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REVISIONS  
BY  
PLNG PC1 02/22/22 PU  
PLNG PC2 03/25/22 PU

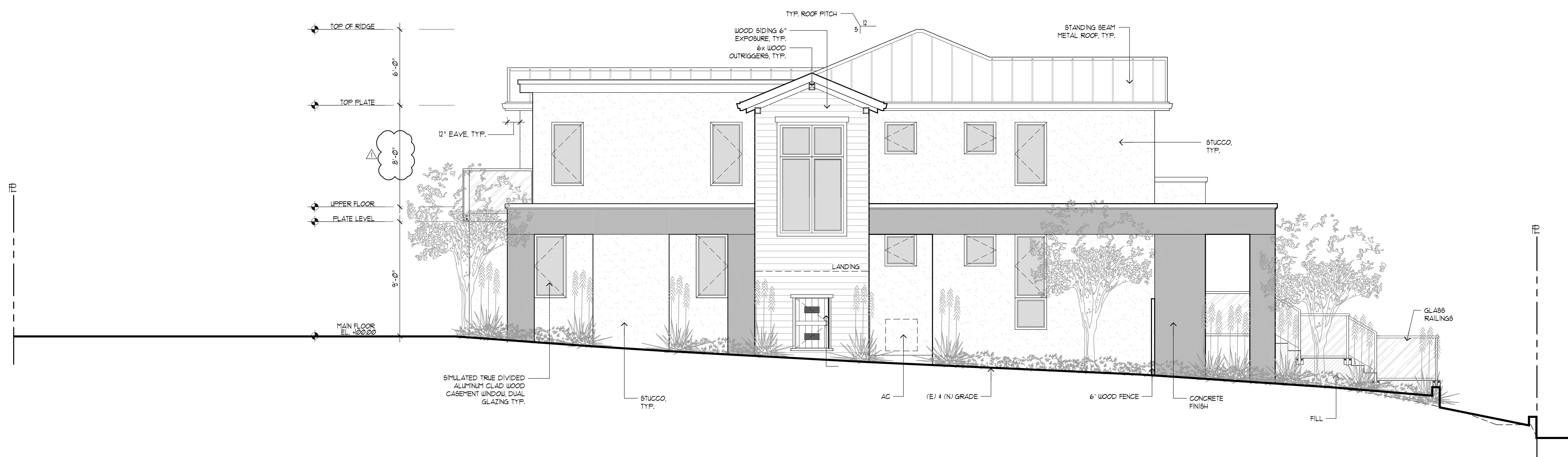
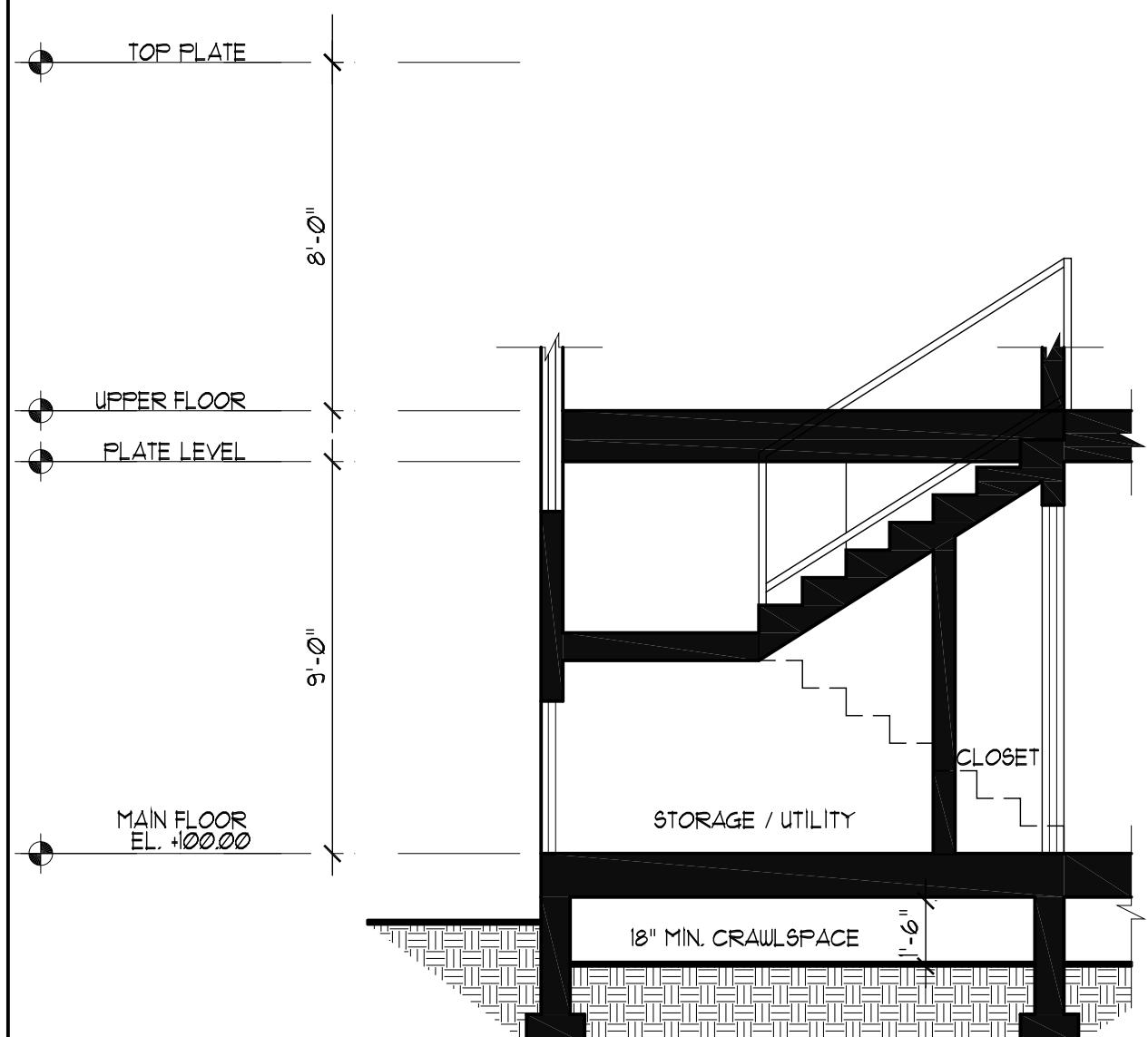
