

# 720 NEWHALL ROAD

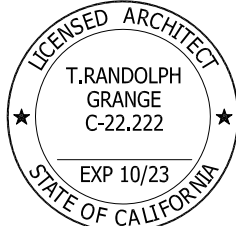
## ADDITION AND REMODEL

RECEIVED  
8/12/22  
CITY OF BURLINGAME  
CDD-PLANNING DIVISION

TRG ARCHITECTURE +  
INTERIOR DESIGN

1014 Howard Avenue  
San Mateo, California 94401  
FAX 650.579.0115  
650.579.5762  
E-Mail: admin@trgarch.com

Architect:



These plans are copyrighted and are subject to copyright protection as an "architectural work" under Sec. 102 of the Copyright Act, 17 U.S.C., as amended December 1990 and known as Architectural Works Copyright Protection Act of 1990. This protection includes, but is not limited to the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, work, or project represented, can legally result in the cessation of construction or building being seized and/or monetary compensation to TRG Architects.

Consultant(s):

Project:

**OHLUND  
RESIDENCE**  
Addition and Remodel  
APN: 028-142-290

**720 Newhall Road  
Burlingame, CA 94010**

Owner(s):

**JOHN & KIMBERLY  
OHLUND**

Sheet Contents:

**NEIGHBORHOOD  
PHOTOS**

Scale: AS NOTED

Drawn by:

Checked By: TRG

Job:

Date: 2022-05-16 Planning Submittal

Status:

REVISIONS

No.	Revisions	By	Date	Appr.

Sheet:

**A0.0**

Of      Sheets



728 Newhall

724 Newhall

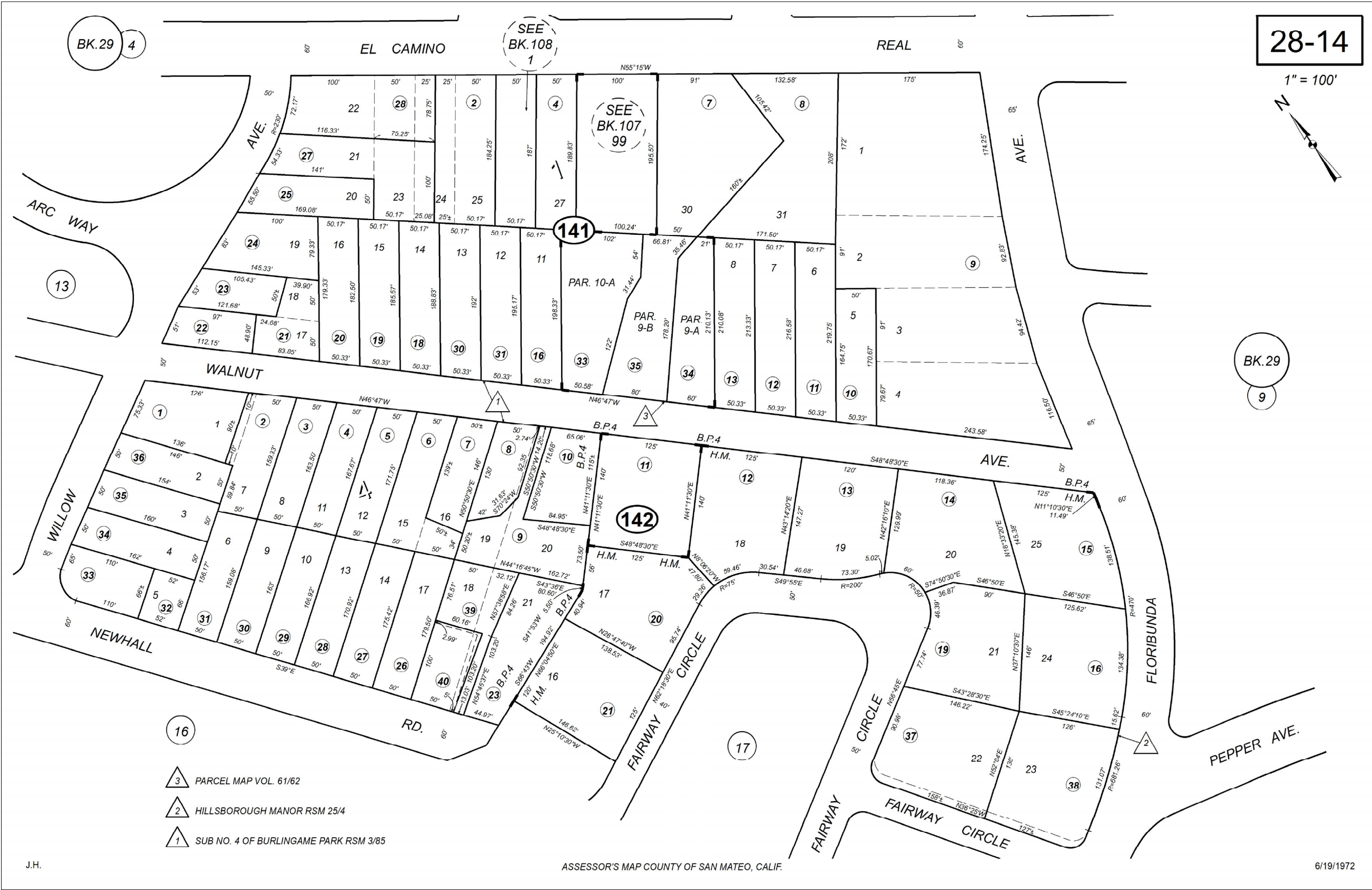
720 Newhall  
(Subject Property)

716 Newhall

712 Newhall

### NEIGHBORHOOD PHOTOS

1



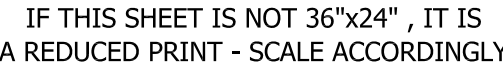
### PARCEL MAP

1









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OHLUND**

## ***SITE PLAN***

Drawn by

Checked 1

Checked By: TRG

Job:

Date: 2022-05-16 Planning Submittal

Status

[illegible]

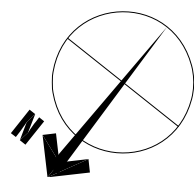
Sheet:

## A1.1

Of Sheets



**1**



IF THIS SHEET IS NOT 36"x24" , IT IS  
A REDUCED PRINT - SCALE ACCORDINGLY

- DO NOT SCALE DRAWINGS.
- VERIFY ALL DIMENSIONS IN FIELD.
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DEMOLITION NOTES

- REFER TO LEGEND BELOW 4 NOTES ON DEMO PLAN FOR STRUCTURAL ELEMENTS TO BE ALTERED OR REMOVED. REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- PRIOR TO DEMOLITION, VERIFY w/ OWNER & ARCHITECT ALL MECH. EQUIP. PLUMBING FIXTURES, ELECTRICAL EQUIP., LIGHTING, CABINETRY, WINDOWS, DOORS OR OTHER INTERIOR ELEMENTS TO BE REMOVED, REUSED, RECYCLED OR DISCARDED.
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- ANY REMOVAL OF ASBESTOS SHALL COMPLY w/ ALL APPLICABLE LAWS AND ORDINANCES.

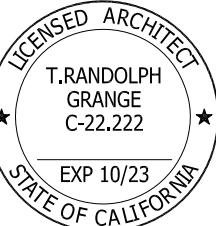
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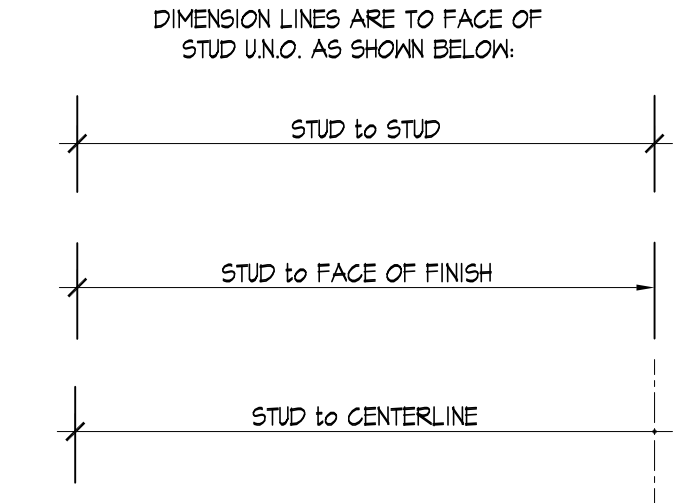
**JOHN & KIMBERLY  
OHLUND**

Sheet Contents:

**EXISTING FLOOR PLAN**

SEE ID SHEETS FOR INTERIOR  
INFORMATION. INCLUDING NICHES  
IN WALLS, FLUSH DRAINS, SHADE  
POCKETS, ADDED BLOCKING, ETC.

LEGEND



- (E) WALL TO REMAIN
- WALL OR ITEM TO BE REMOVED
- (E) OPENING TO BE INFILLED
- (N) WALL

Scale: AS NOTED

Drawn by:

Checked By: TRG

Job:

Date: 2022-05-16 Planning Submittal

Status:

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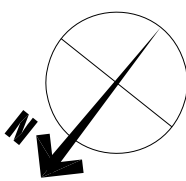
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Of \_\_\_\_ Sheets

EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"

1





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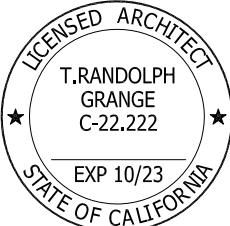
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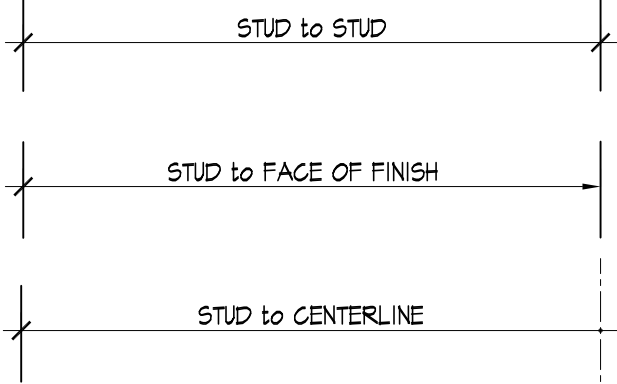
Sheet Contents:

**EXISTING ROOF PLAN**

SEE ID SHEETS FOR INTERIOR  
INFORMATION. INCLUDING NICHES  
IN WALLS, FLUSH DRAINS, SHADE  
POCKETS, ADDED BLOCKING, ETC.

