

LANGE/CHEN ADDITION

1523 WILLOW AVE., BURLINGAME, CA 94010

PROJECT
LANGE/CHEN RENOVATION
1523 WILLOW AVENUE
BURLINGAME, CA 94010

PROJECT TEAM

OWNERS
BETTY CHEN & KEVIN LANGE
1523 WILLOW AVE.
BURLINGAME, CA 94010

(512) 567-6145
Kevin: jklange@gmail.com
Betty: bettychen111@gmail.com

ARCHITECTS
PETER SUEN
1177 ALABAMA ST.
SAN FRANCISCO, CA 94110
(415) 513-6110
peter@petesuen.com

AARON LEVINE
239 MADRID ST.
SAN FRANCISCO, CA 94112
(415) 609-7088
aaronlevine1@gmail.com

CONTRACTOR
PATRICK LIN
LICENSE #952784

AERO CONSTRUCTION
(415) 999-8013
aeroconstruction1228@gmail.com

STRUCTURAL ENGINEER
OWEN GOULD

AJ MILLER & ASSOCIATES
5588 FREMONT ST.
OAKLAND, CA 94608
(510) 655-8401
ajoweng@gmail.com

DRAWING LIST INDEX

- ARCHITECTURAL
A0.1 TITLE SHEET
- A1.1 SITE PLAN/SECTION, LOT PLAN
- D2.1 EXISTING/DEMO FLOOR PLAN
D2.2 EXISTING/DEMO ROOF PLAN
- A2.1 PROPOSED FLOOR PLANS
A2.2 PROPOSED ROOF PLAN
- A3.1 EXISTING ELEVATIONS
A3.2 PROPOSED ELEVATIONS
A3.3 PROPOSED ELEVATIONS
- A4.1 BUILDING SECTIONS
- A5.1 WALL, FLOOR, CEILING ASSEMBLIES

- LANDSCAPE**
L1.1 LANDSCAPE PLAN
L2.1 IRRIGATION PLAN
L2.2 IRRIGATION LEGEND AND NOTES
L2.3 IRRIGATION DETAILS
L2.4 IRRIGATION DETAILS

- SURVEY**
SU-1 SITE SURVEY

GENERAL NOTES & CONDITIONS

SB 407
NON-COMPLIANT PLUMBING FIXTURES TO BE REPLACED BY WATER-CONSERVING PLUMBING FIXTURES PER SB 407.

CONSTRUCTION HOURS
WEEKDAYS: 7:00AM - 7:00PM
SATURDAYS: 9:00AM - 6:00PM
SUNDAYS AND HOLIDAYS: 10:00AM - 6:00PM
(SEE CITY OF BURLINGAME MUNICIPAL CODE, SECTION 13.04.100 FOR DETAILS)

CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT-OF-WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00AM AND 5:00PM.

HIDDEN CONDITIONS
ANY HIDDEN CONDITIONS THAT REQUIRE WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT ISSUED FOR THESE PLANS MAY REQUIRE FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION.

NOTE:
EXTERIOR BEARING WALLS LESS THAN FIVE FEET FROM THE PROPERTY LINE SHALL BE BUILT OF ONE-HOUR FIRE-RATED CONSTRUCTION PER CBC TABLE 602.

NOTE:
A GRADING PERMIT, IF REQUIRED, SHALL BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS.

NOTE:
SEWER BACKWATER PROTECTION IS REQUIRED FOR THIS PROJECT PER ORDINANCE NO. 1710.

NOTE:
PROJECT SHALL BE FIRE SPRINKLED THROUGHOUT PER BURLINGAME MUNICIPAL CODE SECTION 17.04, INCLUDING INSTALLATION OF BACKFLOW PREVENTION DEVICE/DOUBLE CHECK VALVE ASSEMBLY. AUTOMATIC FIRE SPRINKLER SYSTEM TO BE INSTALLED UNDER SEPARATE DEFERRED DESIGN/BUILD FIRE PERMIT, APPROVED BY FIRE DEPT. PRIOR TO INSTALLATION.

NOTE:
PROJECT SHALL COMPLY W/ ALL CITY N.P.D.E.S. PERMIT REQUIREMENTS TO PREVENT STORMWATER POLLUTION.

PROJECT SCOPE

THE SCOPE OF WORK UNDER THIS BUILDING PERMIT SHALL INCLUDE THE BUILDING OF AN ADDITION TO THE EXISTING STRUCTURE.

PROJECT DATA

LEGAL
LOCATION: 1523 WILLOW AVE, BURLINGAME, CA
APN: 28-141-230
ZONING: R1

BUILDING	EXISTING	PROPOSED
LOT AREA:	5,579 SF	5,579 SF
GROUND FLOOR:	1,582 SF	2,200 SF
SECOND FLOOR:	N/A	670 SF
TOTAL:	1,582 SF	2,870 SF

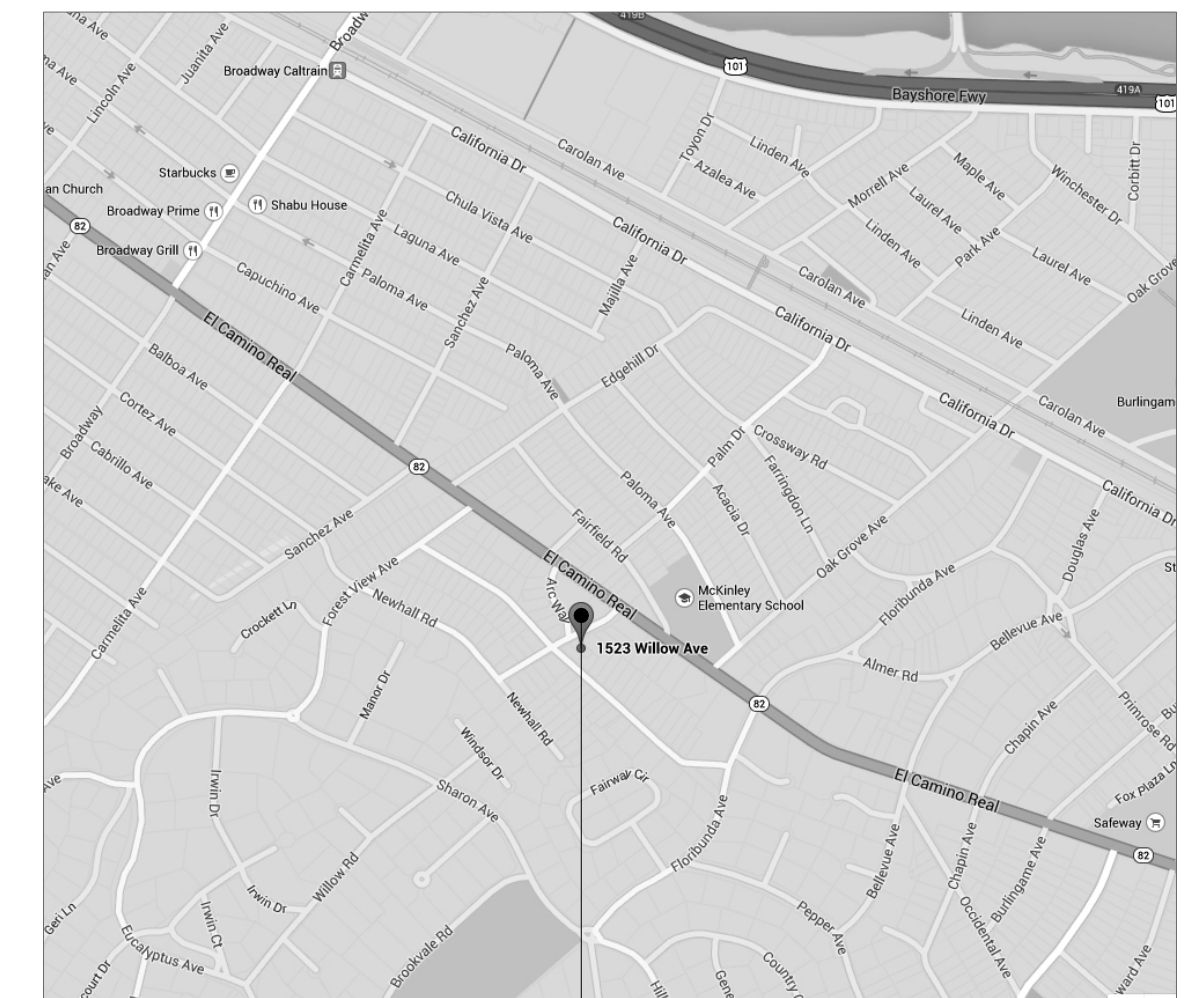
BUILDING HEIGHT	EXISTING	PROPOSED
EXISTING:	17'-0" ABOVE AVG. TOP OF CURB	23'-5" ABOVE AVG. TOP OF CURB
PROPOSED:		30'-0" ABOVE AVG. TOP OF CURB

BUILDING SETBACKS	REQ'D.	EXISTING	PROPOSED
FRONT (GARAGE):	25'-0"	16'-5 1/2"	25'-0"
FRONT:	23'-8"	23'-8"	23'-8"
LEFT SIDE:	4'-0"	4'-7"	4'-7"
RIGHT SIDE:	4'-0"	4'-0"	3'-7"
REAR:	15'-0"	27'	27'

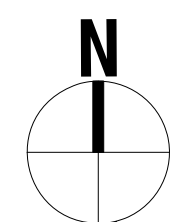
OCCUPANCY GROUP
R-3/U

CONSTRUCTION TYPE
TYPE VB

SITE LOCATION MAP



PROJECT LOCATION
1523 WILLOW AVE



APPLICABLE BUILDING CODES

ALL WORK NOTED SHALL BE IN FULL ACCORD AND COMPLY WITH THE LATEST RULES, REGULATIONS, ORDINANCES, CODES AND STANDARDS LISTED BELOW AND ANY AND ALL LOCAL CODES AND ORDINANCES CURRENTLY IN EFFECT IN THE CITY OF BURLINGAME.

