIPAL CODE, SECTION 13.04.100 FOR DETAILS)</p> <p>CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT-OF WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN/ 8:00 A.M. AND 5:00 P.M.</p> <p>NOTE: CONSTRUCTION HOURS FOR WORK IN THE PUBLIC RIGHT OF WAY MUST NOW BE INCLUDED ON THE PLANS</p>	<p>SAVING FIXTURES</p> <p>1. PROVIDE MAXIMUM 1.8 GALLONS PER MINUTE FOR SHOWER HEADS. SHOWER HEAD WITH FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACE W/ WATER SHOWER HEAD WITH MAX. FLOW RATE OF 2.0 GPF</p> <p>2. PROVIDE MAXIMUM 1.5 GALLONS PER MINUTE FOR LAVATORY FAUCETS LAVATORY WITH A FLOW RATE IN EXCESS OF 2.2 GPM WILL NEED TO BE REPLACE WITH LAVATORY WITH MAX. FLOW RATE OF 1.5 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS)</p> <p>3. PROVIDE MAXIMUM 1.28 GALLONS PER FLUSH FOR NEW TOILETS. WATER CLOSET WITH A FLOW RATE IN EXCESS OF 1.28 GPF WILL NEED TO BE REPLACE WITH WATER CLOSET WITH MAX. FLOW RATE OF 1.28 GPF</p> <p>4. NEW CLOTHES WASHERS SHALL HAVE A WATER FACTOR EQUAL OR LESS THAN 6.0</p> <p>5. PROVIDE MAXIMUM 1.8 GALLONS PER MINUTE FOR KITCHEN FAUCETS</p> <p>6. NEW DISH WASHERS SHALL USE LESS THAN 6.5 GALLONS PER CYCLE, OR BE ENERGY STAR QUALIFIED</p> <div><p>PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CALGREEN SECTION 301.1, FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO A SINGLE FAMILY RESIDENTIAL PROPERTY, EXISTING PUBLING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET COMPLIANT FLOW RATES WILL NEED TO BE UPGRADE.</p></div>	<p>1-ANY DRAIN INLETS WITHIN THE VEGETATED AREA ARE AT LEAST 3 INCHES ABOVE THE SURROUNDING GRADE</p> <p>2. VEGETATED AREA HAS AMENDED SOILS, VEGETATION, AND IRRIGATIONAS REQUIRED TO MAINTAIN SOIL STABILITY AND PERMEABILITY</p> <p>3. RUNOFF IS DISPERSED ACROSS THE VEGETATED AREA WITH SPLASH BLOCK OR GRAVEL ROCK TO EROSION AND PROMOTE INFILTRATION</p> <p>4. ROOF AREAS COLLECT RUNOFF AND ROUTE IT TO THE RECEIVING PERVIOUS AREA VIA GUTTERS AND DOWNSPOUTS</p> <p>5. TRIBUTARY IMPERVIOUS SQUARE FOOTAGE IN NO INSTANCE EXCEEDS TWICE THE SQUARE FOOTAGE OF THE RECEIVING PERVIOUS AREA</p> <p>6. CONTRACTOR SHALL SECURE AN ENROACHMENT PERMIT FROM THE CITY'S ENGINEERING DEPT. PRIOR TO INSTALLATION OF WATER SERVICE, CURB DRAIN, DRIVEWAY AND OTHER ITEMS TO BE INSTALLED WITHIN THE CITY RIGHT-OF WAY</p> <p>7. PROTECT STREET TRESS DURING CONSTRUCTION</p> <p>8. ALL DAMAGED AND DISPLACED CURB, GUTTER AND/OR SIDEWALK FRONTING SITE MUST BE REPLACED PRIOR TO FINAL OF BUILDING PERMIT</p> <p>9. CONSTRUCTION HOURS IN THE CITY PBLIC RIGHT-OF-WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00 AM AND 5:00PM., THIS INCLUDES CONSTRUCTION HAULING.</p> <p>10. PER MUNICIPAL CODE SECTION 18.08.090, NO STORM WATER OR UNDERGROUND WATER DRIANING FROM ANY LOT, BUILDING, OR PAVED AREA SHALL BE ALLOWED TO DRAIN TO ADJACENT PROPERTIES NOR SHALL THIS WATER BE CONNECTED TO THE CITY'S SANITARY SEWER SYSTEM. REGARDLESS OF THE SLOPE OF THE SOURCE PROPERTY, SUCH WATER SHALL DRAIN TO EITHER ARTIFICIAL OR NATURAL STORM DRAINAGE FACILITIES BY GRAVITY OR PUMBBING</p> <p>11. ALL WATER LINES CONNECTIONS TO CITY WATER MAIN FOR SERVICES OR FIRE LINE PROTECTION ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND MATERIAL SPECIFICATIONS, CONTACT THE CITY WATER DEPARTMENT FOR CONNECTION FEES. IF REQUIRED, ALL FIRE SERVICES AND SERVICE 2" AND OVER WILL BE INSTALLED BY BUILDER. ALL UNDERGROUND FIRE SERVICES CONNECTION SHALL BE SUBMITTED AS A SEPARATE UNDERGROUND FIRE SERVICE PERMIT FOR REVIEW AND APPROVAL</p> <p>12. NO STRUCTURE SHALL BE BUILT INTO CITY'S RIGHT-OF-WAY</p> <p>13. THE PROJECT SHALL BE COMPLY WITH THE CITY'S NPDES PERMIT REQUIREMENTS TO PREVENT STORM WATER POLLUTION.</p> <p>14. ALL DEBRIS/GARBAGE CONTAINERS LOCATION SHALL BE ON PROPERTY. IN A SITUATION WHERE THAT IS NO POSSIBLE, AN ENROACHMENT PERMIT IS REQUIRED FROM PUBLIC WORK DEPARTMENT FOR PLACING DEBRIS/GARBAGE CONTAINERS IN PUBLIC RIGHT-OF-WAY. NO WET GARBAGE FLUID SHALL ENTER PUBLIC RIGHT-OF-WAY OR THE STORM DRAIN SYSTEM.</p> <p>15. IT IS THE RESPONSIBILITY OF THE WONER AND/OR CONTRACTOR TO NOTIFY UNDERGROUND SERVICE ALERT(USA) AT LEAST 48 HOURS BEFORE THE START OF ANY EXCAVATION WORK</p>
FIRE NOTED	SITE LEGEND	
<p>1.PROVIDE A MIN. 1 INCH WATER METER</p> <p>2. FIRE SPRINKLERS SHALL BE INSTALLED AND SHOP DRAWINGS SHALL BE APPROVED BY THE FIRE DEPT. PRIOR TO INSTALLATION</p> <p>3. BACKFLOW PREVENTION DEVICE TO BE PROVIDED ON FIRE SERVICE LINE-USC APPROVED DOUBLE CHECK VALVE ASSEMBLY, GENERAL CONTRACTOR SHALL ENSURE THE DOUBLE CHECK VALVE ASSEMBLY IS TESTED AND APPROVEDBY A SAN MATEO COUNTY ENVIROMENTAL HEALTH APPROVED CONTRACTOR PRIOR TO WATER DEPT FINAL INSPECTION</p> <p>4. FIRE FLOW SHALL MEET REQUIREMENTS OF CALIFORNIA FIRE CODE APPENDIX IIIA. PROVIDE AT 1,000 GPM UNLESS PROTECTED BY AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM, THEN IT MAY BE REDUCED BY 50%</p>	<p>○ — — — — ○ PROPERTY LINE</p> <p>— — — — — SETBACK LINE</p> <p>— — — — — EASEMENT LINE</p> <p>□ — — — — □ WOOD FENCE</p> <p>▬ — — — — ▬ BUILDING FOOTPRINT</p>	