LEGEND

DIMENSION LINES ARE TO FACE OF  
STUD U.N.O. AS SHOWN BELOW:



(E) WALL TO REMAIN

WALL OR ITEM  
TO BE REMOVED

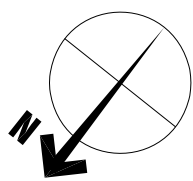
(E) OPENING TO BE INFILLED

(N) WALL

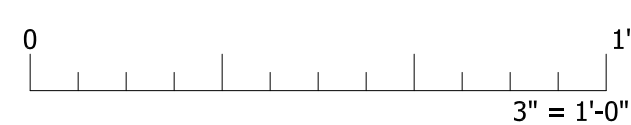
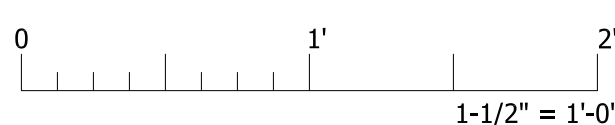
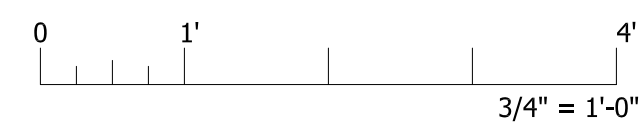
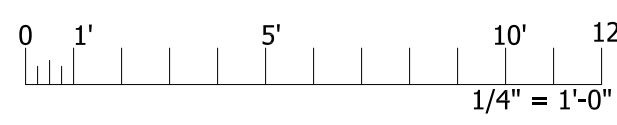
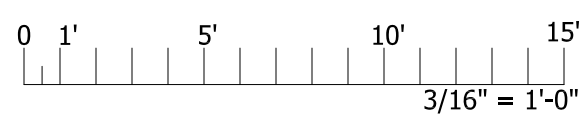
EXISTING ROOF PLAN

SCALE: 1/4" = 1'-0"

1

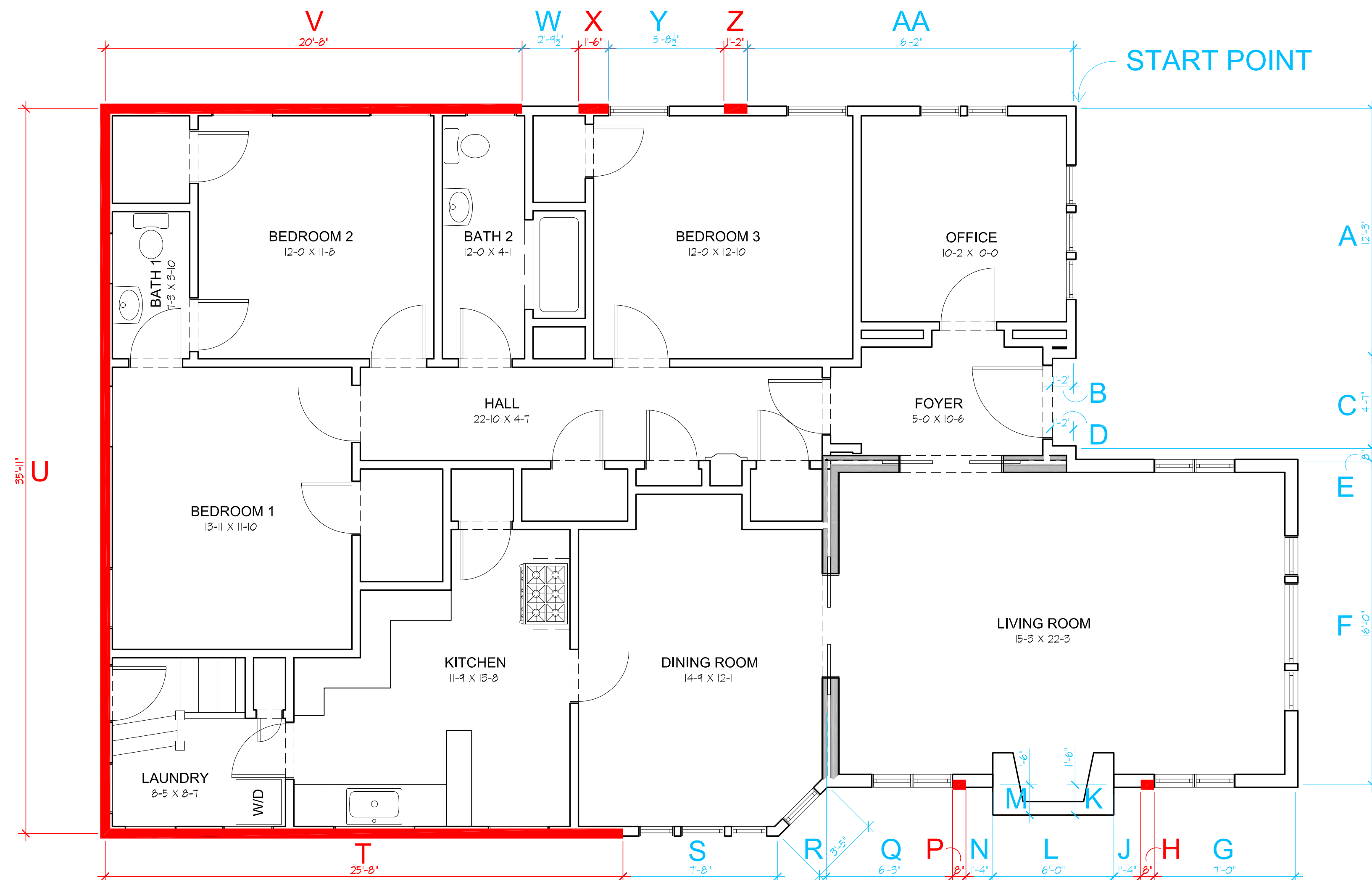






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NOTE: DETACHED GARAGE NOT INCLUDED IN CALCULATIONS



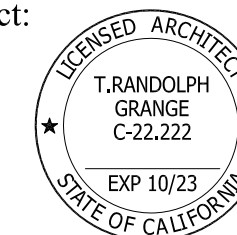
FIRST FLOOR EXISTING WALL LENGTHS			
LABEL	DIMENSIONS (LF)		REMOVED (LF)
A	12.25		
B	1.17		
C	4.58		
D	1.17		
E	0.67		
F	16.00		
G	7.00		
H	0.67		0.67
J	1.33		
K	1.50		
L	6.00		
M	1.50		
N	1.33		
P	0.67		0.67
Q	6.25		
R	3.42		
S	7.67		
T	25.67		25.67
U	35.92		35.92
V	20.67		20.67
W	2.79		
X	1.50		1.5
Y	5.71		
Z	1.17		1.17
AA	16.17		
	TOTAL EXISTING		TOTAL REMOVED
	283.92		86.27
	50% of existing wall		
	141.96		86.27

TOTAL EXISTING WALL = 283.92 lf  
TOTAL WALL REMOVED = 86.27 lf  
30% OF (E) REMOVED  
(55 lf remaining for unforeseen work  
before removing 50% of existing wall)

TRG ARCHITECTURE +  
INTERIOR DESIGN

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*Additional and Remodel*  
**APN: 028-142-290**

**720 Newhall Road  
Burlingame, CA 94010**

Owner(s):

**JOHN & KIMBERLY  
OHLUND**

Sheet Contents:

**EXISTING WALLS TO BE  
REMOVED DIAGRAM**

Scale: AS NOTED

Drawn by

Checked By: TRG

Job:

Date: 2022-05-16 Planning Submittal

Status	
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REVISIONS

[illegible]

Sheets:

**GEO**

Of Sheets

## FIRST FLOOR PLAN

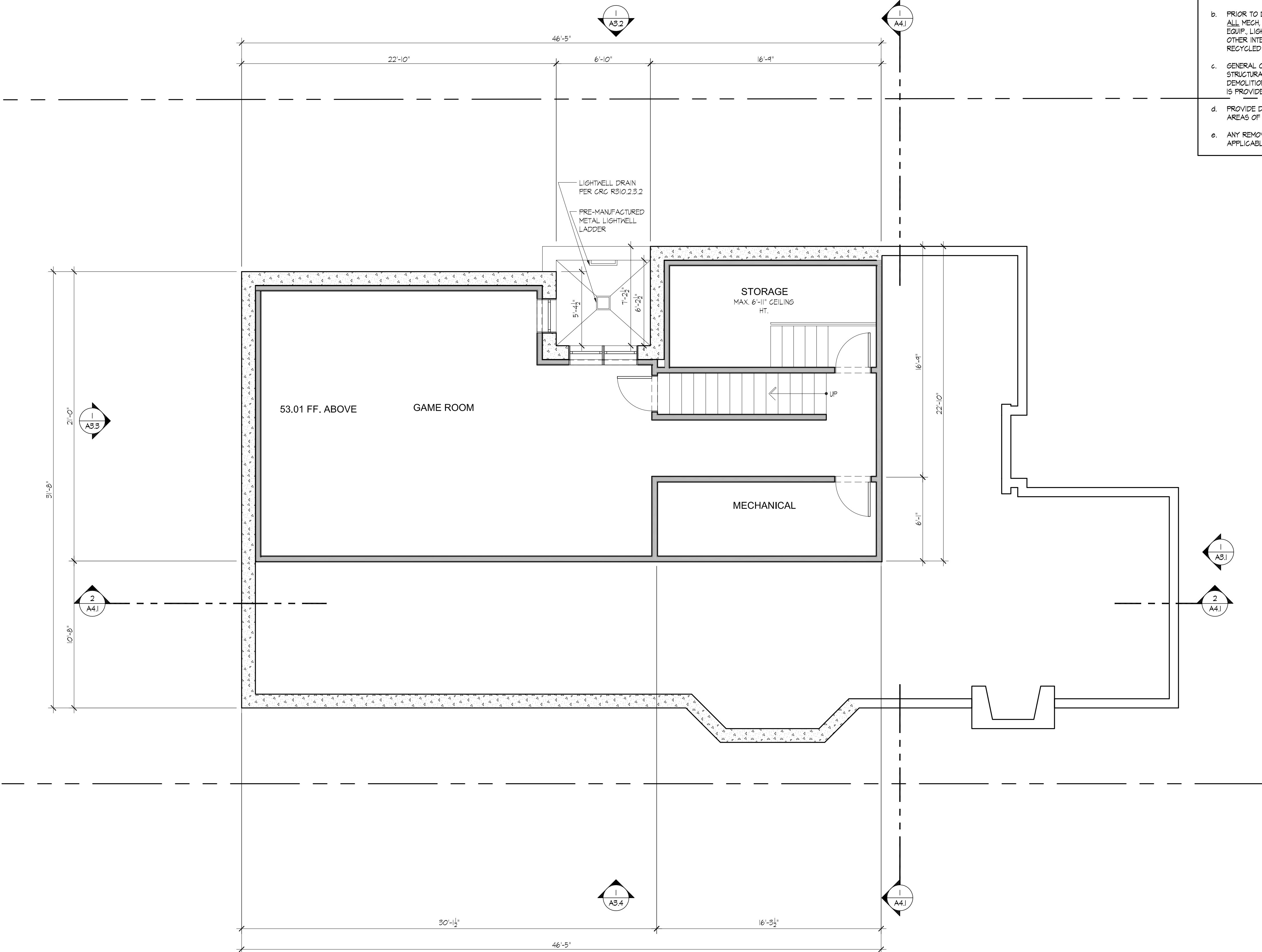
**SCALE: 1/4" = 1'-0"**

1



DEMOLITION NOTES	GENERAL NOTES
a. REFER TO LEGEND BELOW & NOTES ON DEMO PLAN FOR STRUCTURAL ELEMENTS TO BE ALTERED OR REMOVED. REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO COMMENCEMENT OF WORK.	a. DO NOT SCALE DRAWINGS.
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PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

