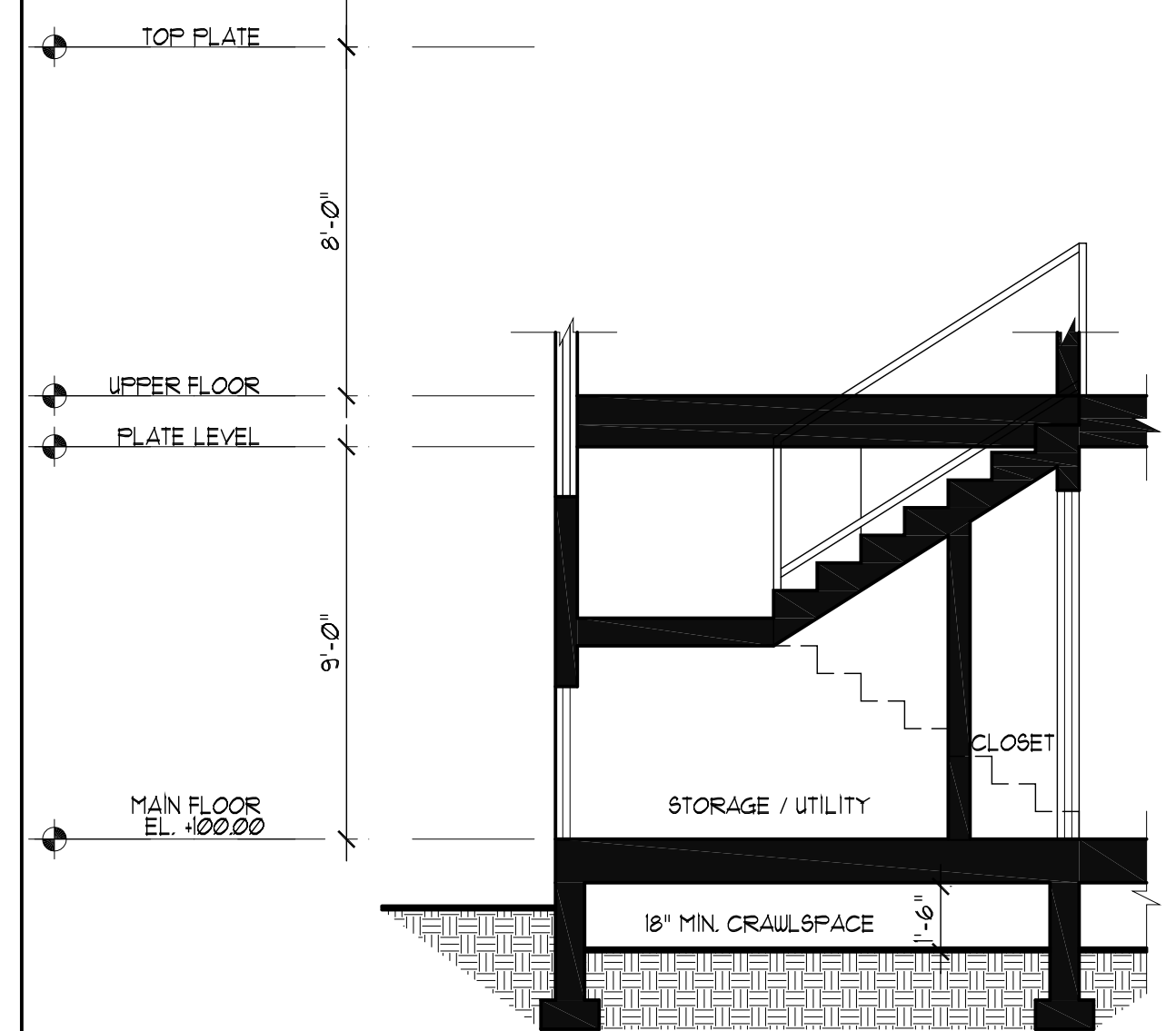
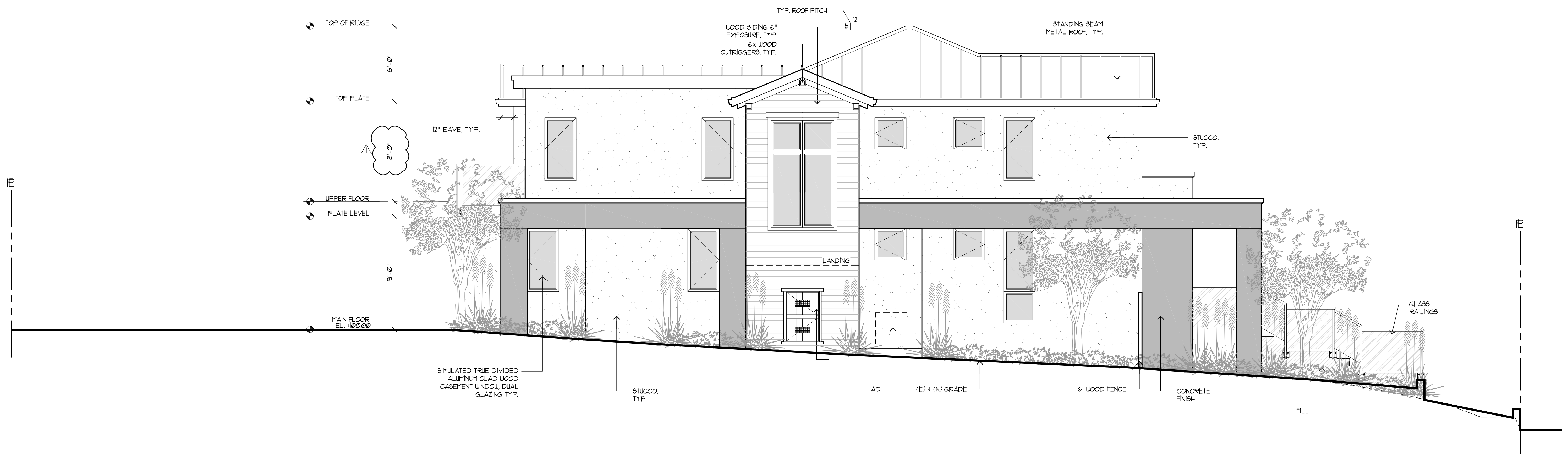


