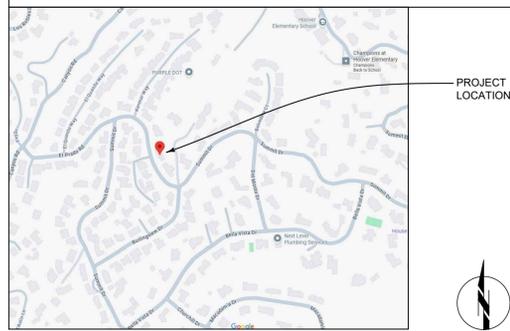


VICINITY MAP



PROJECT LOCATION



PROJECT DIRECTORY

OWNER:
DAVID MATSUO
2674 SUMMIT DR.
BURLINGAME, CA 94010
T. 408.656.6095
DVMATSUO@YAHOO.COM

SURVEYOR:
MACLEOD & ASSOCIATES
965 CENTER STREET
SAN CARLOS, CA 94070
T. 650.593.8580

ARCHITECT:
MORRIS ARCHITECTURE LLC
12 COZZOLINO CT
MILLBRAE, CA 94030
T. 650.995.1360
RYAN@MORRIS-ARCH.COM

ARBORIST:
ADVANCED TREE CARE
965 E. SAN CARLOS AVE.
SAN CARLOS, CA 94070
T. 650.839.9539

PROJECT DESCRIPTION

- TWO STORY ADDITION AND REMODEL TO SINGLE FAMILY RESIDENCE IN HILLSIDE DISTRICT
- 1ST STORY ADDITION INCLUDES NEW BEDROOM SUITE AND LIVING AREA
- 2ND STORY ADDITION INCLUDES NEW MASTER SUITE AND LAUNDRY
- INTERIOR REMODEL BOTH FLOORS
- NEW REAR DECK
- NEW DRIVEWAY AND MOVE STREET ENTRY FURTHER DOWN THE STREET TO A LOWER ELEVATION

GENERAL NOTES

- CODES**
THE WORK SHALL CONFORM TO THE CALIFORNIA TITLE 24:
PART 2 2022 CALIFORNIA BUILDING CODE
PART 2.5 2022 CALIFORNIA RESIDENTIAL CODE
PART 3 2022 CALIFORNIA ELECTRICAL CODE
PART 4 2022 CALIFORNIA MECHANICAL CODE
PART 5 2022 CALIFORNIA PLUMBING CODE
PART 6 2022 CALIFORNIA ENERGY CODE
PART 9 2022 CALIFORNIA FIRE CODE
PART 11 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
AND THE BURLINGAME MUNICIPAL CODE
- DRAWINGS**
1. GENERAL CONDITIONS. THE STANDARD A.I.A. GENERAL CONDITIONS ARE HEREBY MADE A PART OF THESE DRAWINGS.
2. DIMENSIONS. WRITTEN DIMENSIONS SHALL GOVERN. DO NOT SCALE THE DRAWINGS.
3. DIMENSIONS. ALL DIMENSIONS ARE TO THE FACE OF FINISH, OR TO THE CENTERLINE OF GRIDS, COLUMNS, WINDOWS, DOORS, AND FIXTURES, UNLESS OTHERWISE NOTED.
4. DIMENSIONS. 'CLR' DENOTES MEASUREMENT FROM FINISH SURFACES, TYP.
5. COMPLETION. THESE DRAWINGS INCLUDE THE GENERAL EXTENT OF NEW CONSTRUCTION NECESSARY FOR THE WORK, BUT ARE NOT INTENDED TO BE ALL-INCLUSIVE.
- GENERAL CONTRACTOR'S RESPONSIBILITIES**
6. PLANS ON SITE. THE GENERAL CONTRACTOR (HEREAFTER G.C.) SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DRAWINGS.
7. DISCREPANCIES. THE G.C. IS RESPONSIBLE FOR THOROUGH REVIEW OF THESE DOCUMENTS AND EXISTING FIELD CONDITIONS PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT IN WRITING FOR CLARIFICATION.
8. SUBSTITUTIONS. THE G.C. IS REQUIRED TO NOTIFY ARCHITECT IN WRITING OF ANY SUBSTITUTION, REVISION OR PROPOSED ALTERNATE AT LEAST TWO WEEKS PRIOR TO THE ORDER OR INSTALLATION OF SAID ALTERNATE IN ORDER TO ALLOW FOR NECESSARY COORDINATION AND APPROVALS.
9. INSPECTIONS. THE G.C. IS RESPONSIBLE FOR THOROUGH REVIEW OF THE ARCHITECTURAL AND STRUCTURAL DRAWINGS, GEOTECHNICAL REPORT, AND THE ENERGY AND GREEN COMPLIANCE MANDATORY MEASURES AND IS RESPONSIBLE FOR SCHEDULING AND BEING PRESENT FOR ANY INSPECTIONS OR OBSERVATIONS REQUIRED. (MIN. 48 HOURS NOTICE FOR SITE VISITS)
10. SAFETY. THE G.C. SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND ADHERE TO ALL FEDERAL, STATE, LOCAL AND OSHA SAFETY REGULATIONS.
11. DEFERRED SUBMITTALS. DEFERRED SUBMITTAL DOCUMENTATION SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE PROJECT. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.
12. WORKMANSHIP. ALL WORKMANSHIP IN ALL TRADES SHALL BE OF THE HIGHEST QUALITY, BY PERSONS ESPECIALLY SKILLED AT ASSIGNED TASKS, AND SHALL RESULT IN A NEAT AND CLEAN INSTALLATION. ALL WORK SHALL BE INSTALLED TRUE, PLUMB, LEVEL, SQUARE, AND IN PROPER ALIGNMENT. NOTIFY ARCHITECT AND OWNER OF EXISTING CONDITIONS WHICH DO NOT MEET THESE EXPECTATIONS.
13. MANUFACTURER'S REQUIREMENTS. THE G.C. SHALL INSTALL ALL MATERIALS, EQUIPMENT, AND FIXTURES IN CONFORMANCE WITH THE REQUIREMENTS OF THE MANUFACTURER.
14. BRACING AND SHORING. DESIGN AND INSTALLATION OF ALL TEMPORARY BRACING AND SHORING IS THE SOLE RESPONSIBILITY OF THE G.C.
- GENERAL NOTES**
15. CAL GREEN. SEE SHEET GB.1 FOR CAL GREEN MANDATORY REQUIREMENTS
16. HERS VERIFICATION. SEE SHEET EN.1 FOR MANDATORY HERS VERIFICATION REQUIREMENTS
17. WILDLAND URBAN INTERFACE (WUI). SEE SHEETS A6.1, A8.1, A8.2 FOR ALL DETAILS AND NOTES REGARDING REQUIRED FIRE PROTECTION MEASURES OF BUILDING EXTERIOR PER CRC R337 AND CBC CHAPTER 7A
- FOUNDATION / SOILS (GEOTECH. REPORT)**
18. MORRIS ARCHITECTURE LLC STRONGLY RECOMMENDS THAT THE OWNER PROVIDE A GEOTECHNICAL INVESTIGATION PREPARED BY A LICENSED GEOTECHNICAL ENGINEER OR GEOLOGIST. IT IS THE SOLE RESPONSIBILITY OF THE OWNER TO OBTAIN AND PROVIDE ONE. IN THE EVENT THAT A GEOTECHNICAL INVESTIGATION IS NOT PROVIDED, THE ARCHITECT MAKES NO WARRANTY, EXPRESSED OR IMPLIED, AS TO THE SUITABILITY OF THE SOILS PRESENT FOR THE PROPOSED WORK, OR THAT DIFFERENTIAL SETTLEMENT WILL NOT OCCUR.
19. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ADEQUACY OF THE FOUNDING SOILS. THE FOUNDATION DESIGN IS PREPARED BY THE STRUCTURAL ENGINEER AND BASED UPON A GEOTECHNICAL REPORT BY THE ABOVE LISTED GEOTECHNICAL ENGINEER.
20. SEE STRUCTURAL DRAWINGS, GEOTECHNICAL REPORT, AND/OR CIVIL DRAWINGS FOR ADDITIONAL CRITERIA REGARDING FOUNDATIONS, EXCAVATION, EARTHWORK, SITE PLACEMENT OF ANY CONCRETE, AND/OR DRAINAGE RECOMMENDATIONS

PROJECT DATA

APN #	027-271-020	
ZONE	R1	
OCCUPANCY	R-3 / U	
CONSTRUCTION TYPE	V-B	
AUTOMATIC SPRINKLERS	YES - NEW	
STORIES	2	
SITE AREA	17,061 SF	
FLOOR AREA		
MAX. ALLOWED (1,100 SF + .32 x (SITE AREA))	6,560 SF	
LOCATION	EXISTING (SF)	PROPOSED (SF)
FIRST FLOOR CONDITIONED AREA	212	542
SECOND FLOOR CONDITIONED AREA	1798	2267
FRONT COVERED PORCH (UP TO 200 SF FREE)	(18)	(18)
ATTACHED GARAGE	562	541
TOTAL	2572	3350
AREA OF ADDITION (SF)	778	
AREA OF ADDITION TO CONDITIONED SPACE (SF)	21	
SITE COVERAGE		
MAX. ALLOWED (40%)	6,824 SF	
LOCATION	EXISTING (SF)	PROPOSED (SF)
MAIN HOUSE FOOTPRINT	2360	2808
FRONT COVERED PORCH	18	18
REAR COVERED PORCH	0	0
TOTAL (SF)	2378	2826

ABBREVIATIONS

A.D.	AREA DRAIN	GSM	GALVANIZED SHEET METAL
ADJ.	ADJUSTABLE	GYP. BD.	GYPSPUM BOARD
A.F.F.	ABOVE FINISH FLOOR	HT	HEIGHT
ALT.	ALTERNATE	INCAN	INCANDESCENT
ALUM.	ALUMINUM	LT	LIGHT
ANOD.	ANODIZED	MAX	MAXIMUM
ARCH.	ARCHITECT/TURAL	MECH	MECHANICAL
BD.	BOARD	MFR	MANUFACTURER
BLD'G	BUILDING	MIN	MINIMUM
BLK'G	BLOCKING	MTL	METAL
BM	BEAM	(N)	NEW
B.O.	BOTTOM OF	(O.C.	ON CENTER
CAB	CABINET	O/	OVER
C.J.	CEILING JOIST	PLYWD	PLYWOOD
CLG	CEILING	PTD	PAINTED
CLR	CLEAR	PT. GR.	PAINT GRADE
C.O.	CLEAN OUT	P.T.	PRESSURE TREATED
CONC	CONCRETE	RDWD	REDWOOD
DIA	DIAMETER	REFR	REFRIGERATOR
DN	DOWN	REQD	REQUIRED
DS	DOWNSPOUT	RM	ROOM
DW	DISHWASHER	R.O.	ROUGH OPENING
DWG	DRAWING	SCHED	SCHEDULE
(E)	EXISTING	SHT	SHEET
EA	EACH	SHTG	SHEATHING
ELEC	ELECTRIC	SIM	SIMILAR
ELEV	ELEVATION	SKYLT	SKYLIGHT
EQ	EQUAL	SPEC	SPECIFICATION
EXT	EXTERIOR	S.S.D.	SEE STRUCTURAL DRAWINGS
FIN	FINISH	ST. GR.	STAIN GRADE
F.J.	FLOOR JOIST	STL	STEEL
FLR	FLOOR	T&G	TONGUE & GROOVE
F.O.	FACE OF	TEMP	TEMPERED
FT	FEET	T.O.	TOP OF
FTG	FOOTING	TYP	TYPICAL
FURN	FURNACE/FURNITURE	U.N.O.	UNLESS NOTED OTHERWISE
GA	GAUGE	V.I.C.	VERIFY IN FIELD
GALV	GALVANIZED	WH	WATER HEATER

SHEET INDEX

A0.1	TITLE SHEET
A0.2	EXISTING SITE PLAN
A0.3	PROPOSED SITE PLAN
--	TOPOGRAPHIC SURVEY
A0.4	ARBORIST REPORT
A0.5	ARBORIST REPORT
A1.1	FIRST FLOOR DEMOLITION PLAN
A1.2	SECOND FLOOR DEMOLITION PLAN
A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR ELEVATIONS
A3.2a	EXTERIOR ELEVATIONS W/ PREVIOUS ELEVATION
A3.3	EXTERIOR ELEVATIONS
A3.3a	EXTERIOR ELEVATIONS W/ PREVIOUS ELEVATION
A3.4	EXTERIOR ELEVATIONS
A3.4a	EXTERIOR ELEVATIONS W/ PREVIOUS ELEVATION
A3.5	SECTIONS
A3.6	SECTIONS

REVISED

RECEIVED
2.26.26
CITY OF BURLINGAME
CDD-PLANNING DIVISION

DEFERRED SUBMITTALS

- FIRE SPRINKLERS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 13D AND STATE AND LOCAL REQUIREMENTS. SHOP DRAWINGS SHALL BE APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION. PROVIDE MIN. 1" WATER METER BACKFLOW PREVENTION DEVICE/DOUBLE CHECK VALVE ASSEMBLY, AND ALL SPRINKLER DRAINAGE SHALL BE PLACED INTO LANDSCAPE AREAS.