- 2013 CALIFORNIA BUILDING CODE (CBC)
- 2013 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2013 CALIFORNIA GREEN BUILDING CODE (CGBC)
- 2013 CALIFORNIA PLUMBING CODES (CPC)
- 2013 CALIFORNIA MECHANICAL CODE (CMC)
- 2013 CALIFORNIA ELECTRICAL CODE (CEC)
- 2013 CALIFORNIA ENERGY CODE
- 2013 CALIFORNIA ENERGY EFFICIENCY STANDARDS

ISSUES & REVISIONS

	DESIGN REVIEW SET	DESIGN REVIEW SET REVISIONS (A)	DESIGN REVIEW SET REVISIONS (A)
1	03/05/15		
2	04/14/15		
3	04/30/15		

TITLE SHEET

DRAWING BY: P. SUEN / A. LEVINE
DATE: 04/29/2015
SCALE: AS NOTED

A0.1

LOT COVERAGE:

LOT AREA:	5,586 SF
ALLOWED:	2,234 SF (40%)
EXISTING:	1,590 SF (28%)
PROPOSED:	2,200 SF (39% < 40%)

GROSS EXTERIOR AREAS

(E) GROUND FLOOR:	1,582 SF
(N) GROUND FLOOR ADDITION:	618 SF
(N) SECOND FLOOR ADDITION:	670 SF
TOTAL:	2,870 SF

FLOOR AREA RATIO:

ALLOWABLE:	5,586 * 0.32 + 1,100 = 2,887 SF
EXISTING F.A.R.:	1,582 SF (0.28)
PROPOSED F.A.R.:	2,870 SF (0.51)

REQUIRED SETBACKS:

- FRONT: 23'-8", CALCULATED FROM AVG. OF BLOCK PER SEC. 25.26.072(b)(1)
- SIDE: 4' BASED ON 50'-8" LOT WIDTH, AS MEASURED BTW. MID. PTS OF 2 SIDE LOT LINES PER SEC. 25.26.072(c)(1)

SHEET NOTES:

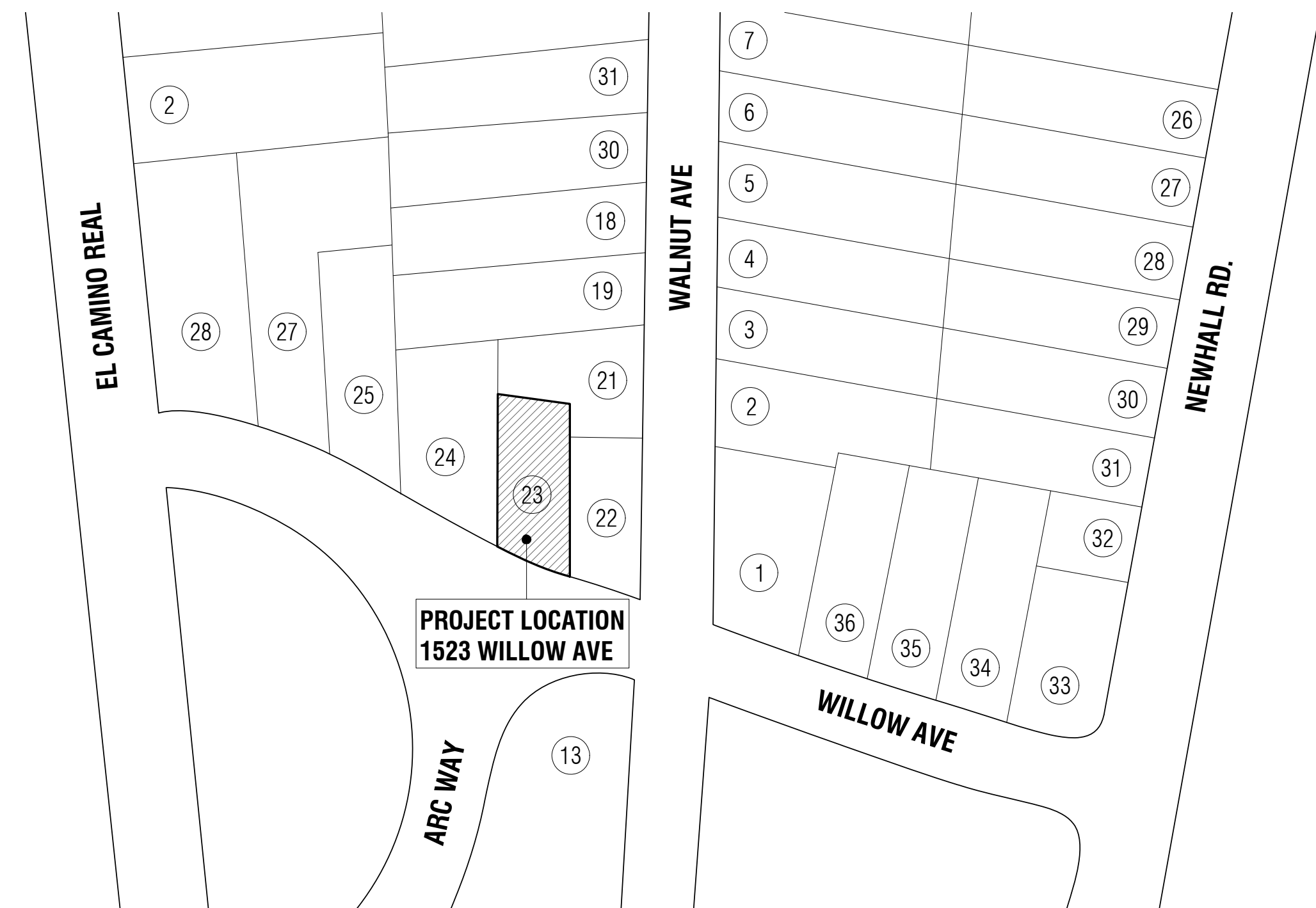
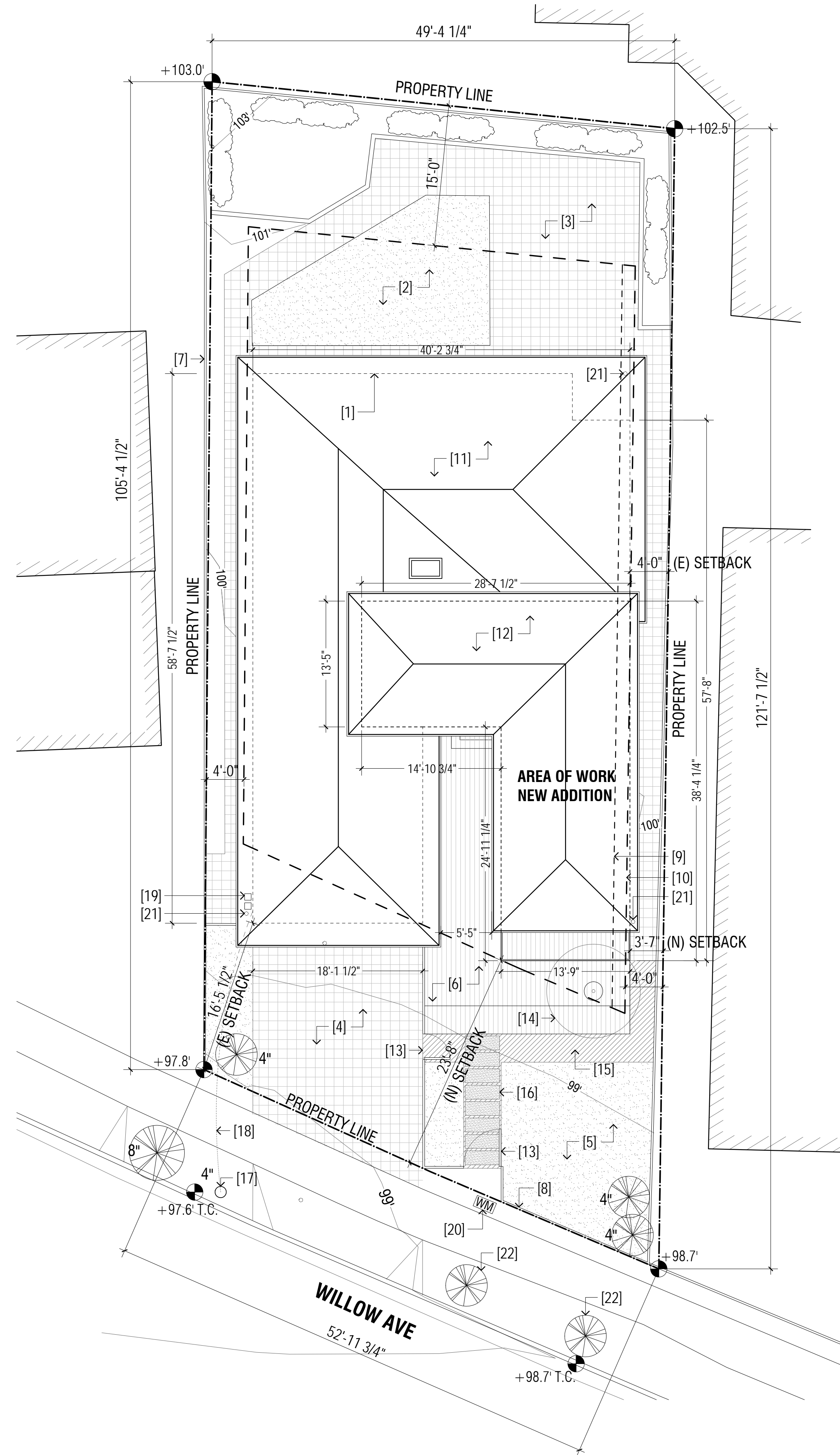
- EXISTING BETULA SSP. TREES SHALL BE REPLACED W/ GINKGO BILABO TREES, S.L.D.
- SCOPE OF LANDSCAPE WORK LIMITED TO FRONT AND RIGHT SIDE YARD; SEE L1.1; NO WORK IN OTHER AREAS.

KEYED NOTES:

- BUILDING FOOTPRINT BELOW
- (E) LAWN
- (E) TILED PATIO
- (E) STONE PAVER DRIVEWAY TO REMAIN
- (N) LAWN
- (N) WOOD T&G DECK, UNCOVERED
- (E) WOOD FENCE
- (N) 5' HIGH WOOD FENCE
- LINE OF DECLINING HEIGHT ENVELOPE SUBJECT TO SPECIAL PERMIT
- LINE OF REQUIRED SETBACK PER SECTION 25.26.072, SUBJECT TO VARIANCE
- (E) ROOF
- (N) ROOF
- (N) WD. GATE
- (N) MAPLE TREE, S.L.D.
- (N) DECOMPOSED GRANITE PATH, S.L.D.
- (N) CONCRETE PAVERS, S.L.D.
- UTILITY POLE
- OVERHEAD GUY WIRE
- GAS AND ELECTRICAL METER
- (N) 1" WATER METER
- (E) DOWN SPOUT LOCATIONS W/ COLLECTION & DISCHARGE TO STREET CURB PER CITY ORDINANCE
- (N) GINKGO BILOBA TREES, S.L.D.

