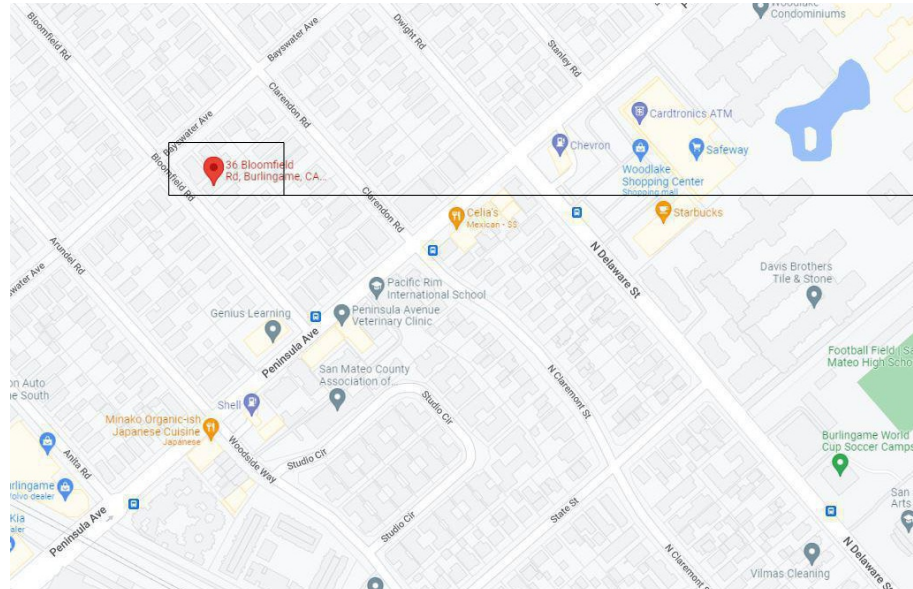


# 36 BLOOMFIELD RD.

## BURLINGAME, CA 94010

### VICINITY MAP:



PROPERTY LOCATION / NTS

### PROJECT DATA:

ASSESSOR'S PARCEL NUMBER: 029293260  
PROJECT TYPE: NEW CONSTRUCTION  
PROJECT LOCATION: 36 BLOOMFIELD RD.  
BURLINGAME, CA., 94010  
R1  
ZONING: R - 3 / U  
OCCUPANCY GROUP: V - B  
CONSTRUCTION TYPE: TWO(2)  
NUMBER OF FLOORS: SPRINKLERED  
FIRE PROTECTION:

THE SCOPE OF RENOVATION (COMBINATION OF ADDITION AND INTERIOR REMODEL) EXCEEDS 750 SQUARE FEET, THEREFORE A FIRE SPRINKLER SYSTEM IS REQUIRED TO BE INSTALLED THROUGHOUT THE RESIDENCE.

570 SF DETACHED ADU WILL BE REVIEWED UNDER A SEPARATE BUILDING PERMIT.

### CODE EDITIONS:

A. CALIFORNIA RESIDENTIAL: 2022 EDITION  
B. CALIFORNIA BUILDING: 2022 EDITION  
C. CALIFORNIA MECHANICAL: 2022 EDITION  
D. CALIFORNIA PLUMBING: 2022 EDITION  
E. CALIFORNIA ELECTRICAL: 2022 EDITION  
F. CALIFORNIA ENERGY: 2022 EDITION  
G. CALIFORNIA FIRE: 2022 EDITION  
H. CALIFORNIA GREEN BUILDING: 2022 EDITION  
I. ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS.

### AREA CALCULATION:

LOT AREA: 7875 SQF  
"E" 1ST FLOOR: 1616 SQF  
"N" ADDITION TO 1ST FLOOR: 246 SQF  
"N" 1ST FLOOR: 1862 SQF  
"N" 2ND FLOOR: 1145 SQF  
"N" COVERED PORCH: 65 SQF  
"E" DETACHED GARAGE: 570 SQF  
"N" TOTAL BUILDING: 3007 SQF

MAX. FAR: 32% X 7875 + 1100 + 400 = 4020 SF

LOT COVERAGE: 1ST FLOOR BLDG AREA (1862) SQF  
COVERED PORCH: 65 SQF  
TOTAL % 1927/7875= 24.4%

AVERAGE TOP OF CURB: (27.88' + 28.36')/2 = 28.12'  
ALLOWED HEIGHT: 28.12' + 30' = 58.12' (30'-0" ABOVE AVERAGE TOP OF CURB)  
EXISTING: 28.12' + 16.583' = 44.75'  
PROPOSED: 28.12' + 26.583' = 54.75'

### SCOPE OF WORK:

-ADDITION AND REMODELING AT REAR SIDE OF THE HOUSE TO HAVE A NEW LARG KITCHEN FAMILY.  
-ADDITION AT FRONT SIDE OF THE HOUSE TO HAVE A NEW ENTRY INCLUDING POWDER AND CLOSET AND CONVERT THE LIVING ROOM TO OFFICE  
-ADDITION AT LEFT SIDE OF THE HOUSE TO HAVE A BATHROOM FOR OFFICE.  
-BUILD A NEW 2ND STORY TO HAVE MASTER BEDROOM INCLUDING MASTER BATH AND WALK-IN CLOSET, TWO BEDROOMS, BATHROOM, AND LAUNDRY.

### PROJECT CONTACT:

OWNER: NASIM NOVIN  
NNOVIN@GMAIL.COM  
DESIGNER: AMS DESIGN  
(415) 254-1606  
4010 MOORPARK AVE#101, SAN JOSE, CA 95117  
AZADEH@AMSDESIGNLLP.COM  
STRUCTURAL: AMS DESIGN  
(415) 254-2634  
4010 MOORPARK AVE#101, SAN JOSE, CA 95117  
ARMIN@AMSDESIGNLLP.COM  
T24 & ENERGY: AMS DESIGN  
(415) 254-1606  
4010 MOORPARK AVE#101, SAN JOSE, CA 95117  
OFFICE@AMSDESIGNLLP.COM

### DRAWING INDEX:

A-00.01: COVER SHEET / PROPOSED SITE PLAN  
T-1: BOUNDARY AND TOPOGRAPHIC SURVEY MAP  
A-00.02: BLOCK AVERAGE FOR FRONT SETBACK  
C-1: COVER SHEET (G&D)  
C-2: GRADING & DRAINAGE PLAN  
C-3: DETAILS  
C-4: EROSION CONTROL PLAN  
C-5: CONSTRUCTION BMP  
L-1:: LANDSCAPE PLAN  
L-2:: IRRIGATION PLAN  
L-3:: IRRIGATION NOTES  
L-4:: NOTES  
L-5:: TRELLIS AND FIREPLACE DETAIL  
RA-01.01: EXISTING FLOOR PLAN(MAIN HOUSE)  
RA-02.01: EXISTING ELEVATIONS(MAIN HOUSE)  
RA-02.02: EXISTING PLAN & ELEVATIONS (ADU)  
A-01.01: PROPOSED 1ST FLOOR PLAN  
A-01.02: PROPOSED 2ND FLOOR & ROOF PLAN  
A-02.01: PROPOSED ELEVATIONS  
A-02.02: PROPOSED ELEVATIONS  
A-03.01: PROPOSED SECTIONS  
A-04.01: FLOOR AREA DIAGRAM / EXTERIOR MATERIAL SCHEDULE  
A-04.02: EXISTING FOOT PRINT PLAN / DEMOLITION PLAN

