

1 Existing Elevation: South (Front) 1/4" = 1'-0"



2 Proposed Elevation: South (Front) 1/4" = 1'-0"

Typical Exterior Materials

1. Finished Grade (unchanged)
2. Existing Landscaping to remain
3. New Landscaping
4. Existing concrete porch
5. New concrete porch / steps
6. New wood rail
7. New wood column and base, painted
8. New wood knee brace, from 4x6, painted
9. New 2x10 wood bellyband w/ watertable, from 2x4, painted
10. New 2x10 wood fascia, painted
11. Exposed wood rafter tails
12. New 2x wood trim, painted
13. New cedar shingles
14. New wood door
15. New wood fence / gate, stained
16. New asphalt composition shingles
17. New direct vent gas chimney
18. New gutters & downspouts, painted
19. Existing window to remain
20. New alum. clad wood window / door w/ simulated true divided lites
21. Existing wood siding, painted
22. Existing exterior cement plaster, painted
23. New downspout chain, painted
24. New exterior light – downcast light, max. output equivalent to 40W incandescent
25. New wood gable vent, painted
26. New wood gate (automatic at driveway)

DTA Dreiling Terrones Architecture Inc.

Architecture
Infrastructure
Environments

1103 Juanita Avenue
Burlingame, California
94010

650 696 1200

314 Center Street #220
Heddingburg, California
65448

707 431 1305

Addition and Alterations at
Intrieri Residence

1120 Summer Ave.
Burlingame, California 94010

APN: 026-082-090

Avg. T.O. Curb = $\frac{\text{West Corner Elev.} + \text{East Corner Elev.}}{2}$

= $\frac{98.55' + 97.65'}{2}$

= 97.53'

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Planning Re-submittal: 07/07/2021
Planning Re-submittal: 08/23/2021
Planning Re-submittal: 10/07/2021

[EW] Indicates Egress Windows that meet the requirements of the 2016 California Residential Code (CRC) Sec. 310 including, but not limited to the following:
1. Min. opening area = 5.7 s.f.
2. Sill height no more than 44 inches above the floor
3. Min. opening height = 24 inches
4. Min. opening width = 20 inches

Exterior Elevation:
Existing & Proposed
South (Front)

A4.1



1 Existing Elevation: West (Left Side)

1/4" = 1'-0"



2 Proposed Elevation: West (Left Side)

1/4" = 1'-0"

Typical Exterior Materials

1. Finished Grade (unchanged)
2. Existing Landscaping to remain
3. New Landscaping
4. Existing concrete porch
5. New concrete porch / steps
6. New wood rail
7. New wood column and base, painted
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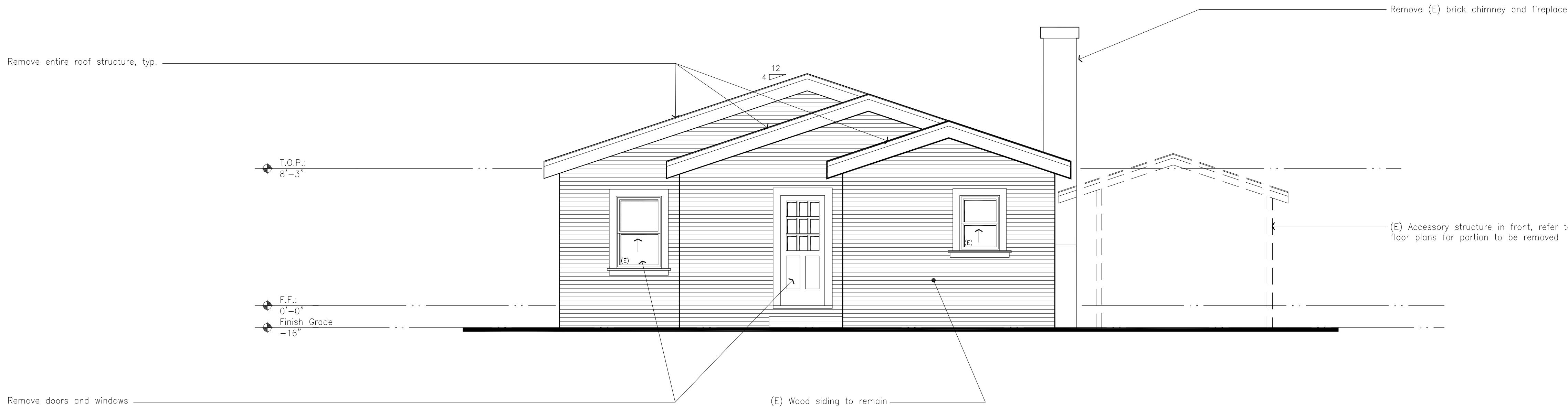
APN: 026-082-090