LEGEND:

- PROPERTY LINE
- SETBACK LINE
- DECLINING HEIGHT ENVELOPE



LOT PLAN
NOT TO SCALE **2** N

SITE PLAN
SCALE: 1/8" = 1' **1** N

PROJECT
LANGE/CHEN RENOVATION
1523 WILLOW AVENUE
BURLINGAME, CA 94010

ISSUES & REVISIONS

	DESIGN REVIEW SET	PERMIT REVISIONS A	PERMIT REVISIONS Z
1	03/05/15		
2	04/14/15		
3	04/30/15		

SITE PLAN, LOT PLAN

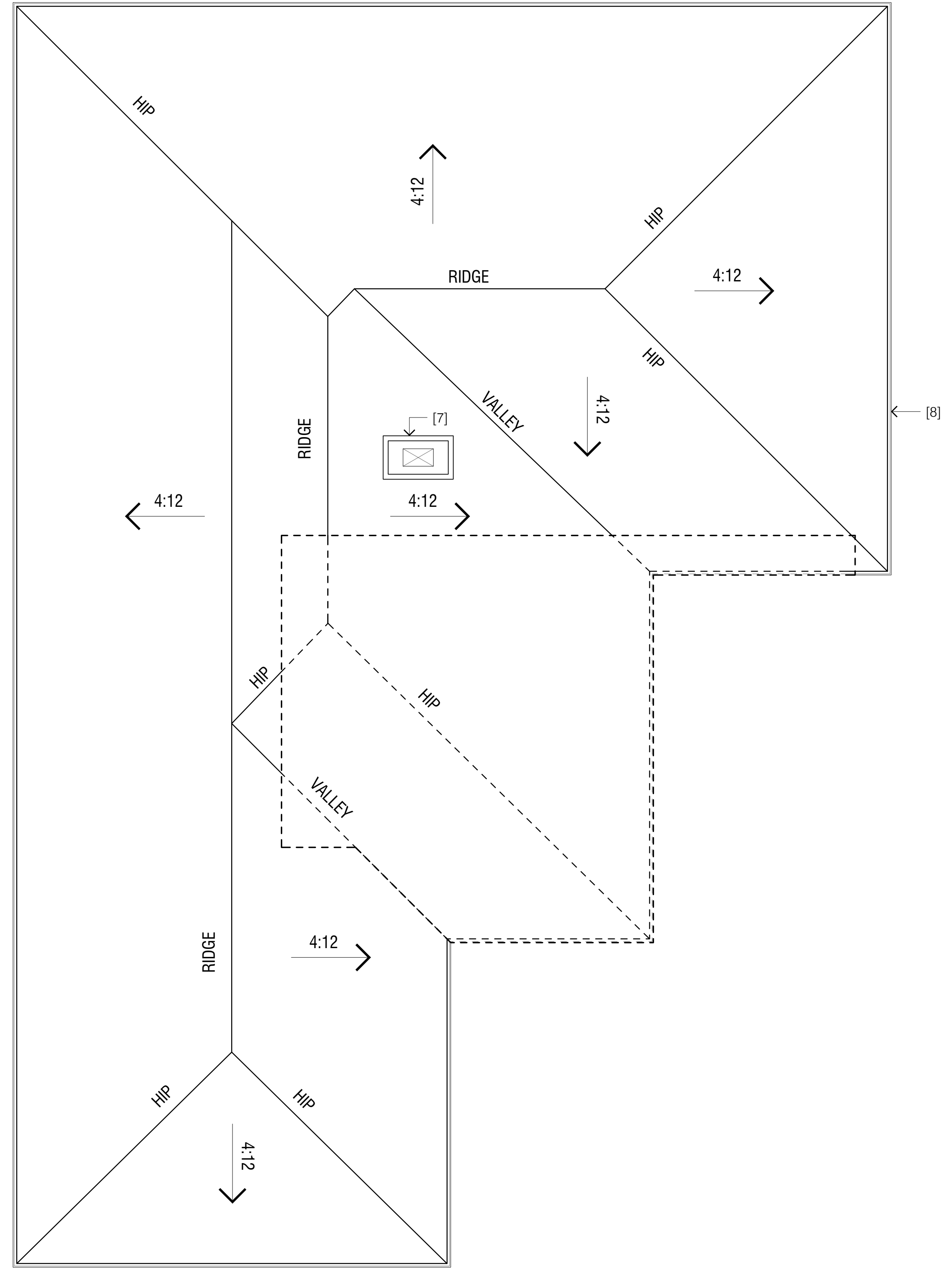
DRAWING BY: P. SUEN / A. LEVINE

DATE: 04/29/2015
SCALE: AS NOTED

A1.1

LINE TYPES:
 ——— EXISTING WALL / ELEMENT TO REMAIN
 - - - - - EXISTING WALL / ELEMENT TO REMOVE

- KEYED NOTES:**
- [1] DEMO (E) FLOORING TO THIS LINE
 - [2] DEMO (E) KITCHEN; RETAIN FIXTURES AND COORDINATE WITH NEW PROPOSED KITCHEN LAYOUT
 - [3] DEMO (E) WINDOW AND PATCH (E) WALL TO REMAIN
 - [4] DEMO (E) FRONT ENTRY HARDSCAPE
 - [5] DEMO (E) PATH TO FRONT ENTRY
 - [6] DEMO AND REPLACE (E) GARAGE DOOR
 - [7] (E) CHIMNEY TO BE RETROFITTED W/ INSERT
 - [8] (E) GUTTERS



EXISTING/DEMO ROOF PLAN
 SCALE: 1/4" = 1' 1

PROJECT

LANGE/CHEN RENOVATION
 1523 WILLOW AVENUE
 BURLINGAME, CA 94010

ISSUES & REVISIONS

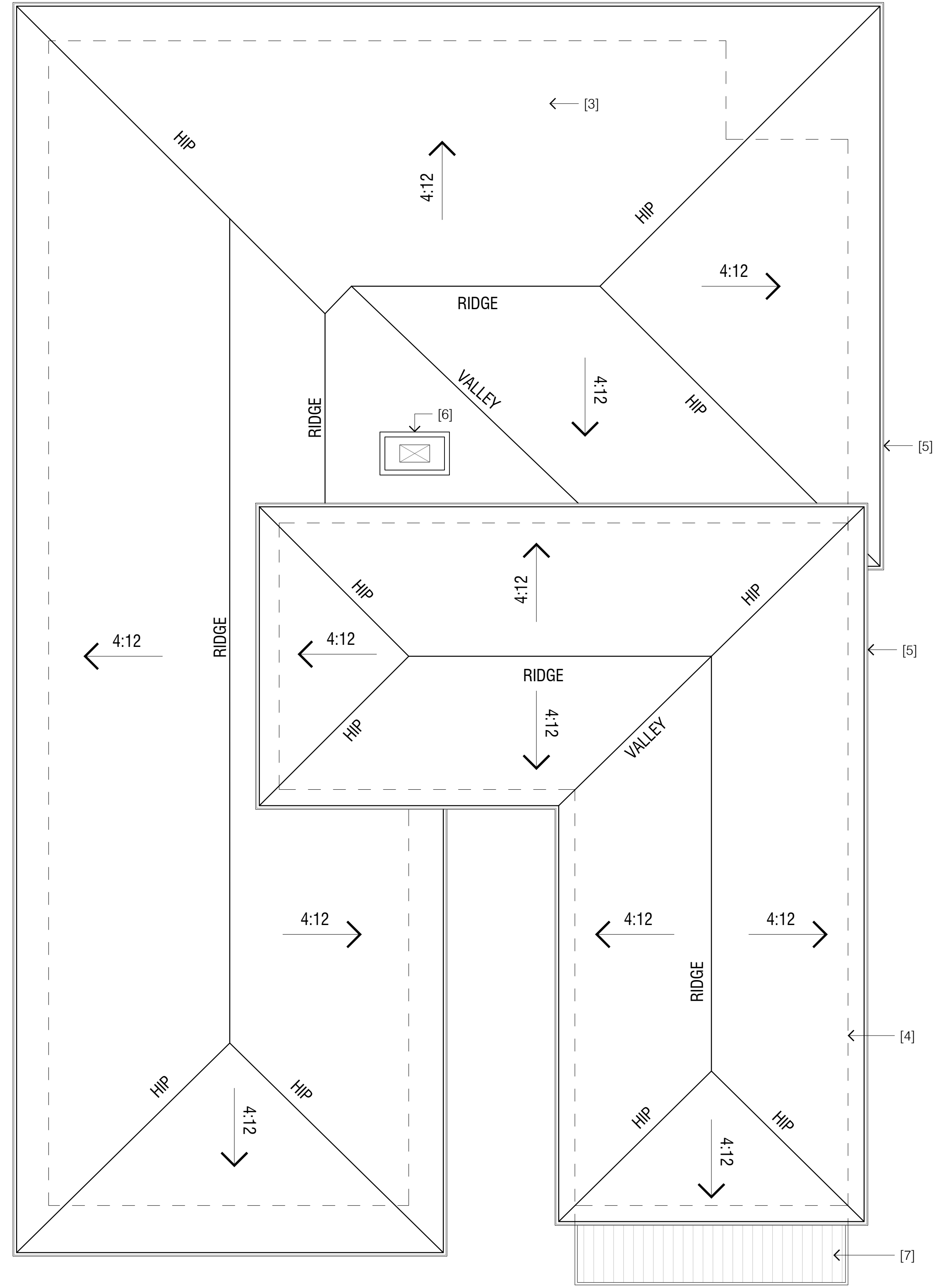
NO.	DATE	DESCRIPTION
1	03/05/15	DESIGN REVIEW SET
2	04/14/15	PERMIT REVISIONS / A
3	04/30/15	PERMIT REVISIONS / B

EXISTING/DEMOLITION ROOF PLAN

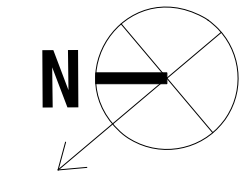
DATE: 04/29/2015
 SCALE: AS NOTED
 DRAWING BY: P. SUEN / A. LEVINE

D2.2

- KEYED NOTES:**
- [1] UNCOVERED EXTERIOR SPACE
 - [2] CLERESTORY WINDOW ABV.
 - [3] GROUND FLOOR FOOTPRINT BELOW
 - [4] SECOND FLOOR FOOTPRINT BELOW
 - [5] GUTTERS
 - [6] (E) CHIMNEY TO BE RETROFITTED W/ FIREPLACE INSERT
 - [7] (N) WOOD T&G BALCONY
 - [8] (N) WINDOW BELOW



PROPOSED ROOF PLAN 1
SCALE: 1/4" = 1'