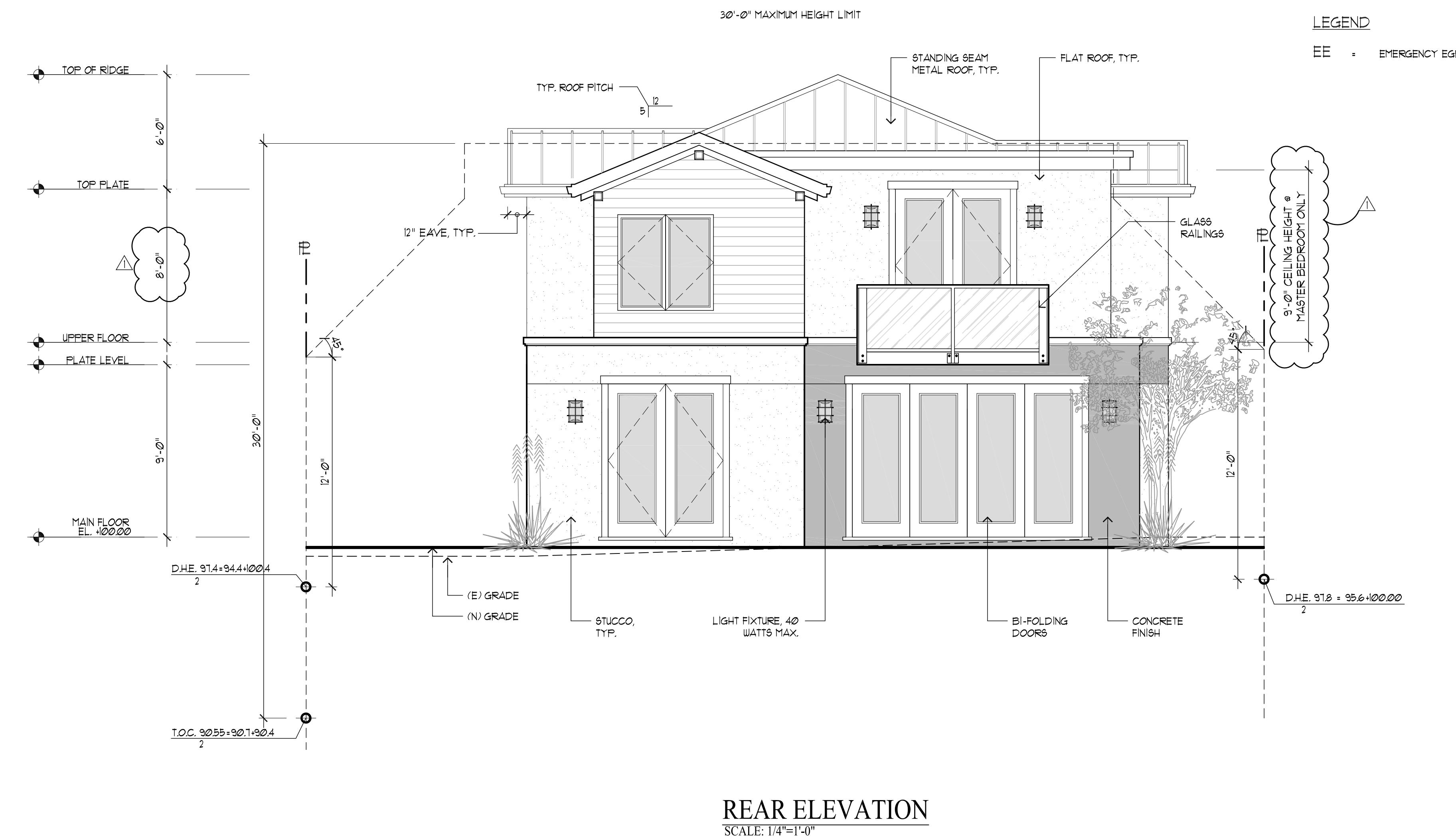
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BATRA RESIDENCE  
1369 COLUMBUS AVE.  
BURLINGAME, C.A.  
A.P.N.: 027-153-020