1

LEGEND	
DIMENSION LINES ARE TO FACE OF STUD U.N.O. AS SHOWN BELOW:	
	STUD to STUD
	STUD to FACE OF FINISH
	STUD to CENTERLINE
	(E) WALL TO REMAIN
	WALL OR ITEM TO BE REMOVED
	(E) OPENING TO BE INFILLED
	(N) WALL

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**JOHN & KIMBERLY OHLUND**

Sheet Contents:  
**PROPOSED BASEMENT PLAN**

SEE ID SHEETS FOR INTERIOR INFORMATION. INCLUDING NICHES IN WALLS, FLUSH DRAINS, SHADE POCKETS, ADDED BLOCKING, ETC.

Scale:	AS NOTED			
Drawn by:				
Checked By:	TRG			
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No.	Revisions	By	Date	Appr.

Sheet:  
**A2.0**  
OF \_\_\_\_ Sheets



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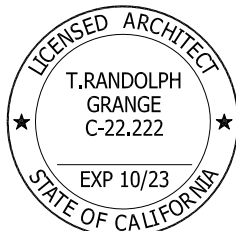
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**PROPOSED FIRST FLOOR  
PLAN**

LEGEND

DIMENSION LINES ARE TO FACE OF STUD U.N.O. AS SHOWN BELOW:

STUD to STUD

STUD to FACE OF FINISH

STUD to CENTERLINE

(E) WALL TO REMAIN

WALL OR ITEM TO BE REMOVED

(E) OPENING TO BE INFILLED

(N) WALL

Scale: AS NOTED

Drawn by:

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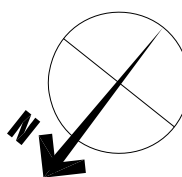
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Of \_\_\_\_\_ Sheets

PROPOSED FLOOR PLAN

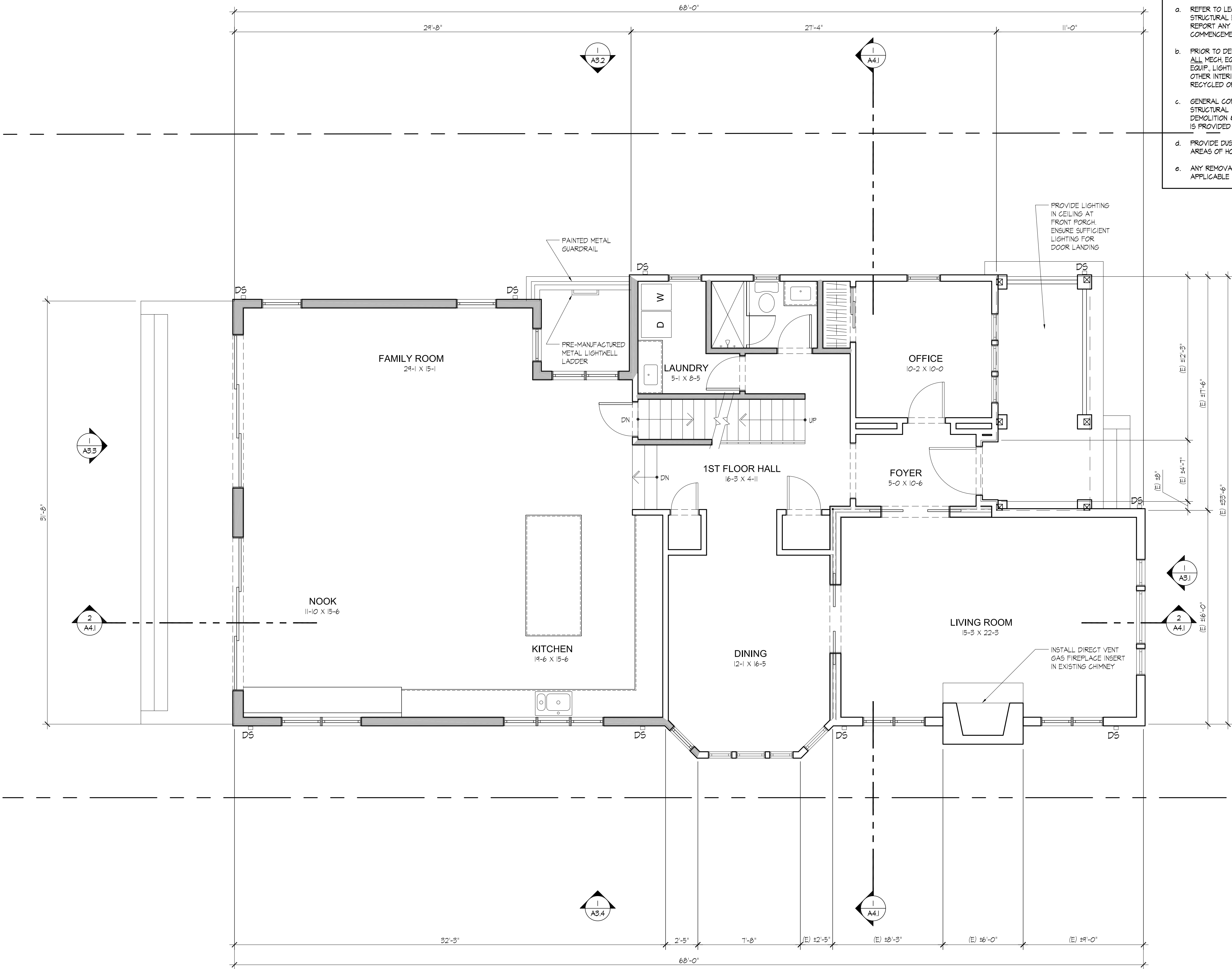
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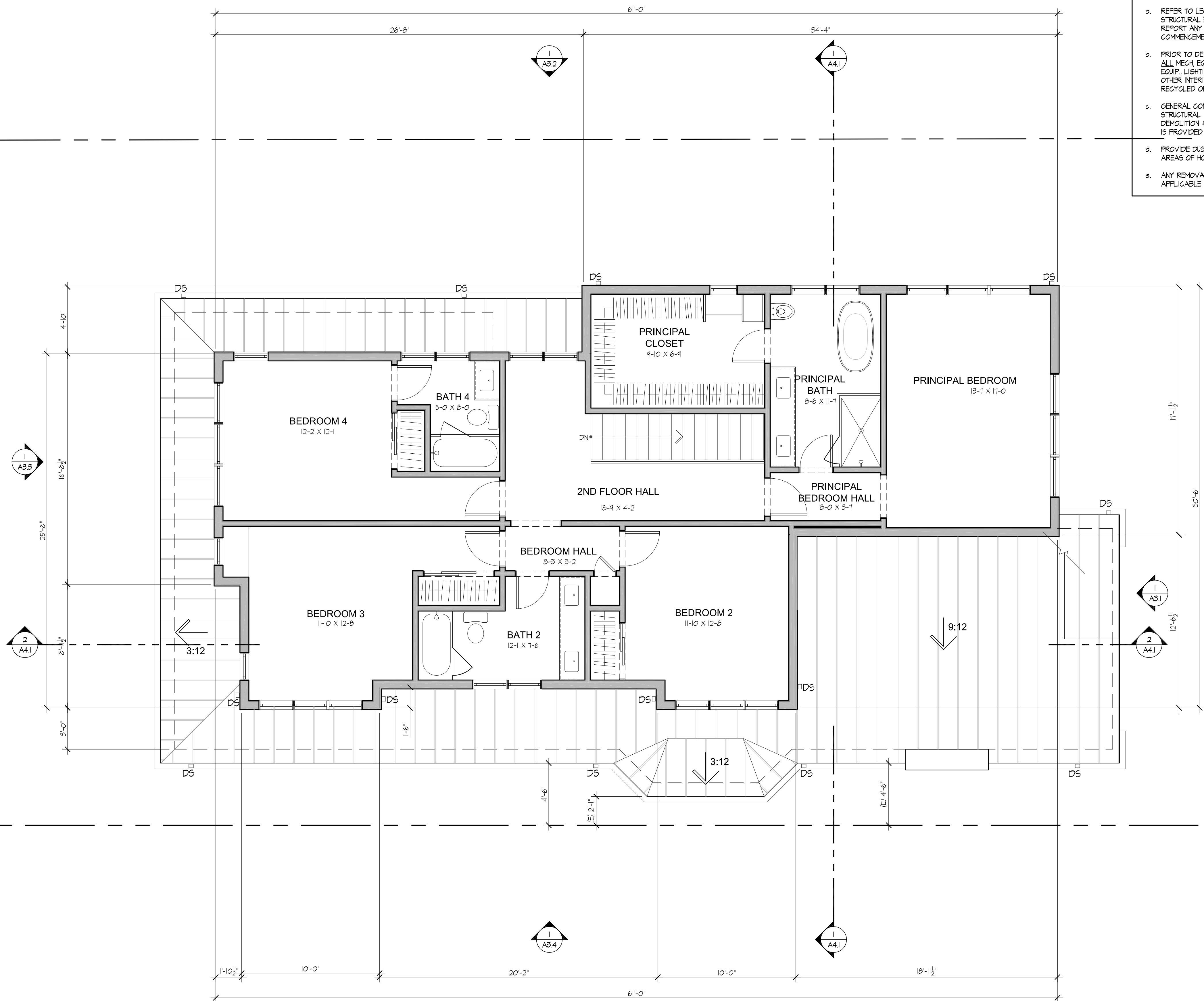
SEE ID SHEETS FOR INTERIOR INFORMATION. INCLUDING NICHES IN WALLS, FLUSH DRAINS, SHADE POCKETS, ADDED BLOCKING, ETC.