### SETBACK INFORMATION:

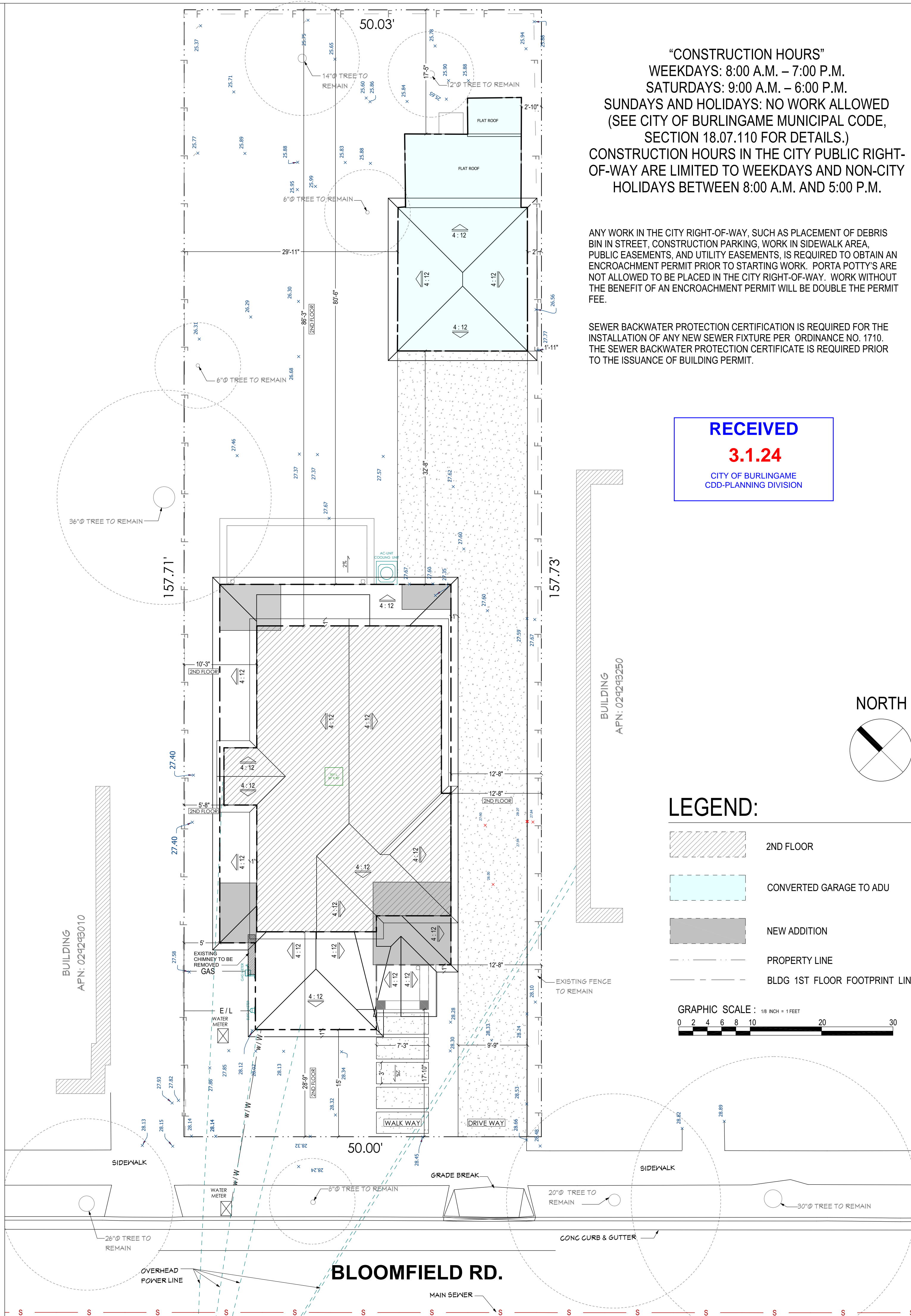
SETBACKS	EXISTING/PROPOSED 1ST	PROPOSED 2ND
FRONT	15'	28'-9"
REAR	80'-6"	86'-3"
RIGHT	12'-8"	12'-8"
LEFT	5'	5'-8"
MAIN HOUSE TO ADU	32'-8"	

### GENERAL NOTES:

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE AMS DESIGN'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PRECEDING AT HIS OWN RISK.

OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MIS-DESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY REFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MIS-DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

SITE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION (BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY AMS DESIGN IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM AMS DESIGN PRIOR TO PROCEEDING WITH ANY RELATED WORK.



"CONSTRUCTION HOURS"  
WEEKDAYS: 8:00 A.M. – 7:00 P.M.  
SATURDAYS: 9:00 A.M. – 6:00 P.M.  
SUNDAYS AND HOLIDAYS: NO WORK ALLOWED  
(SEE CITY OF BURLINGAME MUNICIPAL CODE,  
SECTION 18.07.110 FOR DETAILS.)  
CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT-  
OF-WAY ARE LIMITED TO WEEKDAYS AND NON-CITY  
HOLIDAYS BETWEEN 8:00 A.M. AND 5:00 P.M.

ANY WORK IN THE CITY RIGHT-OF-WAY, SUCH AS PLACEMENT OF DEBRIS BIN IN STREET, CONSTRUCTION PARKING, WORK IN SIDEWALK AREA, PUBLIC EASEMENTS, AND UTILITY EASEMENTS, IS REQUIRED TO OBTAIN AN ENCROACHMENT PERMIT PRIOR TO STARTING WORK. PORTA POTTYS ARE NOT ALLOWED TO BE PLACED IN THE CITY RIGHT-OF-WAY. WORK WITHOUT THE BENEFIT OF AN ENCROACHMENT PERMIT WILL BE DOUBLE THE PERMIT FEE.

SEWER BACKWATER PROTECTION CERTIFICATION IS REQUIRED FOR THE INSTALLATION OF ANY NEW SEWER FIXTURE PER ORDINANCE NO. 1710. THE SEWER BACKWATER PROTECTION CERTIFICATE IS REQUIRED PRIOR TO THE ISSUANCE OF BUILDING PERMIT.