1- PROPOSED SITE PLAN

46 MAPS 36

LOT 3

PROJECT DO NOT ALTER THE DRAINAGE PATH

2-LANDSCAPE WALL @ PUBLIC WAY

4

WORK NOTES

EXISTING LATERAL SEWER LINE WITH 4"Ø SEWER LINE, CLEAN OUT MUST BE 18" TO 24" FROM THE BLDF FOUNDATION/BUILDING. REPLACE SEWER LINE AS REQUIRED.

1 (E) LATERAL SEWER LINE SHALL BE TESTED PER ORDINANCE CHAPTER 15.12. A ENROACHMENT PERMIT FOR THE SEWER LATERAL TEST IS REQUIRED. A PASSED SEWER LATERAL TEST CERTIFICATE MUST BE IN PLACE PRIOR TO FINAL OF THE BUILDING PERMIT

2 REPAIR EXISTING SIDEWALK AND DRIVEWAY, AND CURB CUTTER FOR ANY DAMAGED PER CITY STANDARD, ALL CONCRETE SHALL BE REMOVED AND REPLACE FRONT THE PROPERTY, TYP.

3 (N) DRAIN ROCK, DISSIPATE RAIN WATER TO YARD

4 PROVIDE AN ILLUMINATED ADDRESS NUMBER @ FROM THE BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISBLE AND LEGIBLE FRONT THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE A MIN. 1/2" STROKE BY 4" MIN. HT. AND SHALL BE EITHER INTERNALLY OR EXTERNALLY ILLUMINATED IN ALTERATION OR REPAIR CONSTRUCTION. THE POWER OF SUCH ILLUMINATION SHALL NOT BE NORMALLY SWITCHABLE. CITY OF BURLINGAME MUNCIPAL CODE 18.08.010.2010 CBC 201.2

5-EXISTING WATER MEATER, PROVIDE A MIN. 1 INCH WATER METER, VIF

6-USC APPROVED DOUBLE CHECK VALE-BACKFLOW PREVENTION DEVICE

7-3"Ø RAIN LEADER PIPE(PVC OR EQUAL) DRAIN AWAY FROM HOUSE, SLOPE 1/4" PER/FT, TOWARD STREET AS A BACK UP SYSTEM DURING LARGE STORM

8-3" C.I. PIPE(CURB DRAIN) UNDER THE SIDEWALK AND DYLIGHT @ THE STREET GUTTER PER CITY STANDARD DWG

2721 MARTINEZ DR. BURLINGAME CALIFORNIA

AS-BUILT 09/06/2021

FRONT PORCH 11/06/2019

DRAWN BY: DM

CHECK BY:

DATE: 08/17/21

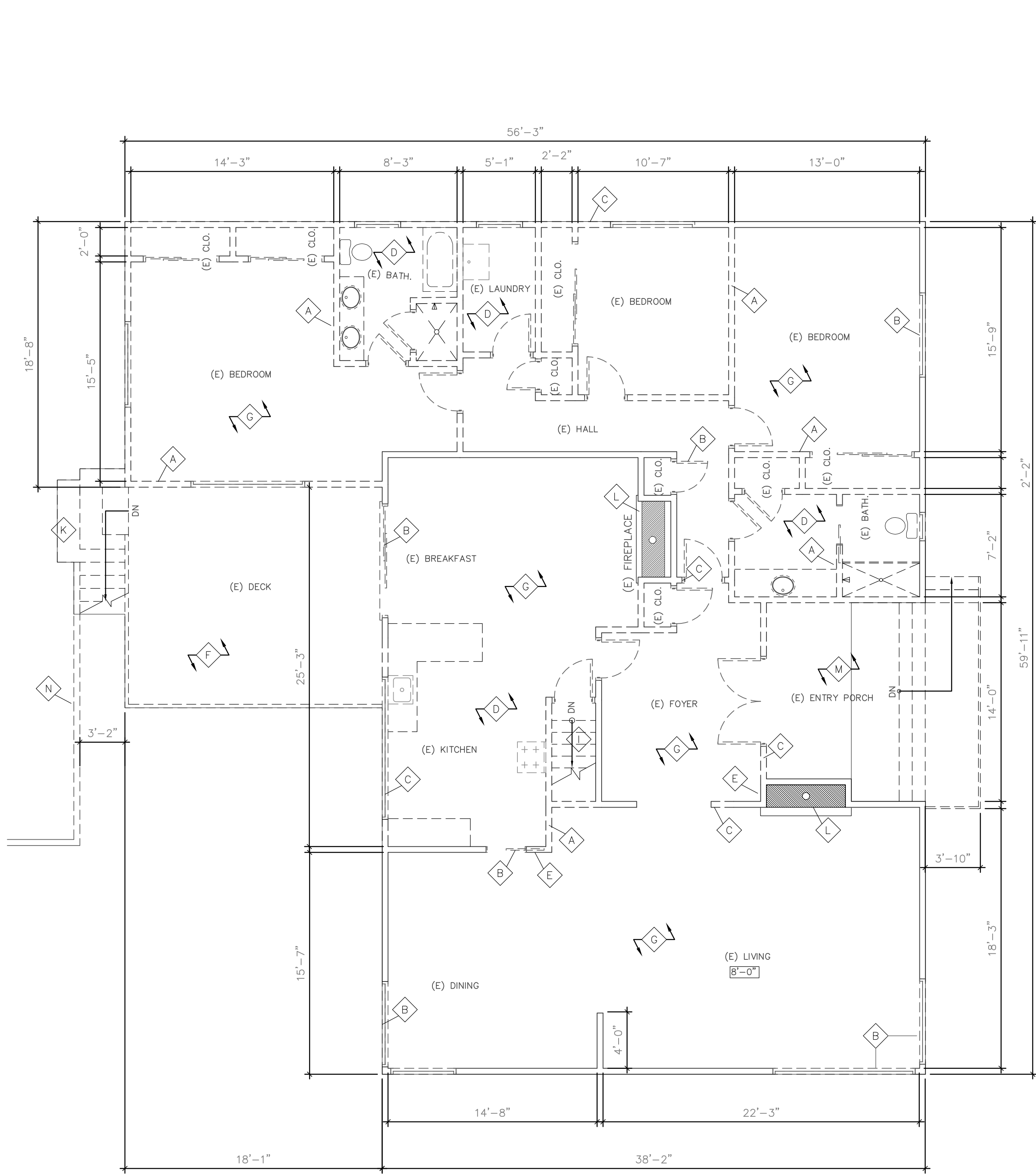
SEAL OF ARCHITECT XIE XING GUAN No. C-302869 1/31/2023