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Planning Re-submittal: 07/07/2021
Planning Re-submittal: 08/23/2021
Planning Re-submittal: 10/07/2021

Exterior Elevation:
Existing & Proposed
West (Left Side)

A4.2

2009



1 Existing Elevation: North (Rear)

1/4" = 1'-0"



2 Proposed Elevation: North (Rear)

1/4" = 1'-0"

Typical Exterior Materials

1. Finished Grade (unchanged)
2. Existing Landscaping to remain
3. New Landscaping
4. Existing concrete porch
5. New concrete porch / steps
6. New wood rail
7. New wood column and base, painted
8. New wood knee brace, from 4x6, painted
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2. Sill height no more than 44 inches above the floor
3. Min. opening height = 24 inches
4. Min. opening width = 20 inches

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APN: 026-082-090

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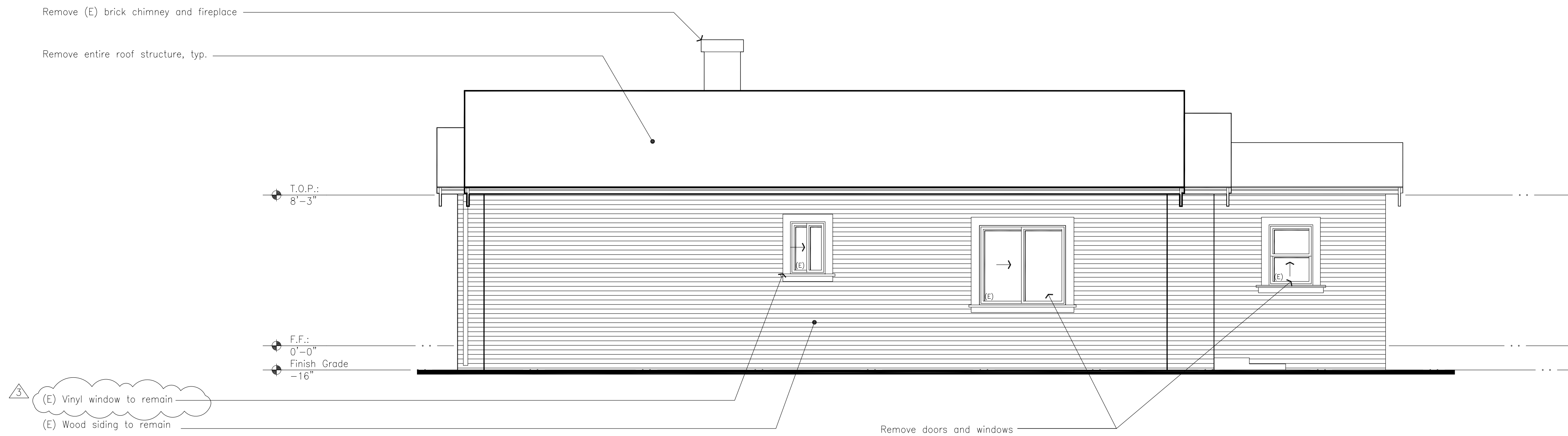
Planning Re-submittal: 08/23/2021

Planning Re-submittal: 10/07/2021

Exterior Elevation:
Existing & Proposed
North (Rear)