RECEIVED

3.1.24

CITY OF BURLINGAME  
CDD-PLANNING DIVISION



AMS DESIGN

4010 MOORPARK AVE#101,  
SAN JOSE, CA 95117  
TELL: (415)254-1606  
E-MAIL: OFFICE@AMSDESIGNLLP.COM

Azadeh Masrour

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PROJECT NAME:

**BLOOMFIELD  
RESIDENCE**

36 BLOOMFIELD RD.,  
BURLINGAME, CA 94010

REVISION TABLE:

△	REVISION DATE	BY	DEP
01	04.06.2023	S.A.	PLN
02	05.24.2023	S.B.	PLN
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SHEET TITLE:

**COVER SHEET/  
PROPOSED SITE  
PLAN**

PROJECT ID: 2206-12

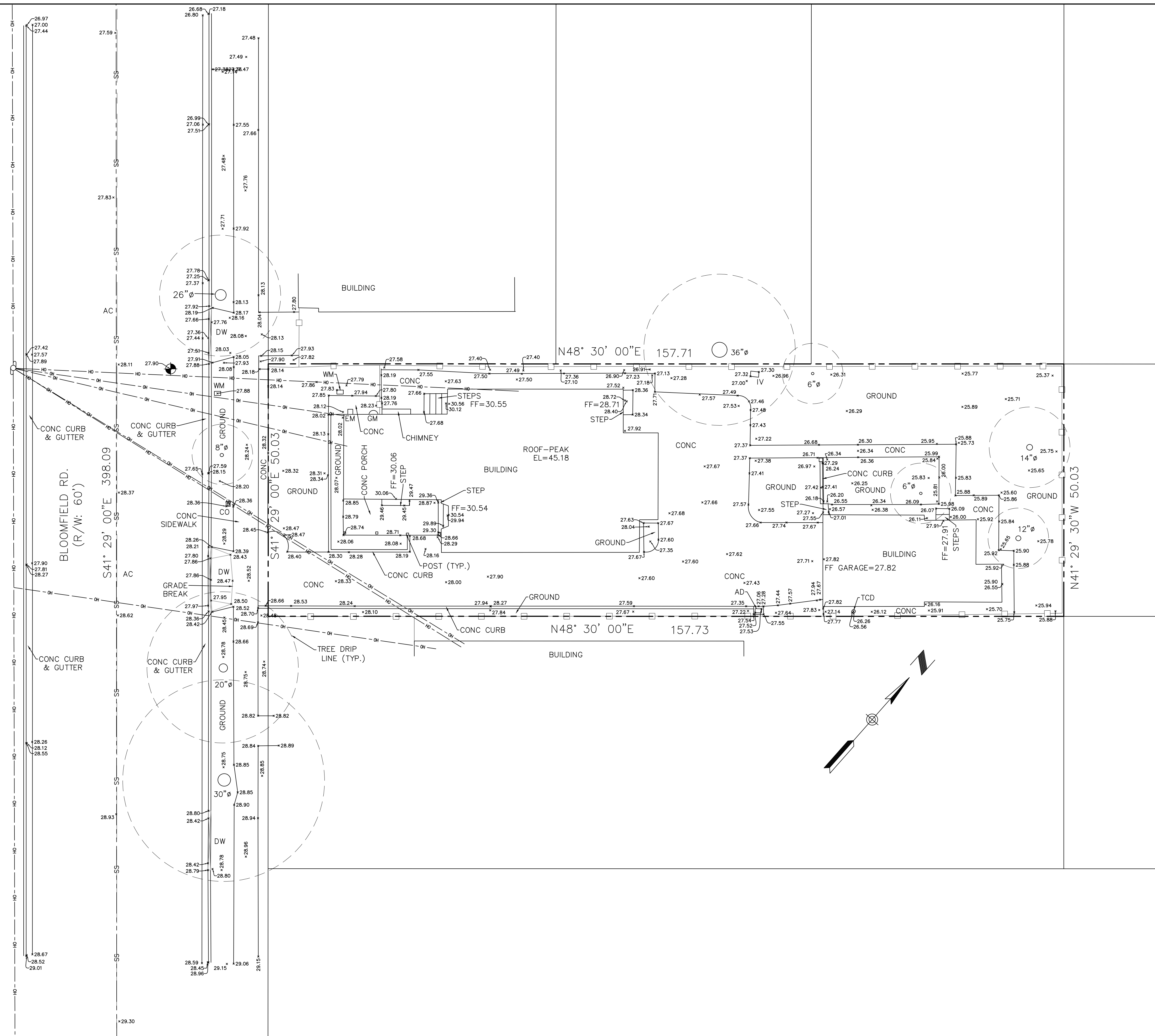
DATE: OCT.2022

SCALE: 1/8" = 1'
































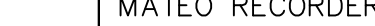
DRAWN BY: Z.H.

SHEET NUMBER:

**A-00.01**



### LEGEND

	PROPERTY LINE	AC	ASPHALT
	EXISTING LOTS	AD	AREA DRAIN
	CENTERLINE	ANC	ANCHOR
	EASEMENT LINE	BSBL	BUILDING SETBACK LINE
	SANITARY SEWER LINE	C&G	CURB AND GUTTER
	STORM DRAIN LINE	CB	CATCH BASIN
	OVERHEAD POWER LINE	CO	CLEAN OUT
	WOOD FENCE	DW	DRIVEWAY
		EB	ELECTRIC BOX
		EM	ELECTRIC METER
		EP	EDGE OF PAVEMENT
		FIH	FIRE HYDRANT
		GA	GUY ANCHOR
		GM	GAS METER
		GV	GAS VALVE
		IV	IRRIGATION VALVE
		LP	LIGHT POLE
		MB	MAIL BOX
		MH	UTILITY MANHOLE
		P.U.E.	PUBLIC UTILITY EASEMENT
		P	BRICK CONC PILLAR
		PP	POWER POLE
		(R)	RADIAL BEARING
		SL	STREET LIGHT
		SDMH	STORM DRAINAGE MANHOLE
		SSMH	SANITARY SEWER MANHOLE
		SSCO	SANITARY SEWER CLEAN OUT
		TCO	THROUGH CURB DRAIN
		TS	TRAFFIC SIGN
		VG	VALLEY GUTTER
		WM	WATER METER
		WV	WATER VALVE

DISCLAIMER:

SMP ENGINEERS OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN.

NOTE:

THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2444). SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE.

BASIS OF BEARINGS:

FOUND SURVEY MONUMENTS. RECORD INFORMATION WAS USED. PER RECORD MAP, BOOK/VOL (LLS): 46 PAGE: 28 WHICH IS FILED IN THE COUNTY OF SAN MATEO RECORDER'S OFFICE.