MATSUO RESIDENCE
2674 SUMMIT DR.
BURLINGAME, CA 94010
APN: 027-271-020



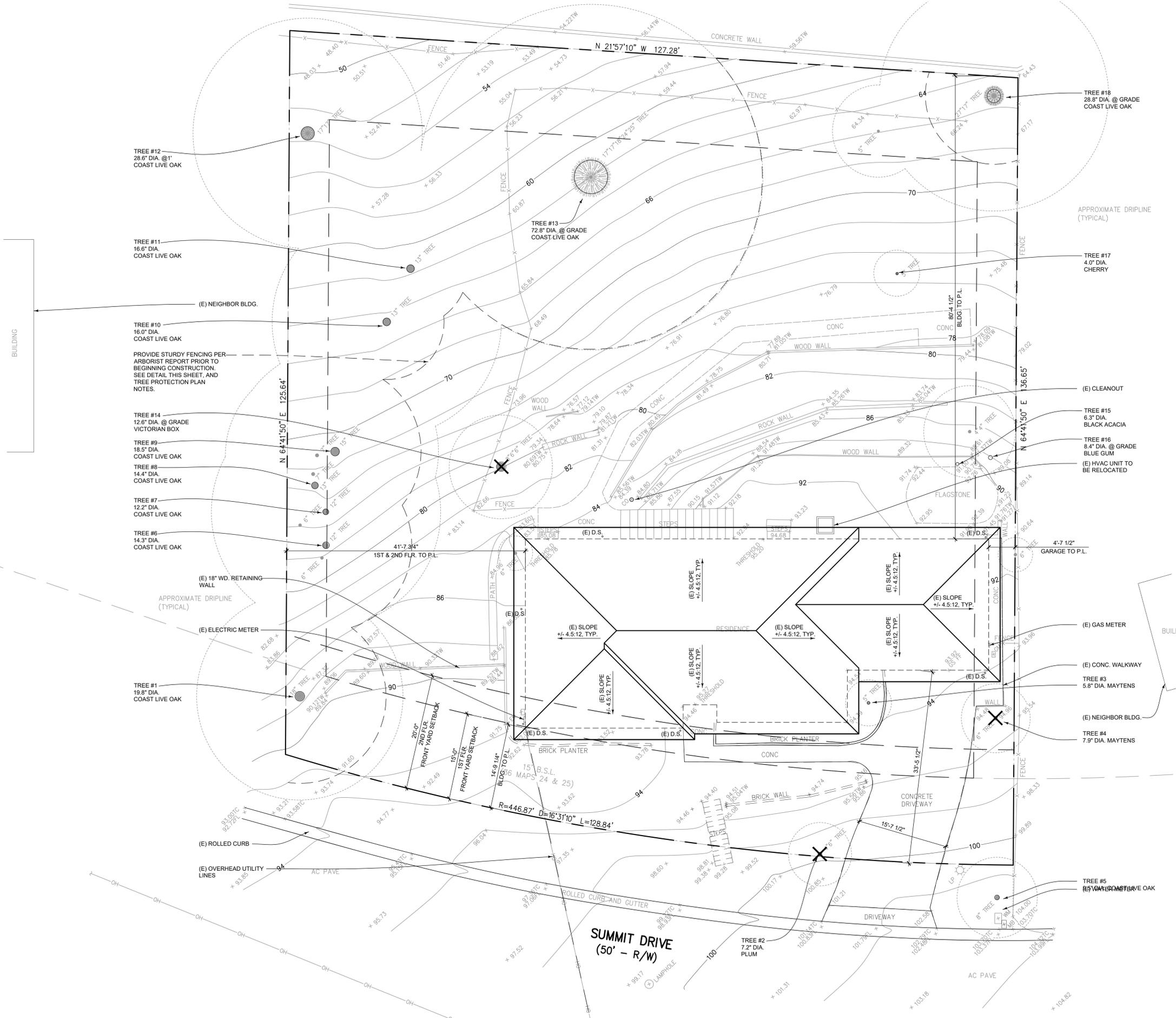
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△	PLNG SUBMITTAL	02.26.26
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TITLE SHEET

JOB #: 2511

A0.1



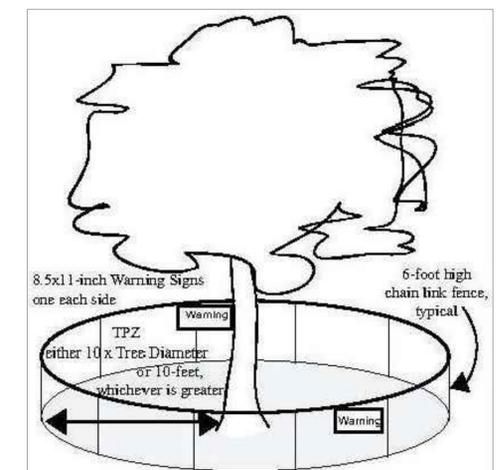
SITE PLAN NOTES:
 1. SEE A0.3 FOR TYPICAL SITE PLAN NOTES

PROJECT KEYNOTES:

- XXX

TREE PROTECTION PLAN NOTES:

- FENCING SHOWN ON DRAWINGS IS FOR PROTECTION OF MATURE TREES DURING CONSTRUCTION. CONTRACTOR TO CONFIRM LOCATION OF EXISTING TREE DRIP LINES PRIOR TO LAYING OUT PROTECTIVE FENCING. PROPOSED TREE PROTECTION SHALL BE A 6' TALL CHAIN LINK FENCE. CONTRACTOR TO KEEP MATERIAL AND EQUIPMENT STORAGE AREAS AWAY FROM TREE PROTECTION AREAS.
- ALL PROTECTIVE FENCING SHALL BE MAINTAINED IN PLACE THROUGHOUT THE DURATION OF CONSTRUCTION.
- NO DEMOLITION OR CONSTRUCTION MAY COMMENCE UNTIL THE PROTECTIVE FENCING HAS BEEN INSTALLED, INSPECTED, AND APPROVED BY THE REDWOOD CITY PUBLIC WORKS INSPECTOR.



2 TREE PROTECTION FENCING
 A0.2 NTS

1 EXISTING SITE PLAN
 A0.2 1/8"=1'-0"

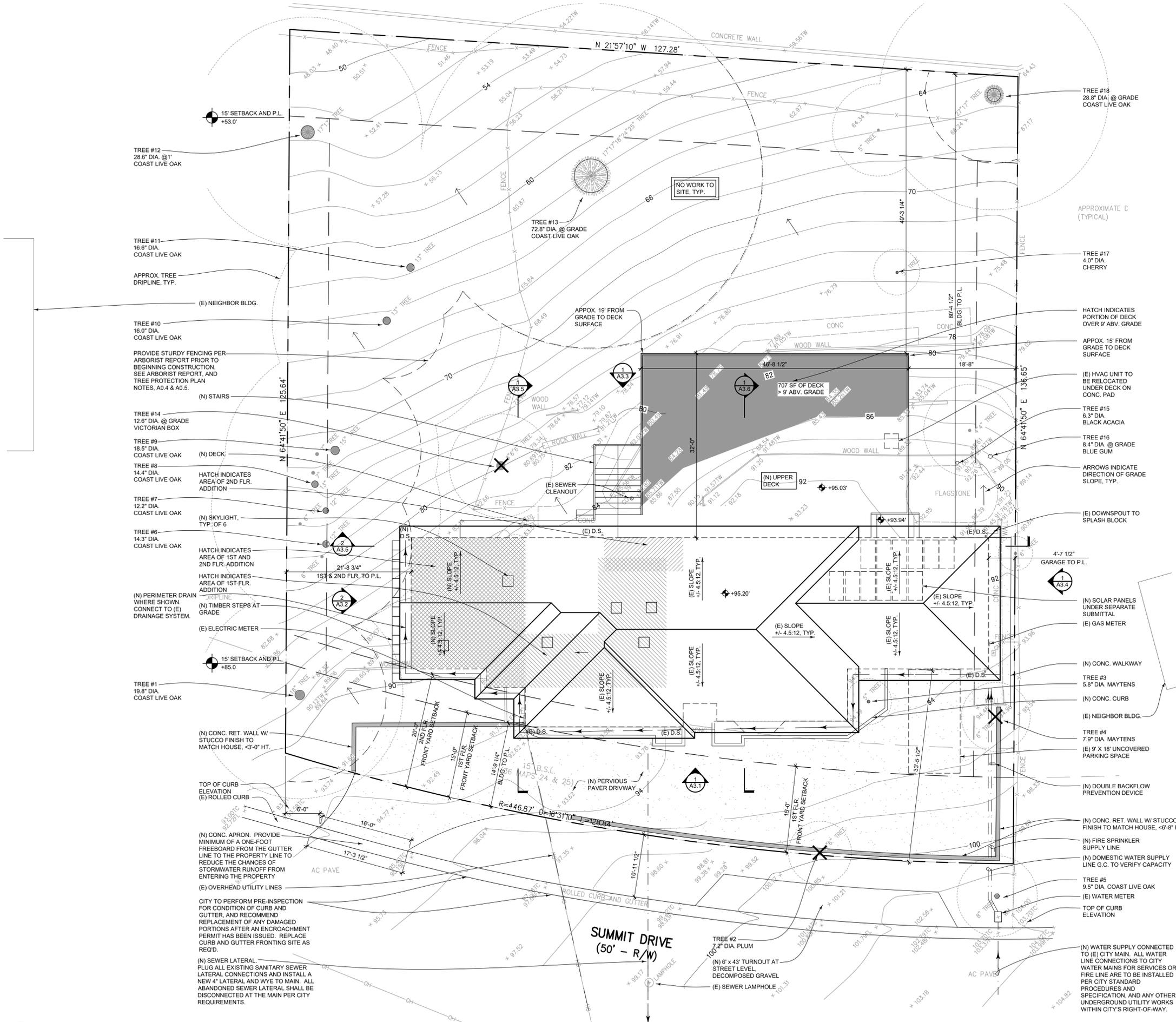


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EXISTING SITE PLAN

JOB #: 2511



- SITE PLAN NOTES:**
- GENERAL NOTES. SEE SHEETS A0.1, TOPOGRAPHIC SURVEY, AND FLOOR PLANS FOR ADDITIONAL INFO.
 - CAL GREEN. SEE SHEET GB.1 FOR CAL GREEN MANDATORY REMOVALS. BOUNDARY VERIFICATION, THE G.C. SHALL VERIFY THE LOCATIONS OF ALL PROPERTY BOUNDARIES, SETBACKS, AND EASEMENT LOCATIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE FURTHER COMMENCEMENT OF WORK.
 - BENCH MARK. SEE SURVEY DRAWING FOR BENCH MARK AND ASSUMED BASE ELEVATION.
 - ENCROACHMENT. THE G.C. IS RESPONSIBLE FOR OBTAINING APPROVAL / PERMIT PRIOR TO COMMENCING ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
 - UTILITIES. THE G.C. SHALL LOCATE ALL UTILITIES PRIOR TO ANY EXCAVATION, GRADING, OR TRENCHING.
 - UTILITIES. SEE ELECTRICAL PLAN SHEET E2.1 FOR EXACT LOCATIONS OF MAIN ELECTRIC METER AND GAS METER. COORDINATE FINAL LOCATION AND ROUTING WITH G.C. AND UTILITY SERVICE PROVIDER.
 - UTILITIES. THE G.C. SHALL COORDINATE THE LOCATION OF IRRIGATION VALVE BOXES WITH OWNER.
 - TREE PROTECTION. THE G.C. SHALL PROTECT EXISTING TREES FROM DAMAGE DURING CONSTRUCTION AND PROVIDE TREE PROTECTION PER LOCAL JURISDICTION REQUIREMENTS. LARGE ROOTS OR LARGE MASSES OF ROOTS TO BE CUT SHOULD BE INSPECTED BY A CERTIFIED ARBORIST PRIOR TO CUTTING. ANY ROOTS TO BE CUT SHALL BE MONITORED AND DOCUMENTED. ROOTS TO BE CUT SHOULD BE SEVERED CLEANLY WITH A SAW OR TOPPERS.
 - SLOPED GRADE. FINISH GRADE AROUND BUILDING TO HAVE A MIN. 2% SLOPE AWAY FROM BUILDING, FOR A MIN. OF 5' AROUND BUILDING.
 - FOOTING DEPTH. (N) FOUNDATION FOOTINGS SHALL BEAR ON NATIVE, UNDISTURBED SOIL. SEE GEOTECH. REPORT AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFO.
 - ADDRESS. STREET ADDRESS NUMERALS TO BE ILLUMINATED, AT LEAST 4" HIGH WITH A MINIMUM 1/2" STROKE, MOUNTED ON A CONTRASTING BACKGROUND CLEARLY VISIBLE FROM THE STREET. ADDRESS NUMBERS SHALL BE AT LEAST SIX FEET ABOVE THE FINISHED SURFACE OF THE DRIVEWAY. CRC R319
 - CHIMNEYS. THE INSTALLATION OF AN APPROVED SPARK ARRESTOR IS REQUIRED ON ALL CHIMNEYS, EXISTING AND NEW. SPARK ARRESTORS SHALL BE CONSTRUCTED OF WOVEN OR WELDED WIRE SCREENING OF 12 GAUGE USA STANDARD WIRE HAVING OPENINGS NOT EXCEEDING 1/2" CRC R1004

- GRADING NOTES:**
- PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL STRUCTURES BY SLOPING THE FINISHED GROUND SURFACE AT LEAST 2%, UNLESS OTHERWISE NOTED ON THE PLANS.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY OF THE SITE PRIOR TO THE START OF CONSTRUCTION AS TO THE ACCURACY BETWEEN THE WORK SET FORTH ON THESE PLANS AND THE WORK IN THE FIELD, AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING PRIOR TO THE START OF CONSTRUCTION.