A4.3

2009



1 Existing Elevation: East (Right Side) 1/4" = 1'-0"



2 Proposed Elevation: East (Right Side) 1/4" = 1'-0"

Typical Exterior Materials

1. Finished Grade (unchanged)
2. Existing Landscaping to remain
3. New Landscaping
4. Existing concrete porch
5. New concrete porch / steps
6. New wood rail
7. New wood column and base, painted
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Addition and Alterations at
Intrieri Residence

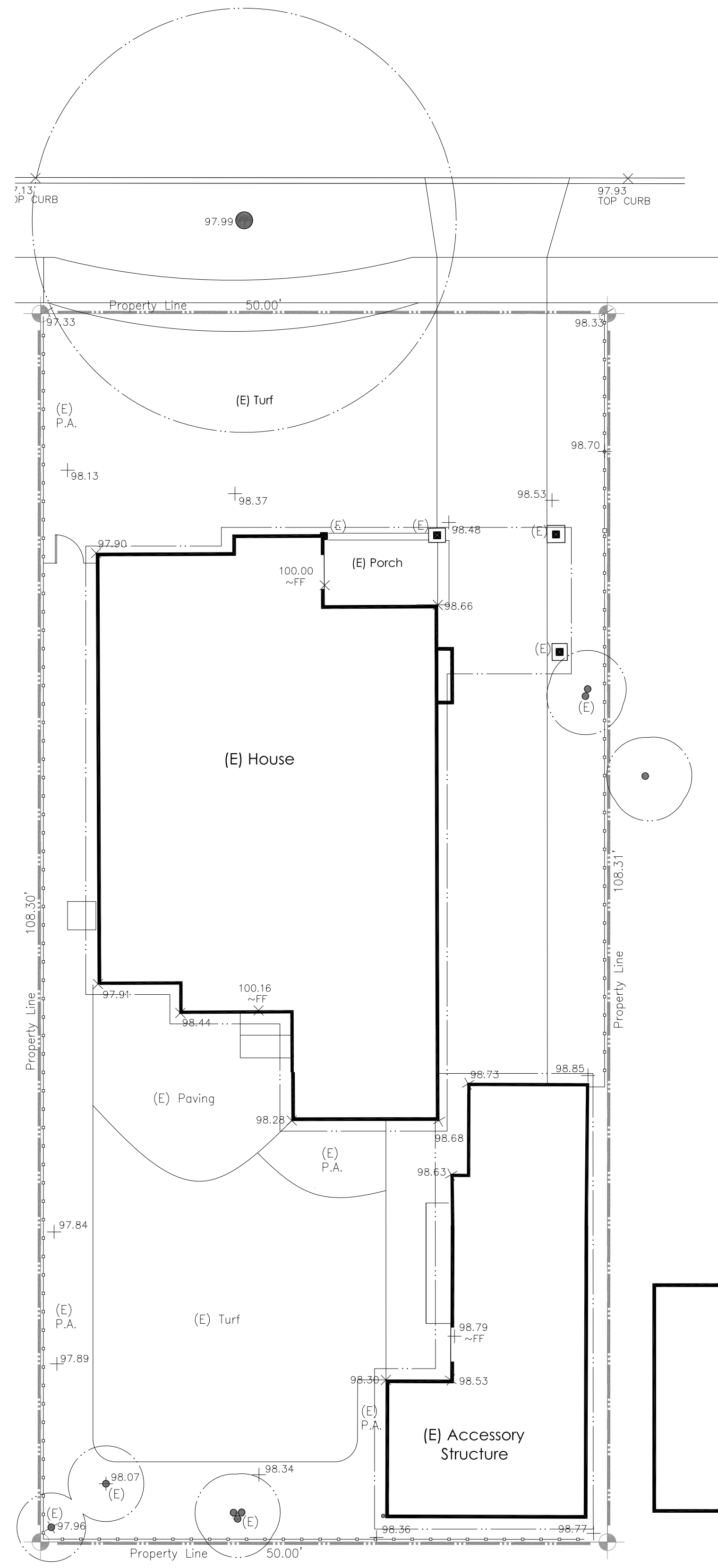
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APN: 026-082-090