PROJECT BENCHMARK:

NGS BENCHMARK BM # 0556  
ELEVATION=30.8' (NAVD 88 DATUM)

SITE BENCHMARK:

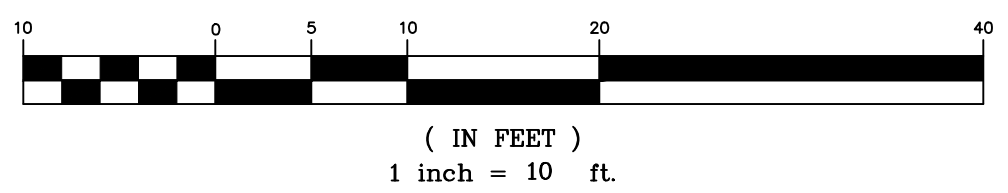
SURVEY CONTROL SET MAG NAIL  
ELEVATION=27.90' (NAVD 88 DATUM)

NOTES:

1. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.
2. THE GROSS AREA OF LAND OF RECORD IS 7,890.69 SQ. FT. ±.
3. THE MAP WAS BASED ON A GRANT DEED DOC.# 60969 BY FIDELITY NATIONAL TITLE CO. DATED 08/16/2022, RECORDED IN SAN MATEO COUNTY.
4. ALL EXISTING BUILDINGS ARE WOOD.
5. FOR PRECISE SPECIES OF TREES A CERTIFIED ARBORIST SHALL BE CONSULTED.
6. THIS DRAWING REPRESENTS A TOPOGRAPHIC SURVEY PREPARED IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE PROPERTY LINES SHOWN HEREON ARE COMPILED FROM RECORD DATA AND REPRESENT THE BEST GRAPHICAL FIT BETWEEN RECORD INFORMATION AND THE TOPOGRAPHICAL FEATURES SURVEYED AND SHOULD NOT BE RELIED UPON OR USED FOR ANY OTHER PURPOSES. PURSUANT TO THE CLIENT'S DIRECTION A BOUNDARY SURVEY WAS NOT PERFORMED AT THIS TIME WHICH MAY HAVE DETERMINED THE ACTUAL PROPERTY LINES.

SCALE 1"= 10'

GRAPHIC SCALE



36 BLOOMFIELD RD.  
BURLINGAME, CA 94010  
APN: 029-293-260



# SMP ENGINEERS

**CIVIL ENGINEERS—LAND SURVEYORS**

---

1534 Carob Lane                      Los Altos, CA 94024  
Tel. (650) 941-8055                  Fax (650) 941-8755

Scale:  
1" = 10'  
Prepared by:  
J.N.  
Checked by:  
R.M.  
Date:  
01/26/2023  
Project No:  
222166

# PRELIMINARY BOUNDARY AND TOPOGRAPHIC SURVEY MAP

Sheet No:

T-1

◇	REVISIONS	DESIGN BY	DESIGN DATE	CITY APPR.	APPR. DATE

## CITY OF BURLINGAME



AMSDESIGN

4010 MOORPARK AVE#101,  
SAN JOSE, CA 95117  
TELL: (415)254.1606  
E-MAIL: OFFICE@AMSDSIGNLLP.COM

Azadeh Masrour

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PROJECT NAME:

BLOOMFIELD RESIDENCE

36 BLOOMFIELD RD.,  
BURLINGAME, CA 94010

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SHEET TITLE:

BLOCK AVERAGE FOR FRONT SETBACK

PROJECT ID: 2206-12

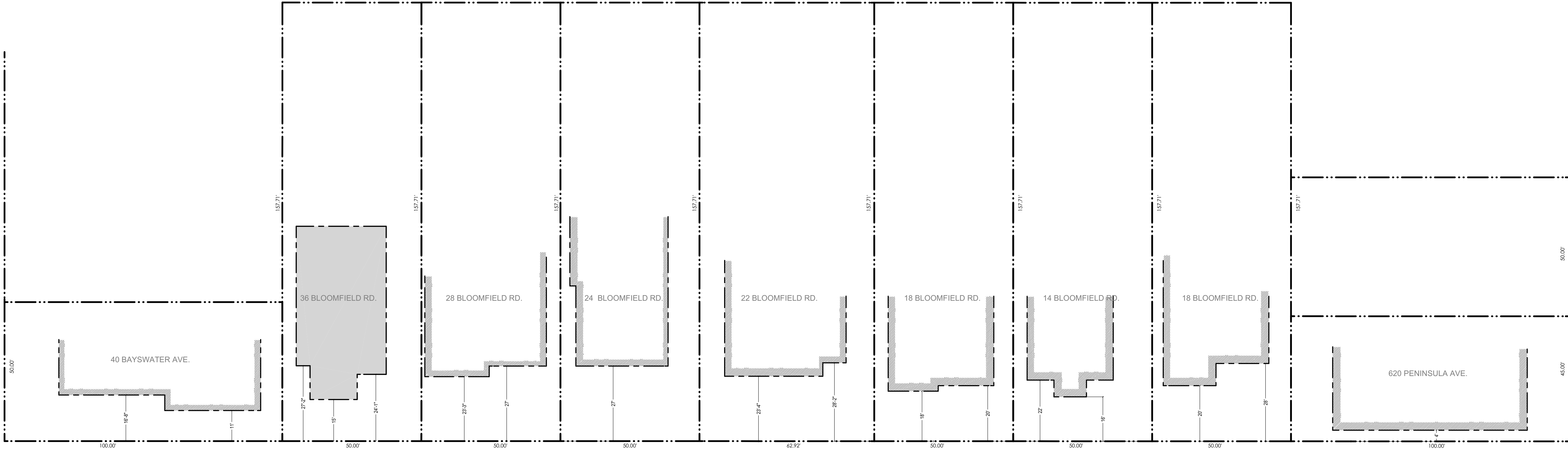
DATE: OCT.2022

SCALE: 1/18" = 1'

DRAWN BY: Z.H.

SHEET NUMBER:

A-00.02



BLOOMFIELD RD.

1 BLOCK AVERAGE FOR FRONT SETBACK

SC : 1/18" = 1'-0"

SETBACK INFORMATION:

SETBACKS	EXISTING	PROPOSED 1ST / PROPOSED 2ND	ALLOWED 1ST FLR. / ALLOWED 2ND FLR.
FRONT	15'	15' / 28'-9"	20' AVERAGE BLOCK
REAR	80'-6"	80'-6" / 86'-6"	4' / 4'
RIGHT	12'-8"	12'-8" / 12'-8"	4' / 4'
LEFT	5'	5' / 5'-8"	15' / 20'
MAIN HOUSE TO ADU		32'-8"	

LEGEND:

- SUBJECT PARCEL
- PROPERTY LINE
- BLDG 1ST FLOOR FOOTPRINT LINE



ABBREVIATIONS			
DESCRIPTION		DESCRIPTION	
AB	AGGREGATE BASE	LIP	LIP OF GUTTER
AC	ASPHALT CONCRETE	LP	LOW POINT
AD	AREA DRAIN	MON	MONUMENT
BFL	BACKFLOW PREVENTOR	(N)	NEW
BOW	BOTTOM OF WALL	OG	ORIGINAL GROUND
BW	BACK OF SIDEWALK	PB	PULL BOX
C&G	CURB AND GUTTER	PGEV	PG&E VAULT
C/L	CENTERLINE	R,P/L	PROPERTY LINE
CLSW	CENTERLINE SWALE	PP	POWER POLE
CO	CLEANOUT	PPP	PLASTIC PERFORATED PIPE
CP	CONTROL POINT	PSE	PUBLIC SERVICE EASEMENT
DWY	DRIVEWAY	PVC	POLYVINYL CHLORIDE
DI	DROP INLET	R/W	RIGHT OF WAY
DTL	DETAIL	RCP	REINFORCED CONCRETE PIPE
ELCT	ELECTRIC	SD	STORM DRAIN
EP	EDGE OF PAVEMENT ELEVATION	SDMH	STORM DRAIN MANHOLE
EUC	EUCALYPTUS TREE	STD	STANDARD
(E).EX	EXISTING	SS	SANITARY SEWER
FF	FINISH FLOOR	SSMH	SANITARY SEWER MANHOLE
FG	FINISH GRADE	SW	SIDEWALK
FH	FIRE HYDRANT	TC	TOP OF CURB
FL	FLOWLINE	TF	TOP OF FOUNDATION
FNC	FENCE	TG	TOP OF GRATE
FOC	FACE OF CURB	TOD	TOP OF DECK
GB	GRADE BREAK	TOS	TOP OF SLAB
GUY	GUY WIRE	TP	TOP OF PAVEMENT
HP	HIGH POINT	TW	TOP OF WALL
DIP	DUCTILE IRON PIPE	(TYP)	TYPICAL
INV	INVERT	VCP	VITRIFIED CLAY PIPE
JP	JOINT POLE	WL	WHITE LINE STRIPE
JB	JUNCTION BOX (UTILITY)	WLK	WALKWAY
		WM	WATER METER
		WV	WATER VALVE