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e. ANY REMOVAL OF ASBESTOS SHALL COMPLY W/ ALL APPLICABLE LAWS AND ORDINANCES.	e. ALL NEW EXTERIOR WALLS ARE 2 X 6 STUDS @ 16" O.C., U.N.O.
	f. ALL NEW INTERIOR WALLS ARE 2 X 4 STUDS @ 16" O.C., U.N.O.
	g. ALL INTERIOR WALLS & CEILINGS TO BE 5/8" GYPSUM BOARD U.N.O.

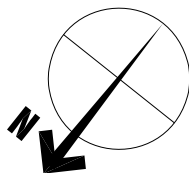
- DO NOT SCALE DRAWINGS.
- VERIFY ALL DIMENSIONS IN FIELD.
- REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO PROCEEDING W/ WORK.



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

1



LEGEND	
DIMENSION LINES ARE TO FACE OF STUD U.N.O. AS SHOWN BELOW:	
	STUD TO STUD
	STUD TO FACE OF FINISH
	STUD TO CENTERLINE
	(E) WALL TO REMAIN
	WALL OR ITEM TO BE REMOVED
	(E) OPENING TO BE INFILLED
	(N) WALL

**TRG** ARCHITECTURE + INTERIOR DESIGN

1014 Howard Avenue  
San Mateo, California 94401  
FAX 650.579.0115  
650.579.5762  
E-Mail: admin@trgarch.com

Architect:

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Consultant(s):

Project:

**OHLUND RESIDENCE**  
**Addition and Remodel**  
**APN: 028-142-290**  
**720 Newhall Road**  
**Burlingame, CA 94010**

Owner(s):

**JOHN & KIMBERLY OHLUND**

Sheet Contents:

**PROPOSED SECOND FLOOR PLAN**

Scale:	AS NOTED			
Drawn by:				
Checked By:	TRG			
Job:				
Date:	2022-05-16 Planning Submittal			
Status:				
REVISIONS				
No.	Revisions	By	Date	Appr.

Sheet:

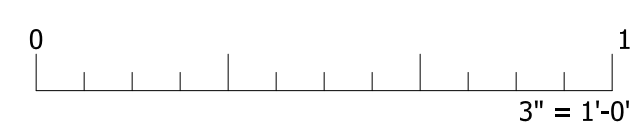
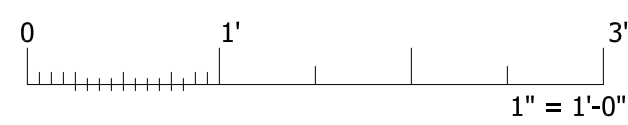
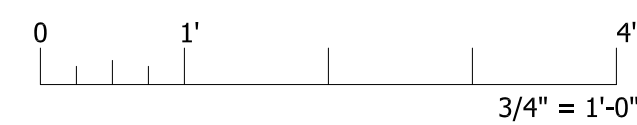
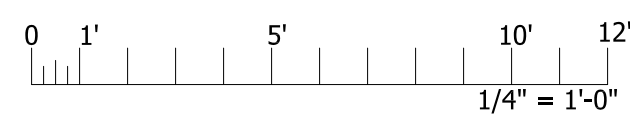
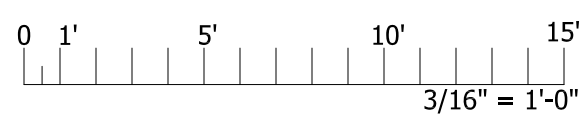
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Of \_\_\_\_ Sheets







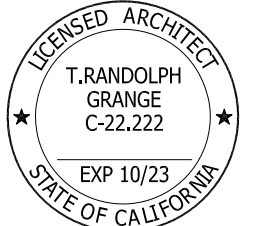


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Consultant(s):

Project:

**OHLUND  
RESIDENCE**  
*Additional and Remodel*  
**APN: 028-142-290**

**720 Newhall Road  
Burlingame, CA 94010**

Owner(s):

**JOHN & KIMBERLY  
OHLUND**

Sheet Contents:

## EXTERIOR ELEVATIONS

Scale: AS NOTED

Drawn by:

Checked By: TRG

Job:

Date: 2022-05-16 Planning Submittal

Status:

## REVISIONS

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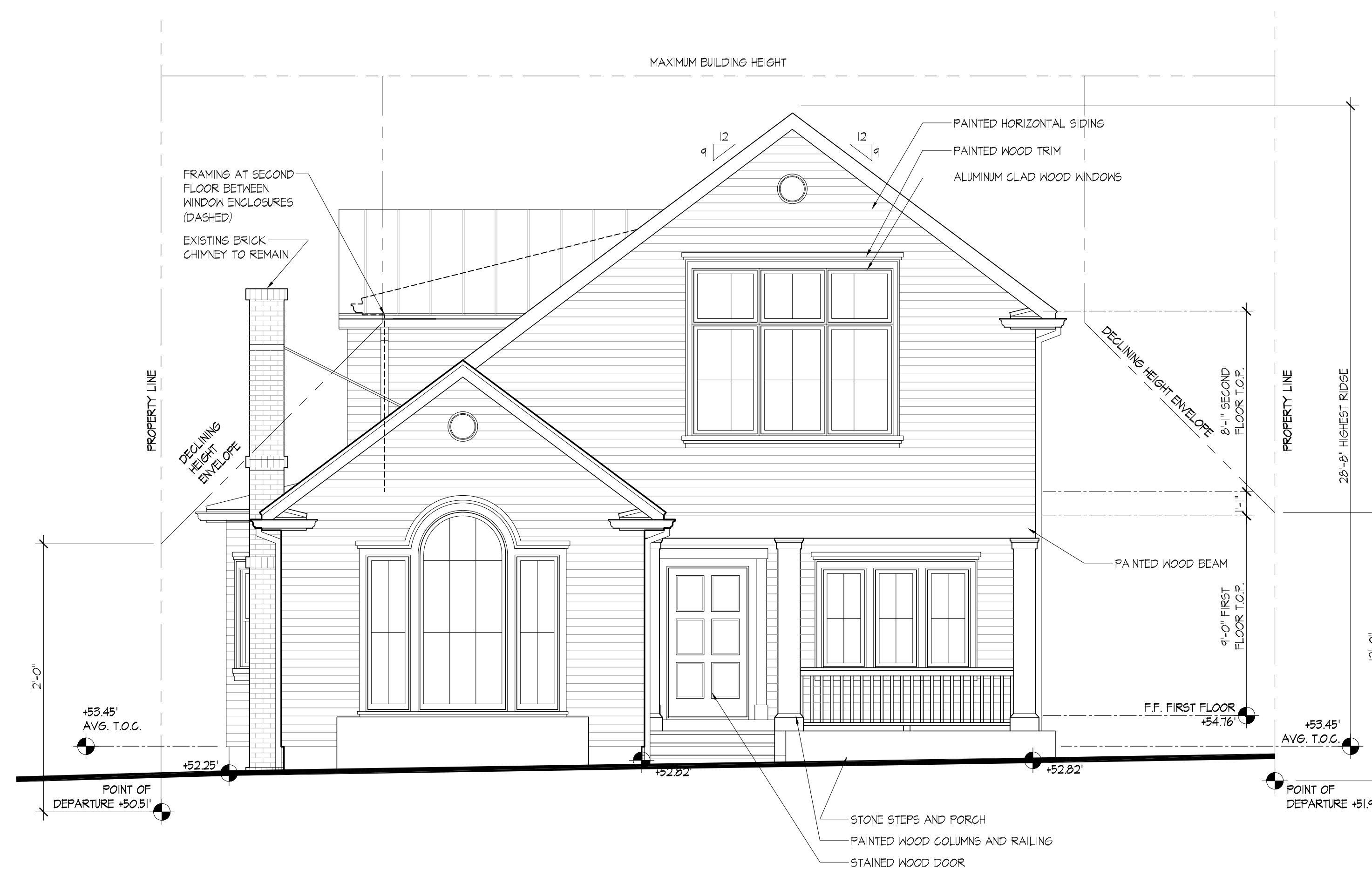
Of Sheets



**EXISTING FRONT ELEVATION**

**SCALE: 1/4" = 1'-0"**

1



***PROPOSED FRONT ELEVATION***

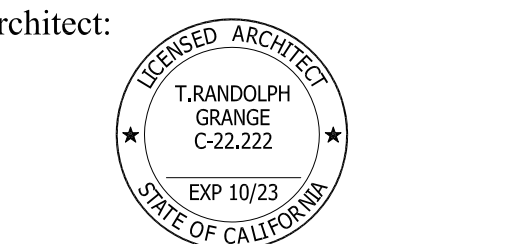
**SCALE: 1/4" = 1'-0"**

2



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INTERIOR DESIGN

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San Mateo, California 94401  
FAX 650.579.0115  
650.579.5762  
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Consultant(s):

Project:

**OHLUND  
RESIDENCE**  
**Addition and Remodel**  
**APN: 028-142-290**  
**720 Newhall Road**  
**Burlingame, CA 94010**

Owner(s):

**JOHN & KIMBERLY  
OHLUND**

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**EXTERIOR ELEVATIONS**

Scale: AS NOTED  
Drawn by:  
Checked By: TRG  
Job:  
Date: 2022-05-16 Planning Submittal  
Status:

REVISIONS				
No.	Revisions	By	Date	Appr.