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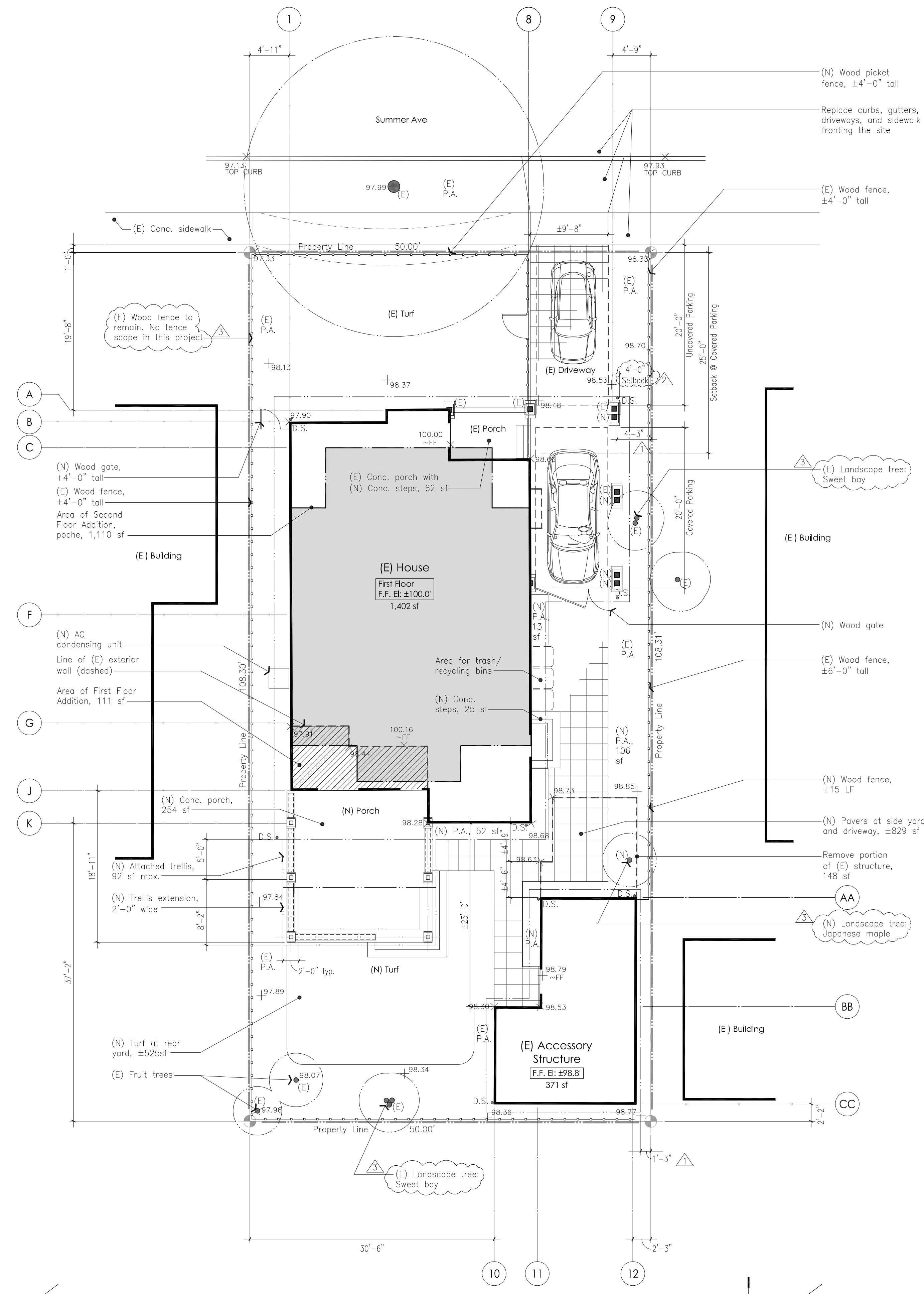
Exterior Elevation:
Existing & Proposed
East (Right Side)