STATE OF CALIFORNIA

SHEET TITLE

SITE PLAN & NOTES

A1.0



1- EXISTING 2ND FLOOR PLAN

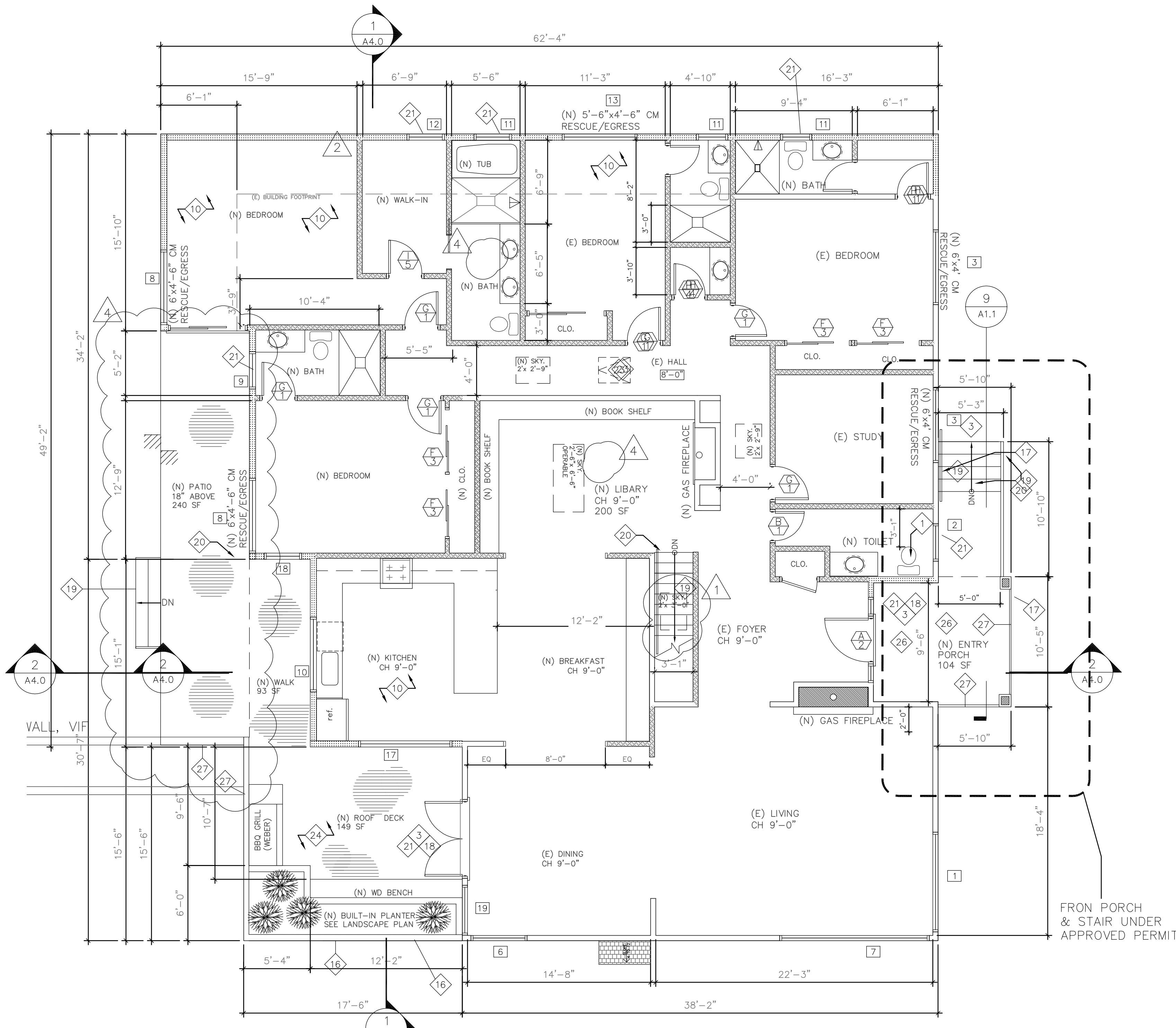
SCALE: 3/16"=1'-0"

DEMO WORK NOTES

- A** DEMOLISH (E) WALL, DOOR AND WINDOW AS SHOWN DASHED. PROVIDE TEMPORARY BRACING AS NEED FOR BEARING WALLS.
- B** REMOVE DOOR/WINDOW AND PATCH WALL AS NECESSARY. DEMOLISH ALL WINDOWS IN EXTERIOR WALLS. TYP.
- C** REMOVE PARTIAL OF EXISTING WALL FOR NEW OPENING, SEE PROPOSED PLAN FOR EXTEND OF WORK
- D** DEMOLISH FIXTURES, CABINETS, AND COUNTER /OR OTHER ITEMS SHOWN DASHED, AND CAP OFF ASSOCIATED UTILITY LINES
- E** (E) WALL TO REMAIN
- F** DEMO (E) DECK ,POSTS, AND STAIRS, INCLUDING FRAMING AND GUARDRAILS, AND FOUNDATION.
- G** PREPARE WALL, FLOOR, AND CEILING TO RECEIVE NEW WORK. TYP.
- I** REMOVE (E) STAIR INCLUDING FRAMING AND GUARDRAIL, TYP.
- K** REMOVE (E) STAIR INCLUDING FRAMING, FOUNDATION, AND GUARDRAIL, TYP.
- L** (E) FIREPLACE TO REMAIN
- M** MODIFY AND BUILD-UP (E) PORCH & (E) STAIRS (SEE PROPOSED PLAN FOR EXTENT OF WORK)
- N** DEMOLISH (E) LANDSCAPE WALL