PROJECT KEYNOTES:

- XXXXX

AVERAGE TOP OF CURB: $(93.58' + 103.70') / 2 = 98.64'$

LANDSCAPE TREE REQUIREMENT (CH. 11.06 BMC)
1 LANDSCAPE TREE FOR EVERY 1000 SF OF HABITABLE SPACE
HABITABLE SPACE: 2,995 SF / 1,000 SF = 3 TREES

EXISTING TREES THAT MEET THIS REQUIREMENT:
TREE #1: COAST LIVE OAK (QUERCUS AGRIFOLIA)
TREE #6: COAST LIVE OAK (QUERCUS AGRIFOLIA)
TREE #8: COAST LIVE OAK (QUERCUS AGRIFOLIA)

SEE SITE PLAN FOR LOCATIONS.
SEE ARBORIST REPORT ON SHEET A0.4 & A0.5 FOR PHOTOS

POST CONSTRUCTION IMPERVIOUS AREA:

MAIN HOUSE FOOTPRINT:	2,817 SF
NEW DECKS:	1,700 SF
TOTAL:	4,517 SF / LOT AREA 17,061 = 26%



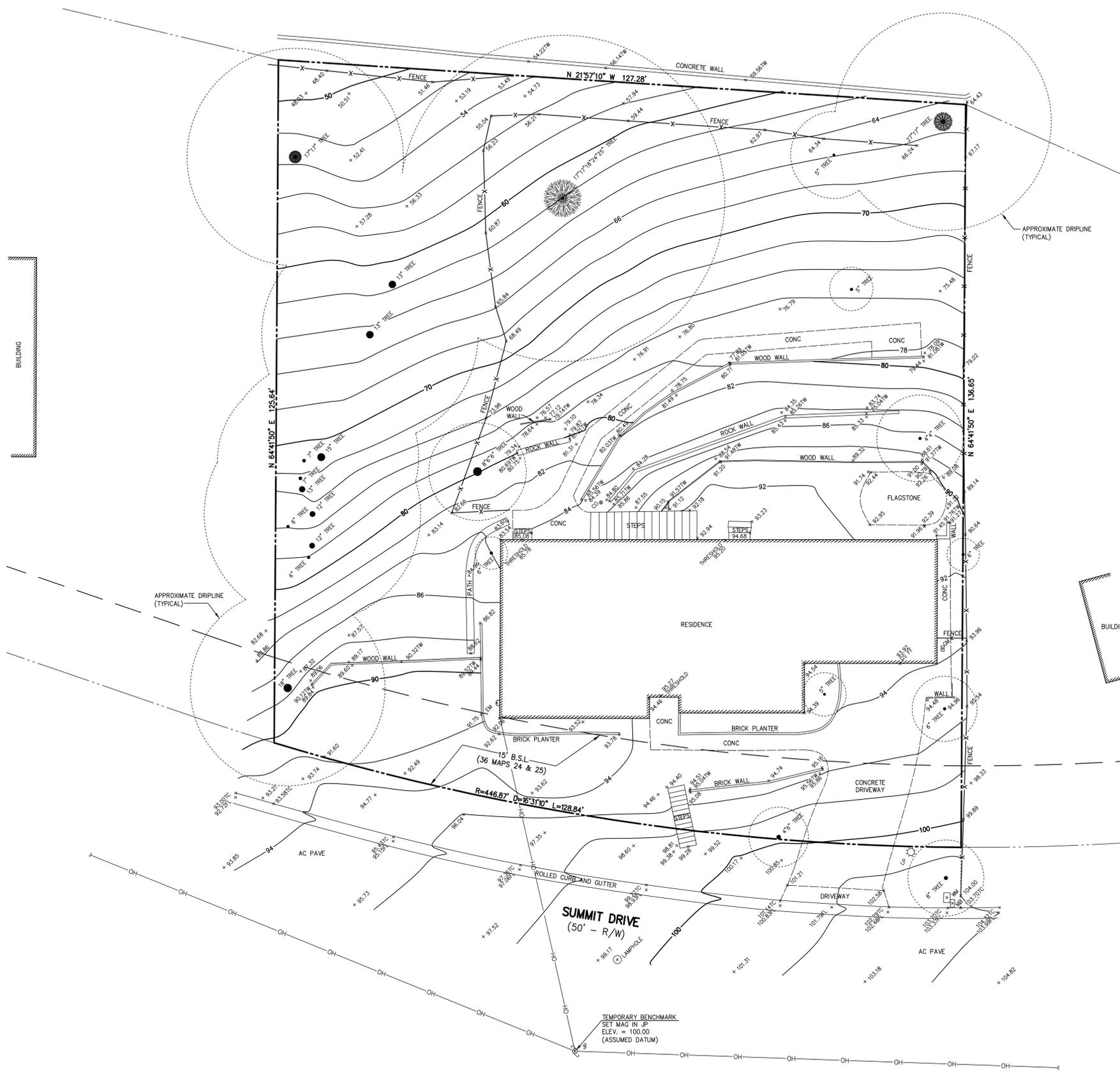
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PROPOSED SITE PLAN

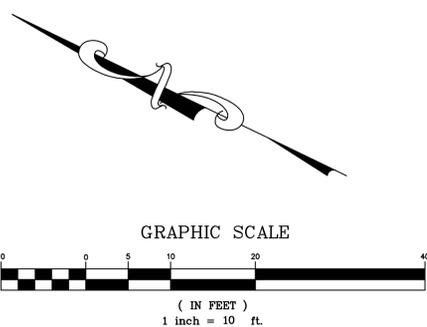
JOB #: 2511

A0.3



- LEGEND**
- PROPERTY LINE
 - AC PAVE ASPHALT CONCRETE PAVEMENT
 - B.S.L. BUILDING SETBACK LINE
 - CO CLEANOUT
 - CONC CONCRETE
 - EM ELECTRIC METER
 - FL FLOWLINE
 - GM GAS METER
 - GS FF GARAGE SLAB FINISH FLOOR
 - JP JOINT UTILITY POLE
 - LP LIGHT POLE
 - MB MAILBOX
 - TC TOP OF CURB
 - TW TOP OF WALL
 - WM WATER METER
 - 12" TREE
 - TREE W/ SIZE
 - X-X- FENCE
 - OH- OVERHEAD UTILITY LINE

LOT AREA:
 = 17,061 SQ. FT. ±
 = 0.392 ACRES ±



REV.	DESCRIPTION	BY:	DATE:

MACLEOD AND ASSOCIATES
 CIVIL ENGINEERING • LAND SURVEYING
 965 CENTER STREET • SAN CARLOS, CA 94070 • (650) 593-8580

PREPARED FOR:
 VIVIAN MATSUO

BOUNDARY AND TOPOGRAPHIC SURVEY PLAN
 2674 SUMMIT DRIVE
 A.P.N. 027-271-020
 LOT 18, 36 MAPS 24-25
 BURLINGAME SAN MATEO COUNTY CALIFORNIA

DRAWN BY: EM/ML
 DESIGNED BY: ---
 CHECKED BY: DGM
 SCALE: 1"=10'
 DATE: 07-12-22
 DRAWING NO.
5285-TOPO
 SHEET
 1 OF 1

David Matsuo
2674 Summit Dr.,
Burlingame, CA 94010

Site: 2674 Summit Dr., Burlingame

Dear David,

At your request I visited the above site for the purpose of inspecting and commenting on the regulated trees around the property. An addition at the side of the house and a new deck in the rear are proposed, prompting the need for this tree protection report.

Method:
The City of Burlingame protects all street trees and Private Protected trees whereby a Private Protected tree is a tree with a trunk circumference of 44" or more measured at 54" above ground. Burlingame requests that the tree protection plan contains all trees with a trunk diameter greater than 6 inches be included, this also includes trees on neighboring properties within 8 feet of the property line that may also be impacted by construction.

The location of the protected trees on this site can be found on the plan provided by you. Each tree is given an identification number. The trees are measured at 54 inches above ground level (DBH or Diameter at Breast Height). A condition rating of 1 to 100 is assigned to each tree representing form and vitality on the following scale:

1 to 29	Very Poor
30 to 49	Poor
50 to 69	Fair
70 to 89	Good
90 to 100	Excellent

The height and spread of each tree is estimated. A Comments section is provided for any significant observations affecting the condition rating of the trees.

A Summary and Tree Protection Plan are at the end of the survey providing recommendations for maintaining the health and condition of the trees during and after construction.

If you have any questions, please don't hesitate to call.

Sincerely

Robert Weatherill
Certified Arborist WE 1936A

Tree Survey

Tree#	Species	DBH	Ht/Sp	Con Rating	Comments
1	Coast live oak <i>Quercus agrifolia</i>	19.8"	30/30	70	Good health, fair condition, heavily pruned, Private Protected Tree
2	Plum <i>Prunus cerasifera</i>	7.2"	20/15	70	Good health and condition Not Regulated
3	Maytens <i>Maytens borealis</i>	5.8"	12/6	50	Fair health and condition, some die back, Not Regulated
4	Maytens <i>Maytens borealis</i>	7.9"	14/8	65	Good health and condition, Not Regulated
5	Coast live oak <i>Quercus agrifolia</i>	9.5"	12/10	80	Good health and condition Not Regulated
6	Coast live oak <i>Quercus agrifolia</i>	14.3"	40/30	70	Good health and condition Private Protected Tree
7	Coast live oak <i>Quercus agrifolia</i>	12.2"	30/25	70	Good health and condition Not Regulated
8	Coast live oak <i>Quercus agrifolia</i>	14.4"	30/25	70	Good health and condition Private Protected Tree
9	Coast live oak <i>Quercus agrifolia</i>	18.5"	40/30	70	Good health and condition, Private Protected Tree
10	Coast live oak <i>Quercus agrifolia</i>	16.0"	25/20	70	Good health and condition Private Protected Tree
11	Coast live oak <i>Quercus agrifolia</i>	16.6"	25/20	70	Good health and condition Private Protected Tree
12	Coast live oak <i>Quercus agrifolia</i>	28.6"@1'40/50		70	Good health and condition Private Protected Tree
13	Coast live oak <i>Quercus agrifolia</i>	72.8"@grade 30/60		55	Fair health and condition, multi trunk at grade, Private Protected Tree
14	Victorian box <i>Pittosporum undulatum</i>	12.6"@grade 12/12		30	Fair health, very poor condition, topped at 10', Not Regulated
15	Black acacia <i>Acacia melanoxylon</i>	6.3"	20/10	70	Good health and condition Not Regulated
16	Blue gum <i>Eucalyptus globulus</i>	8.4"@grade	25/6	50	Good health, poor condition, codominant at grade, Not Regulated
17	Cherry <i>Prunus species</i>	4.0"	10/6	20	Poor health and condition Not Regulated
18	Coast live oak <i>Quercus agrifolia</i>	28.8"@1'	25/25	60	Fair health and condition, topped for view, co-dominant at 1' Private Protected Tree

Summary:

There are 18 trees on site that may be impacted by the proposed construction of which 9 are Private Protected. Tree #s 1, 6, 8, 9, 10, 11, 12, 13 and 18.

All Private Protected Trees should be protected during construction.

The trees can be seen in the attached photos

Tree Protection Plan

1. The Tree Protection Zone (TPZ) should be defined with protective fencing. This should be cyclone or chain link fencing on 1 1/2" or 2" posts driven at least 2 feet in to the ground standing at least 6 feet tall. Normally a TPZ is defined by the dripline of the tree. I recommend the TPZ's as follows:-

Tree # 1: TPZ should be at 15 feet radius from the trunk, closing on the fence line in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 (6) shown as a thin red line.

Tree # 6: TPZ should be at 15 feet radius from the trunk, closing on the fence line in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 (6) shown as a thin red line.

Tree # 8: TPZ should be at 12 feet radius from the trunk, closing on the fence line in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 (6) shown as a thin red line.

Tree # 9: TPZ should be at 15 feet radius from the trunk, closing on the fence line in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 (6) shown as a thin red line.

Tree # 10: TPZ should be at 10 feet radius from the trunk in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 (6) shown as a thin red line.

Tree # 11: TPZ should be at 10 feet radius from the trunk in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 (6) shown as a thin red line.

Tree # 12: TPZ should be at 25 feet radius from the trunk, closing on the fence line in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 (6) shown as a thin red line.

Tree # 13: TPZ should be at 30 feet radius from the trunk, closing on the fence line in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 (6) shown as a thin red line.

Tree # 18: TPZ should be at 12 feet radius from the trunk, closing on the fence line in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 (6) shown as a thin red line.

2. Any pruning and maintenance of the tree shall be carried out before construction begins. This should allow for any clearance requirements for both the new structure and any construction machinery. This will eliminate the possibility of damage during construction. **The pruning should be carried out by an arborist, not by construction personnel.** No limbs greater than 4" in diameter shall be removed.

3. Any excavation in ground where there is a potential to damage roots of 1" or more in diameter should be carefully hand dug. Where possible, roots should be dug around rather than cut.⁽²⁾

4. If roots are broken, every effort should be made to remove the damaged area and cut it back to its closest lateral root. A clean cut should be made with a saw or pruners. This will prevent any infection from damaged roots spreading throughout the root system and into the tree.⁽²⁾



IMAGE 2.15-1
Tree Protection Fence at the Dripline



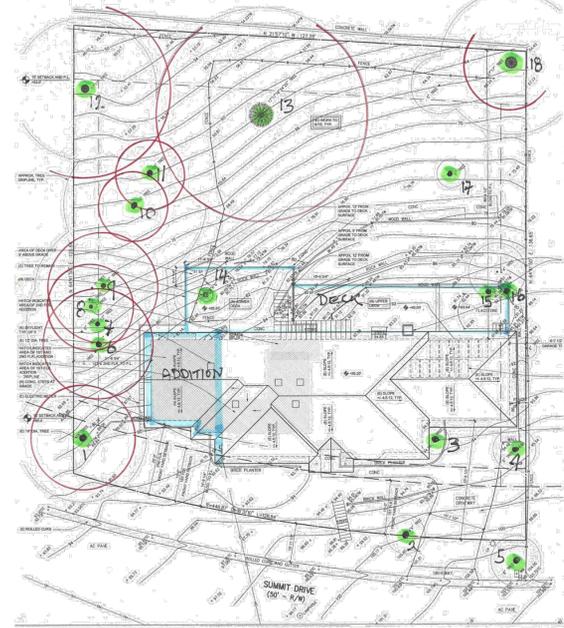
IMAGE 2.15-2
Tree Protection Fence at the Dripline

Type I Tree Protection
The fences shall enclose the entire area under the **canopy dripline** or **TPZ** of the tree(s) to be saved throughout the life of the project, or until final improvement work within the area is required, typically near the end of the project (see images 2.15-1 and 2.15-2). Parking Areas: If the fencing must be located on paving or sidewalk that will not be demolished, the posts may be supported by an appropriate grade level concrete base.