A4.4

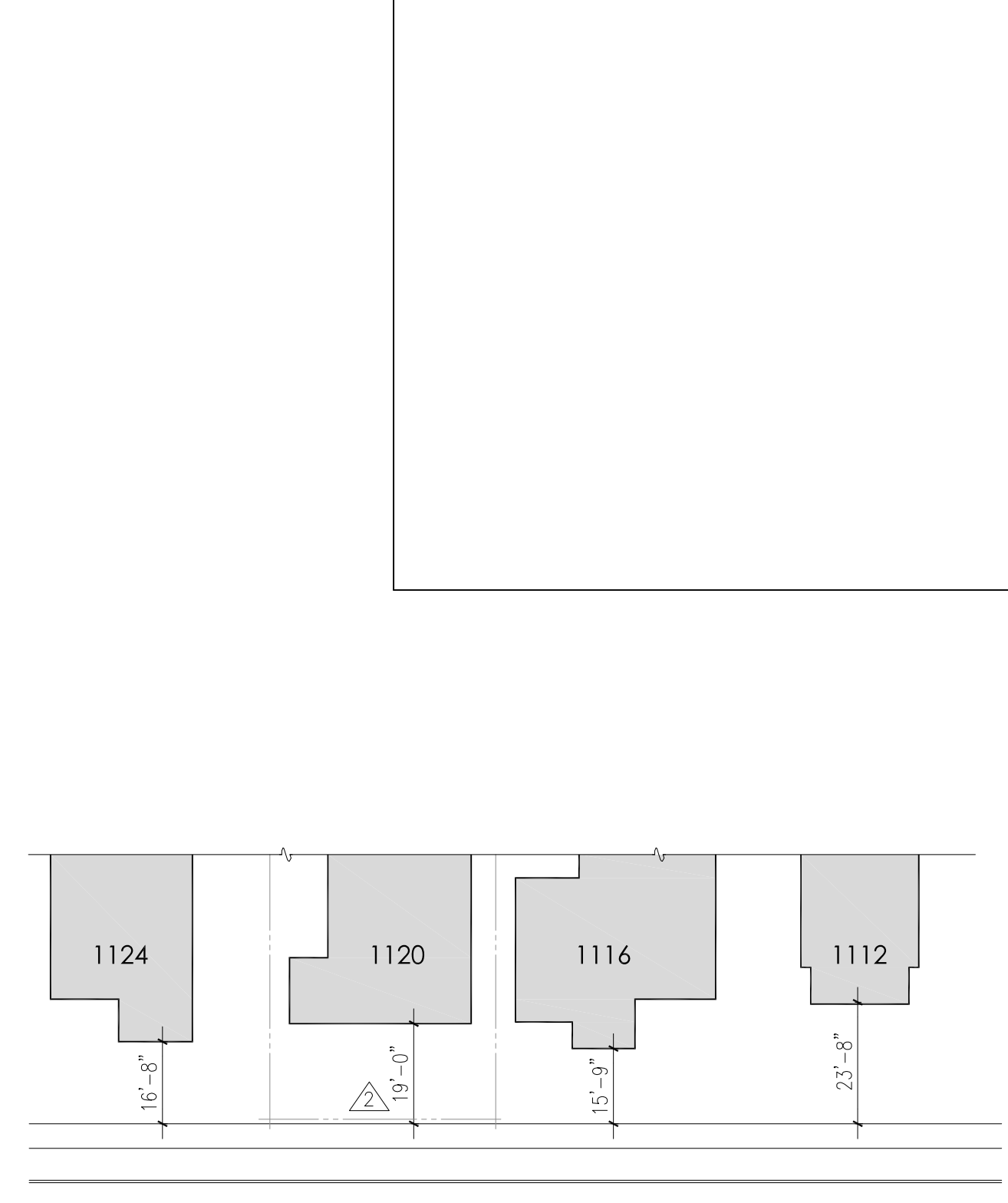
2009