Sheet:

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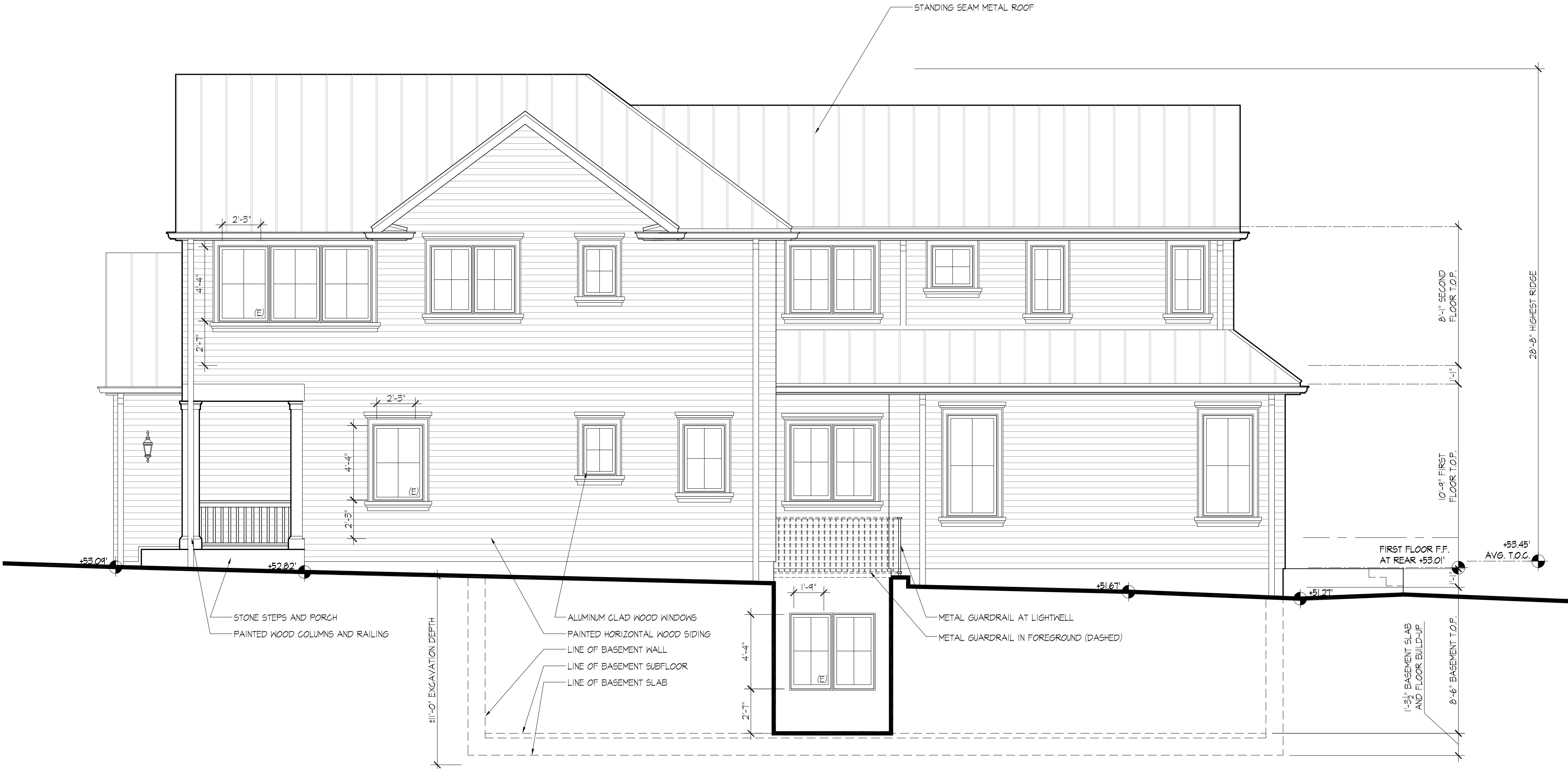
Of      Sheets



**EXISTING RIGHT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

1

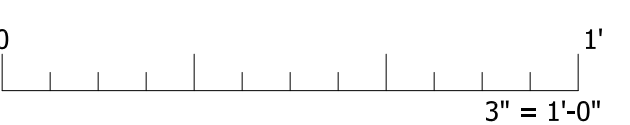
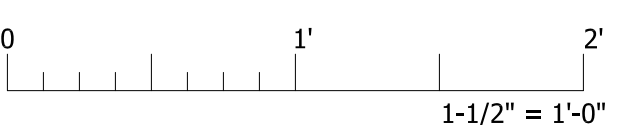
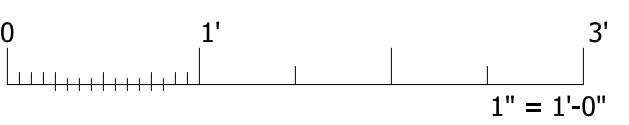
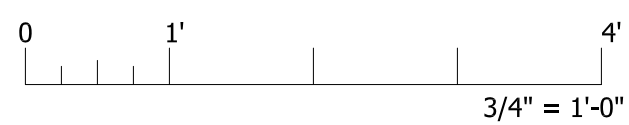
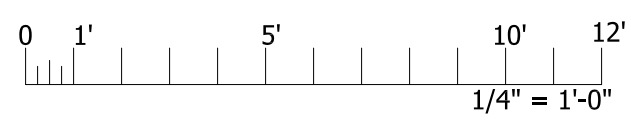
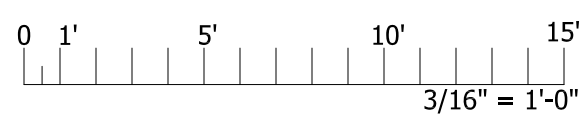


**PROPOSED RIGHT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

2



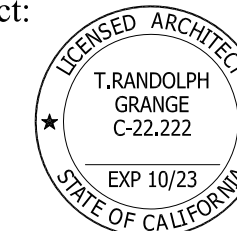


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*Additions and Remodel*  
**APN: 028-142-290**

**720 Newhall Road  
Burlingame, CA 94010**

Owner(s):

**JOHN & KIMBERLY  
OHLUND**

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## EXTERIOR ELEVATIONS

Scale: AS NOTED

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Checked By: TRG

Job:

Date: 2022-05-16 Planning Submittal

Status	
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REVISIONS

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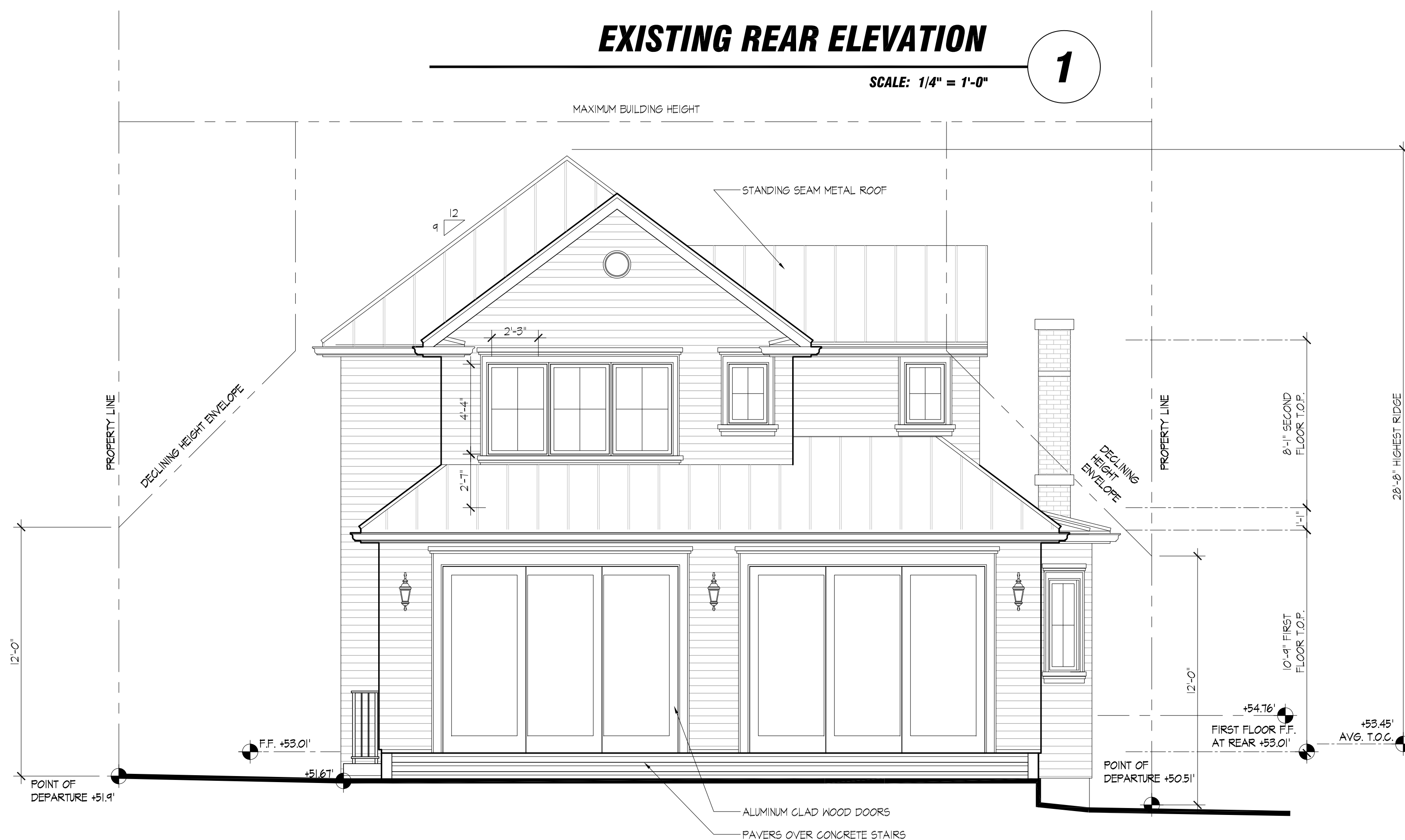
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### EXISTING REAR ELEVATION

**SCALE: 1/4" = 1'-0"**

**1**

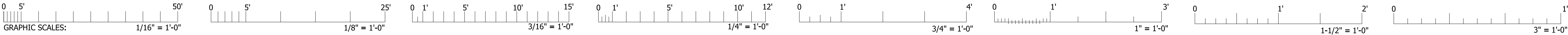


### ***PROPOSED REAR ELEVATION***

**SCALE: 1/4" = 1'-0"**

**2**





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RESIDENCE**  
Addition and Remodel  
APN: 028-142-290

720 Newhall Road  
Burlingame, CA 94010

Owner(s):

**JOHN & KIMBERLY  
OHLUND**

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**EXTERIOR ELEVATIONS**

Scale: AS NOTED

Drawn by:

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Job:

Date: 2022-05-16 Planning Submittal

Status:

REVISIONS

No.	Revisions	By	Date	Appr.