CONSTRUCTION WORK NOTES

- 1** PROVIDE A 15" CLR. ON EACH SIDE MEASURE FROM CENTERLINE OF WATER CLOSET AND A MIN. 24" CLR. IN FRONT OF THE WC, SEE A5.0/6
- 2** PROVIDE (N) DOUBLE PANEL WINDOWS WITH U-VAULE NO MORE THAN .32, AND COMPLY WITH EGRSS OPENING REQUIREMENT AT BEDROOM (20" CLEAR WIDTH, 24" CLEAR HEIGHT, & MIN. 5.7 SQ. FT. CLEAR OPENING. SILL HEIGHT NOT MORE THAN 44" ABOVE THE FINISH FLOOR)
- 3** 36" DEEP LANDING IN THE DIRECTION OF TRAVEL; 4" MIN. 7.75" MAX STEP DOWN FOR INSWING AND SLIDING DOORS; SLOPE 2% AWAY FROM HOUSE. SEE DTL. @ A5.1/1
- 8** PROVIDE R-19 INSULATION AND 5/8" TYPE 'X' GYPBOARD INSIDE TO EXTERIOR WALL, VIF, TYP. VERIFY FOR (E) EXTERIOR WALLS, WHERE FINISHING IS REMOVED DUE TO WORK
- 9** THE TUB/SHOWER WALLS TO BE SMOOTH, HARD, NONABSORBENT SURFACE(E.G., CERMIC TILE) OVER A MOISTURE RESISTANT UNDERLAYMENT (E.G., CEMENT BOARD, ETC.) TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET, SEE DTL. @ A5.0/2
PROVIDE 1024 SQUARE INCHES MIN. & CAPABLE OF ENCOMPASSING A 30" DIA. CIRCLE AT SHOWER SPACE. SHOWER DOOR SHALL BE TEMPERED GALSS, AND OPEN SO AS TO MAINTAIN A MIN. 22 INCH UNOBSTRUCTED OPENING FOR EGRESS



2- PROPOSED 2ND FLOOR PLAN

SCALE: 3/16"=1'-0"

- 10** LEVEL (N) FLOOR, MATCH HEIGHT WITH EXISTING FLOOR, SEE A4.0/A4
- 16** 42" HT. LOW WALL GUARDRAIL. SEE A5.0/12
- 17** 42" HT. GUARDRAIL, THE TOP OF GUARDRAILS SHALL NOT BE PLACED NO LESS 42" A.F.F. RAILING DISTANCE B/W CABLE SHALL NOT MORE THAN 4" O.C. (SUCH THAT A 4" Ø SPHERE CAN'T PASS THROUGH), SEE A5.0/5
- 18** PROVIDE/VERIFY WEATHER STRIPPING FOR THIS DOOR/ WINDOW/SIDELITE
- 19** ALL STAIRWAYS TO BE MIN. 36" WIDE. RISERS ON STAIRWAYS SHALL NOT BE LESS THAN 4" NOR GREATER THAN 7.75". THE GREATEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". THE RUN SHALL NOT BE LESS THAN 10". SEE DTL. A5.1/3
- 20** PROVIDE NEW HANDRAIL,THE TOP OF HANDRAIL SHALL NOT BE PLACED LESS 34" NOR MORETHAN 38" ABOVE LANDINGS & THE NOSING OF TREADS. THE HANDGRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS SECTION. HANDRAIL SHALL RETURN TO WALL OR FLOOR, SEE A5.1/3C
- 21** PROVIDE TEMPERED GLASS TO THIS WINDOW/SIDELITE/DOOR
- 23** (N) ATTIC ACCESS (MIN. 22"x30") WITH WOOD LADDER AND 30" UNOBSTRUCTED HEADROOM CLEARANCE IN THE ATTIC SPACE ABOVE THE OPENING. VERIFY LOCATION AT FIELD AND RELOCATE IF NECESSARY
- 24** FLOATING WOOD DECKING WITH 2"x6" WOOD PLANKS, LAID FLAT
- 25** PREFABRICATED GAS BBQ GRILL APPLIANCE, SECURE TO PLACE WITH WOOD SCREW, 186 LBS
MANUFACTURE: WEBER GENESIS II SE-335 SPECIAL EDITION
PROPANE GAS GRILL - BLACK - 61016201 OR EQUAL
- 26** FLOOR FINISH TILE PAVING O/
HOT MOPPED-ON BITUMEN AND 10 MIL POLYETHYLENE DAMPROOFING MEMBRANE O/P.T PLYWD
- 27** 42" HT. GUARDRAIL, THE TOP OF GUARDRAILS SHALL NOT BE PLACED NO LESS 42" A.F.F. RAILING DISTANCE B/W CABLE SHALL NOT MORE THAN 4" O.C. (SUCH THAT A 4" Ø SPHERE CAN'T PASS THROUGH), SEE A5.0/5&10

LEGEND

- EXISTING WALL TO REMAIN
- NEW EXTERIOR WALL
SEE DTL. @ A5.0/8
- NEW INTERIOR WALL
SEE DTL. @ A5.0/5
- NEW EXTERIOR WALL, 1-HR RATED
SEE DTL. @ A5.1/4
- NEW INTERIOR WALL, 1-HR RATED
SEE DTL. @ A5.0/1
- EXISTING DOOR TO REMAIN
- NEW DOOR TO BE INSATLLED
- EXISTING WINDOW TO REMAIN
- DOOR TYPE, REFER TO C1/A3.0
- KEY NOTES

PROJECT:

**RESIDENTIAL
REMODEL
& ADDITION**

FOR

LIN FAMILY

XIE ASSOCIATES, INC.

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**2721
MARTINEZ DR.
BURLINGAME
CALIFORNIA**