ISSUES & REVISIONS

NO.	DATE	DESCRIPTION
1	03/05/15	DESIGN REVIEW SET
2	04/14/15	PERMIT REVISIONS 1
3	04/30/15	PERMIT REVISIONS 2

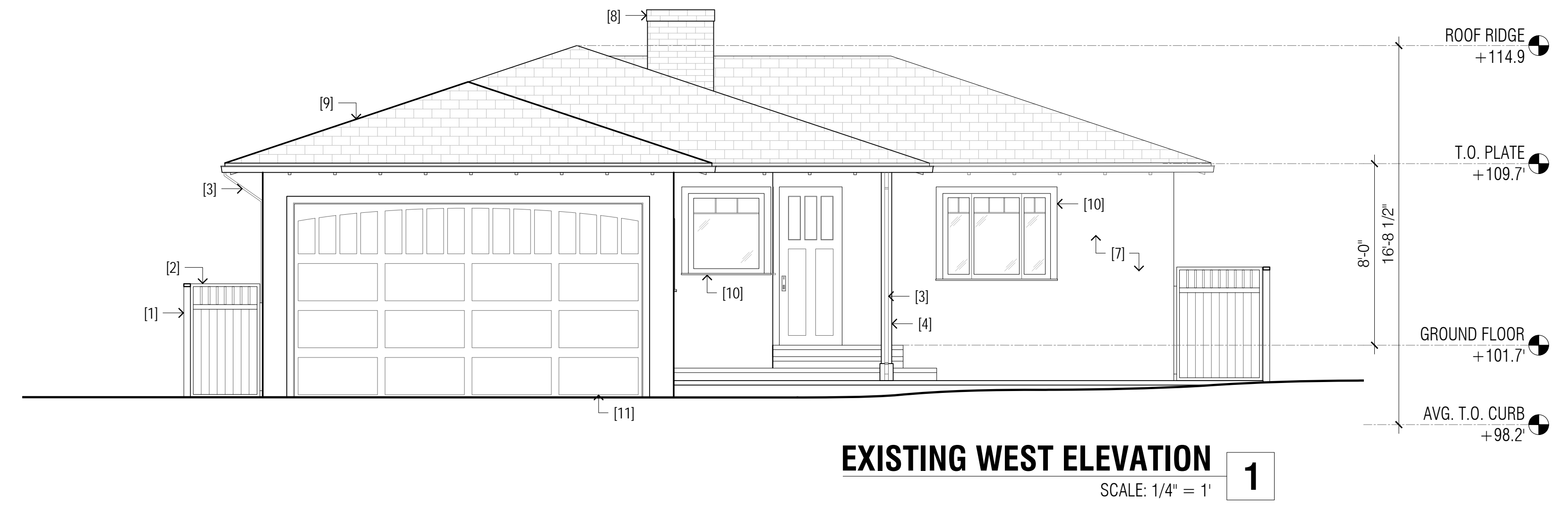
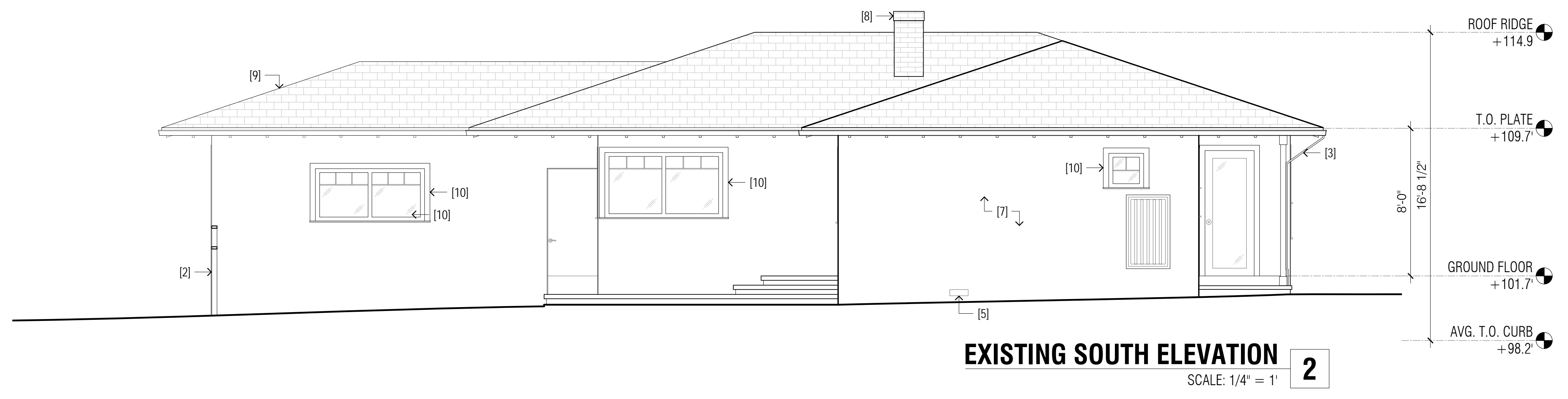
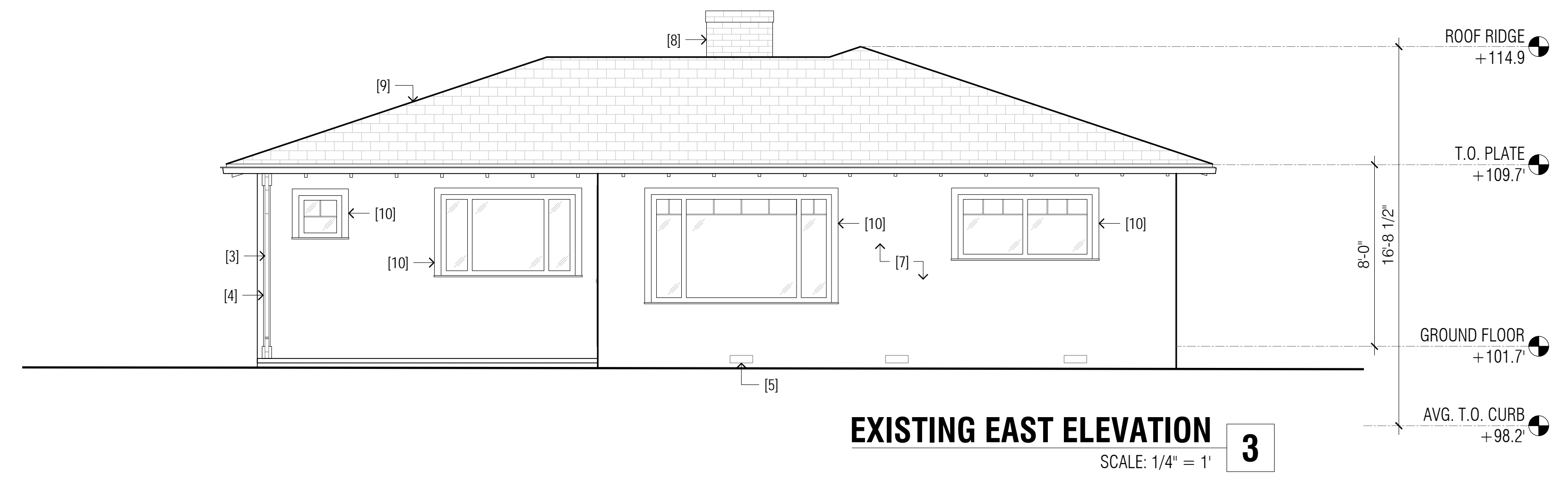
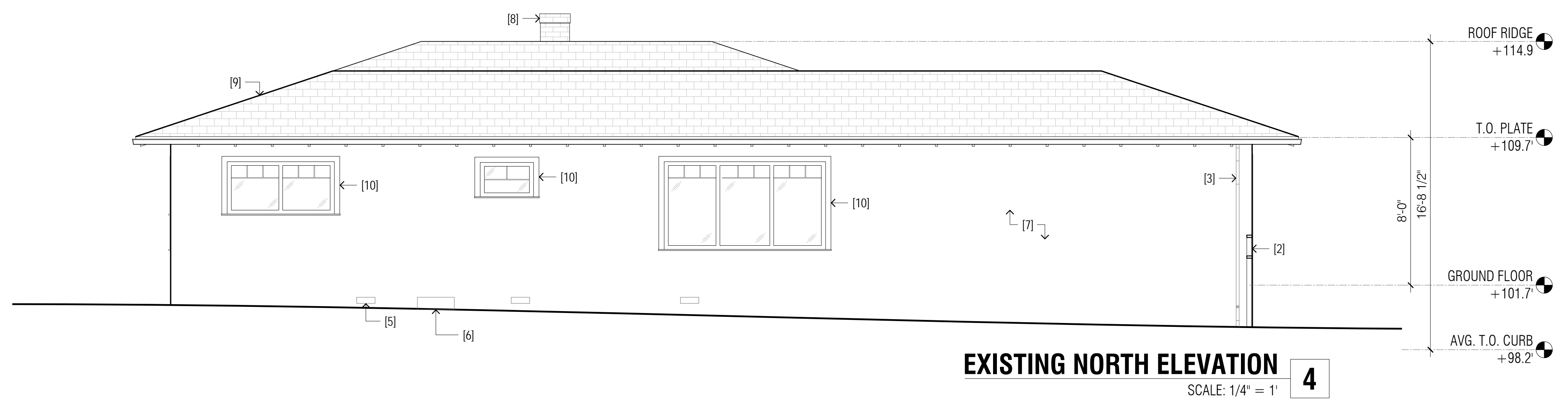
PROPOSED ROOF PLAN

DATE: 04/29/2015
DRAWING BY: P. SUEN / A. LEVINE
SCALE: AS NOTED

PROJECT
LANGE/CHEN RENOVATION
1523 WILLOW AVENUE
BURLINGAME, CA 94010

KEYED NOTES:

- [1] VERTICAL WD. SLATS FENCE
- [2] VERTICAL WD. SLATS GATE
- [3] DOWNSPOUT
- [4] POST
- [5] CRAWLSPACE VENT
- [6] CRAWLSPACE ACCESS
- [7] PTD. STUCCO
- [8] BRICK CHIMNEY
- [9] COMP. SHINGLE ROOF
- [10] ALUM. WINDOWS W/ WD. PTD. CASING & STOOL
- [11] (E) PTD. WD. GARAGE DOOR