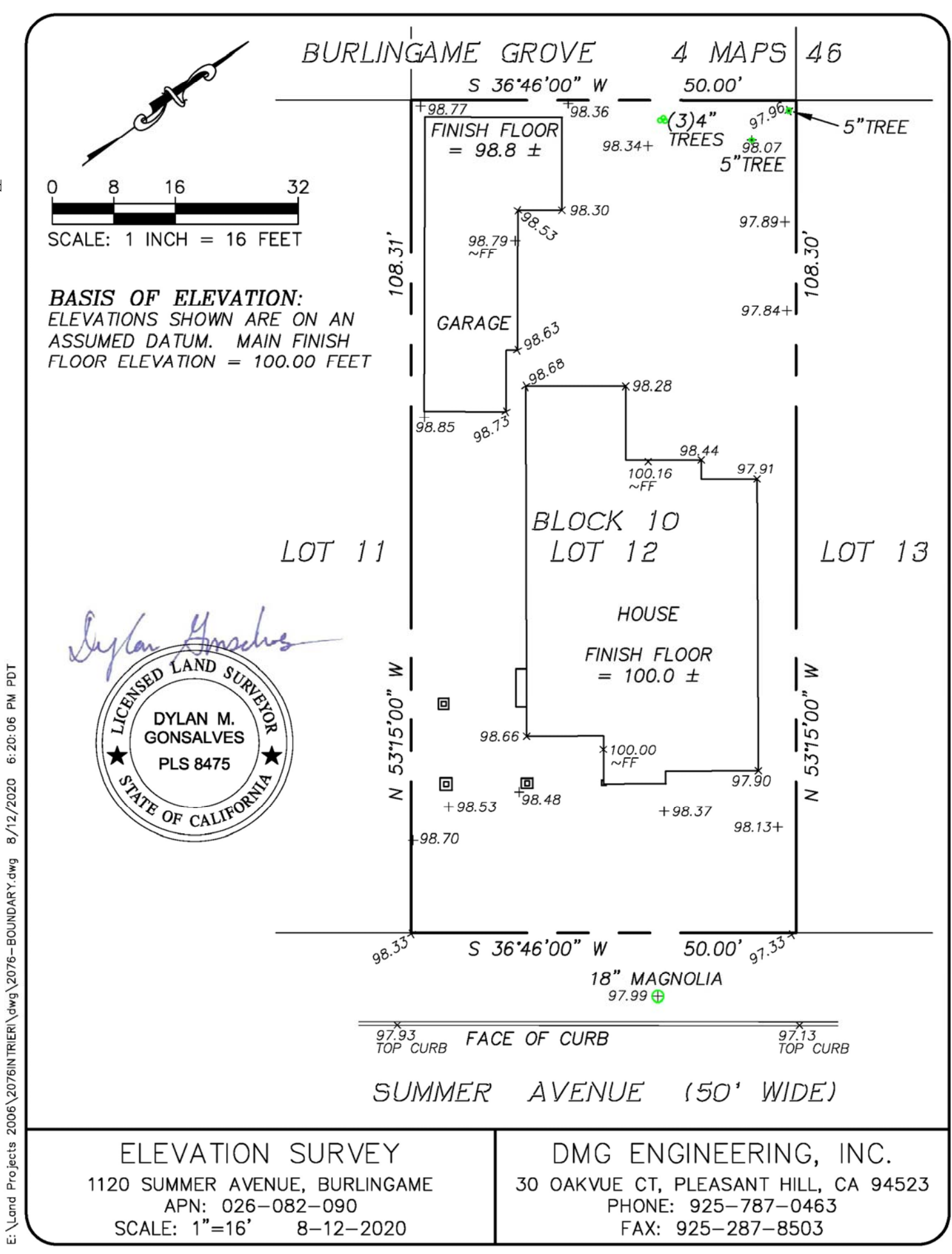
2 Existing Site Plan
1/8" = 1'-0"