Sheet:

**A3.4**

Of      Sheets



**EXISTING LEFT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

1

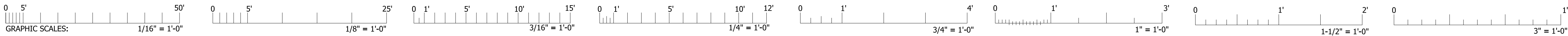


**PROPOSED LEFT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

2





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### GENERAL NOTES

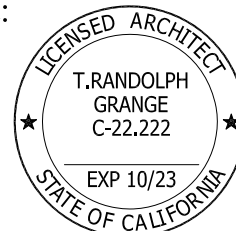
- DO NOT SCALE DRAWINGS.
- VERIFY ALL DIMENSIONS IN FIELD.
- REPORT ANY DISCREPANCIES TO ARCHITECT AND STRUCTURAL ENGINEER BEFORE PROCEEDING w/ WORK.
- ALL DIMENSIONS ARE TO FACE OF CONCRETE FOOTING OR STUD, U.N.O. SEE LEGEND.
- ALL NEW EXTERIOR WALLS ARE 2 x 6 STUDS @ 16" O.C., U.N.O.
- ALL NEW INTERIOR WALLS ARE 2 x 4 STUDS @ 16" O.C., U.N.O.
- ALL INTERIOR WALLS & CEILINGS TO BE 5/8" GYPSUM BOARD U.N.O.

- DO NOT SCALE DRAWINGS.
- VERIFY ALL DIMENSIONS IN FIELD.
- REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO PROCEEDING w/ WORK.

**TRG** ARCHITECTURE +  
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**OHLUND  
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Addition and Remodel  
APN: 028-142-290

720 Newhall Road  
Burlingame, CA 94010

Owner(s):

**JOHN & KIMBERLY  
OHLUND**

Sheet Contents:

**PROPOSED GARAGE  
PLANS AND EXTERIOR  
ELEVATIONS**

Scale: AS NOTED

Drawn by:

Checked By: TRG

Job:

Date: 2022-05-16 Planning Submittal

Status:

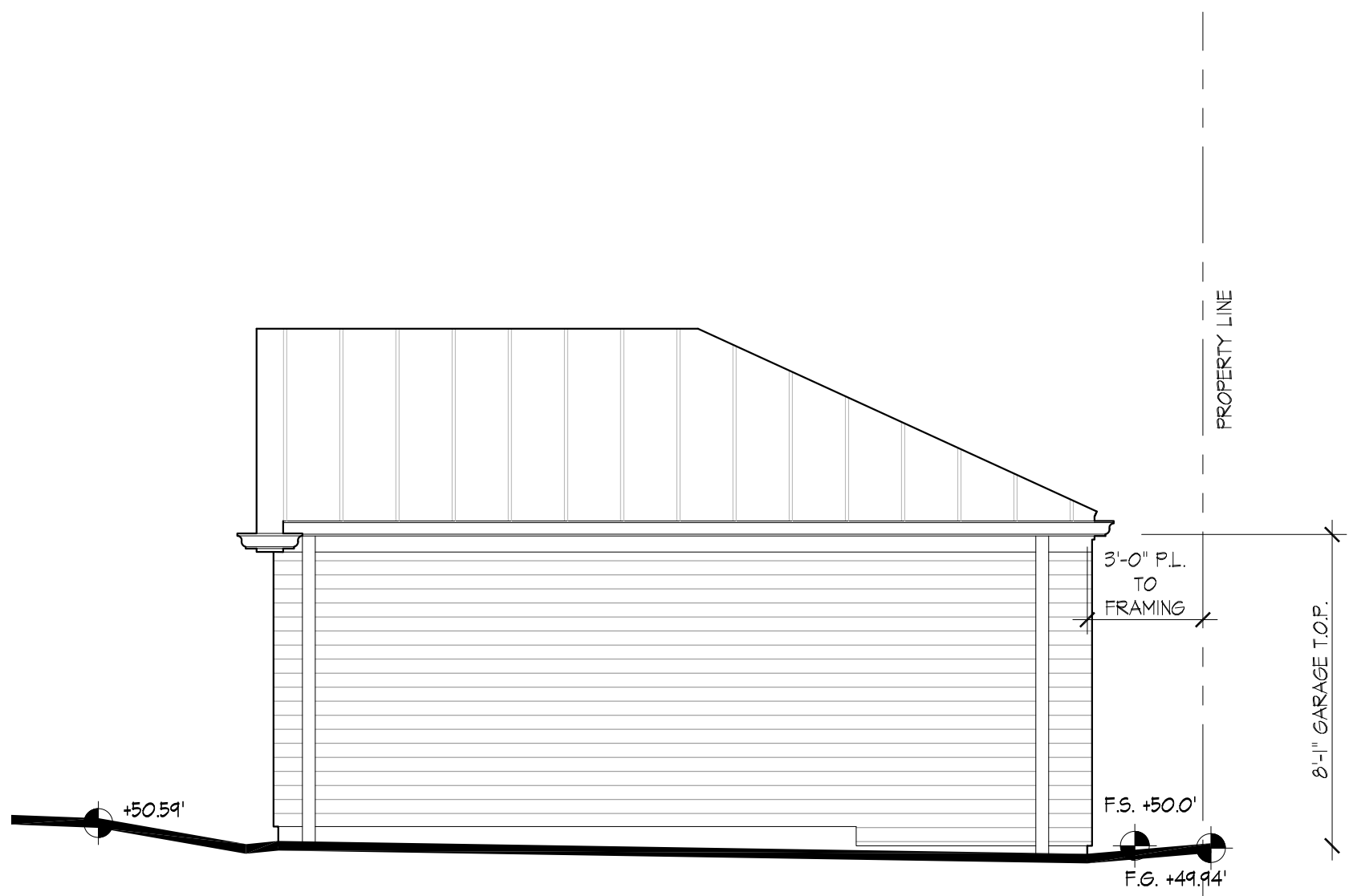
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No.	Revisions	By	Date	Appr.
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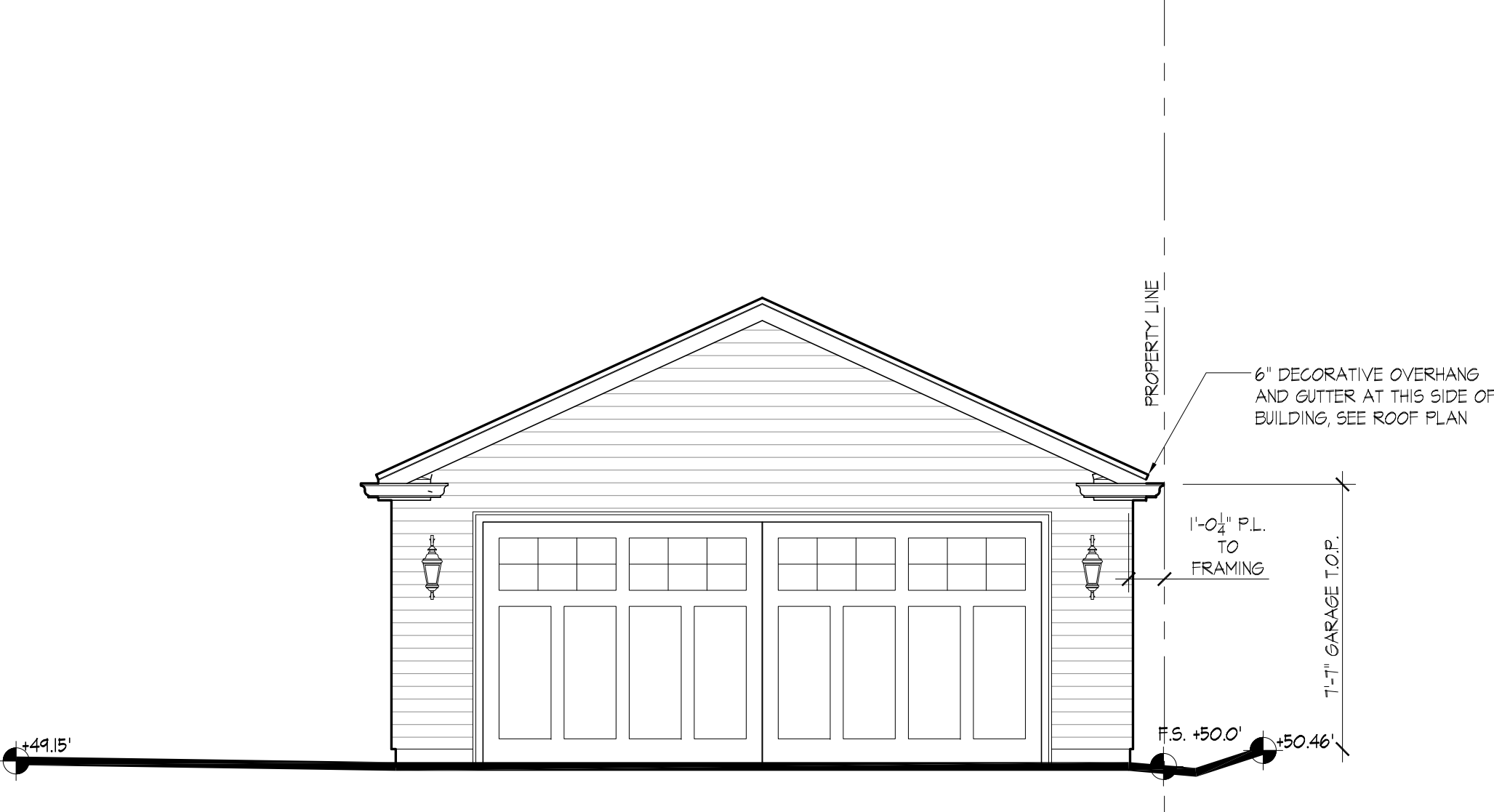
Of \_\_\_\_ Sheets