REAR ELEVATION
SCALE: 1/4"=1'-0"



STAIR SECTION
SCALE: 1/4"=1'-0"



LEFT ELEVATION
SCALE: 1/4"=1'-0"

REVISIONS		BY
PLNG_PC1	02/22/22	PU
PLNG_PC2	03/25/22	PU

CHU DESIGN ASSOCIATES INC.
210 INDUSTRIAL RD, SUITE 205
SAN CARLOS, CALIFORNIA 94070
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BATRA RESIDENCE
1369 COLUMBUS AVE.
BURLINGAME, C.A.
A.P.N.: 027-153-020

DATE:	12/3/21
SCALE:	AS NOTED
DRAWN:	PU
FOR:	
SHEET NO.	

A.5
OF SHEETS

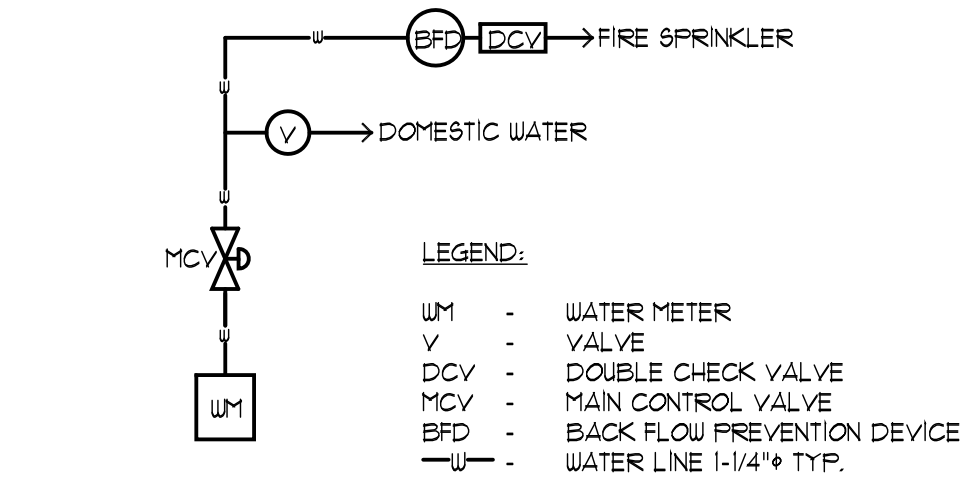
GENERAL NOTES:

- SEE LANDSCAPE PLAN FOR DETAIL INFORMATION
- MAXIMUM DRIVEWAY SLOPES SHALL NOT EXCEED FIFTEEN (15) PERCENT AT ANY POINT WITHOUT SPECIAL APPROVAL OF THE DEPARTMENT OF PUBLIC WORKS. SLOPES IN EXCESS OF TWENTY (20) PERCENT SHALL REQUIRE APPROVAL OF THE PLANNING COMMISSION. TRANSITIONAL SLOPES ARE REQUIRED FOR DRIVEWAYS WHICH EXCEED TEN (10) PERCENT MAXIMUM SLOPE. NO TRANSITIONAL SLOPE SHALL EXTEND INTO A REQUIRED PARKING SPACE.
- TOPOGRAPHY IS PREPARED BY:
QUIET RIVER LAND SERVICES
6141 SIERRA COURT, SUITE K
DUBLIN, CA 94568
TEL: (925) 334-6188
- A DEMOLITION PERMIT IS REQUIRED FOR SIDEWALK, SEWER AND WATER REPLACEMENT
- REQUIRED PROTECTIVE FENCING MUST BE INSTALLED AND INSPECTED PRIOR TO DEMO PERMIT ISSUE.
- SEWER BACKWATER PROTECTION CERTIFICATION IS REQUIRED FOR THE INSTALLATION OF ANY NEW SEWER FIXTURE PER ORDINANCE NO. 110. THE SEWER BACKWATER PROTECTION CERTIFICATE IS REQUIRED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.

- THE SURVEYOR RECOMMENDS THE CITY VERIFY THAT THE PERTINENT RESIDENCES WERE USED IN THE CALCULATION.
- GARAGE FOOTING SHALL NOT EXTEND INTO ONE FOOT SETBACK WITHOUT A LICENCED SURVEY AND FIELD STRIKING REVIEWED BY INSPECTOR.
- NEW WATER METER SHALL NOT ON PRIVATE PROPERTY. IT MUST BE LOCATED ON PUBLIC PROPERTY FOR ACCESS BY METER READER.
- NEW SEWER LINE WITH CLEANOUT FOR NEW HOUSE. CLEANOUT AT SEWER MAIN LINE TO BE IN PUBLIC EASEMENT FOR CITY ACCESS.
- CONTRACTOR SHALL ENSURE THE DOUBLE VALE ASSEMBLY FOR FIRE PROTECTION SHALL BE TESTED AND APPROVED BY A SAN MATEO COUNTY ENVIRONMENTAL HEALTH APPROVED CONTRACTOR PRIOR TO SCHEDULING WATER DEPARTMENT FINAL.
- PROVIDE ADEQUATE FIRE FLOW BASED UPON CONSTRUCTION AND SIZE OF BUILDING. SEE UFC APPENDIX IIIA. MINIMUM 3.00 GPM REQUIRED. SEE TABLE NO. A-III-A-1.
- MINIMUM 1" WATER METER REQUIRED
- IF BACKWATER PROTECTION IS REQUIRED, CONTRACTOR SHALL PROVIDE AN ISOMETRIC DIAGRAM OF THE BUILDING SEWER INCLUDING ALL BACKWATER VALVES, RELIEF VALVES, AND ANY SEWER INJECTION SYSTEM DETAILS. CITY OF BURLINGAME MUNICIPAL CODE ORDINANCE 110.
- PROVIDE SURVEY STAKES PRIOR TO FOUNDATION INSPECTION TO VERIFY LOT LINES.
- PROVIDE A PRESSURE ABSORBING DEVICES OR APPROVED MECHANICAL DEVICES ARE REQUIRED ON WATER LINES, LOCATED AS CLOSE AS POSSIBLE TO QUICK ACTING VALVES, THAT WILL ABSORB HIGH PRESSURES RESULTING FROM QUICK CLOSING OF QUICK-ACTING VALVES. CPC SECTION 060310