5. Do Not:⁽⁴⁾

- a. Allow run off or spillage of damaging materials into the area below any tree canopy.
- b. Store materials, stockpile soil, park or drive vehicles within the TPZ of the tree.
- c. Cut, break, skin or bruise roots, branches or trunk without first obtaining permission from the city arborist.
- d. Allow fires under any adjacent trees.
- e. Discharge exhaust into foliage.
- f. Secure cable, chain or rope to trees or shrubs.
- g. Apply soil sterilants under pavement near existing trees.

- 6. Where roots are exposed, they should be kept covered with the native soil or four layers of wetted, untreated burlap. Roots will dry out and die if left exposed to the air for too long.⁽⁴⁾
- 7. Route pipes into alternate locations to avoid conflict with roots.⁽⁴⁾
- 8. Where it is not possible to reroute pipes or trenches, the contractor is to bore beneath the dripline of the tree. The boring shall take place no less than 3 feet below the surface of the soil in order to avoid encountering "feeder" roots.⁽⁴⁾
- 9. Compaction of the soil within the dripline shall be kept to a minimum.⁽²⁾ If access is required to go through the TPZ of a protected tree, the area within the TPZ should be protected from compaction either with steel plates or with 4" of wood chip overlaid with plywood.
- 10. Any damage due to construction activities shall be reported to the project arborist or city arborist within 6 hours so that remedial action can be taken.
- 11. Ensure upon completion of the project that the original ground level is restored



Location of existing house, proposed addition and deck, protected trees and their Tree Protection Zones.

Glossary

- Canopy** The part of the crown composed of leaves and small twigs.⁽²⁾
- Cavities** An open wound, characterized by the presence of extensive decay and resulting in a hollow.⁽¹⁾
- Decay** Process of degradation of woody tissues by fungi and bacteria through the decomposition of cellulose and lignin⁽¹⁾
- Dripline** The width of the crown as measured by the lateral extent of the foliage.⁽¹⁾
- Genus** A classification of plants showing similar characteristics.
- Root plate** The point at which the trunk flares out at the base of the tree to become the root system.
- Species** A Classification that identifies a particular plant.
- Standard height** Height at which the girth of the tree is measured. Typically 4 1/2 feet above ground level

References

- (1) Matheny, N.P. and Clark, J.P. *Evaluation of Hazard Trees in Urban Areas*. International Society of Arboriculture, 1994.
- (2) Harris, R.W., Matheny, N.P. and Clark, J.R. *Arboriculture: Integrated Management of Landscape Trees, Shrubs and Vines*. Prentice Hall, 1999.
- (3) Carlson, Russell E. *Paulownia on The Green: An Assessment of Tree Health and Structural Condition*. Tree Tech Consulting, 1998.
- (4) Extracted from a copy of Tree Protection guidelines. Anon
- (5) T. D. Sydnor, *Arboricultural Glossary*. School of Natural Resources, 2000
- (6) D Dockett, *Tree Technical Manual*. City of Palo Alto, June, 2001

Certification of Performance⁽³⁾

I, Robert Weatherill certify:

- * That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and appraisal is stated in the attached report and the Terms and Conditions;
- * That I have no current or prospective interest in the vegetation or the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved;
- * That the analysis, opinions and conclusions stated herein are my own, and are based on current scientific procedures and facts;
- * That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any subsequent events;
- * That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted Arboricultural practices;
- * That no one provided significant professional assistance to the consultant, except as indicated within the report.

I further certify that I am a member of the International Society of Arboriculture and a Certified Arborist. I have been involved in the practice of arboriculture and the care and study of trees for over 20 years.

Signed

Robert Weatherill
Certified Arborist WE 1936A
Date: 8/26/25



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ARBORIST REPORT

JOB #: 2511

A0.4

Advanced Tree Care

965 East San Carlos Ave, San Carlos

2674 Summit Dr., Burlingame
August 26, 2025

Terms and Conditions(3)

The following terms and conditions apply to all oral and written reports and correspondence pertaining to consultations, inspections and activities of Advanced Tree Care:

- All property lines and ownership of property, trees, and landscape plants and fixtures are assumed to be accurate and reliable as presented and described to the consultant, either verbally or in writing. The consultant assumes no responsibility for verification of ownership or locations of property lines, or for results of any actions or recommendations based on inaccurate information.
- It is assumed that any property referred to in any report or in conjunction with any services performed by Advanced Tree Care, is not in violation of any applicable codes, ordinances, statutes, or other governmental regulations, and that any titles and ownership to any property are assumed to be good and marketable. Any existing liens and encumbrances have been disregarded.
- All reports and other correspondence are confidential, and are the property of Advanced Tree Care and it's named clients and their assignees or agents. Possession of this report or a copy thereof does not imply any right of publication or use for any purpose, without the express permission of the consultant and the client to whom the report was issued. Loss, removal or alteration of any part of a report invalidates the entire appraisal/evaluation.
- The scope of any report or other correspondence is limited to the trees and conditions specifically mentioned in those reports and correspondence. Advanced Tree Care and the consultant assume no liability for the failure of trees or parts of trees, either inspected or otherwise. The consultant assumes no responsibility to report on the condition of any tree or landscape feature not specifically requested by the named client.
- All inspections are limited to visual examination of accessible parts, without dissection, excavation, probing, boring or other invasive procedures, unless otherwise noted in the report. No warranty or guarantee is made, expressed or implied, that problems or deficiencies of the plants or the property will not occur in the future, from any cause. The consultant shall not be responsible for damages caused by any tree defects, and assumes no responsibility for the correction of defects or tree related problems.
- The consultant shall not be required to provide further documentation, give testimony, be deposed, or attend court by reason of this appraisal/report unless subsequent contractual arrangements are made, including payment of additional fees for such services as described by the consultant or in the fee schedules or contract.
- Advanced Tree Care has no warranty, either expressed or implied, as to the suitability of the information contained in the reports for any purpose. It remains the responsibility of the client to determine applicability to his/her particular case.
- Any report and the values, observations, and recommendations expressed therein represent the professional opinion of the consultants, and the fee for services is in no manner contingent upon the reporting of a specified value nor upon any particular finding to be reported.
- Any photographs, diagrams, graphs, sketches, or other graphic material included in any report, being intended solely as visual aids, are not necessarily to scale and should not be construed as engineering reports or surveys, unless otherwise noted in the report. Any reproductions of graphs material or the work product of any other persons is intended solely for the purpose of clarification and ease of reference. Inclusion of said information does not constitute a representation by Advanced Tree Care or the consultant as to the sufficiency or accuracy of that information.

Advanced Tree Care

965 East San Carlos Ave, San Carlos

2674 Summit Dr., Burlingame
August 26, 2025

Photos of Trees



Tree # 1

Advanced Tree Care

965 East San Carlos Ave, San Carlos

2674 Summit Dr., Burlingame
August 26, 2025



Tree # 2

Advanced Tree Care

965 East San Carlos Ave, San Carlos

2674 Summit Dr., Burlingame
August 26, 2025



Tree #s 3 and 4

Advanced Tree Care

965 East San Carlos Ave, San Carlos

2674 Summit Dr., Burlingame
August 26, 2025



Tree # 5

Advanced Tree Care

965 East San Carlos Ave, San Carlos

2674 Summit Dr., Burlingame
August 26, 2025



Tree #s 6, 7, 8 and 9

Advanced Tree Care

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Tree #s 10 and 11

Advanced Tree Care

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August 26, 2025



Tree # 12

Advanced Tree Care

965 East San Carlos Ave, San Carlos

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August 26, 2025



Tree # 13

Advanced Tree Care

965 East San Carlos Ave, San Carlos

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Tree # 14

Advanced Tree Care

965 East San Carlos Ave, San Carlos

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Tree # 17

Advanced Tree Care

965 East San Carlos Ave, San Carlos

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August 26, 2025



Tree # 18



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MATSUO RESIDENCE
2674 SUMMIT DR.
BURLINGAME, CA 94010
APN: 027-271-020



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ARBORIST REPORT

JOB #: 2511

A0.5

DEMOLITION NOTES:

1. **GENERAL NOTES.** SEE SHEETS A0.1 AND FLOOR PLANS FOR ADDITIONAL INFO.
2. **SITE MEETING.** PRIOR TO DEMOLITION, THE G.C. SHALL CONDUCT A PRE-DEMOLITION SITE MEETING TO SCHEDULE THE WORK WITH THE OWNER, ARCHITECT, CONSULTANTS, AND SUBCONTRACTORS.
3. **PROTECTION.** THE G.C. SHALL VERIFY ALL EXISTING FEATURES AND FINISHES TO REMAIN PRIOR TO DEMOLITION, AND VERIFY WITH OWNERS WHETHER REMOVED OR UNUSED PRODUCTS AND MATERIALS SHOULD BE SAVED OR DISCARDED.
4. **PROTECTION.** THE G.C. SHALL TAKE ALL NECESSARY MEASURES TO PREVENT DAMAGE AND SETTLEMENT, AND PROTECT EXISTING BUILDING, APPLIANCES, AND FURNISHINGS DURING DEMOLITION. ANY DAMAGES TO THESE ITEMS SHALL BE PROMPTLY RESTORED, REPAIRED, OR REPLACED AT NO COST TO THE OWNER.
5. **PROTECTION.** THE G.C. SHALL PROVIDE ALL NECESSARY TEMPORARY ENCLOSURES, COVERINGS, AND GUARDS TO ADEQUATELY PROTECT PERSONS FROM POSSIBLE INJURY.
6. **ENCROACHMENT.** THE G.C. SHALL CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION.
7. **DISPOSAL.** THE G.C. SHALL BE RESPONSIBLE FOR REMOVAL AND LEGAL DISPOSAL OF ALL CONSTRUCTION DEBRIS AND OTHER ASSOCIATED MATERIALS FROM THE STRUCTURE AND THE SITE.
8. **ELECTRICAL.** ALL UNUSED AND DEMOLISHED ELECTRICAL IS TO BE REMOVED BACK TO THE NEAREST UTILIZED JUNCTION.
9. **CONTAINMENT.** THE G.C. SHALL PROVIDE COVERINGS AND THE LIKE FOR CONFINING DUST AND DEBRIS TO AREAS OF THE BUILDING IN WHICH DEMOLITION AND/OR ALTERATIONS ARE BEING PERFORMED.
10. **REPAIRS.** ALL PATCHING, REPAIRING, AND REPLACING OF MATERIALS AND SURFACES CUT OR DAMAGED DURING EXECUTION OF WORK SHALL BE EQUAL TO OR BETTER THAN THEIR ORIGINAL CONDITION.
11. **SECURITY.** THE G.C. SHALL MAINTAIN BUILDING SECURITY AT ALL TIMES.

PROJECT KEYNOTES:

1. **STRUCTURE CORRECTION.** AFTER DEMOLITION, THE G.C. SHALL IDENTIFY ALL REMAINING EXISTING CONDITIONS WHICH ARE UNLEVEL, OUT OF PLUMB, INADEQUATELY DRAINED OR WATERPROOFED, OR INSTALLED IN ANY OTHER MANNER WHICH DOES NOT MEET THE WORKMANSHIP EXPECTATIONS LISTED UNDER G.C. RESPONSIBILITIES ON SHEET A0.1. THE G.C. SHALL RECOMMEND CORRECTIVE ACTION TO THE OWNER AND ARCH.

WALL LEGEND:

- ===== (E) WALL
- (E) WALL TO BE REMOVED

MATCH LINE



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DEMO PLAN

JOB #: 2511

A1.1





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DEMO PLAN

JOB #: 2511

A1.2

DEMOLITION NOTES:
 1. REFERENCE SEE SHEET A1.1 FOR TYPICAL DEMOLITION NOTES

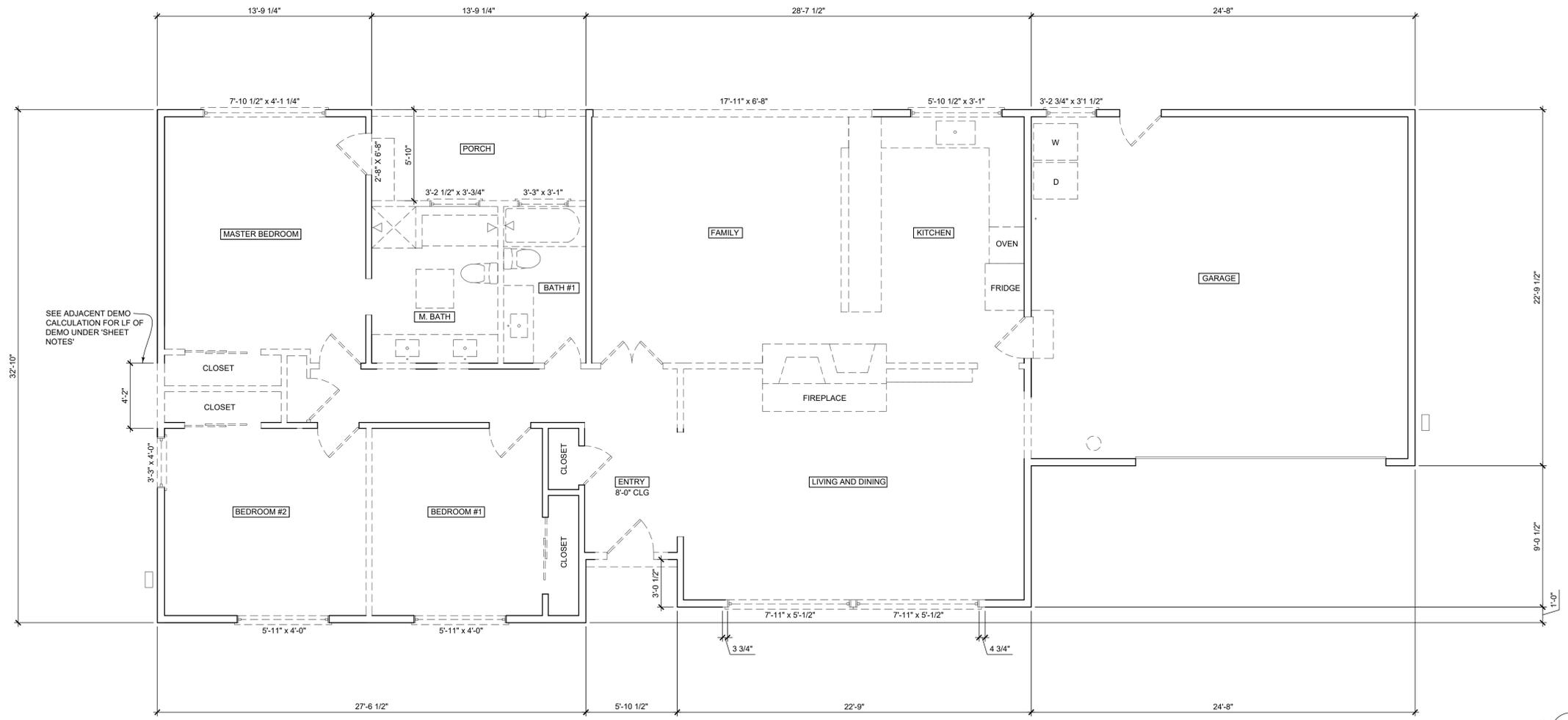
PROJECT KEYNOTES:
 1. XXX

WALL LEGEND:
 (E) WALL
 (E) WALL TO BE REMOVED

DEMO WALL CALCULATION

EXISTING WALLS
 FIRST FLOOR: 12'-8" + 16'-8" = 29'-6"
 SECOND FLOOR: 13'-9" + 5'-10" + 13'-9" + 5'-10" + 28'-7" + 24'-8" + 22'-9" + 24'-8" + 9'-0" + 22'-9" + 3'-0" + 5'-10" + 4'-0" + 27'-6" + 32'-10" = 244'-9"
 TOTAL EXISTING WALLS: 29'-6" + 244'-9" = 274'-3"