### PROPOSED GARAGE RIGHT ELEVATION

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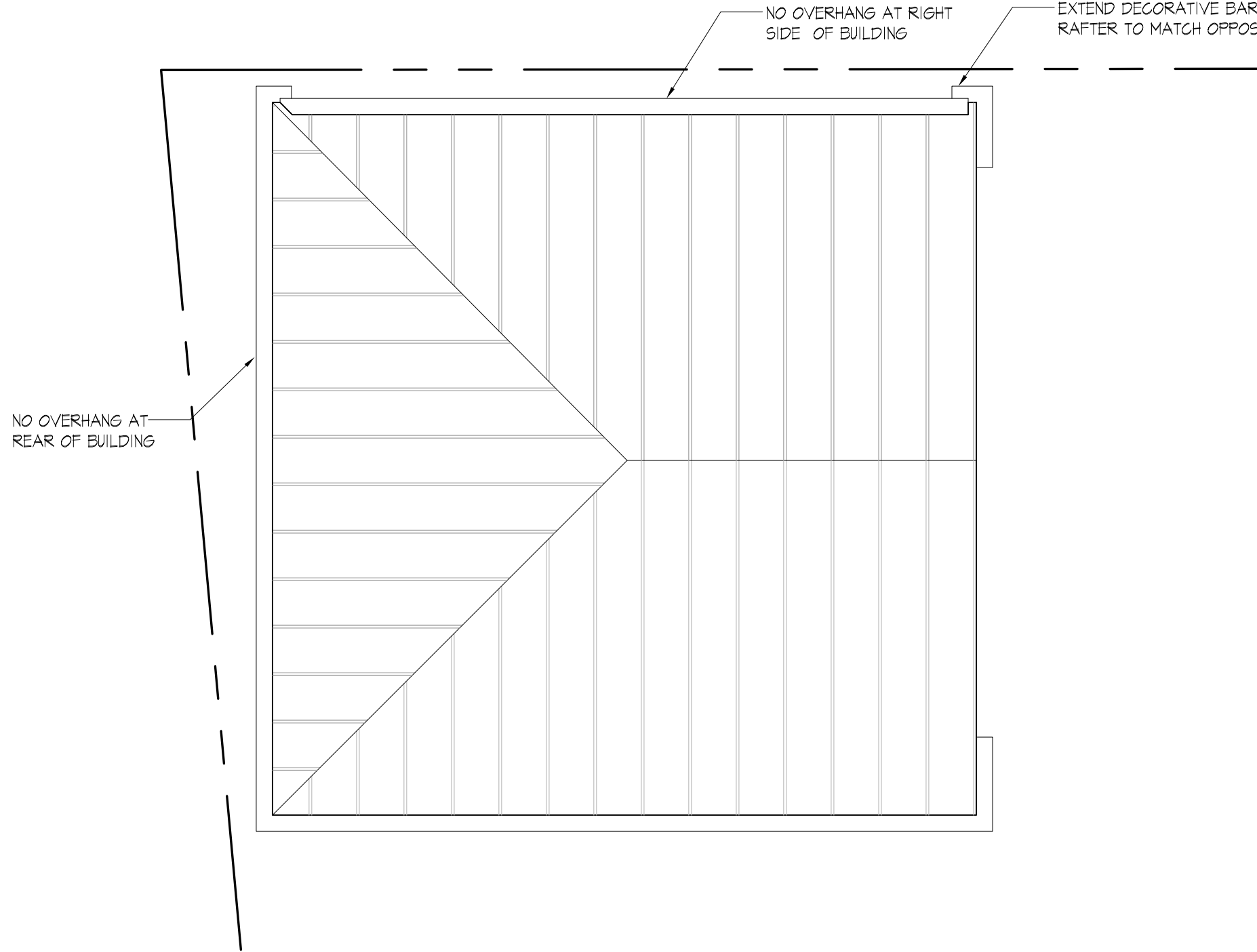
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### PROPOSED GARAGE FRONT ELEVATION

SCALE: 1/4" = 1'-0"

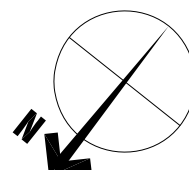
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### PROPOSED GARAGE ROOF PLAN

SCALE: 1/4" = 1'-0"

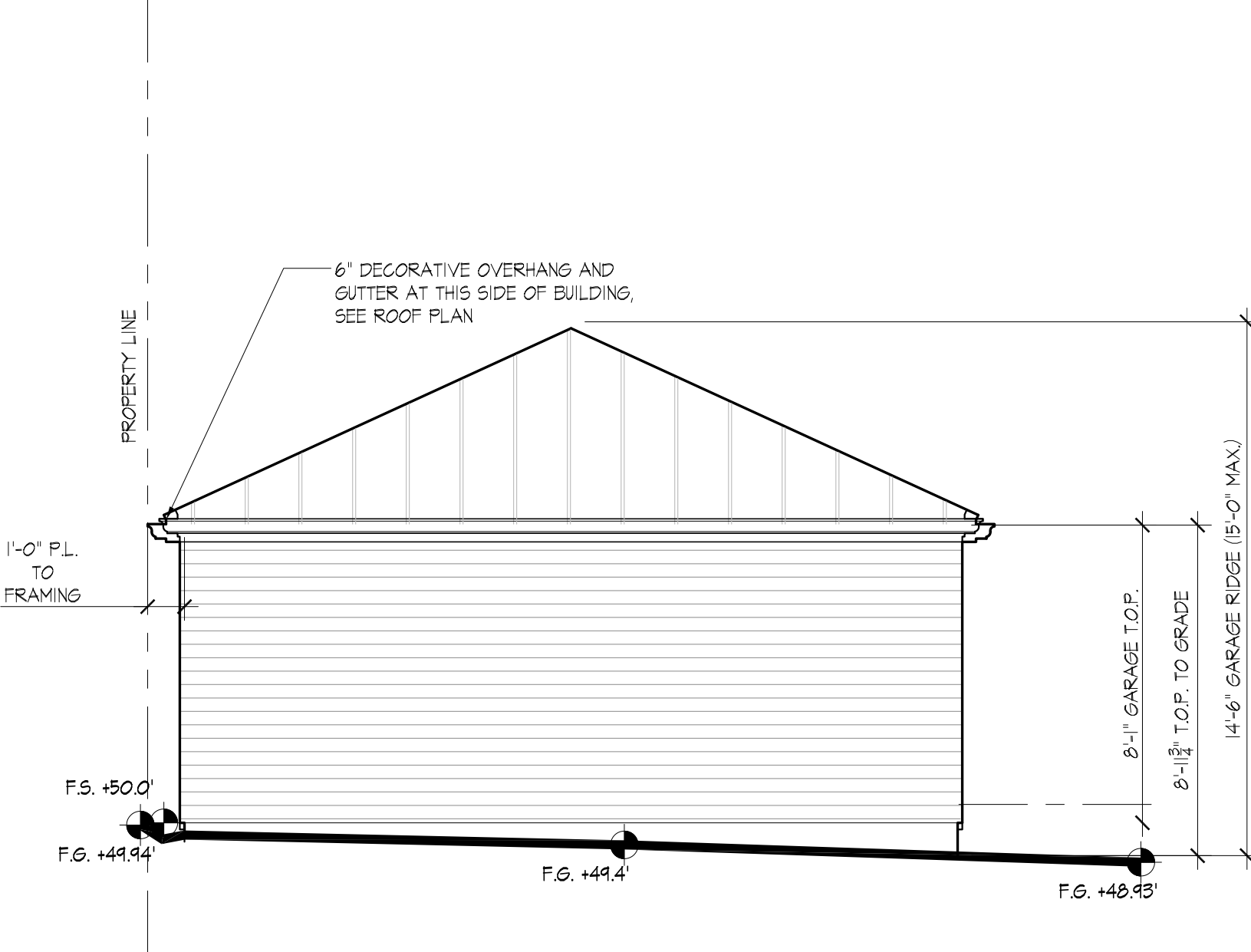
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### PROPOSED GARAGE LEFT ELEVATION

SCALE: 1/4" = 1'-0"

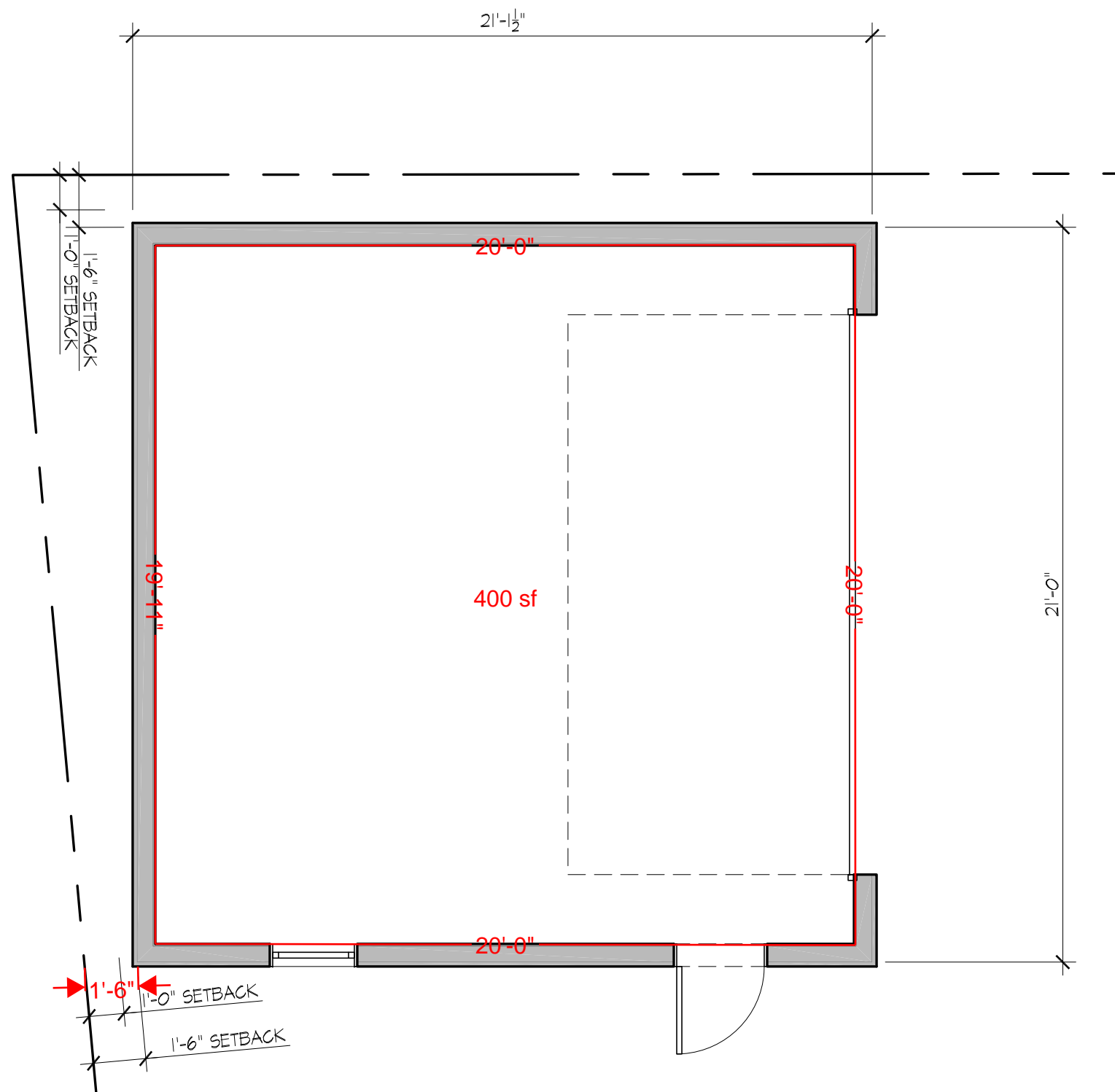
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SCALE: 1/4" = 1'-0"