4

AS-BUILT
09/06/2021

3

FRONT PORCH
11/06/2019

DRAWN BY: DM

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**FLOOR
PLANS**

A2.1

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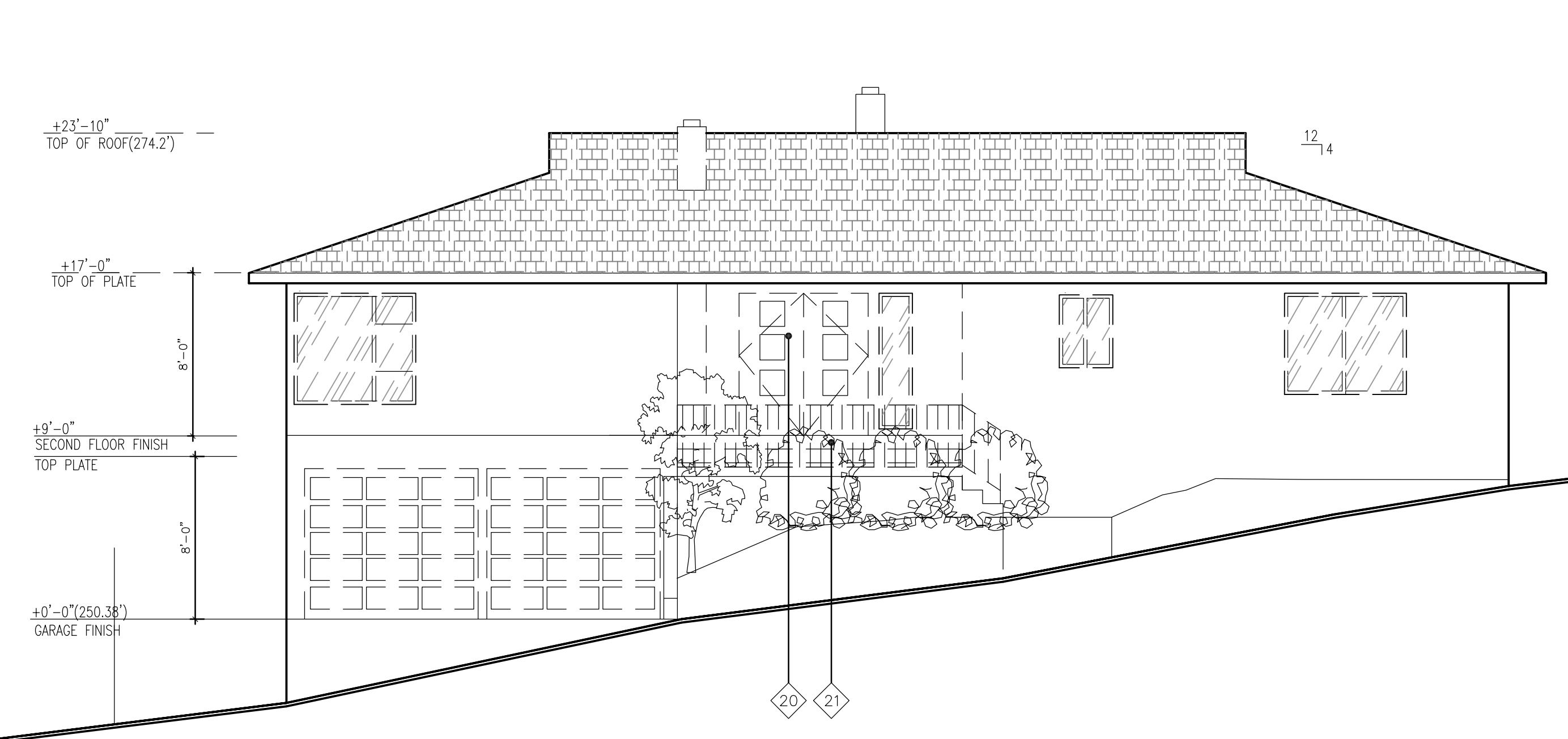
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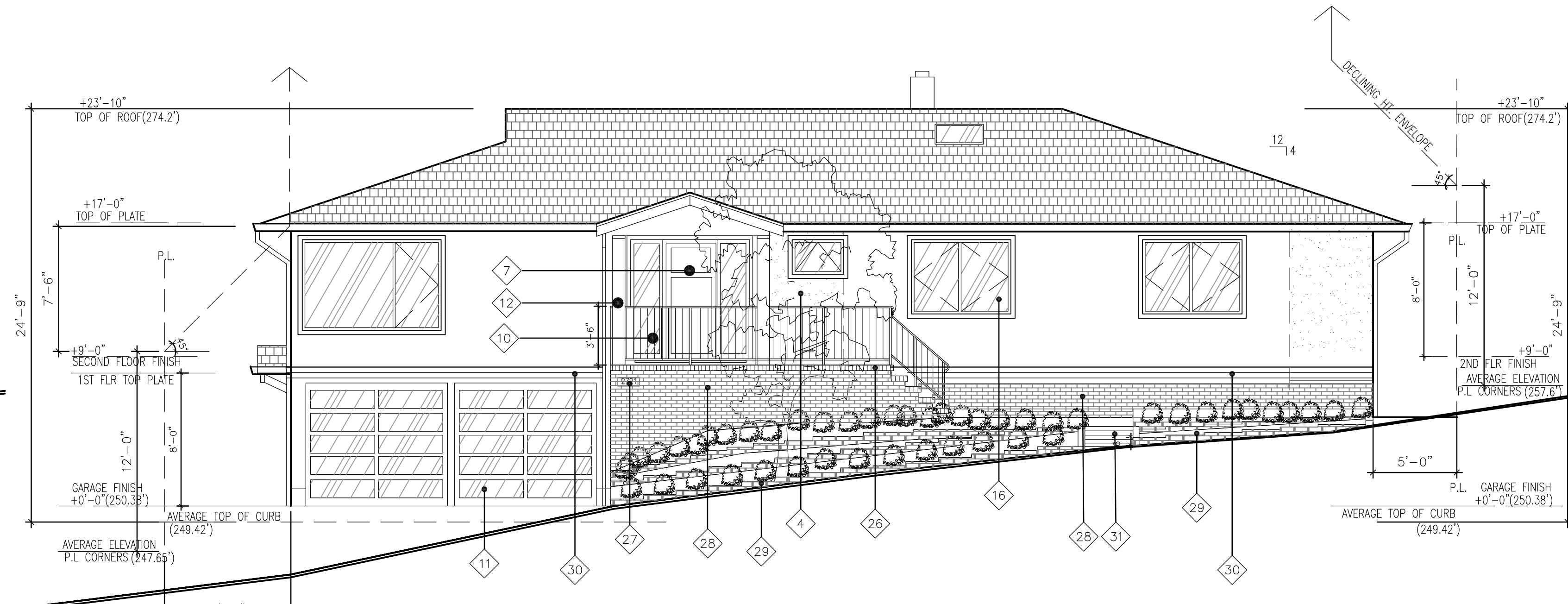
BUILDING
ELEVATIONS