PROJECT
LANGE/CHEN RENOVATION
1523 WILLOW AVENUE
BURLINGAME, CA 94010

ISSUES & REVISIONS

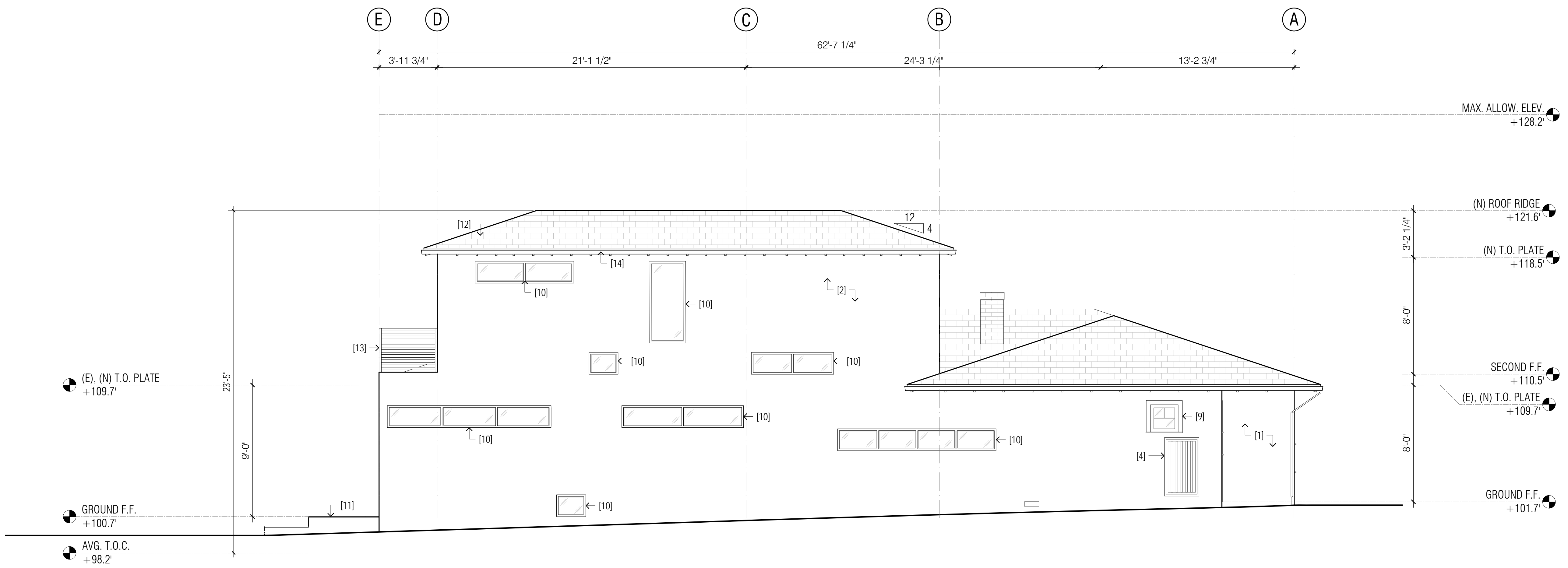
NO.	DATE	DESCRIPTION
1	03/05/15	DESIGN REVIEW SET
2	04/14/15	PERMIT REVISIONS A
3	04/30/15	PERMIT REVISIONS B

EXISTING ELEVATIONS

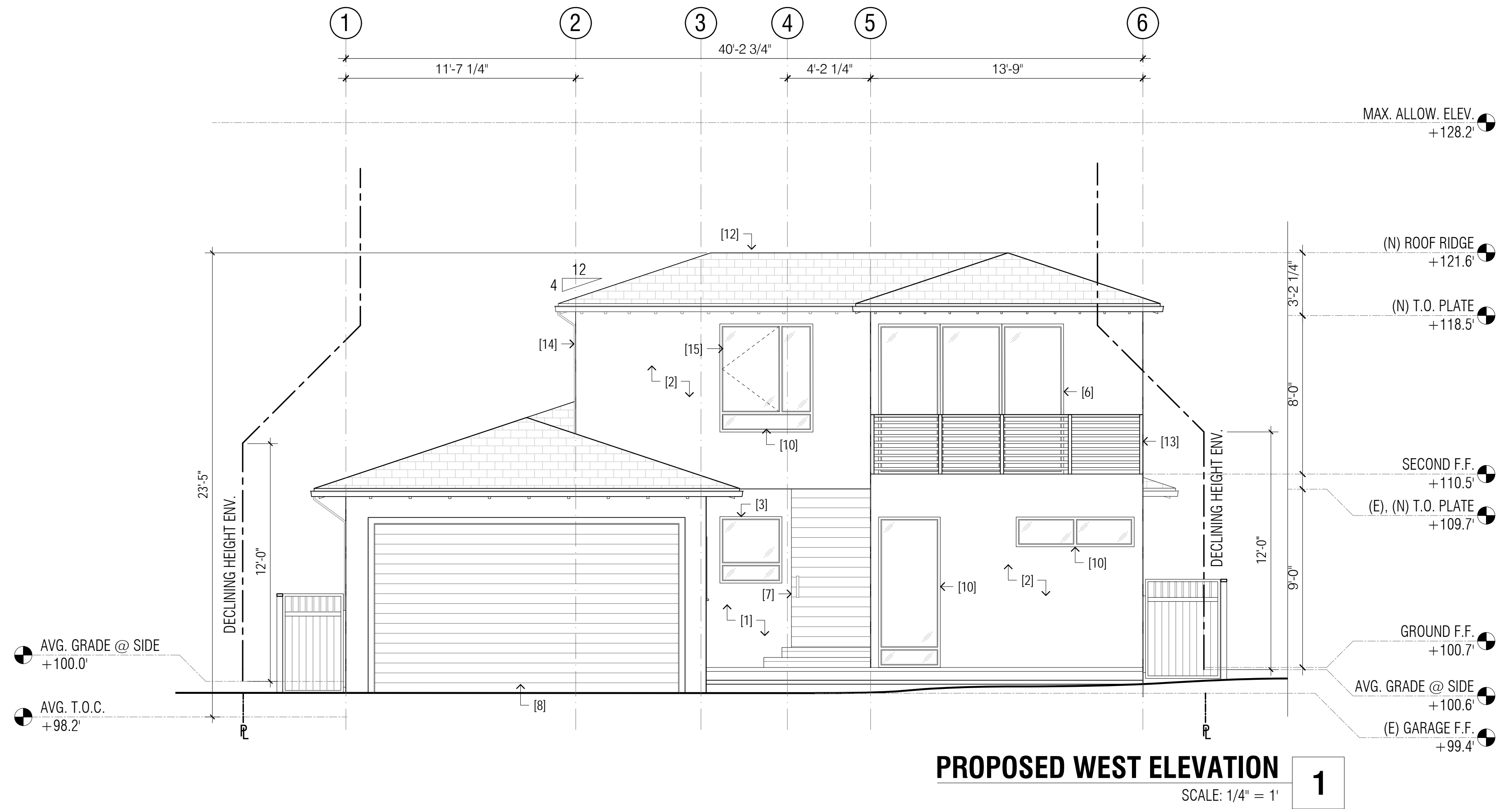
DATE: 04/29/2015
DRAWING BY: PETER SUEN / AARON LEVINE
SCALE: AS NOTED

KEYED NOTES:

- [1] (E) PTD. STUCCO
- [2] (N) STUCCO, 7/8" MIN. W/ (3)-COATS, SMOOTH SPONGE TROWEL FINISH, PTD.
- [3] REPLACE (E) WINDOW W/ ALUM. CLAD WD. WINDOW
- [4] (E) ELEC. METER
- [5] (N) 5'-0" HIGH WD. FENCE
- [6] (N) ALUM. SLIDING DOOR, PTD.
- [7] (N) WD. FRONT DOOR, PTD.
- [8] RECLAD (E) GARAGE DOOR W/ WD. PANELING
- [9] (E) WINDOW W/ PTD. WD. CASING, MITERED CORNERS, AND STOOL
- [10] (N) ALUM. CLAD WD. WINDOW, PTD.
- [11] (N) WD. DECK
- [12] (N) COMP. SHINGLE ROOFING, WEATHERED WD. TYP.
- [13] PTD. STEEL RAILING GUARDRAIL, TYP. BAR STOCK @ 4" O.C.
- [14] 3" OGEE SHEET METAL GUTTERS & DOWN-SPOUTS, PTD.
- [15] EGRESS WINDOW FOR REC ROOM 203, MAX 44" ABV. F.F., 20" MIN. CLEAR WIDTH & 24" MIN. NET CLEAR OPENING HEIGHT



PROPOSED SOUTH ELEVATION 2
SCALE: 1/4" = 1'



PROPOSED WEST ELEVATION 1
SCALE: 1/4" = 1'