DATE: 12/3/21  
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A.5



## GENERAL NOTES:

- SEE LANDSCAPE PLAN FOR DETAIL INFORMATION
- MAXIMUM DRIVEWAY SLOPES SHALL NOT EXCEED FIFTEEN (15) PERCENT AT ANY POINT WITHOUT SPECIAL APPROVAL OF THE DEPARTMENT OF PUBLIC WORKS; SLOPES IN EXCESS OF TWENTY (20) PERCENT SHALL REQUIRE APPROVAL OF THE PLANNING COMMISSION. TRANSITIONAL SLOPES ARE REQUIRED FOR DRIVEWAYS WHICH EXCEED TEN (10) PERCENT MAXIMUM SLOPE. NO TRANSITIONAL SLOPE SHALL EXTEND INTO A REQUIRED PARKING SPACE.

- TOPOGRAPHY IS PREPARED BY:  
QUIET RIVER LAND SERVICES  
6141 SIERRA COURT, SUITE K  
DUBLIN, CA 94568  
TEL: (925) 334-6788
- A DEMOLITION PERMIT IS REQUIRED FOR SIDEWALK, SEWER AND WATER REPLACEMENT
- REQUIRED PROTECTIVE FENCING MUST BE INSTALLED AND INSPECTED PRIOR TO DEMOLITION PERMIT ISSUE.

- SEWER BACKWATER PROTECTION CERTIFICATION IS REQUIRED FOR THE INSTALLATION OF ANY NEW SEWER FIXTURE PER ORDINANCE NO. 110. THE SEWER BACKWATER PROTECTION CERTIFICATE IS REQUIRED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.

- THE SURVEYOR RECOMMENDS THE CITY VERIFY THAT THE PERTINENT RESIDENCES WERE USED IN THE CALCULATION.

- Garage footing shall not extend into one foot setback without a licensed survey and field staking reviewed by inspector.

- NEW WATER METER SHALL NOT ON PRIVATE PROPERTY. IT MUCH BE LOCATED ON PUBLIC PROPERTY FOR ACCESS BY METER READER.