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
		FILL AREA LIMIT
		CUT AREA LIMIT
		CONTOUR
		WATER LINE
		STORM DRAIN PIPE (SOLID)
		SANITARY SEWER PIPE
		SUBDRAIN PIPE (PERFORATED)
		OVERHEAD UTILITIES WITH POLE
		GAS LINE
		ELECTRIC LINE (UNDERGROUND)
		JOINT TRENCH (UNDERGROUND)
		STREET LIGHT VAULT
		SANITARY SEWER CLEANOUT
		SANITARY SEWER MANHOLE
		STORM DRAIN MANHOLE
		SURVEY CITY MONUMENT
		ELECTROLIER
		WATER METER
		TREE WITH TRUNK
		6' WOODEN FENCE
		SPOT ELEVATION
		TREE PROTECTION FENCE
		5' TALL CHAIN LINK
		EARTH SWALE
		CONCRETE SWALE
		AREA DRAIN/ INLET
		OVERLAND RELEASE PATH
		GRADE TO DRAIN, 2% MIN. AWAY FROM HOUSE
		1% MIN. FROM PROPERTY LINE TO SWALE
		(E) TREE TO BE REMOVE
		DOWN-SPOUT
		POP-UP EMITTER
		ROOF DOWN-SPOUT, CONNECTED TO STORM DRAIN SYSTEM

GRADING AND DRAINAGE PLANS  
ADDITION SINGLE FAMILY HOUSE  
36 BLOOMFIELD RD., BURLINGAME, CA 94010  
APN: 029-293-260

GRADING AND DRAINAGE NOTES:

- SURFACE WATER SHALL BE DIRECTED AWAY FROM ALL BUILDINGS INTO DRAINAGE SWALES, GUTTERS, STORM DRAIN INLETS AND DRAINAGE SYSTEMS.
- ALL ROOF DOWNSPOUTS SHALL BE DISCONNECTED TO ON SITE INLETS.
- ON SITE STORM DRAIN LINES SHALL CONSIST OF SOLID PVC-SDR35 MINIMUM OR BETTER.
- STORM DRAIN INLETS SHALL BE PRECAST CONCRETE, CHRISTY U23 TYPE OR EQUIVALENT.

UTILITY NOTES:

- UTILITY POINTS OF CONNECTION ARE 5' OUTSIDE OF BUILDING. SEE MECHANICAL AND PLUMBING DRAWINGS FOR UTILITY CONNECTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF LOCATIONS OF ALL EXISTING UTILITIES IN THE FIELD. ALL CONTRACTORS SHALL CALL U.S.A. (1-800-227-2600) 48 HOURS BEFORE DIGGING AND OBTAIN AN IDENTIFICATION NUMBER.
- COORDINATE UTILITIES SHOWN ON THESE SHEETS WITH INSTALLATION OF ELECTRICAL, TELEPHONE, CABLE TV AND GAS.
- COORDINATE WATER LINE CONNECTION WITH CITY WATER COMPANY PRIOR TO CONNECTION TO WATER SYSTEM.
- FOR GAS AND ELECTRICAL LOCATIONS, SEE PG&E MAPS.
- ALL UTILITY TRENCHES SHOULD BE BACKFILLED WITH COMPACTED FILL IN ACCORDANCE WITH LOCAL REQUIREMENTS OR THE RECOMMENDATIONS IN THE SOILS REPORT. FILL MATERIAL SHOULD BE PLACED IN LIFTS NOT EXCEEDING 8 INCHES IN UNCOMPACTED THICKNESS AND SHOULD BE COMPACTED TO AT LEAST 90 PERCENT RELATIVE COMPACTION (ASTM D-1557, LATEST EDITION) BY MECHANICAL MEANS ONLY, EXCEPT WHERE LOCAL REQUIREMENTS SPECIFY HIGHER REQUIREMENTS. IF IMPORTED SAND IS USED AS BACKFILL, THE UPPER THREE FEET IN BUILDING AND PAVEMENT AREAS SHALL BE COMPACTED TO 95 PERCENT. THE UPPER 6 INCHES OF BACKFILL IN ALL PAVEMENT AREAS SHALL BE COMPACTED TO AT LEAST 95 PERCENT RELATIVE COMPACTION.
- SANITARY SEWER PIPE SHALL BE PVC SDR26 FOR ON SITE LINES. STORM DRAIN PIPE SHALL BE 12" REINFORCED CONCRETE PIPE (UNLESS OTHERWISE SHOWN).
- SANITARY SEWER LATERAL SHALL BE 4" PVC AT MINIMUM SLOPE OF 0.02 WITH CLEANOUT.
- WATER MAINS, SERVICES, METERS, FIRE SERVICES AND FIRE HYDRANTS BY CITY WATER COMPANY.
- THE CONTRACTOR IS RESPONSIBLE TO HAVE ALL INSTALLATIONS INSPECTED AND APPROVED BY THE RESPECTIVE UTILITY COMPANY, MUNICIPALITY, OR SOILS ENGINEER PRIOR TO ANY BACK FILLING. (48 HOUR NOTICE).
- CONSULT PARTICIPATING UTILITIES, SOILS ENGINEER, AND THE CITY FOR APPROVED BACK FILL MATERIAL. COMPACTION TO MEET LOCAL AGENCIES REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF CONSTRUCTION WITH THE RESPECTIVE UTILITY AGENCIES, ALLOWING 48 HOURS PRIOR TO THE NEED FOR INSTALLATIONS.
- ALL TRENCHES, CONDUITS, AND BOXES ARE SHOWN SCHEMATICALLY.
- CONTRACTOR TO VERIFY ALL INVERTS AND LOCATIONS OF UTILITIES PRIOR TO CONSTRUCTION.