PROJECT

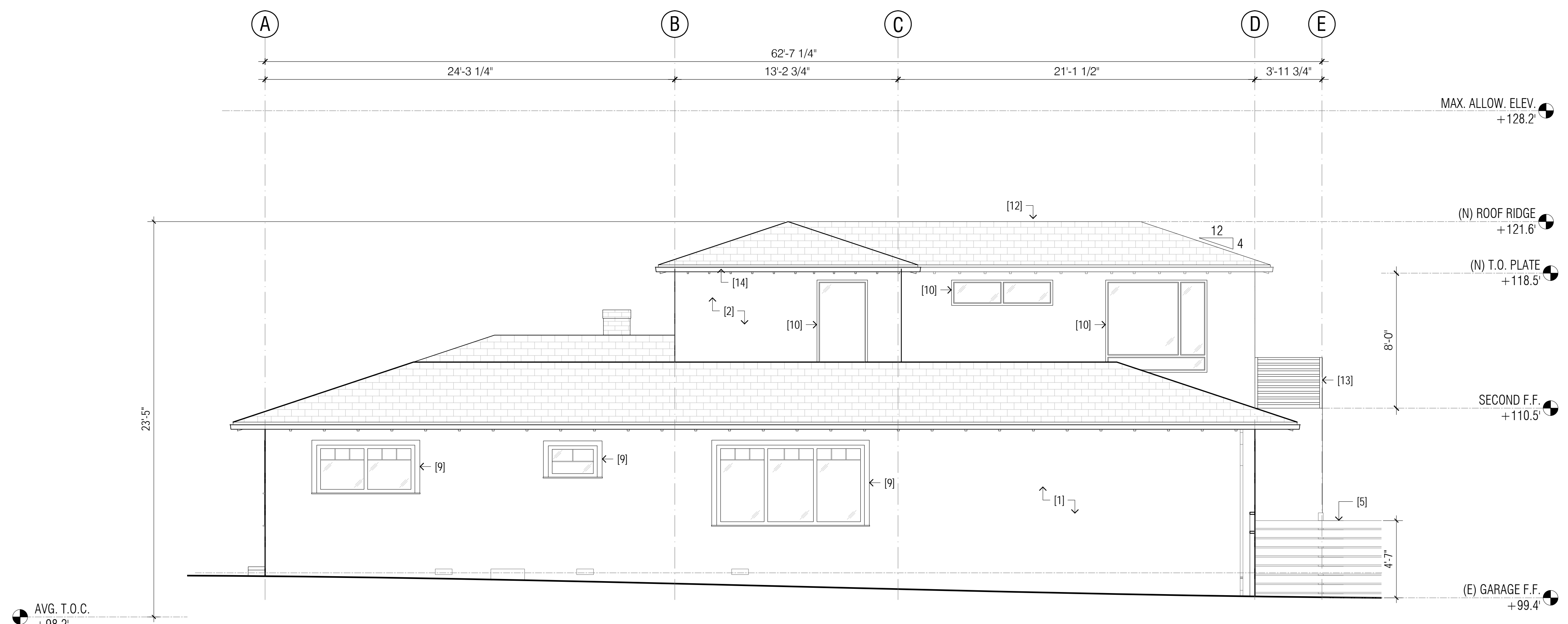
LANGE/CHEN RENOVATION
1523 WILLOW AVENUE
BURLINGAME, CA 94010

ISSUES & REVISIONS

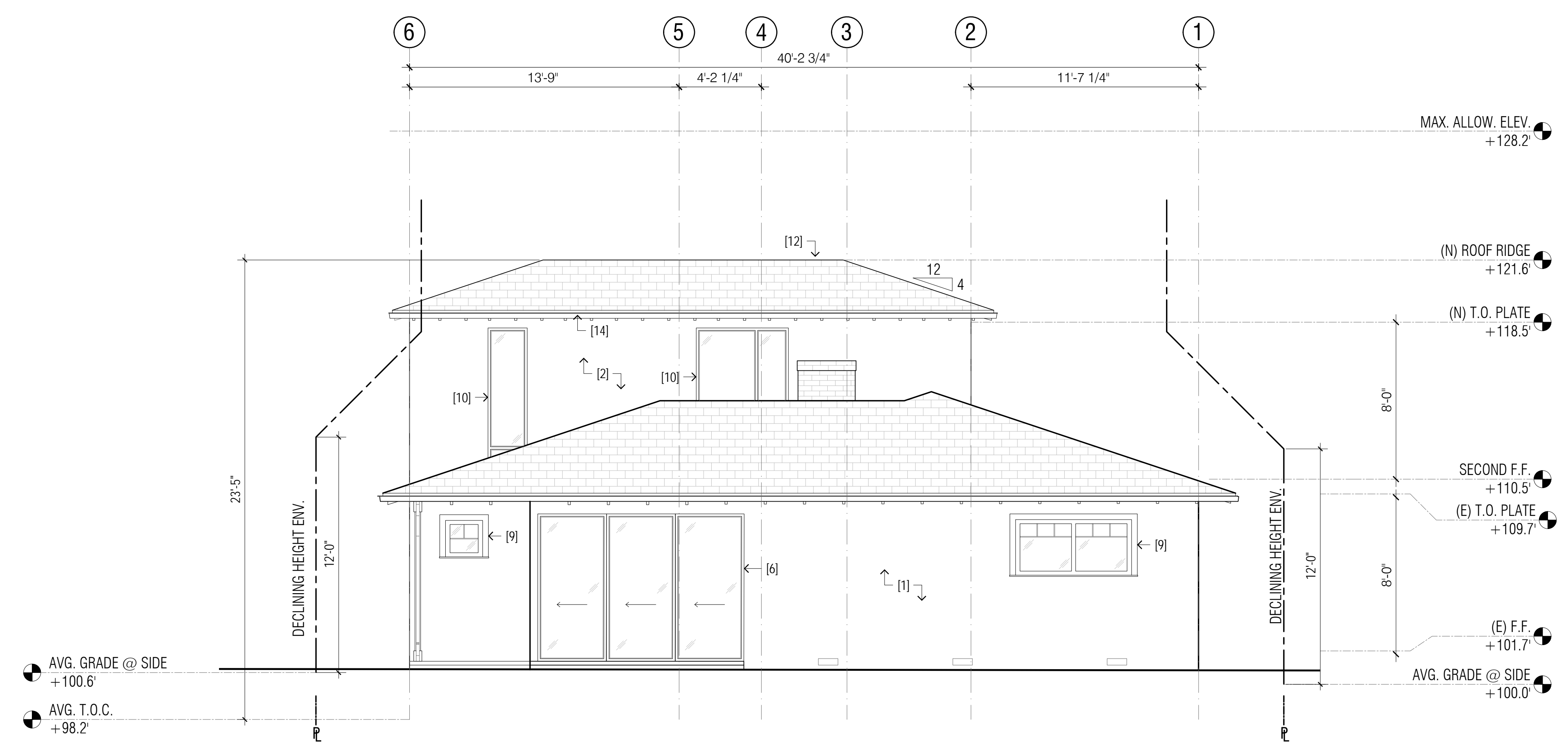
NO.	DATE	DESCRIPTION
1	03/05/15	DESIGN REVIEW SET
2	04/14/15	PERMIT REVISIONS A
3	04/30/15	PERMIT REVISIONS B

PROPOSED ELEVATIONS

DRAWING BY: PETER SUEN / AARON LEVINE
DATE: 04/29/2015
SCALE: AS NOTED



PROPOSED NORTH ELEVATION 2
SCALE: 1/4" = 1'



PROPOSED EAST ELEVATION 1
SCALE: 1/4" = 1'

KEYED NOTES:

- [1] (E) PTD. STUCCO
- [2] (N) STUCCO, 7/8" MIN. W/ (3)-COATS, SMOOTH SPONGE TROWEL FINISH, PTD.
- [3] REPLACE (E) WINDOW W/ ALUM. CLAD WD. WINDOW
- [4] (E) ELEC. METER
- [5] (N) 5'-0" HIGH WD. FENCE
- [6] (N) ALUM. SLIDING DOOR, PTD.
- [7] (N) WD. FRONT DOOR, PTD.
- [8] RECLAD (E) GARAGE DOOR W/ WD. PANELING
- [9] (E) WINDOW W/ PTD. WD. CASING, MITERED CORNERS, AND STOOL
- [10] (N) ALUM. CLAD WD. WINDOW, PTD.
- [11] (N) WD. DECK
- [12] (N) COMP. SHINGLE ROOFING, WEATHERED WD. TYP.
- [13] PTD. STEEL RAILING GUARDRAIL, TYP. BAR STOCK @ 4" O.C.
- [14] 3" OGEE SHEET METAL GUTTERS & DOWN-SPOUTS, PTD.
- [15] EGRESS WINDOW FOR REC ROOM 203, MAX 44" ABV. F.F., 20" MIN. CLEAR WIDTH & 24" MIN. NET CLEAR OPENING HEIGHT

PROJECT

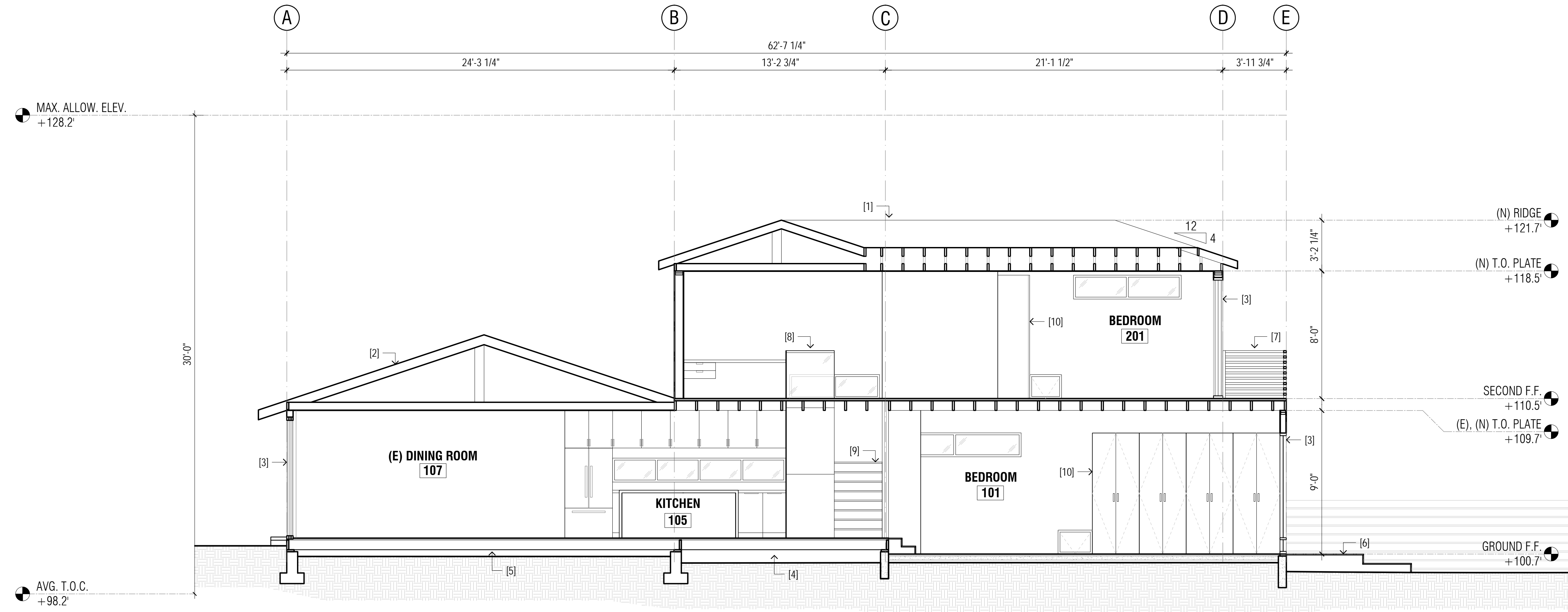
LANGE/CHEN RENOVATION
1523 WILLOW AVENUE
BURLINGAME, CA 94010

ISSUES & REVISIONS

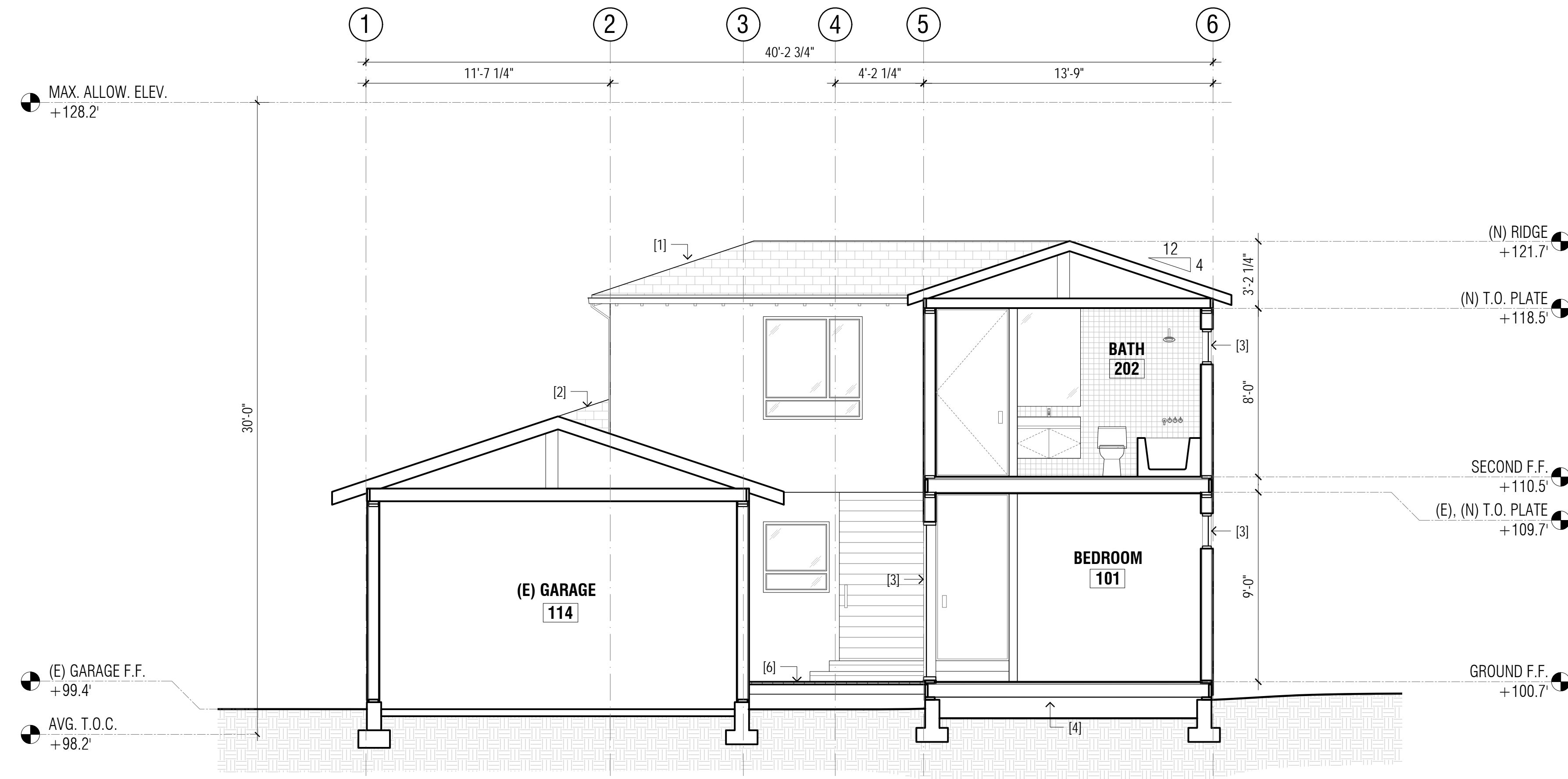
NO.	DATE	DESCRIPTION
1	03/05/15	DESIGN REVIEW SET
2	04/14/15	PERMIT REVISIONS A
3	04/30/15	PERMIT REVISIONS B