1 Site Plan
1/8" = 1'-0"

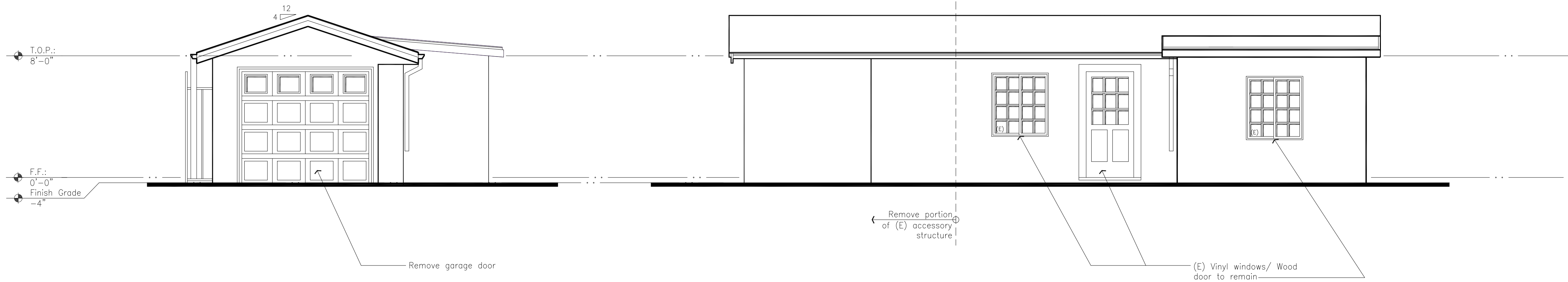


3 Setbacks Diagram
measurements from back of sidewalk
NTS



Site Notes

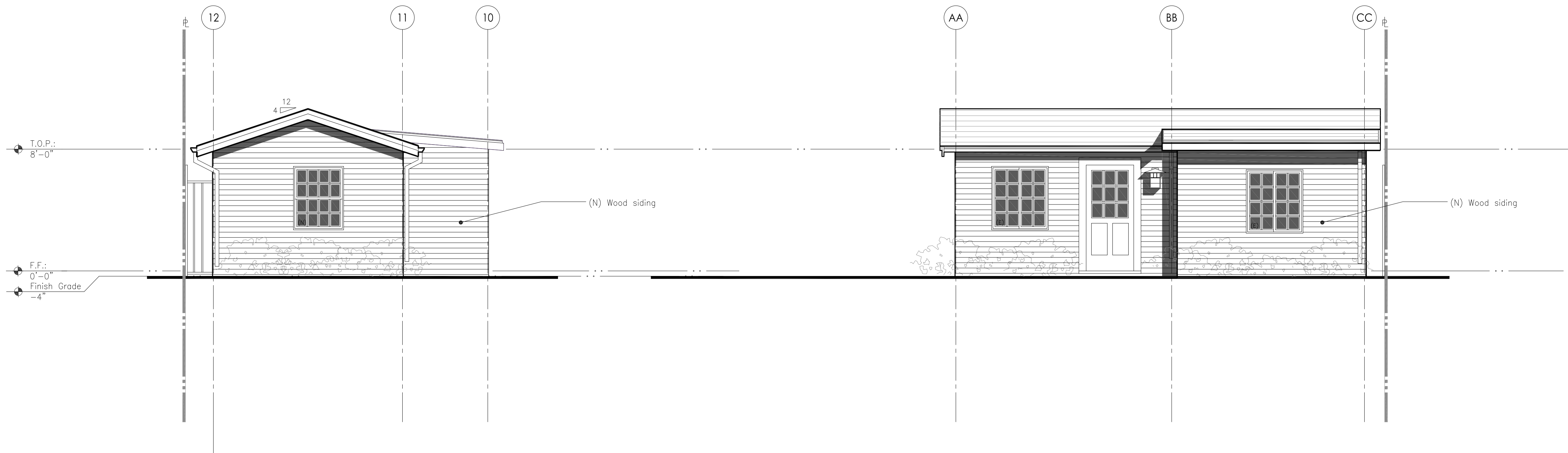
- No trees will be removed as part of this permit.
- All existing landscaping & irrigation shall remain and be repaired/ rehabilitated in areas affected by new construction.