PROPOSED WALLS TO BE REMOVED
 FIRST FLOOR: 7'-8" + 16'-8" = 24'-6"
 SECOND FLOOR: 13'-9" + 5'-10" + 17'-11" + 0'-5" + 7'-11" + 7'-11" + 4" + 3'-3" + 4'-2" = 61'-8"
 TOTAL PROPOSED TO BE REMOVED: 86'-2" = 32% REMOVED





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FIRST FLOOR PLAN

JOB #: 2511

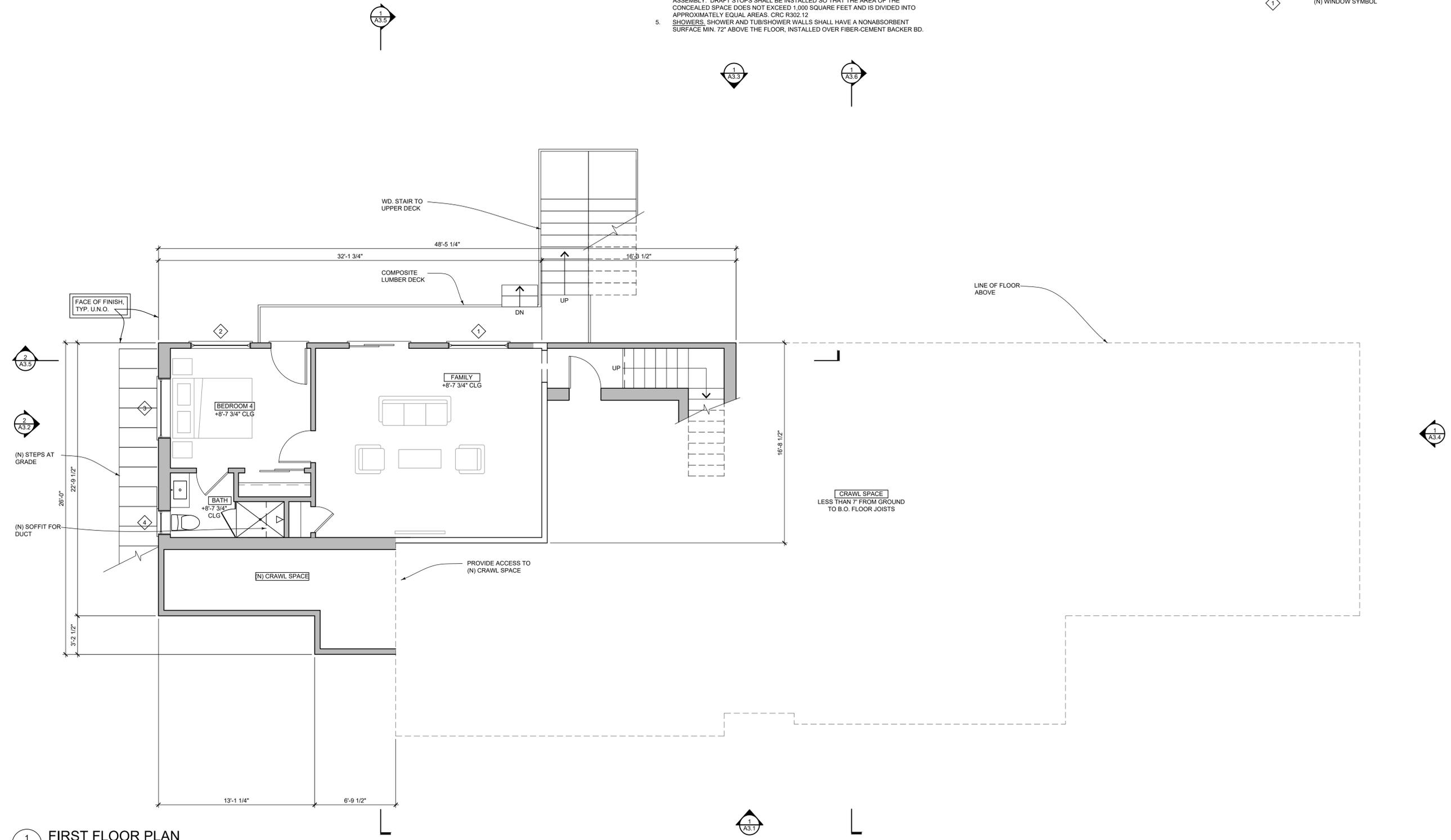
A2.1

- PROJECT KEYNOTES:**
1. **WATERPROOFING:** FOR ALL EXISTING CONCRETE SLAB ON GRADE WITHOUT AN EXISTING VAPOR BARRIER TO BE USED FOR CONDITIONED SPACE, APPLY NEW LIQUID-APPLIED WATERPROOFING MEMBRANE TO SURFACE. USE 'CBP REDGARD' OR EQUAL.
 2. **FRAMING:** ALL NEW EXTERIOR WALLS TO BE 2X4 WD. STUDS AT 16" O.C., TYP. UNLESS OTHERWISE NOTED. ALL NEW INTERIOR WALLS TO BE 2X4 WD. STUDS AT 16" O.C., TYP. UNLESS OTHERWISE NOTED.
 3. **INSULATION:** IN ADDITION TO REQUIRED ENVELOPE INSULATION, PROVIDE (N) ACOUSTIC INSULATION IN ALL INTERIOR WALLS WHERE WORK OCCURS SEPARATING BEDROOMS, BATHROOMS, LAUNDRY, KITCHEN, AND AS REQUESTED BY OWNER. PROVIDE (N) ACOUSTIC INSULATION IN ALL FLOOR ASSEMBLIES BETWEEN FLOORS.

- WALL LEGEND:**
- (E) WALL
 - (E) WALL TO BE REMOVED
 - (N) 2x4 WALL
 - (E)(N) 1 HR. RATED WALL
 - (E)(N) 2X6 WALL
 - (N) DOOR SYMBOL
 - (N) WINDOW SYMBOL

- FOUNDATION & CONCRETE NOTES:**
1. UNDER FLOOR ACCESS, PROVIDE MIN. OF 18"X24" THRU FLOOR OR 16"X24" THRU WALL ACCESS TO UNDER FLOOR AREAS. CRC R408.4
 2. UNDER FLOOR ACCESS, FOR AN APPLIANCE IN AN UNDER FLOOR AREA, PROVIDE MIN. 22" X 30" ACCESS OR MIN. REQUIRED BY APPLIANCE. CMC 904.10
 3. CRAWL SPACE, PROVIDE 18" TALL MIN. ACCESS PATHWAY THROUGH UNDER FLOOR AREA, INCLUDING UNDER DUCTS. CMC 603.1
 4. PRESSURE TREATED OR NATURALLY DURABLE WOOD, FLOOR JOISTS WITH LESS THAN 18" TO EXPOSED GROUND, AND GIRDERS WITH LESS THAN 12" TO EXPOSED GROUND SHALL BE P.T. EXTERIOR WOOD FRAMING RESTING ON FOUNDATIONS AND LESS THAN 8" FROM EARTH OR 2" FROM PAVING SHALL BE P.T. (SIDING 6" FROM EARTH) CRC R317.1
 5. VERIFICATION, G.C. TO VERIFY ALL CONCRETE ROUGH OPENING SIZES, ELEVATIONS, ETC. PRIOR TO FOUNDATION POUR. G.C. TO COORDINATE ALL LOCATIONS OF HOLD-DOWNS, CURBS, STEPS, PLUMBING & MECHANICAL SLEEVES, ETC.
 6. VERIFICATION, PRIOR TO POURING ANY CONCRETE FOR FOUNDATIONS, IT IS RECOMMENDED THAT A LICENSED SURVEYOR CONFIRM THAT THE REQUIRED SETBACKS AS SHOWN ON THE APPROVED PLANS HAVE BEEN MAINTAINED.
- INSULATION NOTES:**
1. SEE TITLE 24 ENERGY REPORT FOR REQUIRED INSULATION VALUES.
 2. INSULATION SHALL CONFORM TO FLAME-SPREAD RATING AND SMOKE DENSITY REQUIREMENTS OF CRC R302.10
 3. AFTER INSTALLING INSULATION, THE INSTALLER SHALL POST AN INSULATION CERTIFICATE, SIGNED BY THE INSTALLER AND THE BUILDER, IN A CONSPICUOUS LOCATION IN THE BUILDING, STATING THAT THE INSTALLATION CONFORMS WITH THE REQUIREMENTS OF TITLE 24, PART 2, CH. 2-53 OF THE CALIFORNIA ADMINISTRATIVE CODE
- WATER-RESISTANT GYPSUM BACKING BOARD MAY NOT BE USED. CRC R307.2, R702.4
- INTERIOR WATERPROOFING:** AT ALL LOCATIONS SUBJECT TO EXPOSURE TO WATER, G.C. TO PROVIDE WATERPROOF MEMBRANE OVER HORIZONTAL AREAS AND UP WALLS 6" MIN ABOVE FINISH.
- CONCEALED WORK:** MAINTAIN RECORD DRAWINGS, SPECIFICATIONS, AND PHOTOS OF CONCEALED WORK.
- ROUGH OPENINGS:** CONTRACTOR TO VERIFY ROUGH OPENINGS SHOWN ON PLAN OR SCHEDULES WITH REQUIREMENTS OF UNITS TO BE INSTALLED PRIOR TO FRAMING OPENINGS.
- ATTIC ACCESS:** PROVIDE MIN 22" X 30" ACCESS OPENING TO ATTICS GREATER THAN 30 SF AND WITH 30" MIN HEADROOM. THRU WALL ACCESS OPENING SHALL BE MIN 22" WIDE X 30" TALL.
- REINFORCEMENT FOR GRAB BARS:** REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY, SHALL NOT BE LESS THAN 1 1/2" X 7" AND LOCATED BETWEEN 32"-39" ABOVE FINISHED FLOOR. WATER CLOSET REINFORCEMENT SHALL BE INSTALLED ON BOTH SIDE WALLS OR ONE SIDE AND BACK WALL CRC R327.1.1

- FLOOR PLANS NOTES:**
1. CAL GREEN, SEE SHEET G6.1 FOR CAL GREEN MANDATORY REQUIREMENTS
 2. DOORS & WINDOWS, SEE SHEET A6.1 AND A6.2 FOR DOOR AND WINDOW SCHEDULES
 3. UNDERSTAIR SPACES, ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDERSTAIR SURFACE, AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYP. BD. CRC 302.7
 4. DRAFTSTOPS, SHALL BE INSTALLED IN FLOOR/CEILING ASSEMBLIES WHERE THERE IS A USABLE SPACE ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY. DRAFT STOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET AND IS DIVIDED INTO APPROXIMATELY EQUAL AREAS. CRC R302.12
 5. SHOWERS, SHOWER AND TUB/SHOWER WALLS SHALL HAVE A NONABSORBENT SURFACE MIN. 72" ABOVE THE FLOOR, INSTALLED OVER FIBER-CEMENT BACKER BD.