PROPOSED ELEVATIONS

DATE: 04/29/2015
DRAWING BY: PETER SUEN / AARON LEVINE
SCALE: AS NOTED



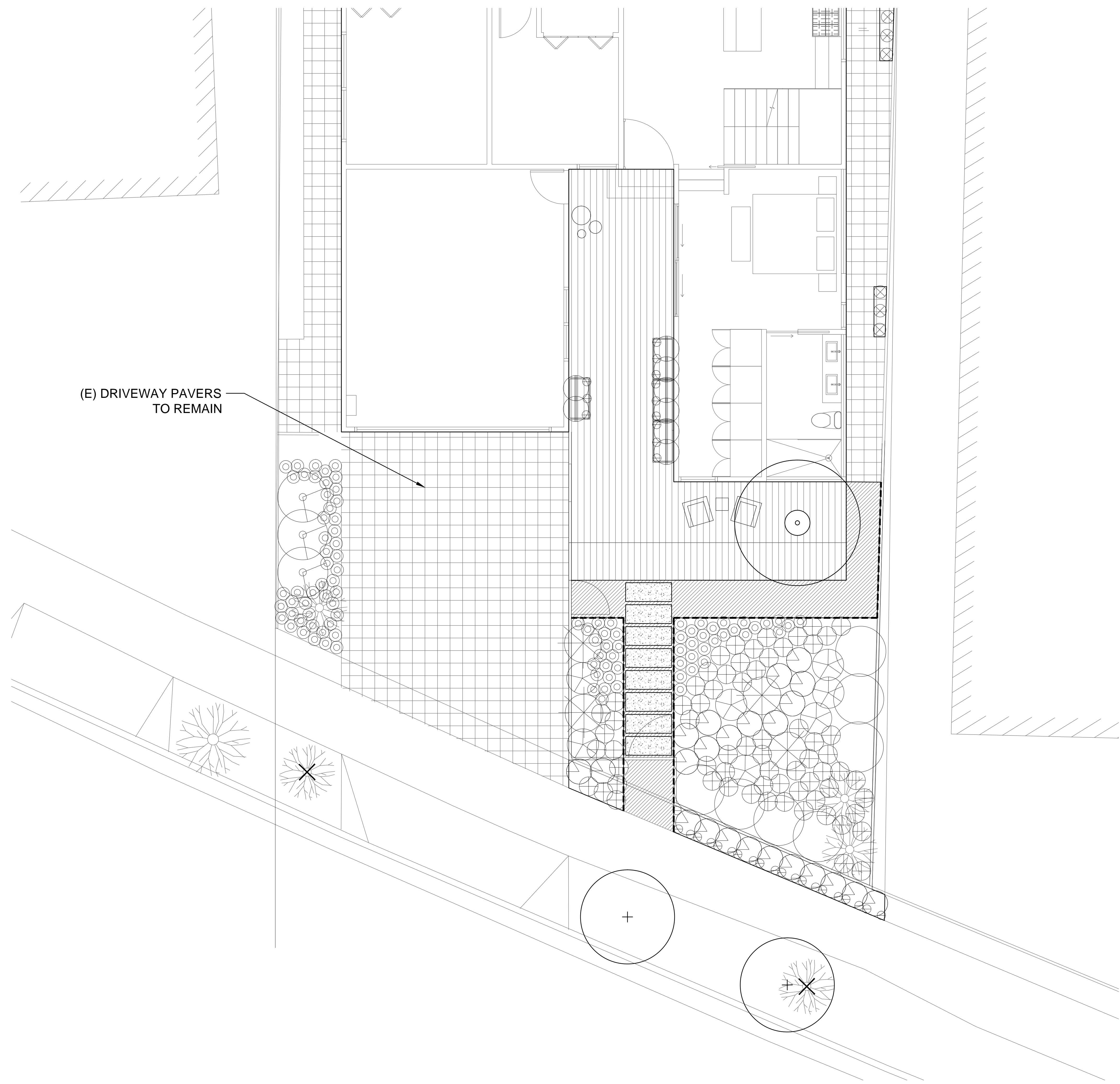
BUILDING LONG SECTION 2
SCALE: 1/4" = 1'



BUILDING CROSS SECTION 1
SCALE: 1/4" = 1'

- KEYED NOTES:**
- [1] (N) COMP. SHINGLE ROOFING, TYP. TO MATCH (E)
 - [2] (E) COMP. SHINGLE ROOF
 - [3] (N) FR. WINDOWS & DOORS
 - [4] (N) CRAWLSPACE
 - [5] (E) CRAWLSPACE
 - [6] (N) WD. DECK
 - [7] PTD. STEEL RAILING GUARDRAIL, TYP. BAR STOCK @ 4" O.C.
 - [8] GLASS GUARDRAIL
 - [9] WD. STAIRS
 - [10] CLOSETS

P. SUEN A. LEVINE										
PROJECT	LANGE/CHEN RENOVATION 1523 WILLOW AVENUE BURLINGAME, CA 94010									
ISSUES & REVISIONS	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 5%;">1</td> <td style="width: 15%;">03/05/15</td> <td style="width: 80%;">DESIGN REVIEW SET</td> </tr> <tr> <td>2</td> <td>04/14/15</td> <td>PERMIT REVISIONS A</td> </tr> <tr> <td>3</td> <td>04/30/15</td> <td>PERMIT REVISIONS B</td> </tr> </table>	1	03/05/15	DESIGN REVIEW SET	2	04/14/15	PERMIT REVISIONS A	3	04/30/15	PERMIT REVISIONS B
1	03/05/15	DESIGN REVIEW SET								
2	04/14/15	PERMIT REVISIONS A								
3	04/30/15	PERMIT REVISIONS B								
BUILDING SECTIONS	DRAWING BY: PETER SUEN / AARON LEVINE									
	DATE: 04/29/2015 SCALE: AS NOTED									
A4.1										



PLANTING LEGEND				
SYMBOL	SCIENTIFIC NAME	COMMON NAME	QTY.	SIZE
	<i>ACER PALMATUM 'HOGYOKU'</i>	HOGYOKU JAPANESE MAPLE	1	24" BOX
	<i>GINKGO BILOBA 'AUTUMN GOLD'</i>	'AUTUMN GOLD' MAIDENHAIR TREE	2	24" BOX
	<i>PHORMIUM TENAX 'MAORI SUNSET'</i>	MAORI SUNSET FLAX	3	15 GAL
	<i>PITTOSPORUM TENUIFOLIUM 'SILVER SHEEN'</i>	SILVER SHEEN PITTOSPORUM	7	15 GAL
	<i>EUPHORBIA CHARACIAS WULFENII</i>	MEDITERRANEAN SPURGE	7	5 GAL
	<i>AGAVE ATTENUATA 'RAY OF LIGHT'</i>	RAY OF LIGHT AGAVE	4	5 GAL
	<i>CHONDROPETALUM TECTORUM</i>	CAPE RUSH	8	5 GAL
	<i>NASSELLA TENUISSIMA</i>	MEXICAN FEATHER GRASS	67	1 GAL
	<i>PHORMIUM 'TONY TIGER'</i>	'TONY TIGER' FLAX	23	5 GAL
	<i>CAREX DIVULSA</i>	BERKELEY SEDGE	95	1 GAL
	<i>SEDUM REPUSTRE 'ANGELINA'</i>	ANGELINA STONECROP	33	1 GAL
	<i>JASMINUM POLYANTHUM</i>	PINK JASMINE	11	1 GAL
	EXISTING TREES TO REMAIN: <i>BETULA</i> SSP.		3	3" CAL.
	EXISTING TREES TO BE REMOVED: <i>BETULA</i> SSP.		2	3" CAL.