GEOTECHNICAL REVIEW:

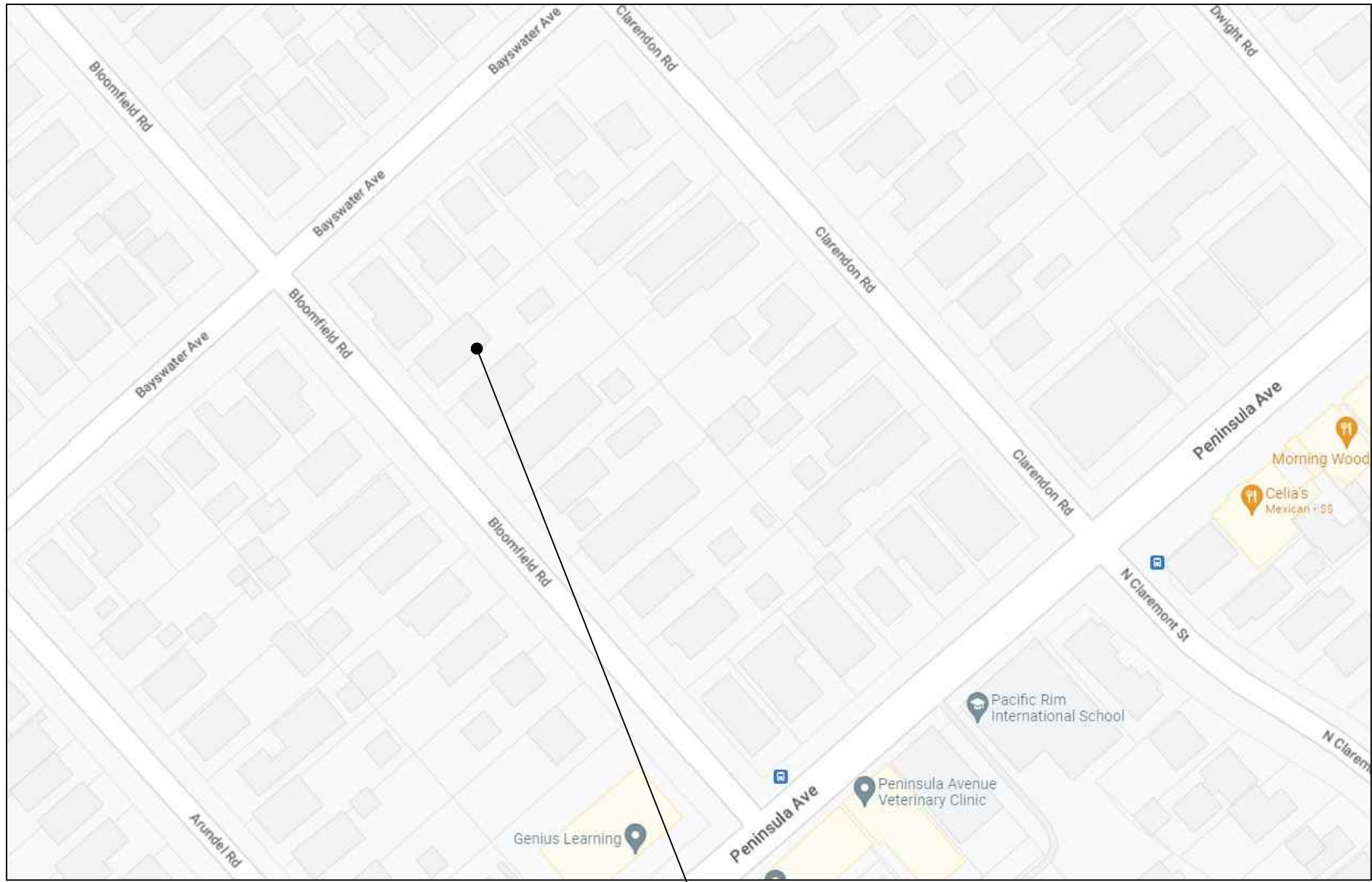
GRADING AND DRAINAGE PLANS SHALL BE REVIEWED AND APPROVED BY THE PROJECT GEOTECHNICAL/ SOILS ENGINEER. GEOTECHNICAL/ SOILS ENGINEER TO PROVIDE AND FURNISH LETTER OF APPROVAL TO CITY.

UTILITY NOTE:

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

NOTE:

CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT-OF-WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00 A.M. AND 5:00 P.M.



LOCATION MAP  
N.T.S.

INDEX OF DRAWINGS

TITLE	SHEET
COVER SHEET	C-1
GRADING AND DRAINAGE PLAN	C-2
DETAILS	C-3
EROSION CONTROL PLAN	C-4
CONSTRUCTION BMP	C-5

BASIS OF BEARINGS:

FOUND SURVEY MONUMENTS. RECORD INFORMATION WAS USED. PER RECORD MAP, BOOK/VOL (LLS):48 PAGE:28 WHICH IS FILED IN THE COUNTY OF SAN MATEO RECORDER'S OFFICE.

PROJECT BENCHMARK:

NGS BENCHMARK BM # 0556  
ELEVATION=30.8' (NAVD 88 DATUM)

SITE BENCHMARK:

SURVEY CONTROL SET MAG NAIL  
ELEVATION=27.90' (NAVD 88 DATUM)

GEOTECHNICAL NOTES:

- For compacted fill material and placement specifications see"GRADING " section , pages 7 and 8, of project Geotechnical report,( file no. SV1303), dated September 23,2014 by Silicon Valley Soils Engineering.
- Provide special inspection for compacted fill.

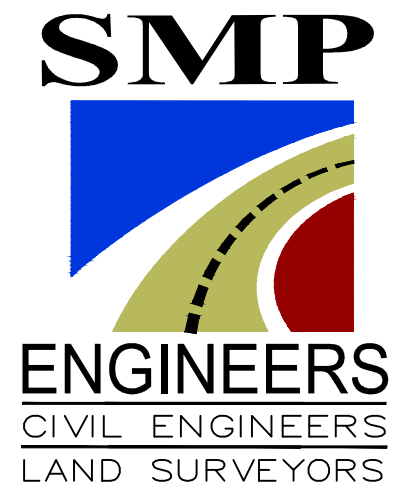
EARTHWORK TABLE

	FILL (CY)	CUT (CY)	IMPORT (CY)	EXPORT (CY)
MAIN HOUSE	1	0		
DRIVEWAY	0	24		
PORCH	2	0		
PATIO/WKY	0	9		
SITE	5	0		
TOTAL	8	33	0	25

NOTE:

- EARTHWORK QUANTITIES ON THIS TABLE ARE FOR INFORMATION ONLY. CONTRACTORS ARE TO PERFORM THEIR OWN QUANTITY TAKE OFF'S.

NOTICE TO CONTRACTORS  
CONTRACTOR TO NOTIFY U.S.A. (UNDERGROUND SERVICE ALERT) AT 800-227-2600 A MINIMUM OF 2 WORKING DAYS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION AND DEPTH OF UNDERGROUND UTILITIES.