PUBLIC WORK NOTES & CONDITIONS:

- A REMOVE/REPLACE UTILITIES ENCROACHMENT PERMIT IS REQUIRED:
 - REPLACE ALL CURB, GUTTER, DRIVEWAY AND SIDEWALK FRONTING SITE.
 - PLUG ALL EXISTING SANITARY SEWER LATERAL CONNECTIONS AND INSTALL A NEW 6" LATERAL.
 - ALL WATER LINE CONNECTIONS TO CITY WATER MAINS FOR SERVICES OR FIRE LINE ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND SPECIFICATION.
 - ANY OTHER UNDERGROUND UTILITY WORKS WITHIN CITY'S RIGHT-OF-WAY.
- THE SANITARY SEWER LATERAL (BUILDING SEWER) SHALL BE TESTED PER ORDINANCE CODE CHAPTER 15.2. TESTING INFORMATION IS AVAILABLE AT THE BUILDING DEPARTMENT COUNTER. AN ENCROACHMENT PERMIT IS REQUIRED FROM THE PUBLIC WORKS DEPARTMENT WHENEVER THE CITY'S PORTION OF THE SEWER LATERAL OR CITY CLEANOUT IS TO BE LAID AND/OR CONNECTED TO THE SEWER MAINS.
- SEWER BACKWATER PROTECTION CERTIFICATION IS REQUIRED FOR THE INSTALLATION OF ANY NEW SEWER FIXTURE PER ORDINANCE NO. 110. THE SEWER BACKWATER PROTECTION CERTIFICATE IS REQUIRED PRIOR TO THE ISSUANCE OF BUILDING PERMIT.
- ALL WATER LINE CONNECTIONS TO CITY WATER MAINS FOR SERVICES OR FIRE LINE PROTECTION ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND MATERIAL SPECIFICATIONS. CONTACT THE CITY WATER DEPARTMENT FOR CONNECTION FEES. ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK IN THE CITY'S RIGHT-OF-WAY. IF REQUIRED, ALL FIRE SERVICES AND SERVICES 2" AND OVER WILL BE INSTALLED BY BUILDER. ALL UNDERGROUND FIRE SERVICE CONNECTIONS SHALL BE SUBMITTED AS SEPARATE UNDERGROUND FIRE SERVICE PERMIT FOR REVIEW AND APPROVAL.
- A SURVEY BY A LICENSED SURVEYOR OR ENGINEER IS REQUIRED. THE SURVEY SHALL SHOW HOW THE PROPERTY LINES WERE DETERMINED AND THAT THE PROPERTY CORNERS WERE SET WITH SURVEYORS LICENSE NUMBER/DURABLE MONUMENTS. THIS SURVEY SHALL BE ATTACHED TO THE CONSTRUCTION PLANS. ALL CONSTRUCTION SHALL BE MAINTAINED OR REINSTALLED BEFORE THE BUILDING FINAL. ALL PROPERTY CORNERS SHALL BE MAINTAINED DURING CONSTRUCTION OR RE-ESTABLISHED AT THE END OF THE PROJECT.
- ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK IN THE CITY'S RIGHT-OF-WAY.
- CONSTRUCTION AND BUILDING USE SHALL CONFORM TO CONDITIONS AS DESCRIBED BY PLANNING COMMISSION AND/OR CITY COUNCIL ACTIONS.
- THE PROJECT SHALL COMPLY WITH THE CITY'S NPDES PERMIT REQUIREMENTS TO PREVENT STORM WATER POLLUTION.
- NEW DRIVEWAY OR DRIVEWAY WIDENING MUST BE APPROVED BY THE CITY ENGINEER. SHOW DISTANCE BETWEEN THE PROPOSED DRIVEWAY OPENING TO THE CLOSEST ADJACENT DRIVEWAY ON SITE PLAN.
- NO STORM WATERS, UNDERGROUND WATERS DRAINING FROM ANY LOT, BUILDING, OR PAVED AREAS SHALL BE ALLOWED TO DRAIN TO ADJACENT PROPERTIES NOR SHALL THESE WATERS BE CONNECTED TO THE CITY'S SANITARY SEWER SYSTEM. THESE WATERS SHALL ALL DRAIN TO EITHER ARTIFICIAL OR NATURAL STORM DRAINAGE FACILITIES BY GRAVITY, OR PUMPING REGARDLESS OF THE SLOPE OF THE PROPERTY. MUNICIPAL CODE SECTION 18.08.010 (1).
 - STORM WATER SHALL BE DRAINED THROUGH A CURB DRAIN OR TO THE STORM DRAINAGE SYSTEM. SEE CITY STANDARDS FOR CURB DRAIN DESIGN.
 - FLOOD ZONE 'C' REQUIRES FLOOD ZONE CONFIRMATION AND/OR PROTECTION OF HABITABLE SPACE.
 - PROVIDE ELEVATIONS TO CONFIRM DRAINAGE AND SITE DESIGN.
- NEW DRIVEWAY OR DRIVEWAY WIDENING MUST BE APPROVED BY THE CITY ENGINEER. SHOW DISTANCE BETWEEN THE PROPOSED DRIVEWAY OPENING TO THE CLOSEST ADJACENT DRIVEWAY ON SITE PLAN.
- IF POST-CONSTRUCTION IMPERVIOUS AREA IS GREATER THAN 40% OF TOTAL SIZE, MITIGATION OF THE ADDITIONAL STORM RUNOFF IN EXCESS OF 40% TOTAL LOT SIZE MUST BE ADDRESSED. PLEASE SHOW HOW THE POST-CONSTRUCTION DESIGN WILL ADDRESS THE ADDITIONAL STORM RUNOFF.