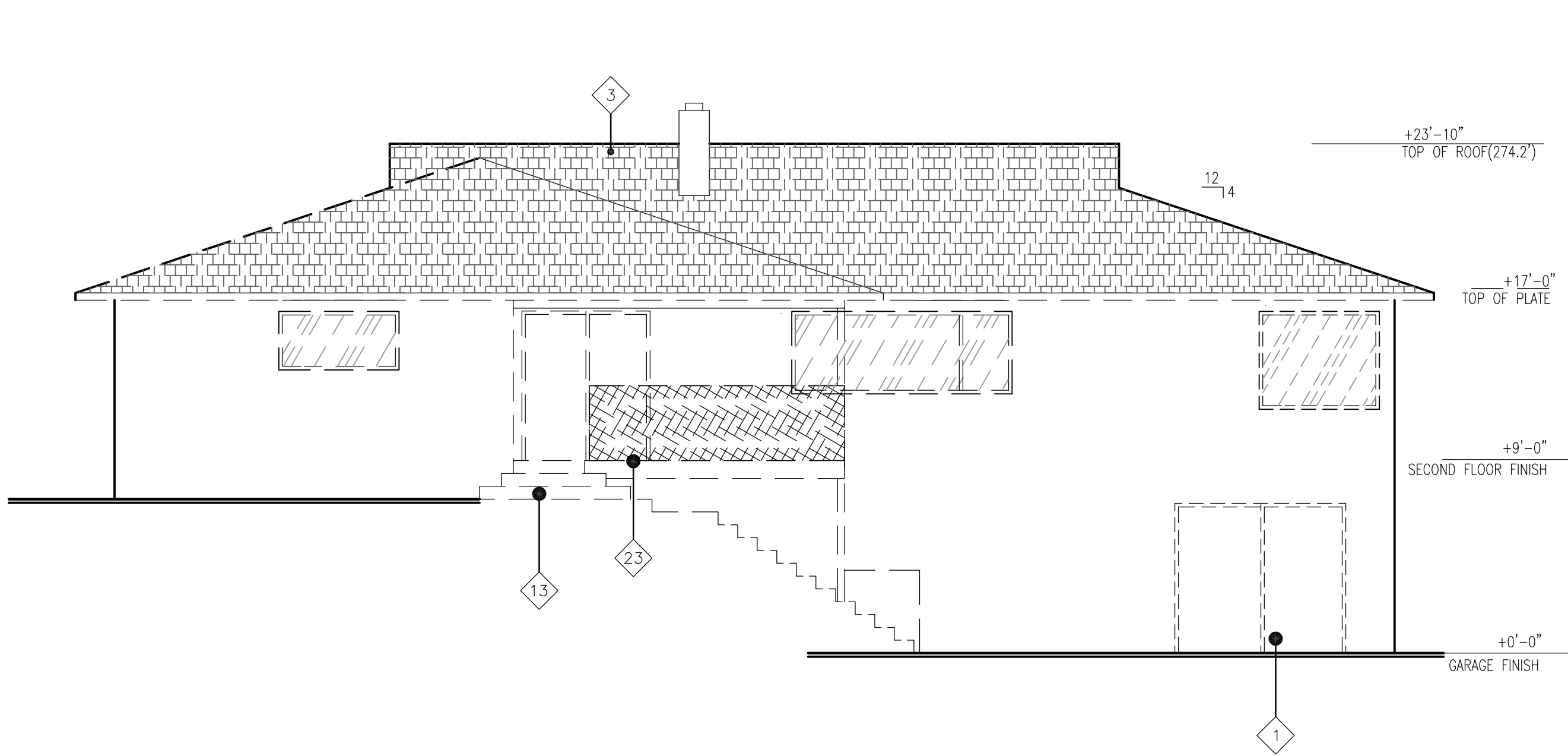
A3.0



1- FRONT(WEST) ELEVATION: EXISTING

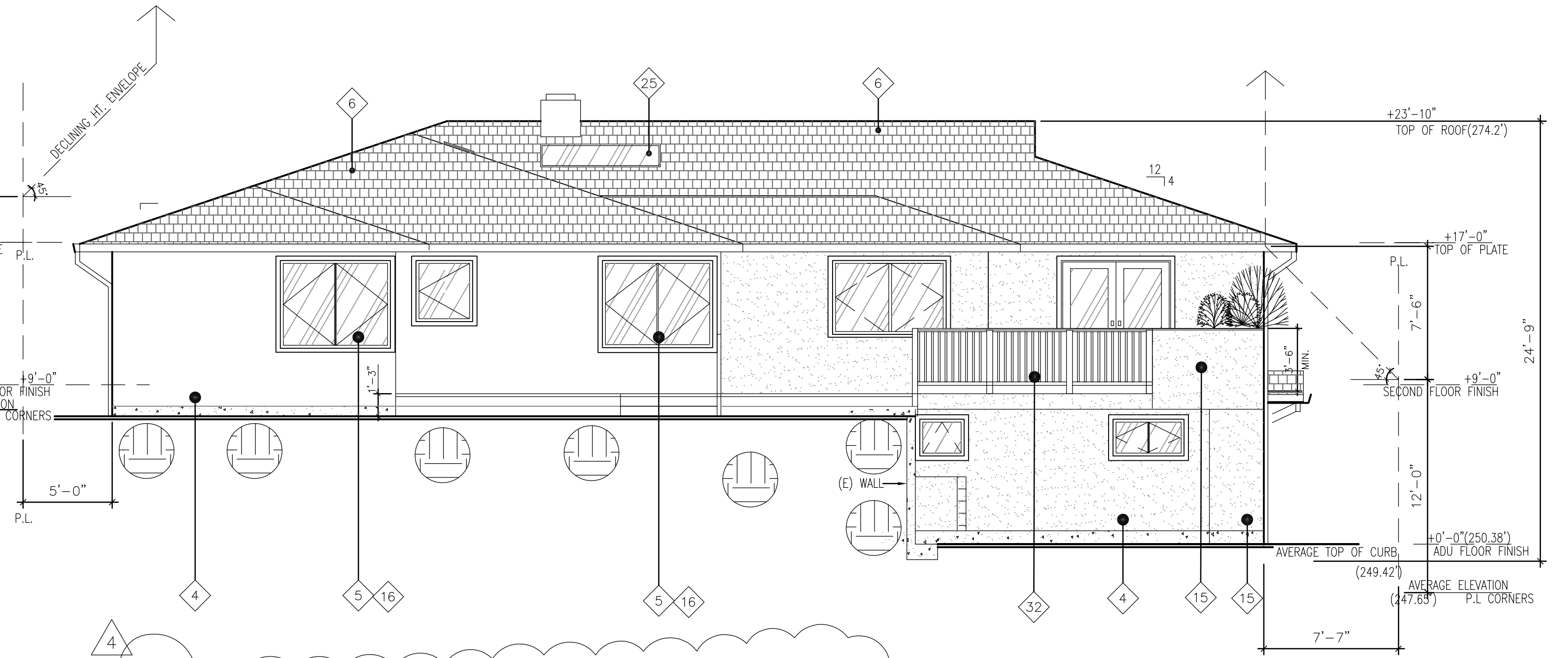
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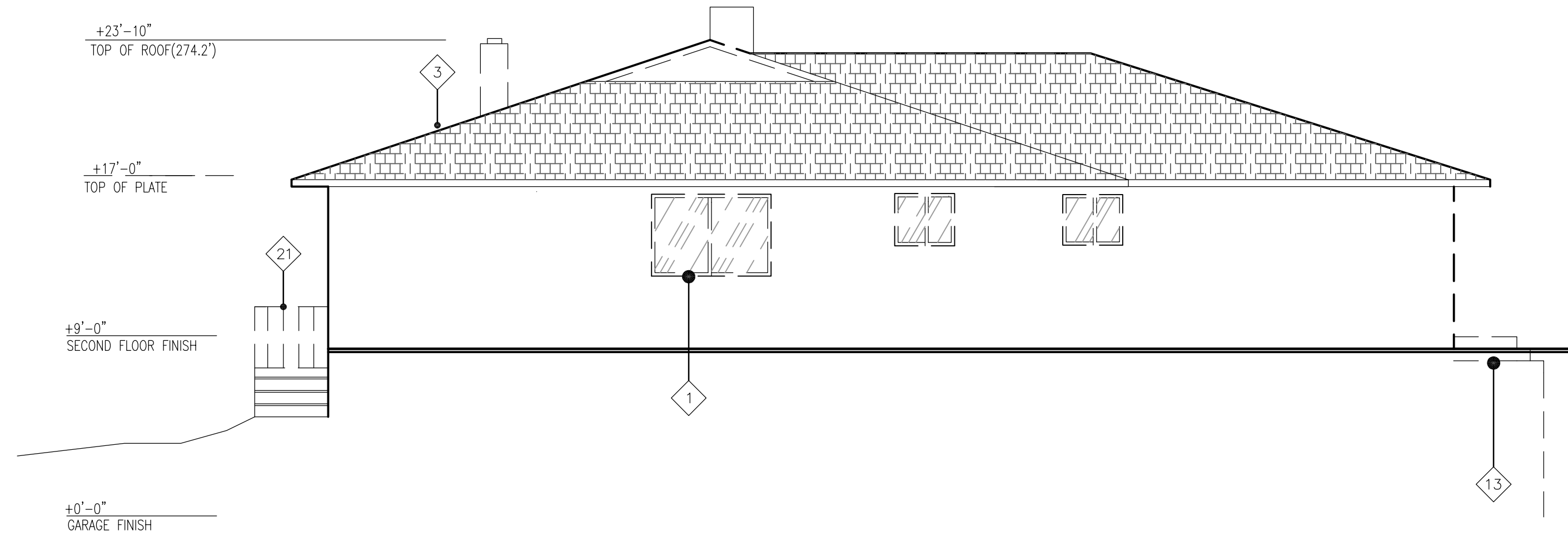
1-EAST (REAR) ELEVATION: EXISTING