1
A2.1 FIRST FLOOR PLAN
 1/4"=1'-0"



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SECOND FLOOR PLAN

JOB #: 2511

FLOOR PLAN NOTES:

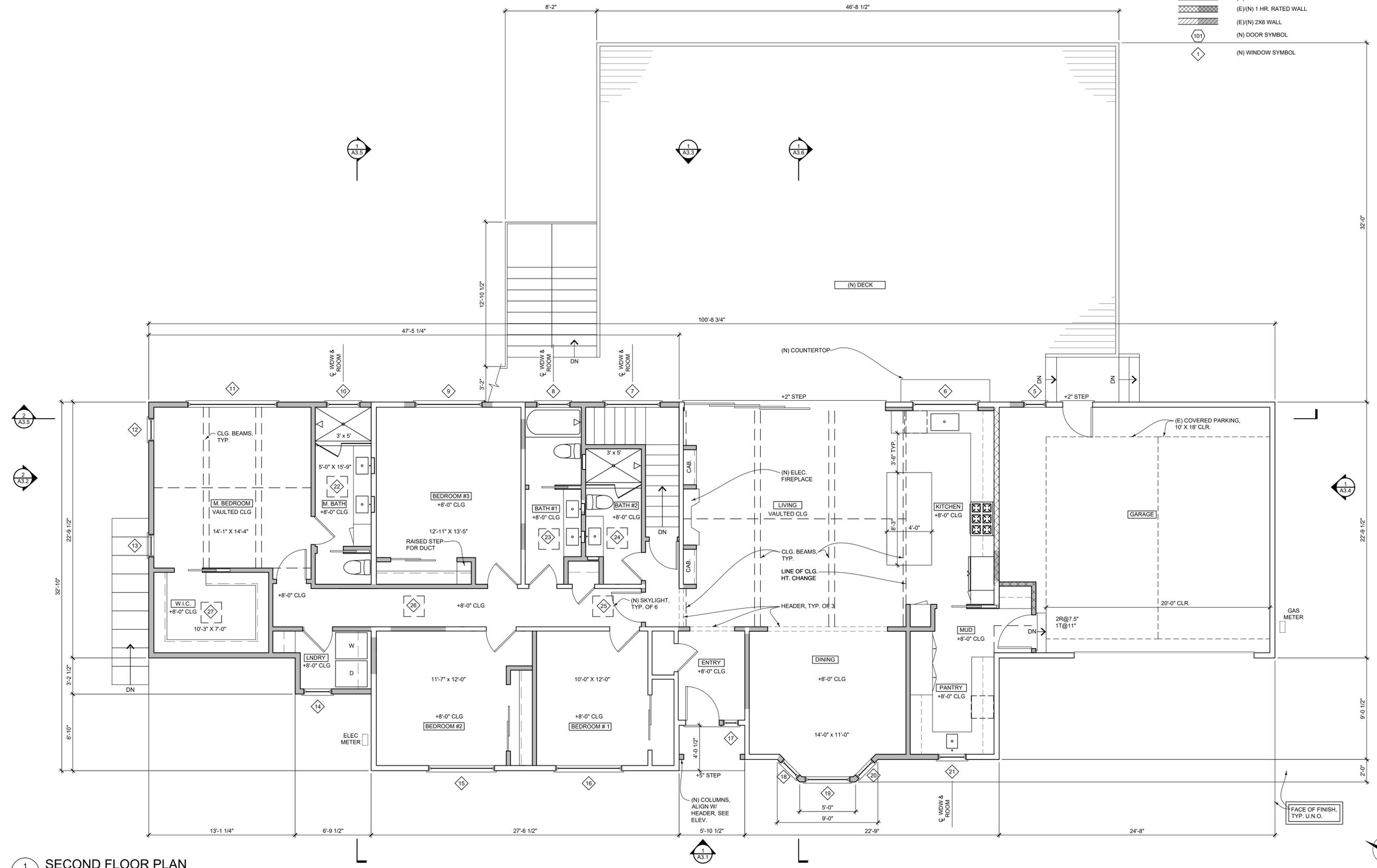
- REFERENCE SEE SHEET A2.1 FOR TYPICAL FLOOR PLAN NOTES, SEE SHEET E2.1 FOR TYPICAL MECHANICAL, ELECTRICAL, AND PLUMBING NOTES

PROJECT KEYNOTES:

- XXX

WALL LEGEND:

- (E) WALL
- (E) WALL TO BE REMOVED
- (N) 2x4 WALL
- (E)(N) 1 HR. RATED WALL
- (E)(N) 2X6 WALL
- (N) DOOR SYMBOL
- (N) WINDOW SYMBOL



1 SECOND FLOOR PLAN
A2.2 1/4"=1'-0"

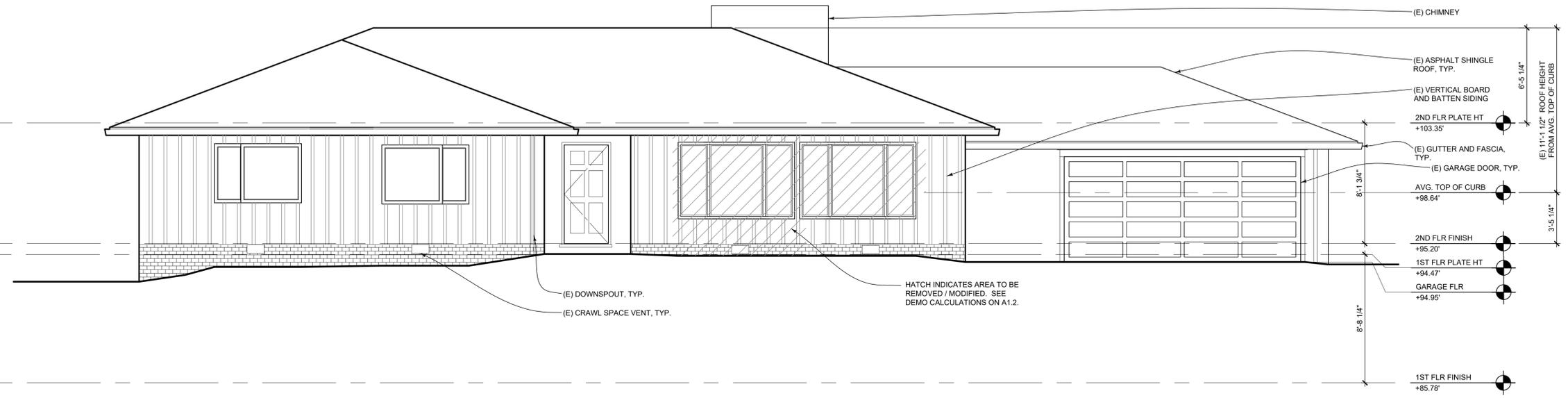


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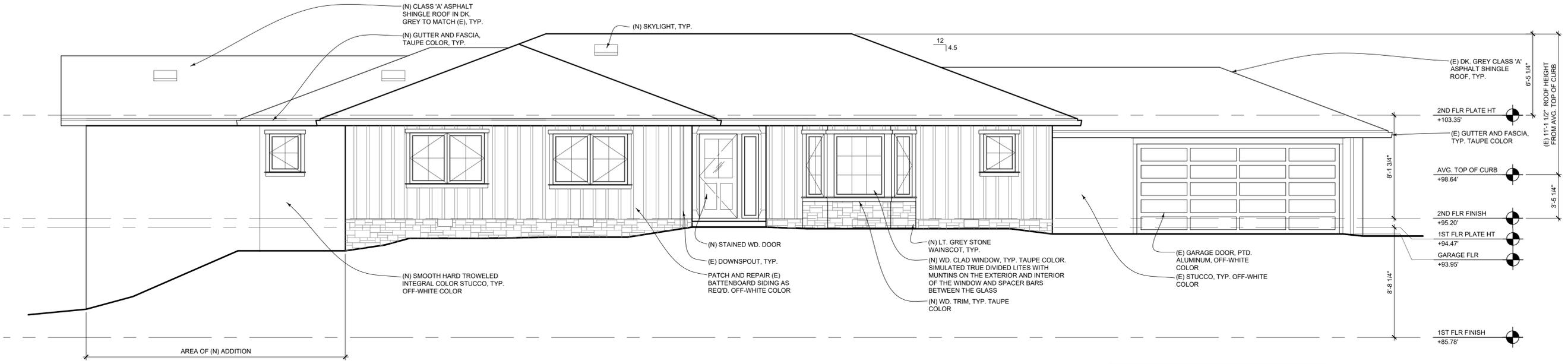
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EXTERIOR ELEVATIONS

JOB #: 2511

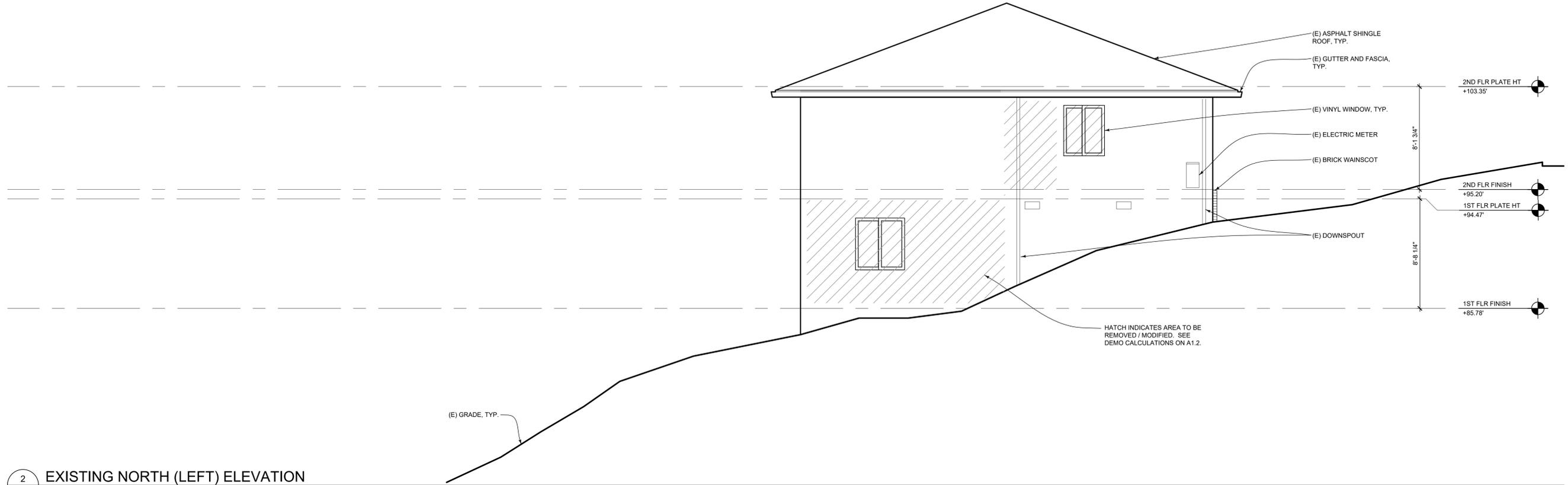


2 EXISTING WEST (FRONT) ELEVATION
 A3.1 1/4"=1'-0"

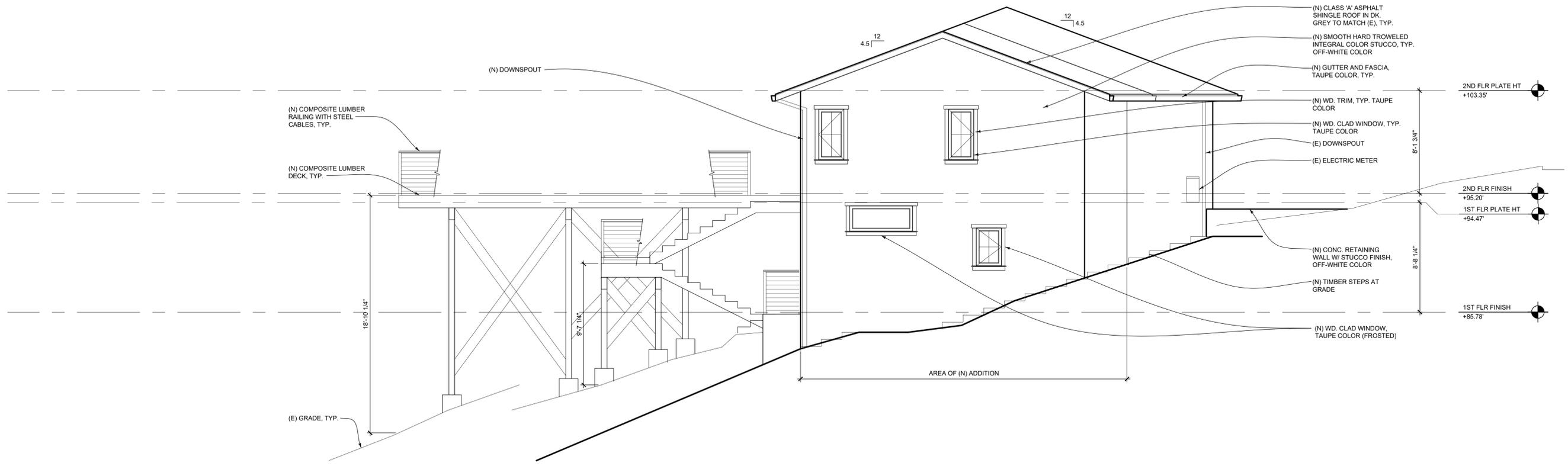


1 PROPOSED WEST (FRONT) ELEVATION
 A3.1 1/4"=1'-0"

NUMBERS AND ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. SHALL BE A MINIMUM OF ONE-HALF INCH STROKE BY FOUR INCHES HIGH, AND SHALL BE EITHER INTERNALLY OR EXTERNALLY ILLUMINATED IN ALL NEW CONSTRUCTION, ALTERATIONS, OR REPAIR OF EXISTING CONSTRUCTION. THE POWER OF SUCH ILLUMINATION SHALL NOT BE NORMALLY SWITCHABLE. CITY OF BURLINGAME MUNICIPAL CODE 18.08.010.