SCHEMATIC WATER LATERAL LINE NOT TO SCALE

DRAINAGE NOTES:

RAINWATER COLLECTION
ALL NEW ROOF RAINWATER SHALL BE COLLECTED BY MEANS OF GALVANIZED METAL GUTTERS, UNLESS NOTED OTHERWISE, LOCATED AT THE EAVES. PAINT TO MATCH COLOR SCHEME OF RESIDENCE. GUTTER SHALL LEAD TO 2" X 4" RECTANGULAR METAL DOWNSPOUTS OR DOWNSPOUTS TO MATCH EXISTING AND/OR COPPER RAINWATER LEADER DOWNSPOUTS SHALL TERMINATE BELOW GRADE TO A PERIMETER 4" DIAMETER ABS SOLID DRAINPIPE. RUN 4" DIAMETER (OR SIZE AS NOTED ON SITE PLAN) SOLID PIPE THROUGH FACE OF CURB SO THAT WATER WILL EMPTY INTO THE STREET GUTTER SYSTEM. SLOPE ALL PIPES FOR ADEQUATE DRAINAGE. INSURE THAT THE LOCATION CHOSEN FOR THE PIPE TO GO THROUGH THE FACE OF CURB IS ADEQUATE TO CARRY THE WATER FROM THE SITE TO A CITY MAINTAINED WATER COLLECTION SYSTEM. IN SINGLE-FAMILY RESIDENCES THE WATER MAY FLOW TO THE STREET BY GRAVITY METHOD PROVIDED THERE IS SUFFICIENT GRADE TO INSURE FLOW TO THE STREET GUTTER AND THAT WATER DOES NOT FLOW ONTO ADJOINING PROPERTIES.