- NEW SEWER LINE WITH CLEANOUT FOR NEW HOUSE. CLEANOUT AT SEWER MAIN LINE TO BE IN PUBLIC EASEMENT FOR CITY ACCESS.

- CONTRACTOR SHALL ENSURE THE DOUBLE VALVE ASSEMBLY FOR FIRE PROTECTION SHALL BE TESTED AND APPROVED BY A SAN MATEO COUNTY ENVIRONMENTAL HEALTH APPROVED CONTRACTOR PRIOR TO SCHEDULING WATER DEPARTMENT FINAL.

- PROVIDE ADEQUATE FIRE FLOW BASED UPON CONSTRUCTION AND SIZE OF BUILDING, SEE UFC APPENDIX IIIA. MINIMUM 500 GPM REQUIRED. SEE TABLE NO. A-III-A-1.

- MINIMUM 1" WATER METER REQUIRED

- IF BACKWATER PROTECTION IS REQUIRED, CONTRACTOR SHALL PROVIDE AN ISOMETRIC DIAGRAM OF THE BUILDING SEWER INCLUDING ALL BACKWATER VALVES, RELIEF VALVES, AND ANY SEWER INJECTION SYSTEM DETAILS. CITY OF BURLINGAME MUNICIPAL CODE ORDINANCE 110.

- PROVIDE SURVEY STAKES PRIOR TO FOUNDATION INSPECTION TO VERIFY LOT LINES.

- PROVIDE A PRESSURE ABSORBING DEVICES OR APPROVED MECHANICAL DEVICES ARE REQUIRED ON WATER LINES, LOCATED AS CLOSE AS POSSIBLE TO QUICK ACTING VALVES, THAT WILL ABSORB HIGH PRESSURES RESULTING FROM QUICK CLOSING OF QUICK-ACTING VALVES. CPC SECTION 803.10

## PUBLIC WORK NOTES & CONDITIONS:

- A REMOVE/REPLACE UTILITIES ENCROACHMENT PERMIT IS REQUIRED.

- REPLACE ALL CURB, GUTTER, DRIVEWAY AND SIDEWALK FRONTING SITE.
- PLUG ALL EXISTING SANITARY SEWER LATERAL CONNECTIONS AND INSTALL A NEW 4" LATERAL.
- ALL WATER LINE CONNECTIONS TO CITYWATER MAINS FOR SERVICES OR FIRE LINE ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND SPECIFICATION.
- ANY OTHER UNDERGROUND UTILITY WORKS WITHIN CITY'S RIGHT OF WAY.

- THE SANITARY SEWER LATERAL (BUILDING SEWER) SHALL BE TESTED PER ORDINANCE CODE CHAPTER 1B.2. TESTING INFORMATION IS AVAILABLE AT THE BUILDING DEPARTMENT COUNTER. AN ENCROACHMENT PERMIT IS REQUIRED FROM THE PUBLIC WORKS DEPARTMENT WHENEVER THE CITY'S PORTION OF THE SEWER LATERAL OR CITY CLEANOUT IS TO BE LAID AND/OR CONNECTED TO THE SEWER MAINS.

- SEWER BACKWATER PROTECTION CERTIFICATION IS REQUIRED FOR THE INSTALLATION OF ANY NEW SEWER FIXTURE PER ORDINANCE NO. 110. THE SEWER BACKWATER PROTECTION CERTIFICATE IS REQUIRED PRIOR TO THE ISSUANCE OF BUILDING PERMIT.

- ALL WATER LINE CONNECTIONS TO CITY WATER MAINS FOR SERVICES OR FIRE LINE PROTECTION ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND MATERIAL SPECIFICATIONS. CONTACT THE CITY WATER DEPARTMENT FOR CONNECTION FEES. AN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK IN THE CITY'S RIGHT OF WAY. IF REQUIRED, ALL FIRE SERVICES AND SERVICES 2" AND OVER WILL BE INSTALLED BY BUILDER. ALL UNDERGROUND FIRE SERVICE CONNECTIONS SHALL BE SUBMITTED AS SEPARATE UNDERGROUND FIRE SERVICE PERMIT FOR REVIEW AND APPROVAL.