2 EXISTING NORTH (LEFT) ELEVATION
 A3.2 1/4"=1'-0"



1 PROPOSED NORTH (LEFT) ELEVATION
 A3.2 1/4"=1'-0"



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EXTERIOR ELEVATIONS

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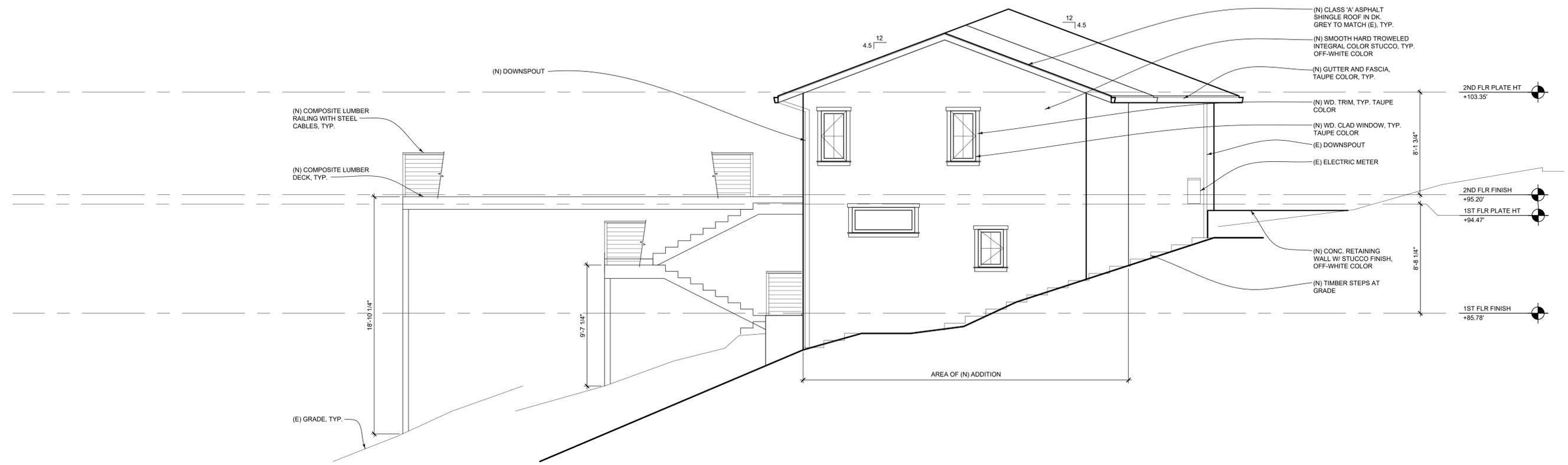


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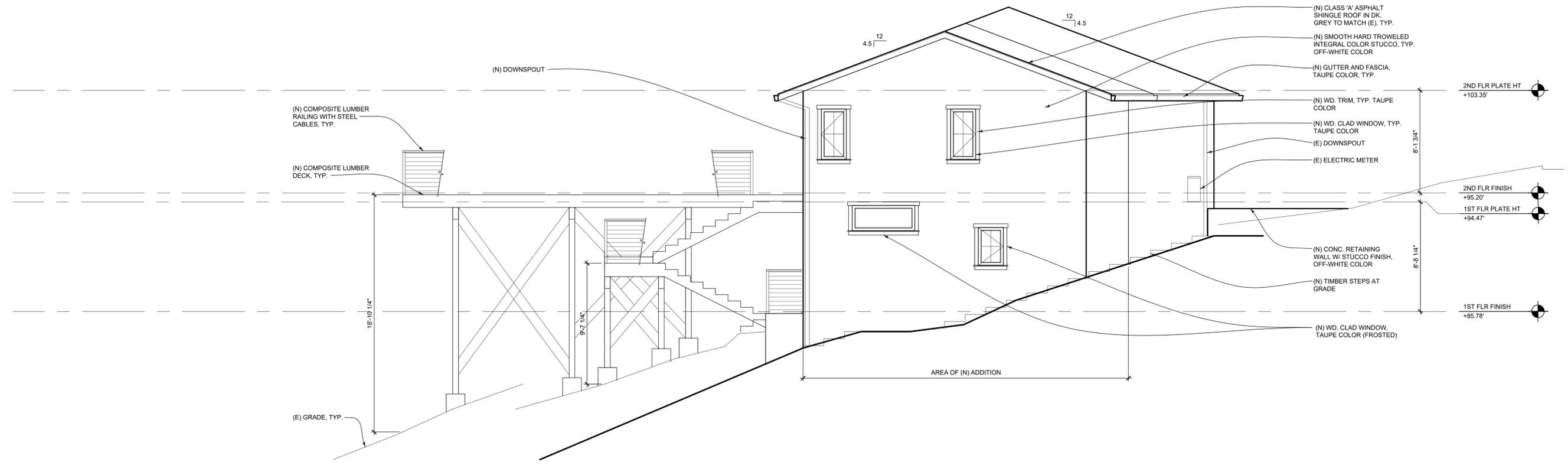
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EXTERIOR ELEVATIONS

JOB #: 2511



2 PROPOSED NORTH (LEFT) ELEVATION (FEB. 23-2026)
 A3.2 1/4"=1'-0"



1 PROPOSED NORTH (LEFT) ELEVATION
 A3.2 1/4"=1'-0"



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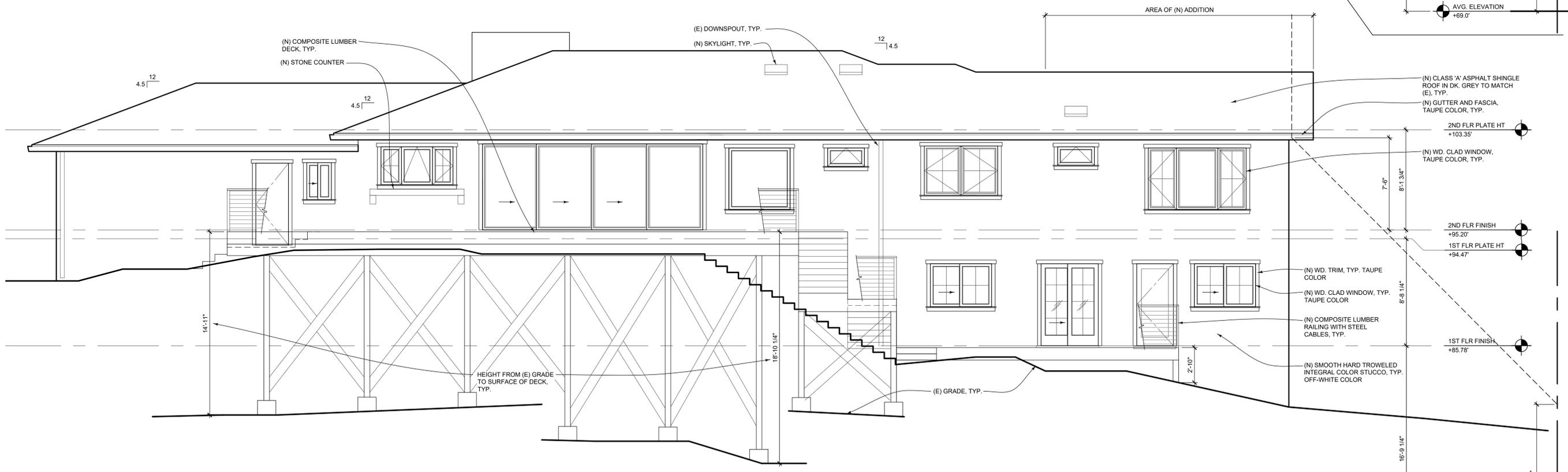
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EXTERIOR ELEVATIONS

JOB #: 2511



2 EXISTING EAST (BACK) ELEVATION
A3.3 1/4"=1'-0"



1 PROPOSED EAST (BACK) ELEVATION
A3.3 1/4"=1'-0"



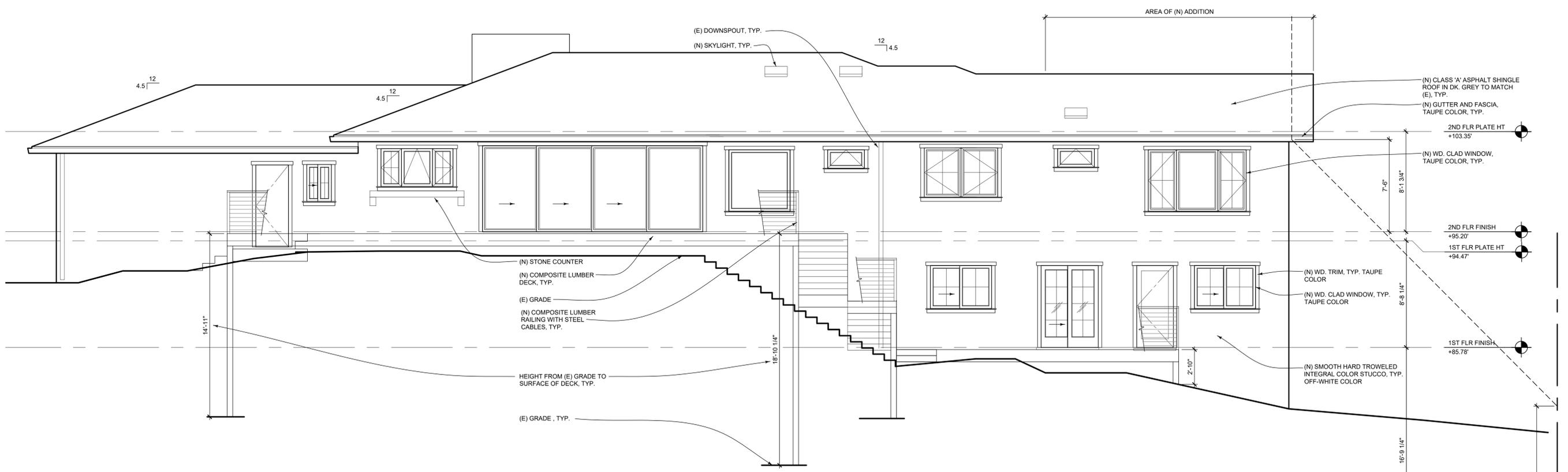
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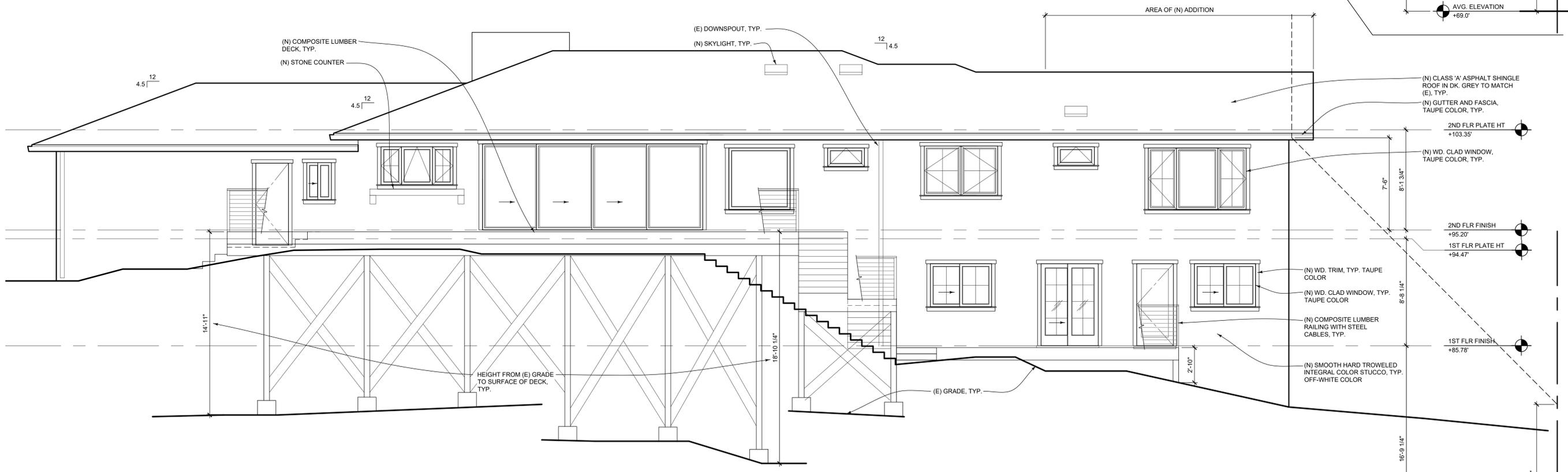
EXTERIOR ELEVATIONS