SUMP PUMP MAY BE REQUIRED (SEE SITE PLAN)
IF THE GRAVITY METHOD OF DRAINAGE CANNOT BE USED, PROVIDE A SUMP PUMP OF ADEQUATE SIZE TO CARRY ALL WATER THROUGH A 2" DIAMETER ABS PIPE THROUGH THE FACE OF THE CURB SO THAT THE WATER WILL EMPTY INTO THE GUTTER SYSTEM. INSURE THAT THE LOCATION CHOSEN FOR THE PIPE TO GO THROUGH THE FACE OF CURB IS ADEQUATE TO CARRY THE WATER FROM THE SITE TO A CITY MAINTAINED WATER COLLECTION SYSTEM.

PROVIDE A BACKFLOW PREVENTER/DEVICE AT A LOCATION NEAR THE TERMINATION OF THE SOLID PIPE THROUGH THE FACE OF CURB AS REQUIRED TO PREVENT RAINWATER FROM THE GUTTER SYSTEM ENTERING THE SUMP PUMP SYSTEM.

SUMP PUMP AT A MINIMUM SHALL BE A 1/4 HP AUTOMATIC SUBMERSIBLE SUMP PUMP WITH PERFORMANCES AS LISTED BELOW (MINIMUM). INSTALL AS PER MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS.

DISCHARGE FEET OF HEAD	5	10	15
PERFORMANCE (GALLONS PER HOUR)	2200	1620	660

SUMP PIT - INSTALL PUMP IN SUMP PIT (CATCH BASIN) WITH THE MINIMUM CLEARANCES AND DEPTHS AS PER MANUFACTURER SPECIFICATIONS AND RECOMMENDATIONS.

FIRE NOTES:

CONTRACTOR SHALL OBTAIN SEPARATE FIRE SPRINKLER PERMIT FOR THE INSTALLATION OF THE FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 11.04.030 OF THE BURLINGAME MUNICIPAL CODE. THE MINIMUM SIZE SERVICE FOR FIRE SPRINKLER SYSTEM SHALL CONFORM TO NFPA 13 OR 13R IS 2". FOR NFPA 13D SYSTEMS THE MINIMUM SIZE IS 1".

FIRE SPRINKLER SHOP DRAWINGS ARE TO BE SUBMITTED DIRECTLY TO THE BURLINGAME FIRE DEPARTMENT AT 1999 ROLLINS ROAD, BURLINGAME, ONLY AFTER FIRE SPRINKLER UNDERGROUNDS HAVE BEEN SUBMITTED TO THE BURLINGAME BUILDING DEPARTMENT.

NOTES:

- REPLACE DAMAGED OR DISPLACED CURB, GUTTER AND/OR SIDEWALK ALONG THE PROPERTY FRONTAGE. A CITY ENCROACHMENT PERMIT IS REQUIRED.
- THE SANITARY SEWER LATERAL (BUILDING SEWER) SHALL BE TESTED PER ORDINANCE CODE CHAPTER 15.2. TESTING INFORMATION IS AVAILABLE AT THE BUILDING DEPARTMENT COUNTER. AN ENCROACHMENT PERMIT IS REQUIRED FROM THE PUBLIC WORKS DEPARTMENT WHENEVER THE CITY'S PORTION OF THE SEWER LATERAL OR CITY CLEANOUT IS TO BE LAID AND/OR CONNECTED TO THE SEWER MAINS.
- A PROPERTY SURVEY IS REQUIRED IF ANY PART OF PERMANENT STRUCTURE INCLUDING FOOTING IS WITHIN 12" OF PROPERTY LINE.