SCALE: 3/16"=1'-0"



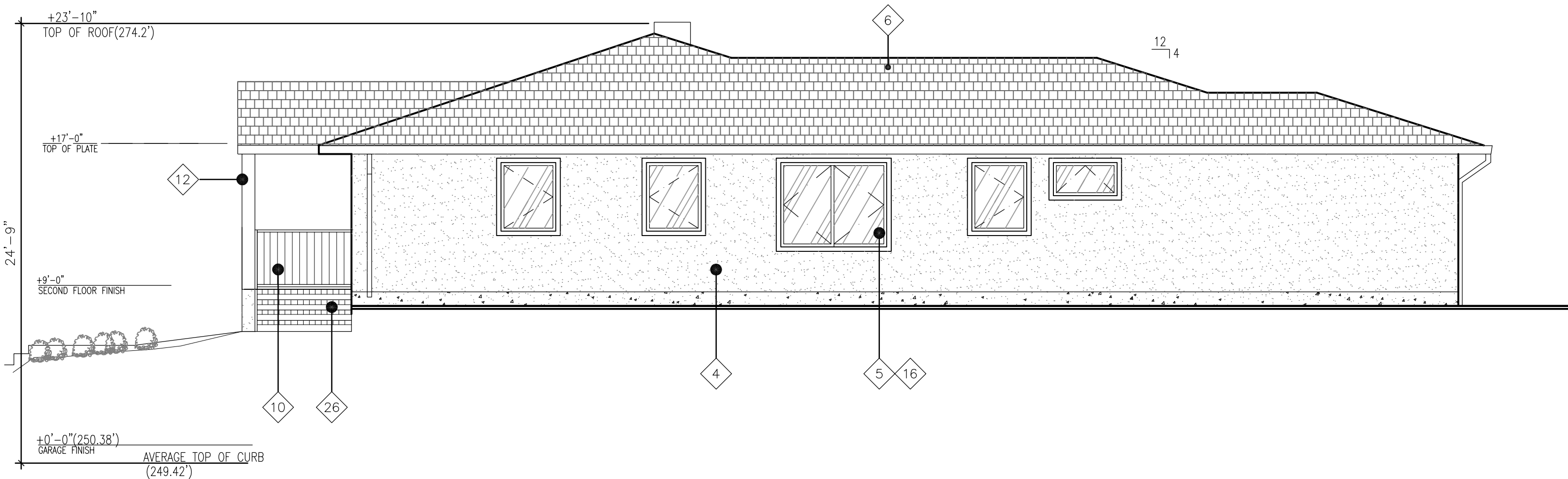
2-EAST (REAR) ELEVATION: PROPOSED

SCALE: 3/16"=1'-0"



3-SOUTH(RIGHT) ELEVATION: EXISTING

SCALE: 3/16"=1'-0"