MATERIAL LEGEND				
SYMBOL	MATERIAL	SIZE	QTY	
	CONCRETE PAVER	18" X 44"	8	
	DECOMPOSED GRANITE	N/A	100 SF	
	STEEL HEADER	N/A	62 LF	
	METAL TROUGH PLANTER	39.5" X 20" X 20"	4	

SCALE: 1/4" = 1'-0"

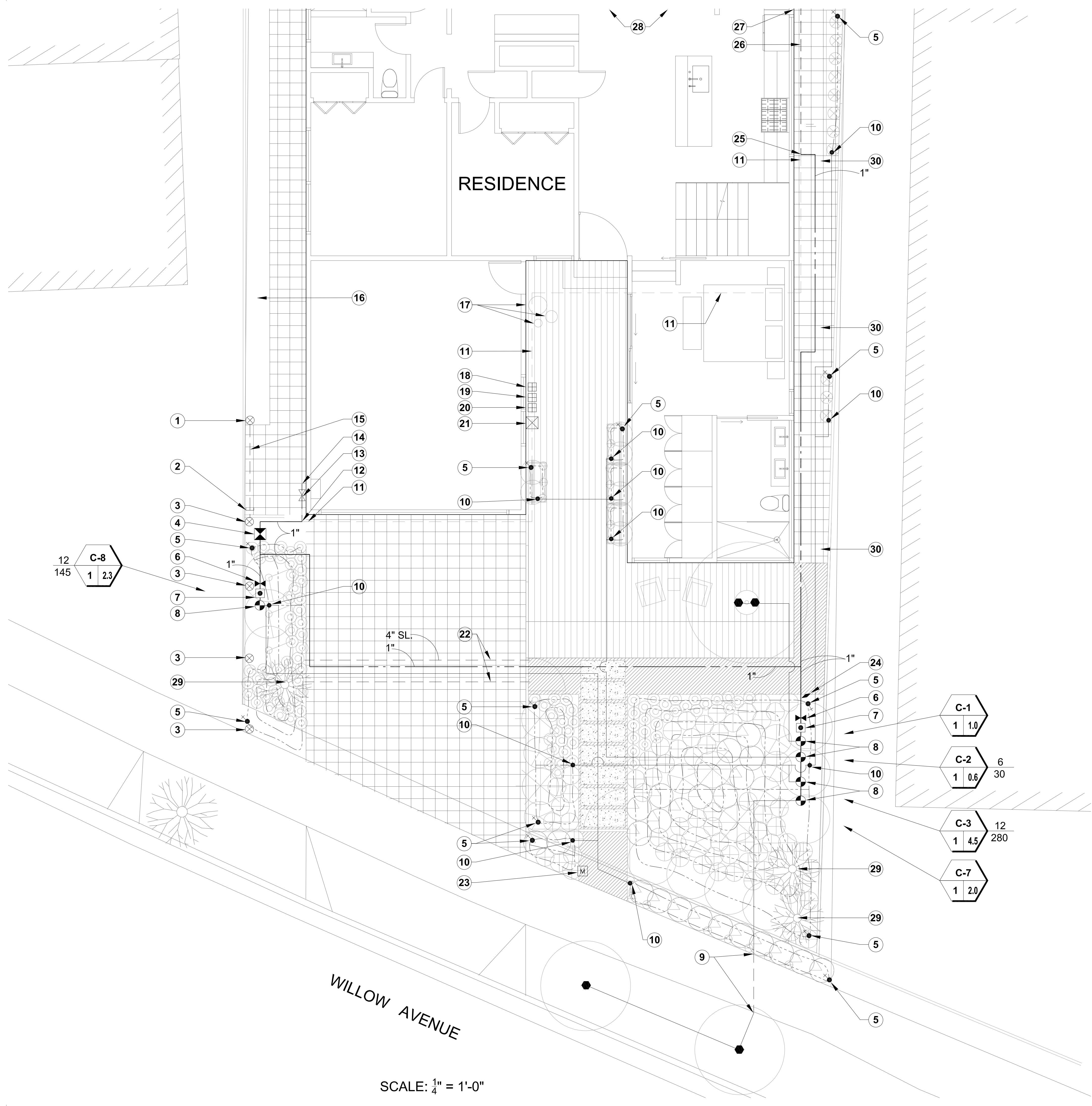
ISSUES & REVISIONS

03/07/15 DESIGN REVIEW SET

1

PROJECT
 LANGE/CHEN RENOVATION
 1523 WILLOW AVENUE
 BURLINGAME, CA 94010

DATE: 01/24/2015
 SCALE: AS NOTED
 DRAWING BY: P. SUEN / A. LEVINE



L2.01 IRRIGATION PLAN NOTES

- 1 EXISTING SPRINKLER HEAD TO REMAIN.
- 2 CUT AND CAP EXISTING LATERAL LINE PIPE AND ABANDON/REMOVE ALL EXISTING IRRIGATION DOWNSTREAM FROM THIS POINT. FIELD VERIFY EXACT LOCATION.
- 3 EXISTING SPRINKLER TO BE REMOVED.
- 4 1" REDUCED PRESSURE BACKFLOW ASSEMBLY. INSTALL AS DETAILED AND AS DIRECTED BY ARCHITECT. REFER TO IRRIGATION LEGEND FOR MODEL NUMBER.
- 5 FLUSH VALVE FOR DRIP ZONE, TYPICAL.
- 6 BALL VALVE TO ISOLATE MANIFOLD FILTER WHEN CLEANING FILTER.
- 7 1" FILTER FOR VALVE MANIFOLD. INSTALL AS DETAILED AND AS DIRECTED BY ARCHITECT. REFER TO IRRIGATION LEGEND FOR MODEL NUMBER.
- 8 1" AUTOMATIC REMOTE CONTROL VALVE BELOW GRADE IN A BOX. INSTALL AS DETAILED AND AS DIRECTED BY ARCHITECT. REFER TO IRRIGATION LEGEND FOR MODEL NUMBER.
- 9 USE EXISTING PIPE TO CROSS UNDER EXISTING SIDEWALK TO IRRIGATE NEW STREET TREES. FIELD VERIFY EXACT LOCATION AND SIZE.
- 10 CONVERT FROM PVC LATERAL LINE PIPE TO DRIP LINE AT THIS LOCATION.
- 11 EXISTING PVC IRRIGATION MAIN LINE PIPE AND LOW VOLTAGE CONTROL WIRES TO BE REMOVED. FIELD VERIFY EXACT LOCATIONS.
- 12 CONNECT TO EXISTING PVC IRRIGATION MAIN LINE PIPE WITH NEW PVC MAIN LINE PIPE. FIELD VERIFY EXACT LOCATION.
- 13 EXISTING IRRIGATION SYSTEM SHUT OFF VALVE AT POINT OF CONNECTION TO REMAIN. FIELD VERIFY EXACT LOCATION.
- 14 EXISTING 1" IRRIGATION POINT OF CONNECTION TO DOMESTIC WATER TO REMAIN. MAXIMUM IRRIGATION DEMAND FOR NEW SYSTEM: 5 GPM AT 65 PSI MINIMUM STATIC PRESSURE AT POINT OF CONNECTION LOCATION. CONTRACTOR SHALL FIELD VERIFY STATIC PRESSURE PRIOR TO CONSTRUCTION AND REPORT ANY DIFFERENCE FROM PRESSURE INDICATED ON IRRIGATION PLANS TO THE ARCHITECT.
- 15 EXISTING IRRIGATION LATERAL LINE PIPE TO REMAIN. FIELD VERIFY EXACT LOCATION.
- 16 EXISTING ZONE 5 IRRIGATION SYSTEM TO REMAIN. FIELD VERIFY EXACT LOCATION.
- 17 PROPOSED POTS AT FRONT PORCH TO BE HAND WATERED. SEE PLANTING PLAN FOR ADDITIONAL INFORMATION.
- 18 EXISTING ZONE 1 REMOTE CONTROL VALVE TO BE REMOVED. FIELD VERIFY EXACT LOCATION.
- 19 EXISTING ZONE 3 REMOTE CONTROL VALVE TO BE REMOVED. FIELD VERIFY EXACT LOCATION.
- 20 EXISTING ZONE 2 REMOTE CONTROL VALVE TO BE REMOVED. FIELD VERIFY EXACT LOCATION.
- 21 REMOVE EXISTING 1" REDUCED PRESSURE BACKFLOW ASSEMBLY. FIELD VERIFY EXACT LOCATION.
- 22 TEMPORARILY REMOVE EXISTING PAVERS AS REQUIRED TO ALLOW TRENCH TO BE DUG AND PIPES INSTALLED ACCROSS DRIVEWAY. BACKFILL AND COMPACT AS REQUIRED FOR REINSTALLATION OF EXISTING PAVERS.
- 23 EXISTING DOMESTIC WATER METER TO BUILDING TO REMAIN. THIS WATER METER ALSO SUPPLIES WATER FOR IRRIGATION SYSTEM. SEE IRRIGATION POINT OF CONNECTION NOTE 14.
- 24 INSTALL A BRASS HOSE BIB ON A POST WITHIN PLANTING AREA NEAR EDGE OF PATH AS DETAILED AND AS DIRECTED BY ARCHITECT.
- 25 CONNECT TO EXISTING PVC IRRIGATION MAIN LINE PIPE WITH NEW PVC MAIN LINE PIPE. SPLICE TO 7 EXISTING LOW VOLTAGE WIRES (1 COMMON, 5 CONTROL, 1 EXTRA) AND ROUTE ALONG NEW MAIN LINE PIPE TO NEW REMOTE CONTROL VALVES. FIELD VERIFY EXACT LOCATION OF EXISTING MAIN AND WIRES.
- 26 EXISTING PVC IRRIGATION MAIN LINE PIPE AND LOW VOLTAGE CONTROL WIRES (FOR REAR YARD IRRIGATION SYSTEM) TO REMAIN. FIELD VERIFY EXACT LOCATIONS. PROVIDE TEMPORARY CONNECTION TO WATER AND CONTROLLER "C" TO SERVICE REAR YARD SYSTEM FOR THE DURATION OF CONSTRUCTION. ANY DAMAGE TO EXISTING PLANTING IN REAR YARD DUE TO INTERRUPTED IRRIGATION SERVICE SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 27 EXISTING IRRIGATION CONTROLLER "C" TO REMAIN: CONTROLLER IS WALL MOUNTED WITHIN EXTERIOR UTILITY CLOSET APPROXIMATELY 10' FROM THIS LOCATION TOWARD THE REAR YARD. CONTROLLER HAS 8 STATION CAPACITY, WITH 3 EXISTING STATIONS (ZONES 4, 5 AND 6) IN THE REAR YARD. INSTALL HUNTER WIRELESS RAIN-CLIK MODEL NUMBER WRF-CLIK RECIEVER AT EXISTING CONTROLLER "C" LOCATION. INSTALL GUTTER -MOUNT TRANSMITTER IN AREA OF FULL SUN WITH UNOBSTRUCTED RAINFALL WITHIN 100 FEET OF EXISTING CONTROLLER "C".
- 28 EXISTING REAR YARD IRRIGATION SYSTEM BEYOND (ZONES 4, 5 AND 6) IN THE REAR YARD TO REMAIN IN SERVICE DURING CONSTRUCTION.
- 29 EXISTING TREE TO REMAIN. USE CAUTION WHEN TRENCHING WITHIN DRIP LINE OF EXISTING TREES.
- 30 THESE EXISTING PAVERS WILL BE REMOVED DURING CONSTRUCTION OF ROOM ADDITION. INSTALL PIPES UNDER PAVERS PRIOR TO REINSTALLATION OF PAVERS.

Irrigation Consultant:
DVID Dino Viale Irrigation Design, Inc.
 2206 Foxhill Drive
 Martinez, CA 94553
 T: (925) 228-DINO (3466)
 F: (925) 228-3467
 E: DVIALE@DVID.BIZ

PROJECT
 LANGE/CHEN RENOVATION
 1523 WILLOW AVENUE
 BURLINGAME, CA 94010

ISSUES & REVISIONS
 1 03/07/15 DESIGN REVIEW SET

IRRIGATION PLAN
 DRAWING BY: DVID

DATE: 03/05/2015
 SCALE: AS NOTED

L2.01