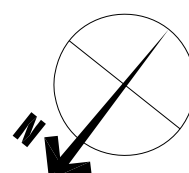
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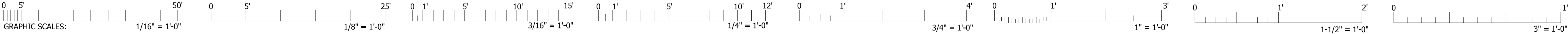


### PROPOSED GARAGE PLAN

SCALE: 1/4" = 1'-0"

1



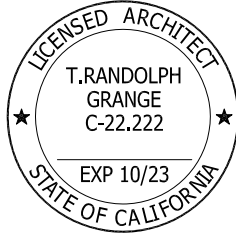


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Consultant(s):

Project:

**OHLUND  
RESIDENCE**  
**Addition and Remodel**  
**APN: 028-142-290**  
**720 Newhall Road**  
**Burlingame, CA 94010**

Owner(s):

**JOHN & KIMBERLY  
OHLUND**

Sheet Contents:

**SITE SECTION**

Scale: AS NOTED

Drawn by:

Checked By: TRG

Job:

Date: 2022-05-16 Planning Submittal

Status:

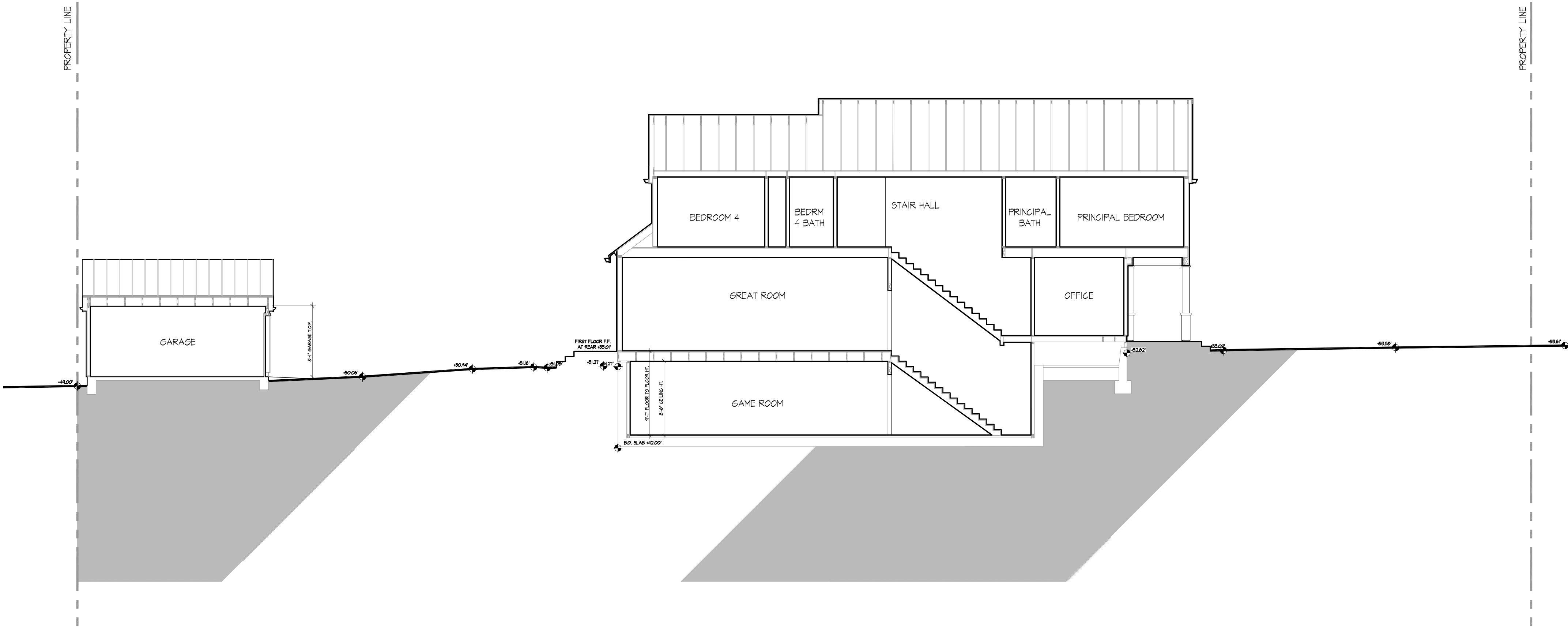
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No.	Revisions	By	Date	Appr.

Sheet:

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Of      Sheets

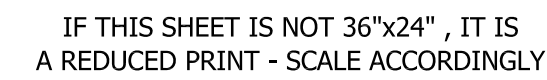


**SITE SECTION**

SCALE: 1/8" = 1'-0"

**1**





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650.579.5762  
E-Mail: [admin@trgarch.com](mailto:admin@trgarch.com)

Consultant(s):

**OHLUND  
RESIDENCE**  
*Additional and Remodel*  
**APN: 028-142-290**

**JOHN & KIMBERLY  
OHLUND**

**LANDSCAPE PLAN**

REVISIONS

Of Sheets

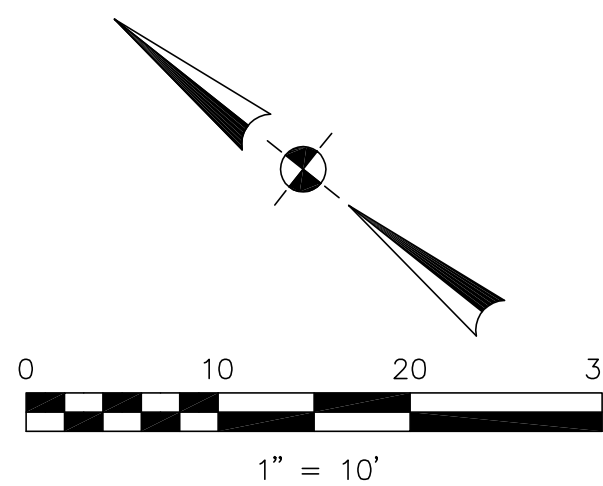
BOOK D MAPS 43  
MAP OF SUBDIVISION NO. 4 OF BURLINGAME PARK  
BLOCK 4

LOT 8  
CALCULATED LOCATION OF  
3/4" IP SET BY KAVANAGH  
ENGINEERING PER 19 LLS 35  
(NOW DESTROYED)

LOT 11

LOT 12

LOT 15



**BASIS OF BEARINGS**

THE BEARING, NORTH 39°00'00" WEST, OF NEWHALL AVENUE, AS SHOWN ON THE RECORD OF SURVEY BY BGT WHICH WAS FILED FOR RECORD IN VOLUME 24 OF LLS MAPS PAGE 30 ON NOVEMBER 4, 2002, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

**BENCHMARK**

ELEVATIONS SHOWN HEREON ARE BASED UPON NAVD 88 DATUM. BENCHMARK USED WAS THE NGS DISK "J 553" (PID 0554), BEING A DISK ON THE TOP OF THE NORTHWEST SIDE OF THE "MECHANICALLY SPEAKING" BUILDING WITH A PUBLISHED ELEVATION OF 15.5 FEET. SITE BENCHMARK IS THE MAG NAIL WITH STAINLESS STEEL WASHER WITH AN ELEVATION OF 53.11 FEET.

**NOTES:**

BGT RELIED UPON A FIRST AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT, ORDER NO. 5026900-6671713, AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

THE LOCATION OF THE SEWER CLEANOUT WAS NOT FOUND BY THE FIELD CREW. THEREFORE, THE CLEANOUT(S), AND THE PROBABLE LOCATION OF THE SEWER LATERAL COULD NOT BE VERIFIED. VERIFICATION TO BE DONE BY OTHERS.

TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELD CREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING  
www.bgtssurveying.com

DATE OF FIELD SURVEY: SEPTEMBER 24, 2021  
JOB NUMBER: 21-150

**LEGEND**

AC	ASPHALT CONCRETE
BW	BACK OF WALK
CB	CATCH BASIN
C/L	CENTERLINE
CMP	CORRUGATED METAL PIPE
CI	CAST IRON PIPE
CO	CLEAN OUT BOX
CP	SURVEY CONTROL POINT
CPP	CORRUGATED PLASTIC PIPE
CTV	CABLE TELEVISION LINE
DI	DROP INLET
EM	ELECTRIC METER
EV	ELECTRIC VAULT
FF	FINISHED FLOOR
FL	FLOWLINE
FH	FIRE HYDRANT
GM	GAS METER
GRD	GROUND
GUY	GUY ANCHOR
GV	GAS VALVE
HCR	HANDICAP RAMP
HVE	HIGH-VOLT ELECTRIC
INV.	INVERT
IP	IRON PIPE
JP	JOINT POLE
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
WM	WATER METER BOX
WV	WATER VALVE
-CTV-	CABLE TELEVISION LINE
-E-	ELECTRICAL LINE
-G-	GAS LINE
-OH-	OVERHEAD LINE
-SD-	STORM DRAIN LINE
-SS-	SANITARY SEWER LINE
-T-	TELEPHONE LINE
-W-	WATER LINE

LOT 6

LOT 9

LOT 10

LOT 13

LOT 14

APN 028-142-290  
8,213 SQ. FT.±

NEWHALL ROAD  
(60' WIDE)

246± MH-MH DISTANCE

SSMH  
LID: 56.44  
INV: 50.7

BOUNDARY AND TOPOGRAPHIC SURVEY

LOT 10, BLOCK 4, "MAP OF SUBDIVISION NO. 4 OF BURLINGAME PARK" (BOOK D MAPS 43)

720 NEWHALL ROAD

BURLINGAME, SAN MATEO COUNTY, CALIFORNIA

Assessor Parcel Number:  
028-142-290

Prepared For:  
JOHN OHLUND  
14442 Skyline Blvd.  
Woodside, CA 94062

Date: SEPT. 2021  
Scale: 1" = 10'  
Contour Interval: 1'  
Drawn by: LHL  
Revisions:

SU-1

Job No. 21-150