1 Existing Elevation: Accessory Structure
South (Front)

East (Right Side)

1/4" = 1'-0"



2 Proposed Elevation: ADU
South (Front)

East (Right Side)

1/4" = 1'-0"

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3. New Landscaping
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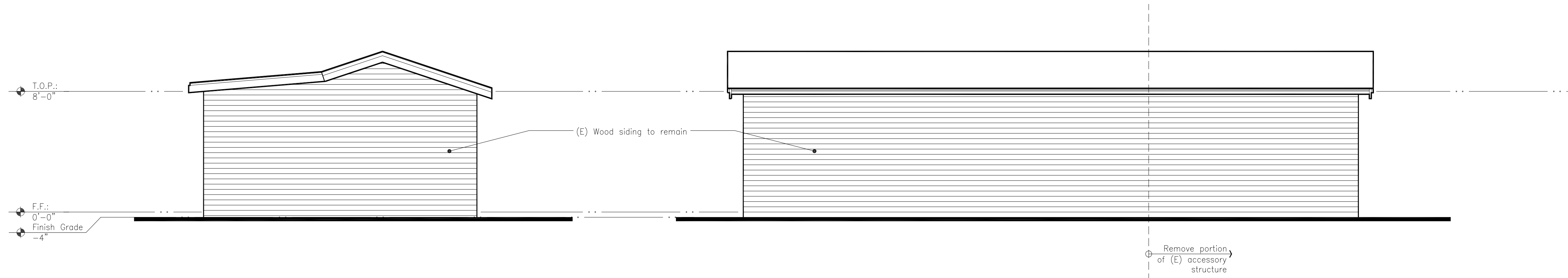
Planning Re-submittal: 08/23/2021

Planning Re-submittal: 10/07/2021

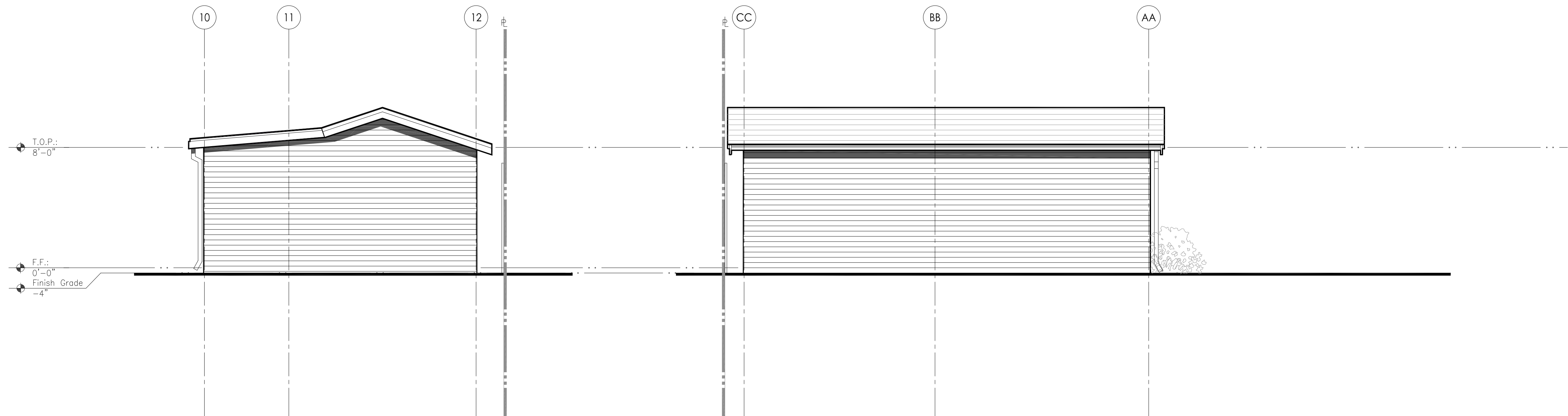
Exterior Elevation:
South (Front) & East (Right)
Accessory Structure/ADU

A4.5

2009



1 Existing Elevation: Garage
North (Back) West (Left Side) 1/4" = 1'-0"



2 Proposed Elevation: ADU
North (Back) West (Left Side) 1/4" = 1'-0"

Typical Exterior Materials

1. Finished Grade (unchanged)
2. Existing Landscaping to remain
3. New Landscaping
4. Existing concrete porch
5. New concrete porch / steps
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