- A SURVEY BY A LICENSED SURVEYOR OR ENGINEER IS REQUIRED. THE SURVEY SHALL SHOW HOW THE PROPERTY LINES WERE DETERMINED AND THAT THE PROPERTY CORNERS WERE SET WITH SURVEYOR'S LICENSE NUMBER ON DURABLE MONUMENTS. THIS SURVEY SHALL BE ATTACHED TO THE CONSTRUCTION PLANS. ALL CORNERS NEED TO BE MAINTAINED OR REINSTALLED BEFORE THE BUILDING FINAL. ALL PROPERTY CORNERS SHALL BE MAINTAINED DURING CONSTRUCTION OR RE-ESTABLISHED AT THE END OF THE PROJECT.

- ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK IN THE CITY'S RIGHT OF WAY.

- CONSTRUCTION AND BUILDING USE SHALL CONFORM TO CONDITIONS AS DESCRIBED BY PLANNING COMMISSION AND/OR CITY COUNCIL ACTIONS.

- THE PROJECT SHALL COMPLY WITH THE CITY'S NPDES PERMIT REQUIREMENTS TO PREVENT STORM WATER POLLUTION.

- NEW DRIVEWAY OR DRIVEWAY WIDENING MUST BE APPROVED BY THE CITY ENGINEER. SHOUL DISTANCE BETWEEN THE PROPOSED DRIVEWAY OPENING TO THE CLOSEST ADJACENT DRIVEWAY ON SITE PLAN.

- NO STORM WATERS UNDERGROUND WATERS DRAINING FROM ANY LOT, BUILDING OR PAVED AREAS SHALL BE ALLOWED TO DRAIN TO ADJACENT PROPERTIES NOR SHALL THESE WATERS BE CONNECTED TO THE CITY'S SANITARY SEWER SYSTEM. THESE WATERS SHALL ALL DRAIN TO EITHER ARTIFICIAL OR NATURAL STORM DRAINAGE FACILITIES BY GRAVITY OR PUMPING REGARDLESS OF THE SLOPE OF THE PROPERTY. MUNICIPAL CODE SECTION 1808.01(1).

- STORM WATER SHALL BE DRAINED THROUGH A CURB DRAIN OR TO THE STORM DRAINAGE SYSTEM. SEE CITY STANDARDS FOR CURB DRAIN DESIGN.
- FLOOD ZONE C REQUIRES FLOOD ZONE CONFIRMATION AND/OR PROTECTION OF HABITABLE SPACE.
- PROVIDE ELEVATIONS TO CONFIRM DRAINAGE AND SITE DESIGN.

- NEW DRIVEWAY OR DRIVEWAY WIDENING MUST BE APPROVED BY THE CITY ENGINEER. SHOUL DISTANCE BETWEEN THE PROPOSED DRIVEWAY OPENING TO THE CLOSEST ADJACENT DRIVEWAY ON SITE PLAN.

- IF POST-CONSTRUCTION IMPERVIOUS AREA IS GREATER THAN 40% OF TOTAL SIZE MITIGATION OF THE ADDITIONAL STORM RUNOFF IN EXCESS OF 40% TOTAL LOT SIZE MUST BE ADDRESSED. PLEASE SHOW HOW THE POST-CONSTRUCTION DESIGN WILL ADDRESS THE ADDITIONAL STORM RUNOFF.