STORM WATER NOTES:

1. PROJECTS THAT CREATE AND/OR REPLACE 2500 SQUARE FEET TO 10,000 SQUARE FEET OF IMPERVIOUS SURFACE (E.G. NEW ROOF, DRIVEWAY, OR OTHER NON-PERVIOUS SURFACE) MUST COMPLY WITH THE SAN FRANCISCO BAY MUNICIPAL REGIONAL STORMWATER NPDES PERMIT. PLEASE SHOW ON PLANS WHICH SITE DESIGN MEASURES LISTED ON THE STORMWATER CHECKLIST FOR SMALL PROJECTS WILL BE INSTALLED TO MEET THIS REQUIREMENT. A COPY OF THE SMALL PROJECTS CHECKLIST IS ACCESSIBLE HERE: <https://www.burlingame.org/stormwaterdevelopment>.

2. DESIGN MEASURE: DIRECT ROOF RUNOFF ONTO VEGETATED AREAS USING A DISCONNECTED DOWNSPOUT.

3. PROJECTS THAT INVOLVE DEMOLITION OF A BUILDING WILL NEED TO ENSURE THAT POLYCHLORINATED BIPHENYLS DO NOT ENTER THE STORM DRAINS PER MUNICIPAL CODE 15.5

TABLE NO. A-III-A-1
MINIMUM REQUIRED FIRE FLOW & FLOW DURATION BUILDINGS

FIRE AREA (square feet)				FIRE FLOW (gallons per minute)	FLOW DURATION (hours)
X.0.0629 for m-2					
Type I-F-R	Type II One-HR	Type IV-H-T	Type IV-N	Type V-N1	x 3.785 for L/min.
0-22.700	0-2.720	0-4.200	0-5.900	0-3.800	1.000
23.700-38.700	12.701-17.000	8.201-10.500	5.901-8.200	3.801-4.800	2.000
39.700-48.300	17.001-21.800	10.501-12.900	8.201-10.500	4.801-6.200	2.250
49.300-60.000	22.801-33.200	12.901-21.300	10.501-14.000	6.201-8.000	2.500
61.000-70.900	33.201-39.700	21.301-25.500	14.001-15.800	8.001-10.000	2.750
71.900-83.000	39.701-47.100	25.501-30.200	15.801-18.200	11.001-13.500	3.000
84.000-97.100	47.101-54.600	30.201-35.200	18.201-20.500	13.501-16.500	3.250
98.100-112.700	54.601-63.400	35.201-40.600	20.501-23.000	16.501-19.500	3.500
113.700-145.900	63.401-72.400	40.601-52.800	23.001-25.900	19.501-23.000	4.000
146.900-161.600	72.401-81.300	52.801-64.000	25.901-29.000	23.001-26.500	4.250
162.601-184.300	81.301-91.000	64.001-77.100	29.001-32.500	26.501-30.500	4.500
185.301-209.000	91.001-101.800	77.101-92.300	32.501-36.500	30.501-35.000	4.750
210.001-225.200	101.801-114.700	92.301-108.000	36.501-41.000	35.001-39.000	5.000
226.201-242.700	114.701-130.400	108.001-125.000	41.001-46.000	39.001-43.500	5.250
243.701-271.200	130.401-152.600	125.001-147.000	46.001-51.500	43.501-48.500	5.500
272.201-299.500	152.601-168.500	147.001-168.500	51.501-57.000	48.501-54.000	5.750
299.501-326.000	168.501-186.000	186.001-203.000	57.001-63.000	54.001-60.000	6.000
		110.501-125.500	63.001-69.000	60.001-66.000	6.250
		125.501-135.000	69.001-76.000	66.001-72.000	6.500
		135.001-145.800	76.001-83.000	72.001-78.000	6.750
		145.801-156.000	83.001-91.000	78.001-84.000	7.000
		156.001-167.600	91.001-101.300	84.001-90.000	7.250
		167.601-179.400	101.301-120.000	90.001-99.000	7.500
		179.401-191.000	120.001-139.000	99.001-109.000	7.750
		191.001-203.000	139.001-158.000	109.001-119.000	8.000
		203.001-226.000	158.001-181.000	119.001-131.000	8.250
		226.001-250.000	181.001-203.000	131.001-144.000	8.500