JOB #: 2511

A3.3a

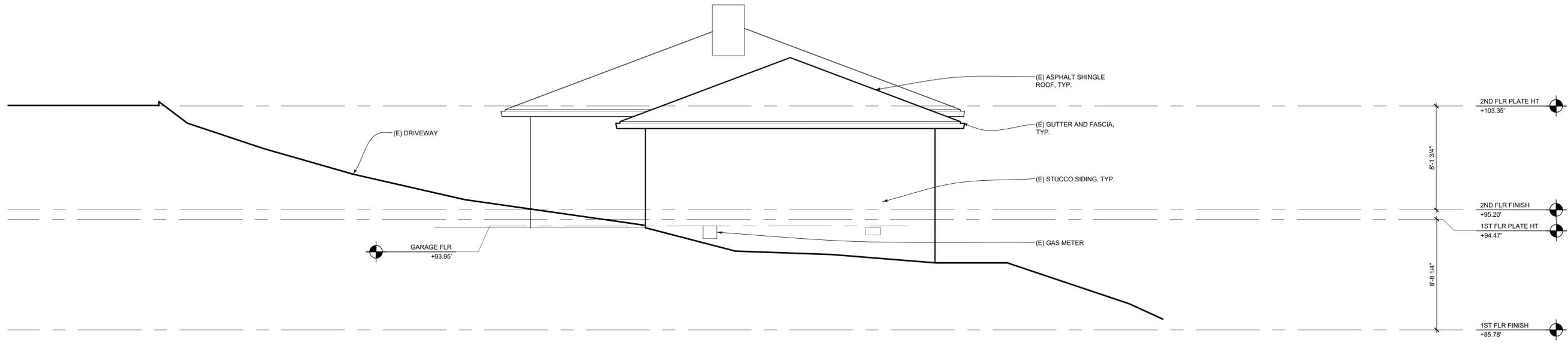


2 PROPOSED EAST (BACK) ELEVATION (FEB. 23, 2026)
 A3.3 1/4"=1'-0"

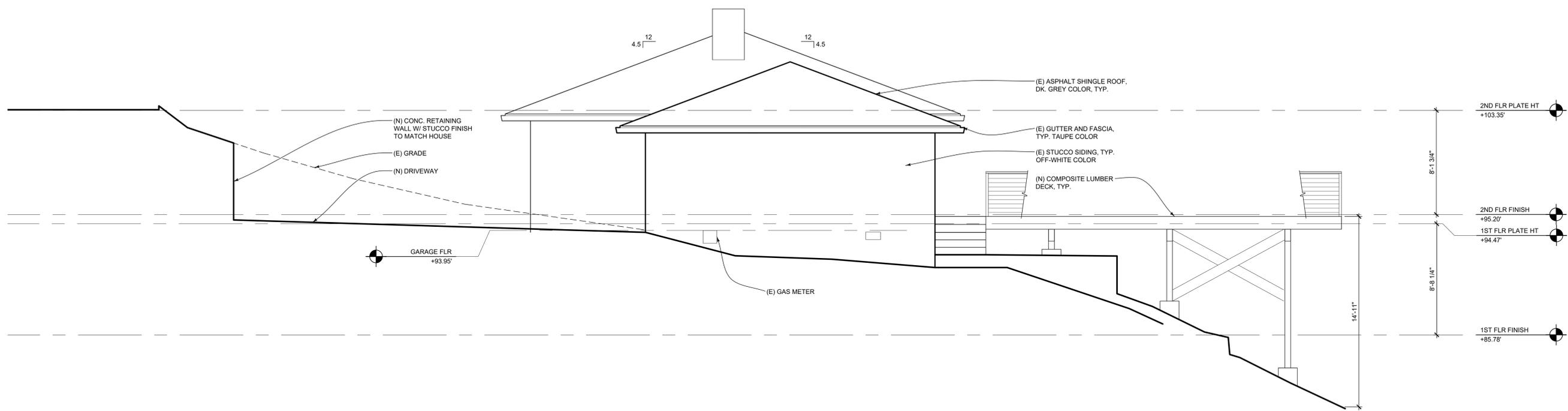


1 PROPOSED EAST (BACK) ELEVATION
 A3.3 1/4"=1'-0"

MATSUO RESIDENCE
 2674 SUMMIT DR.
 BURLINGAME, CA 94010
 APN: 027-271-020



2 EXISTING SOUTH (RIGHT) ELEVATION
 A3.4 1/4"=1'-0"



1 PROPOSED SOUTH (RIGHT) ELEVATION
 A3.4 1/4"=1'-0"



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EXTERIOR ELEVATIONS

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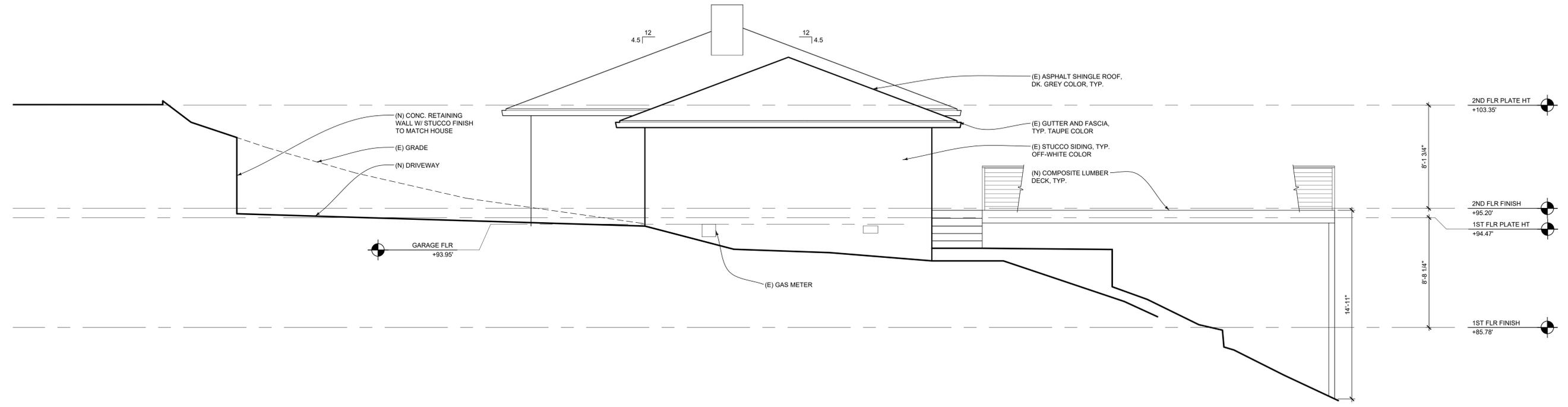
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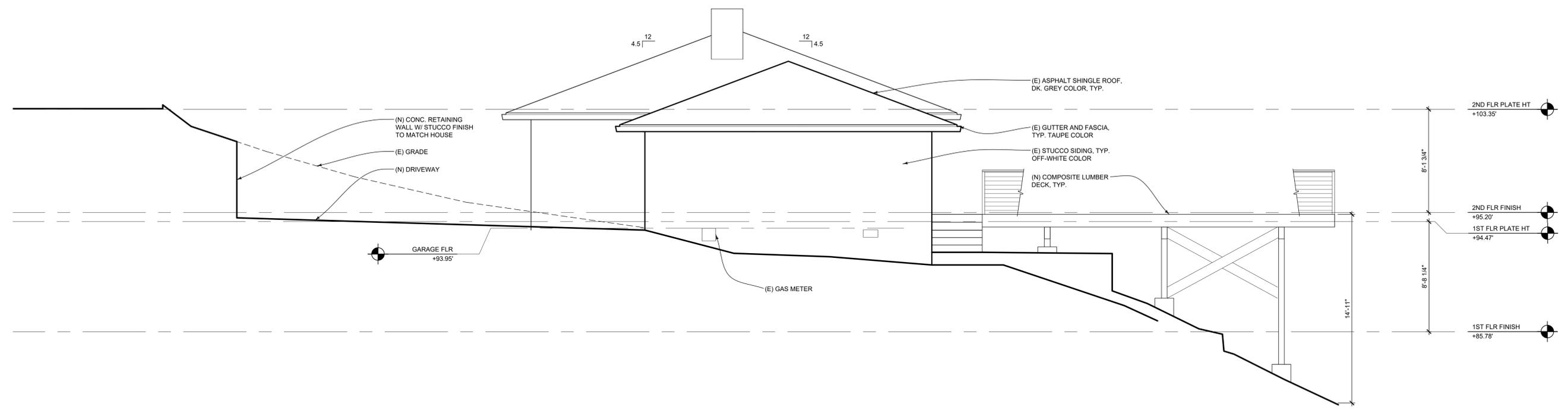
EXTERIOR ELEVATIONS

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A3.4a



2 PROPOSED SOUTH (RIGHT) ELEVATION (FEB. 23, 2026)
 A3.4 1/4"=1'-0"



1 PROPOSED SOUTH (RIGHT) ELEVATION
 A3.4 1/4"=1'-0"

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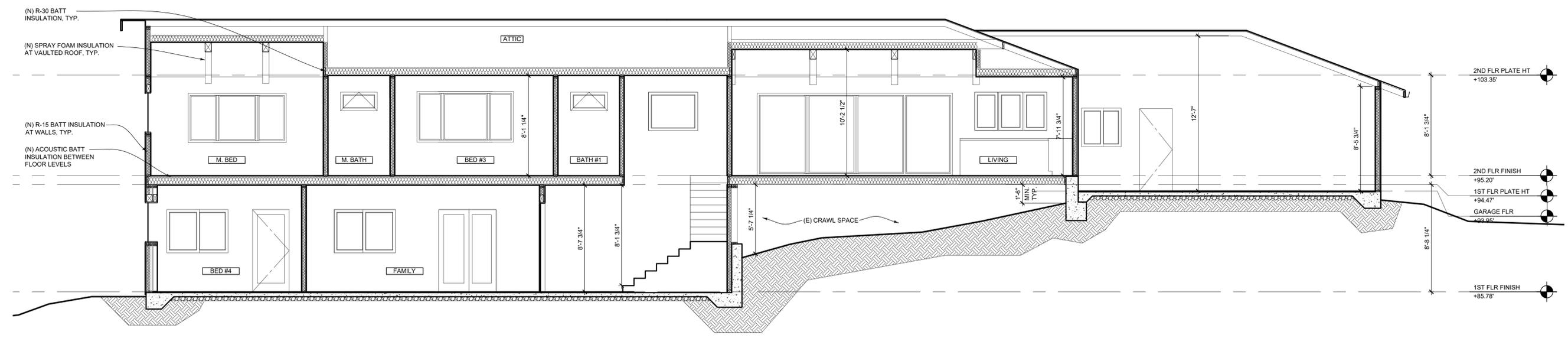
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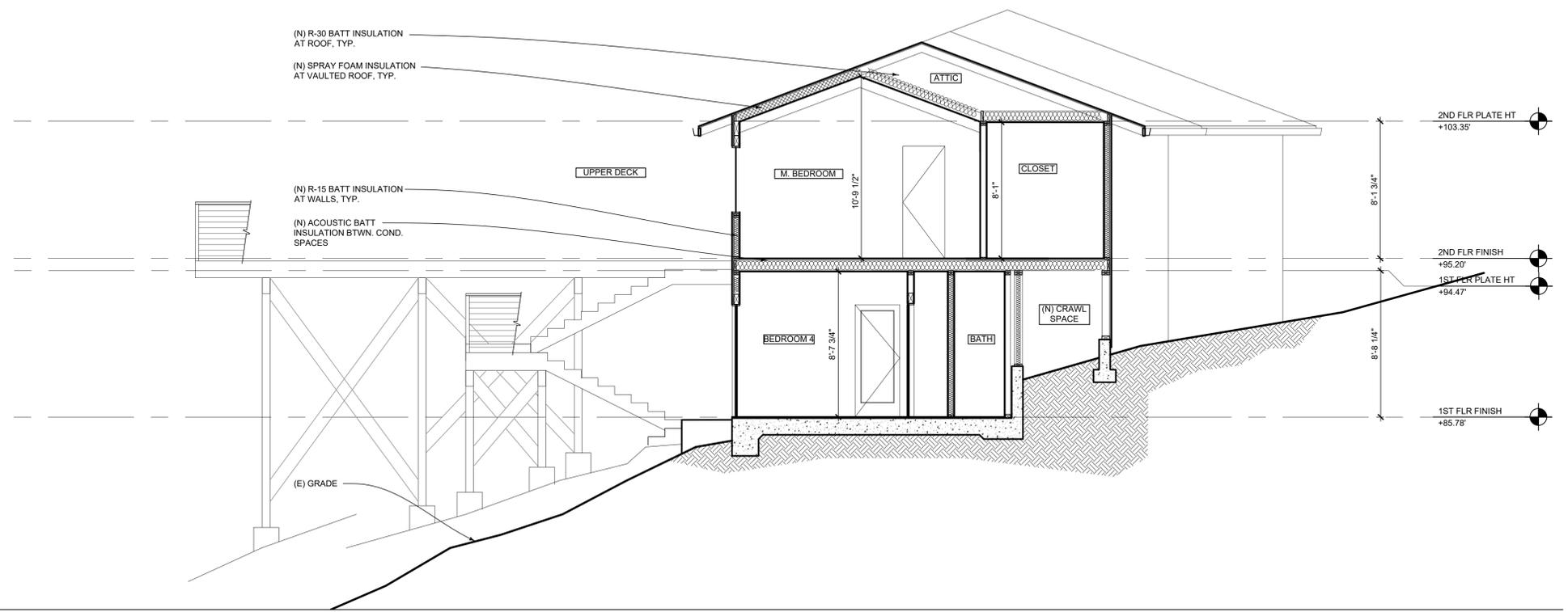
BUILDING SECTIONS

JOB #: 2511

A3.5

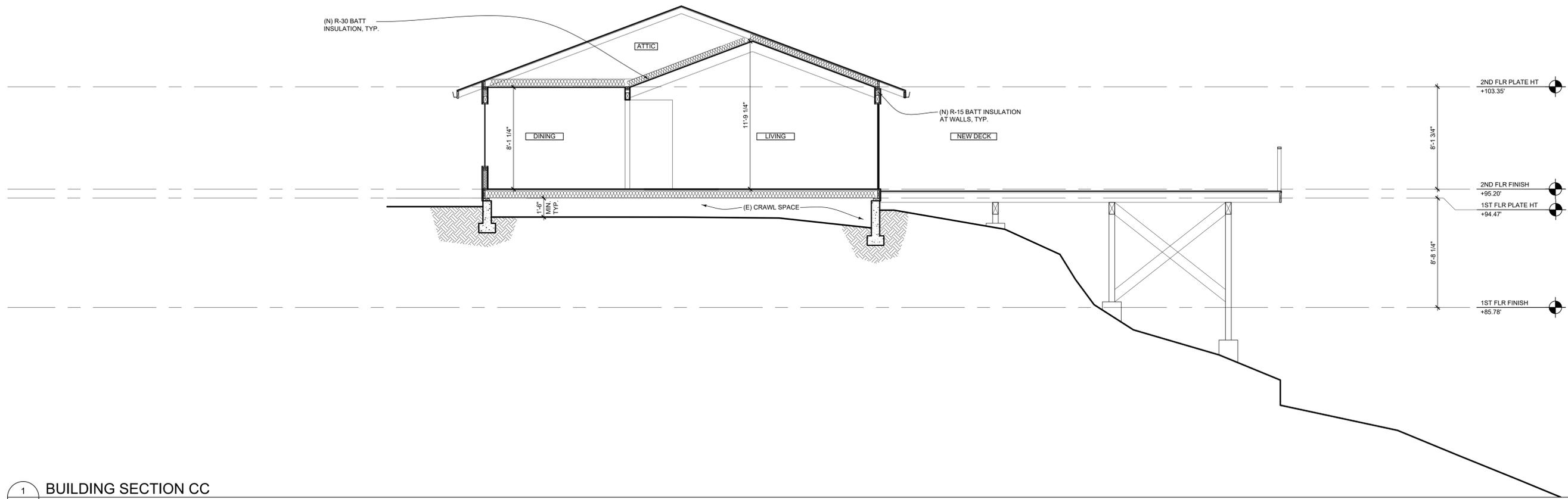


2 BUILDING SECTION BB
 A3.5 1/4"=1'-0"



1 BUILDING SECTION AA
 A3.5 1/4"=1'-0"

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BUILDING SECTIONS

JOB #: 2511

A3.6