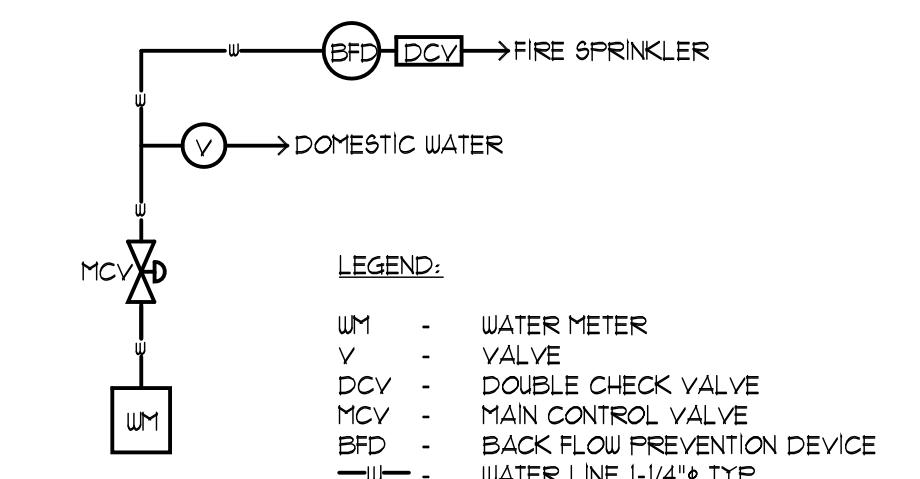


TABLE NO. A-III-A-1

## MINIMUM REQUIRED FIRE FLOW & FLOW DURATION BUILDINGS

FIRE AREA (square feet)		FIRE FLOW (gallons per minute)		FLOW DURATION (hours)
Type IF-R	Type II One-HR	Type IV-HR	Type II-N	
6.22	1.0	0.8-1	0.5-0.9	3.750 for 3.750
22,300-30,200	22,701-17,000	8,801-9,900	5,901-7,900	1.750
30,201-38,700	30,201-21,800	10,801-12,900	7,901-9,900	4,500-6,200
38,701-48,300	21,801-24,200	12,901-17,400	9,801-12,600	2,250
48,301-59,200	17,401-21,300	12,601-15,400	7,701-9,400	2,500
59,001-70,900	33,201-39,700	21,301-25,800	15,401-18,400	9,401-11,300
70,901-83,700	39,701-47,100	25,801-30,100	18,401-21,800	11,301-13,400
83,701-97,700	47,101-52,700	30,101-35,200	21,801-26,300	3,000
97,701-112,700	54,901-63,400	35,201-40,600	26,901-29,300	3,500
112,701-145,900	63,401-72,400	46,401-52,800	33,501-37,900	4,000
128,701-145,900	72,401-82,100	52,501-59,100	37,901-42,700	23,301-28,300
145,901-164,200	82,101-92,400	59,101-66,300	42,701-47,700	4,500
164,201-183,400	92,401-103,100	66,301-73,500	47,701-52,700	3,750
183,401-202,600	103,101-113,200	73,501-80,700	53,001-58,600	3,000
203,701-232,200	114,801-125,700	81,101-89,200	58,601-65,400	3,600-3,800
223,201-247,700	125,701-136,400	89,201-97,900	65,401-70,600	5,250
247,701-271,200	136,401-152,800	121,301-128,600	74,601-79,800	7,500
271,201-295,900	152,801-166,500	97,701-106,500	70,601-77,000	4,301-47,400
295,901-Greater	166,501-Greater	106,501-115,800	77,001-83,700	6,000
-	-	115,801-125,500	83,701-97,700	5,1501-55,700
-	-	125,501-135,300	97,701-106,800	5,3501-55,800
-	-	135,301-145,800	97,601-106,800	6,750
-	-	145,801-156,700	106,801-113,200	6,401-69,800
-	-	156,701-167,900	113,201-121,300	69,601-74,600
-	-	167,901-179,400	121,301-128,600	7,250
-	-	179,401-191,400	129,601-138,300	79,601-85,100
-	-	191,401-Greater	128,301-Greater	8,000

## 1 SCHEMATIC WATER LATERAL LINE

NOT TO SCALE

### DRAINAGE NOTES:

#### RAINWATER COLLECTION:

AN NEW ROOF RAINWATER SHALL BE COLLECTED BY MEANS OF GALVANIZED METAL GUTTERS, UNLESS NOTED OTHERWISE, LOCATED AT THE EAVES PANT TO MATCH COLOR OF ROOF. GUTTER CATCH BARS SHALL LEAD TO 2" X 3" RECTANGULAR ABS DOWNSPOUTS OR DOWNSPOUTS TO MATCH EXISTING AND/OR CONCRETE GUTTER LEADER DOWNSPOUTS SHALL TERMINATE BELOW GRADE TO A PERFORATE 4" DIAMETER ABS GUTTER. RUN 4" DIAMETER OR SIZE AS NOTED ON SITE PLAN. SOLID PIPE THROUGH FACE OF CURB SO THAT WATER WILL EMPTY INTO THE STREET GUTTER SYSTEM. SLOPE ALL PIPES FOR ADEQUATE DRAINAGE. INSURE THAT THE LOCATION CHOSEN FOR THE PIPE TO GO THROUGH THE FACE OF CURB IS ADEQUATE TO CARRY THE WATER FROM THE SITE TO A CITY MAINTAINED WATER COLLECTION SYSTEM. IN SINGLE-FAMILY RESIDENCES THE WATER MAY FLOW TO THE STREET BY GRAVITY METHOD PROVIDED THERE IS SUFFICIENT GRADE TO INSURE FLOW TO THE STREET GUTTER AND THAT WATER DOES NOT FLOW ONTO ADJOINING PROPERTIES.