4-SOUTH(RIGHT) ELEVATION: PROPOSED

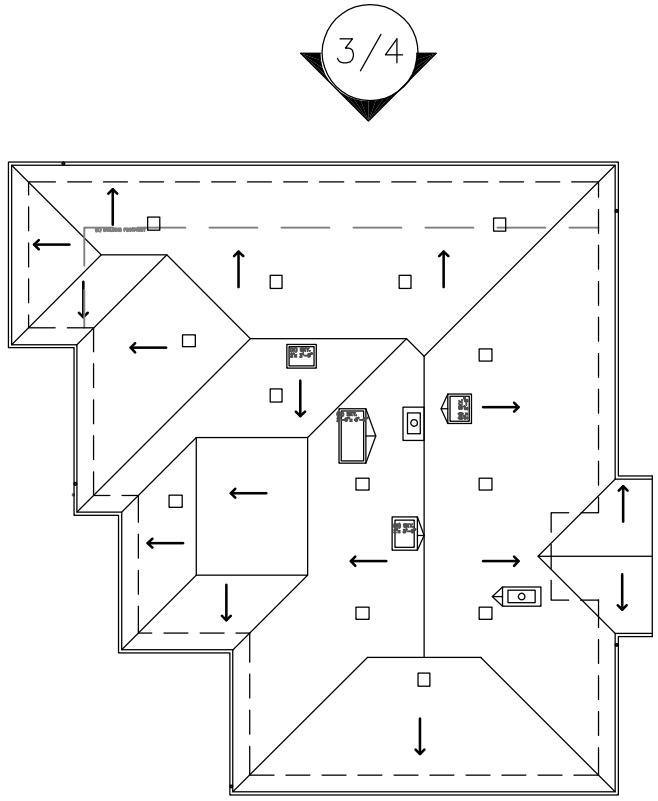
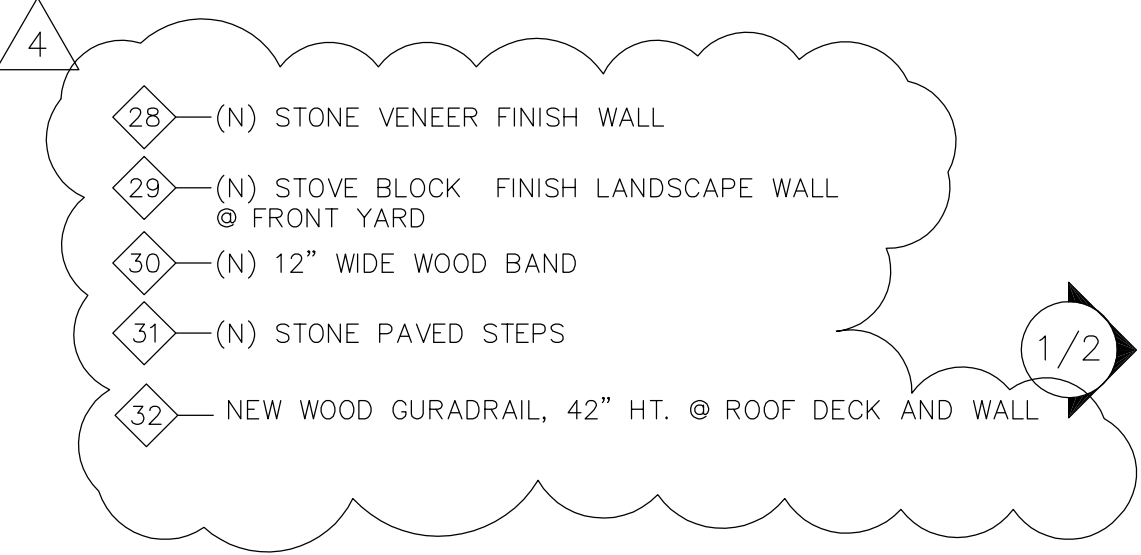
SCALE: 3/16"=1'-0"

GENERAL NOTES

- I. FINISH GRADE SHALL SLOPE AWAY FROM FOUNDATIONS AT A 2% MIN. SLOPE FOR A MIN. OF 5' 0" AT SOIL AND A MIN. OF 3' 0" AT CONCRETE.
- II. TOP OF FIREPLACE CHIMNEYS TO EXTEND 2 FEET MIN. ABOVE ANY ROOFING MATERIAL WITHIN 10 FEET (MEASURED HORIZONTALLY) OF CHIMNEY AND 3 FEET MIN. ABOVE ANY ADJACENT ROOFING MATERIAL.
- V. PROVIDE WEATHER RESISTIVE BARRIERS AND, WHEN APPLIED OVER WOOD BASE SHEATHING, PROVIDE 2 LAYERS OF GRADE 'D' PAPER
- VI. ALL WOOD MATERIAL EXPOSED TO WEATHER SHALL BE PRESSURE TREATED OR RED WOOD
- VII. ALL CONNECTORS USED IN CONJUNCTION WITH PRESSURE TREATED LUMBER MUST BE HOT-DIPPED ZINC GALVANIZED AND A MIN. GALVANIZATION LEVEL OF G185.

WORK NOTES

- 1—EXISTING DOOR AND WINDOW TO BE REMOVED
- 2—(E) WOOD FENCE TO REMAIN
- 3—(E) COMPOSITE ROOF SHINGLES ROOF TO BE MODIFY
- 4—(N) STUCCO WALL EXTERIOR FINISH, MATCH (E)
- 5—(N) ALUM CLAD WOOD CASEMENT WINDOW
- 6—(N) COMPOSITE ROOF SHINGLES, MATERIAL AND STYLE MATCH (E)
- 7—NEW RECESSED ENTRY WITH SOLID WOOD DOOR
- 8—(E) STUCCO WALL EXTERIOR FINISH TO REMAIN, TYP.
- 9—METAL GUTTER W/SCREENING, TYP.
- 10—NEW WROUGHT IRON MTL VERTICAL RAILING WITH CAP, TYP.
- 11—NEW WOOD GARAGE DOOR WITH GLASS PANELS
- 12—HARD WOOD FINISH COLUMN, PAINT TO WHITE, TYP.
- 13—EXISTING STAIR AND LANDING TO BE REMOVED
- 15—NEW STUCCO LOW WALL GURADRAIL @ ROOF DECK AND WALL, PAINT TO MATCH STUCCO
- 16—(N) 6'x5' ALUM CLAD WOOD CASEMENT EGRESS/RESCUE WINDOW, PROVIDE WINDOWS MEET EGRESS REQUIREMENTS AT LEAST ONE ESCAPE ROUTE FROM SLEEPING ROOM, 20" CLEAR WIDTH, 24" CLEAR HEIGHT, AND MIN. 5.7 SQ. FT. CLEAR OPENING. SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR, AND NOT LESS THAN 24" AFF
- 20—(E) WOOD DOOR AND GARAGE TO BE REMOVED
- 21—(E) METAL RAILING AND STEPS TO BE REMOVED; (E) LANDING TO REMAIN
- 22—(E) METAL WINDOW TO BE REMOVED, TYP.
- 23—(E) WOOD RAILING TO BE REMOVED, TYP.
- 24—(N) ALUM CLAD WOOD FRENCH DOOR
- 25—(N) FLAT GLASS SKYLIGHT, TYP.
- 26—(N) RED BRICK FINISH STEPS



KEY PLAN

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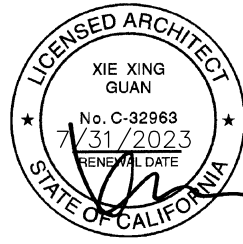
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FRONT PORCH
11/06/2019

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ALL WORK SHOWN
UNLESS NOTED OTHERWISE
SHOULD BE CONSIDERED TO BE
IN ACCORDANCE WITH THE
LATEST EDITIONS OF THE
CALIFORNIA BUILDING CODE



SHEET TITLE

EXTERIOR
ELEVATIONS

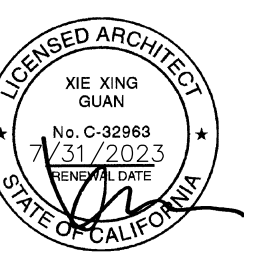
A3.1



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CALIFORNIA**

N.T.S

BY OWNER
08/26/2019



BUILDING SECTIONS

A4.0