#### SUMP PUMP MAY BE REQUIRED (SEE SITE PLAN):

IF THE GRAVITY METHOD OF DRAINAGE CANNOT BE USED, PROVIDE A SUMP PUMP OF ADEQUATE SIZE TO CARRY ALL WATER THROUGH A 2" DIAMETER ABS PIPE THROUGH THE FACE OF THE CURB SO THAT THE WATER WILL EMPTY INTO THE GUTTER SYSTEM. INSURE THAT THE LOCATION CHOSEN FOR THE PIPE TO GO THROUGH THE FACE OF CURB IS ADEQUATE TO CARRY THE WATER FROM THE SITE TO A CITY MAINTAINED WATER COLLECTION SYSTEM.

PROVIDE A BACKFLOW PREVENTER DEVICE AT A LOCATION NEAR THE TERMINATION OF THE SOLID PIPE THROUGH THE FACE OF CURB AS REQUIRED TO PREVENT RAINWATER FROM THE GUTTER SYSTEM ENTERING THE SUMP PUMP SYSTEM.

SUMP PUMP AT A MINIMUM SHALL BE A 1/4 HP AUTOMATIC SUBMERSIBLE SUMP PUMP WITH PERFORMANCES AS LISTED BELOW (MINIMUM). INSTALL AS PER MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS.

DISCHARGE FEET OF HEAD (GALLONS PER HOUR)

5 10 15 20 25 30 35 40 45 50 55 60 65 70 75 80 85 90 95 100

PERFORMANCE (GALLONS PER HOUR)

5 10 15 20 25 30 35 40 45 50 55 60 65 70 75 80 85 90 95 100

SUMP PIT- INSTALL PUMP IN SUMP PIT (CATCH BASIN) WITH THE MINIMUM CLEARANCES AND DEPTHS AS PER MANUFACTURER SPECIFICATIONS AND RECOMMENDATIONS.

### FIRE NOTES:

CONTRACTOR SHALL OBTAIN SEPARATE FIRE SPRINKLER PERMIT FOR THE INSTALLATION OF THE FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 110.402 OF THE BURLINGAME MUNICIPAL CODE. THE MINIMUM SIZE SERVICE FOR FIRE SPRINKLER SYSTEM SHALL CONFORM TO NFPA 13 OR NFPA 13R. FOR NFPA 13D SYSTEMS THE MINIMUM SIZE IS 1".

FIRE SPRINKLER SHOP DRAWINGS ARE TO BE SUBMITTED DIRECTLY TO THE BURLINGAME FIRE DEPARTMENT AT 1399 ROLLINS ROAD BURLINGAME ONLY AFTER FIRE SPRINKLER UNDERGROUNDS HAVE BEEN SUBMITTED TO THE BURLINGAME BUILDING DEPARTMENT.

### NOTES:

- REPLACE DAMAGED OR DISPLACED CURB, GUTTER AND/OR SIDEWALK ALONG THE PROPERTY FRONTEAGE. A CITY ENCROACHMENT PERMIT IS REQUIRED.

- THE SANITARY SEWER LATERAL (BUILDING SEWER) SHALL BE TESTED PER ORDINANCE CODE CHAPTER 1B.2. TESTING INFORMATION IS AVAILABLE AT THE BUILDING DEPARTMENT COUNTER. AN ENCROACHMENT PERMIT IS REQUIRED FROM THE PUBLIC WORKS DEPARTMENT WHENEVER THE CITY'S PORTION OF THE SEWER LATERAL OR CITY CLEANOUT IS TO BE LAID AND/OR CONNECTED TO THE SEWER MAINS.

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