1534 CAROB LANE  
LOS ALTOS, CA 94024  
TEL: (650) 941-8055  
FAX: (650) 941-8755

OWNER / DEVELOPER:

COPYRIGHT © 2021  
SMP ENGINEERS  
CIVIL ENGINEERS

COVER SHEET  
ADDITION SINGLE FAMILY HOUSE  
36 BLOOMFIELD RD., BURLINGAME, CA 94010  
APN: 029-293-260  
GRADING AND DRAINAGE PLANS

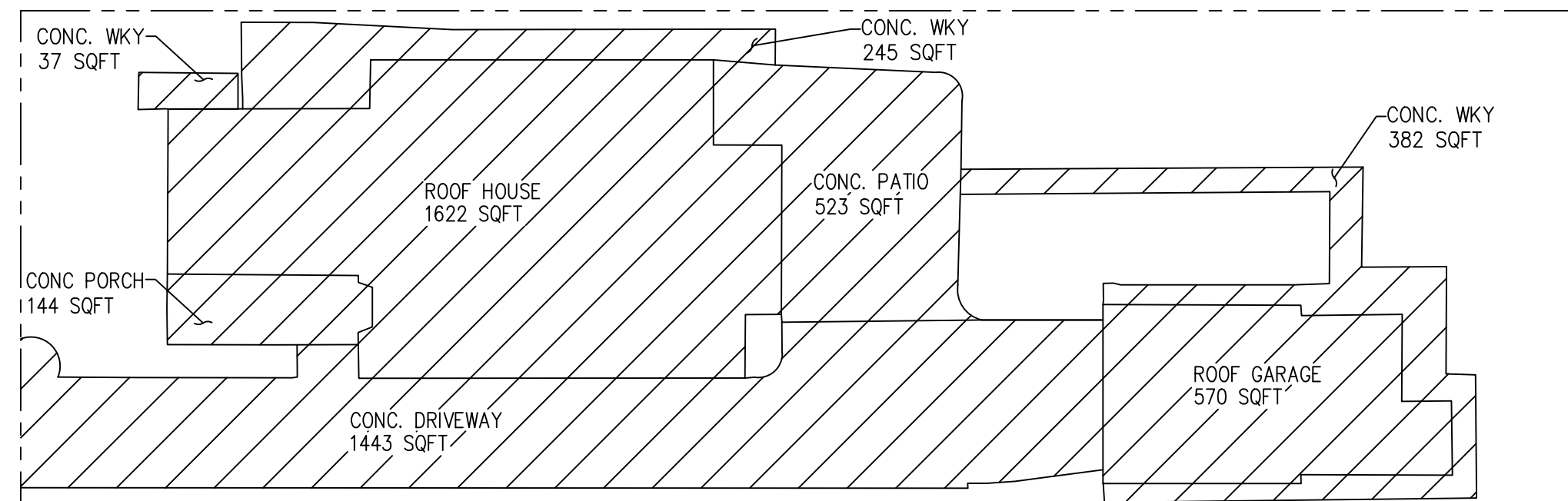
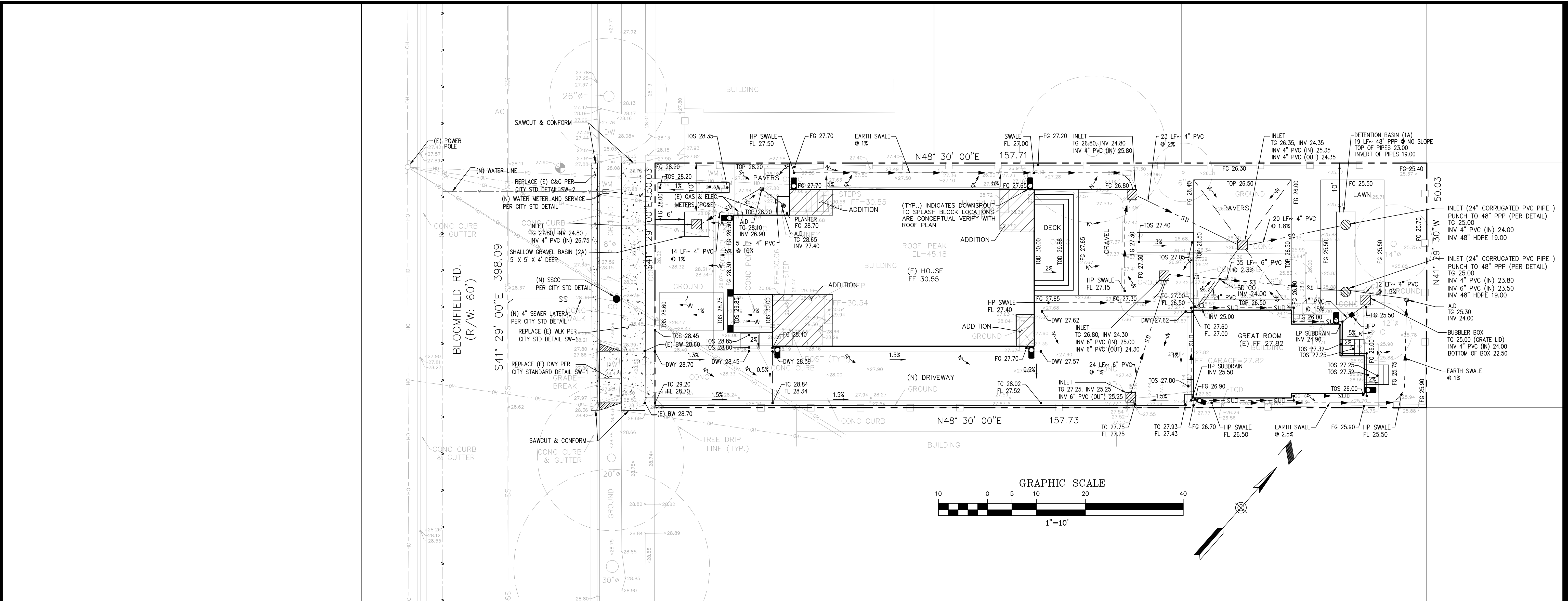
Revisions:



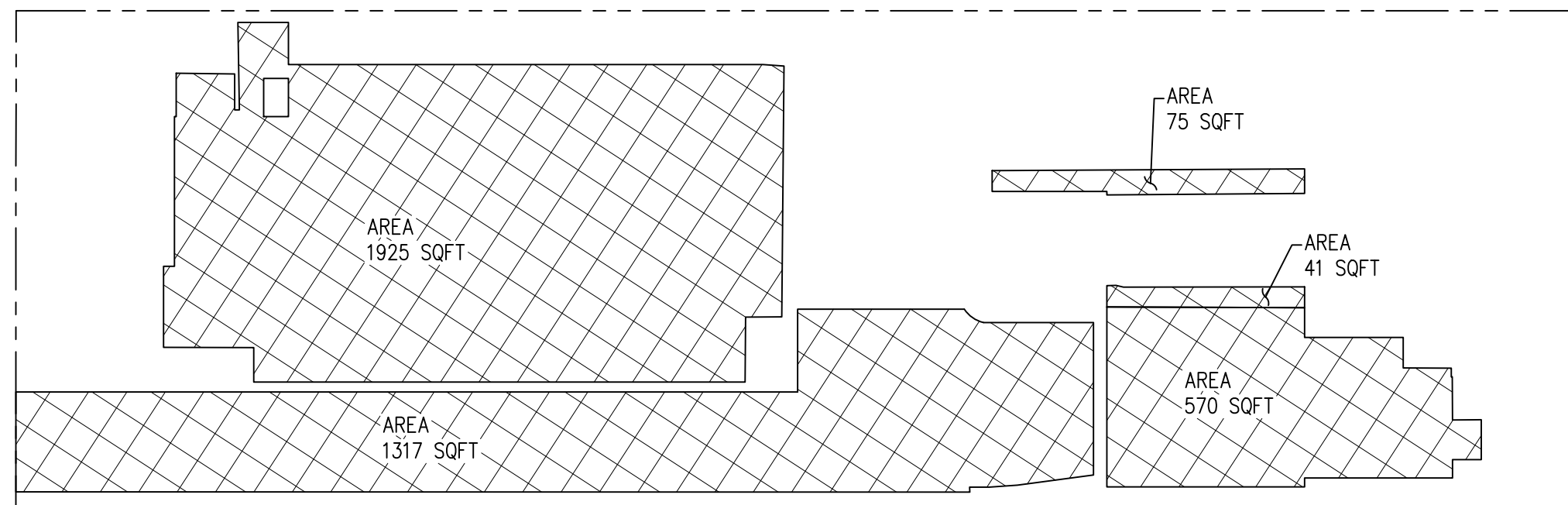
Enaid Razavi

Date: 06/09/2023  
Scale: AS SHOWN  
PREPARED BY: S.S.  
CHECKED BY: S.R.  
Job #: 223011

Sheet: 1 OF 5  
C-1

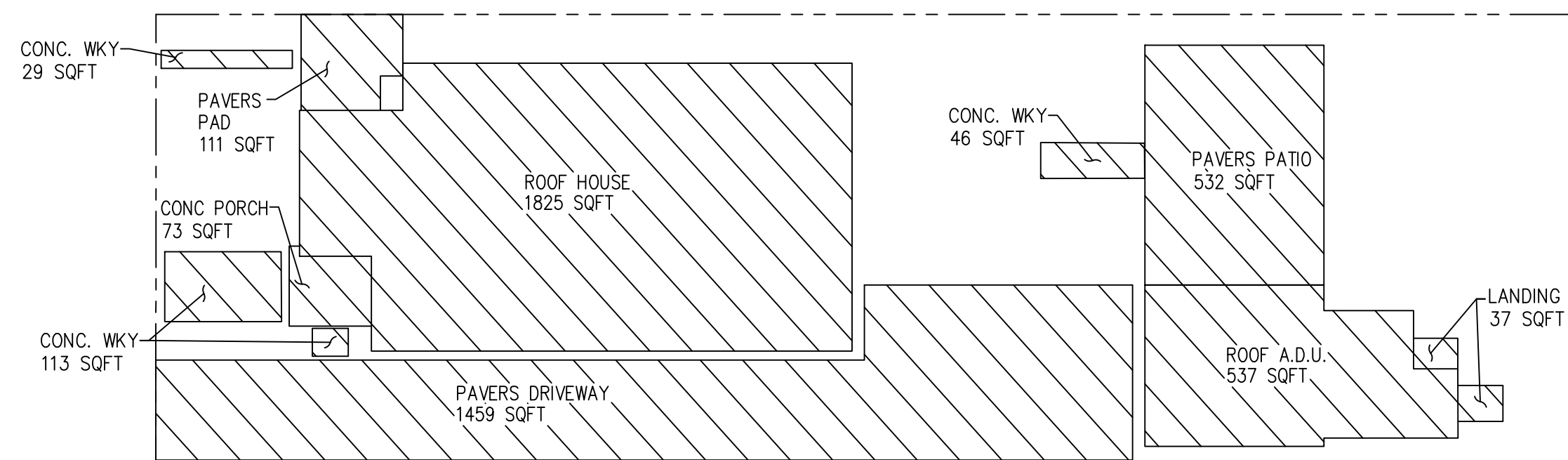


EXISTING IMPERVIOUS AREA  
TOTAL = 4966 SQFT

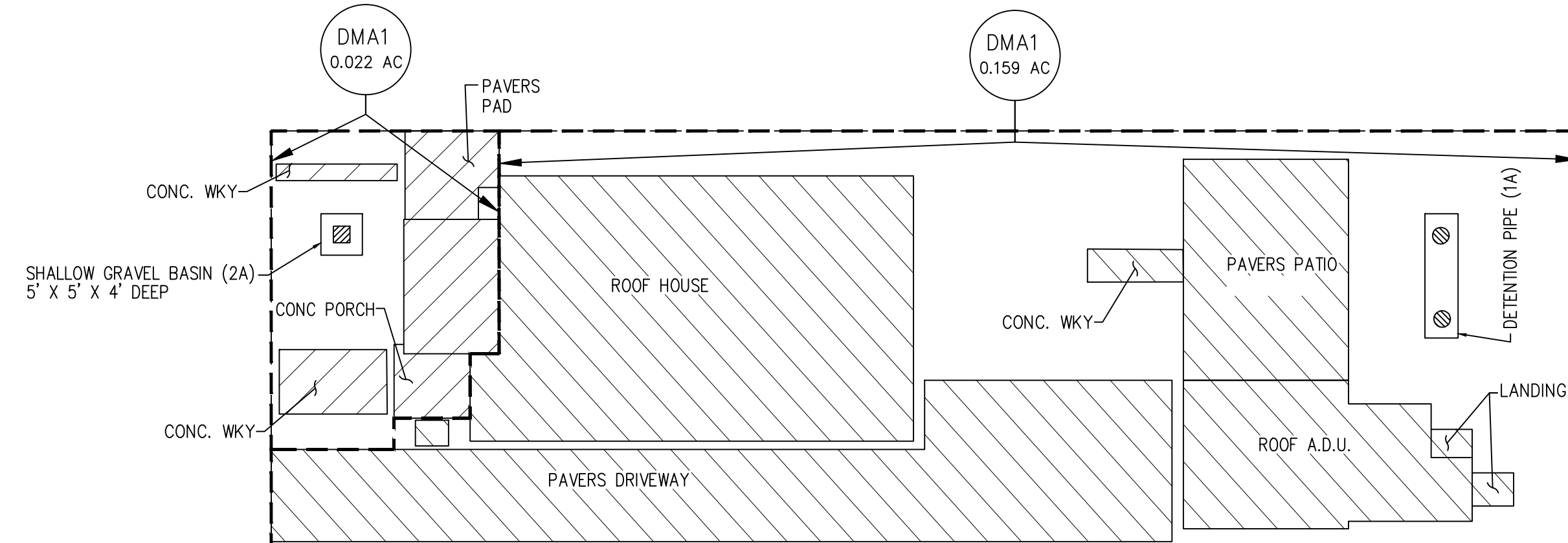


EXISTING IMPERVIOUS AREA TO BE  
REMAINED  
TOTAL = 2192 SQFT

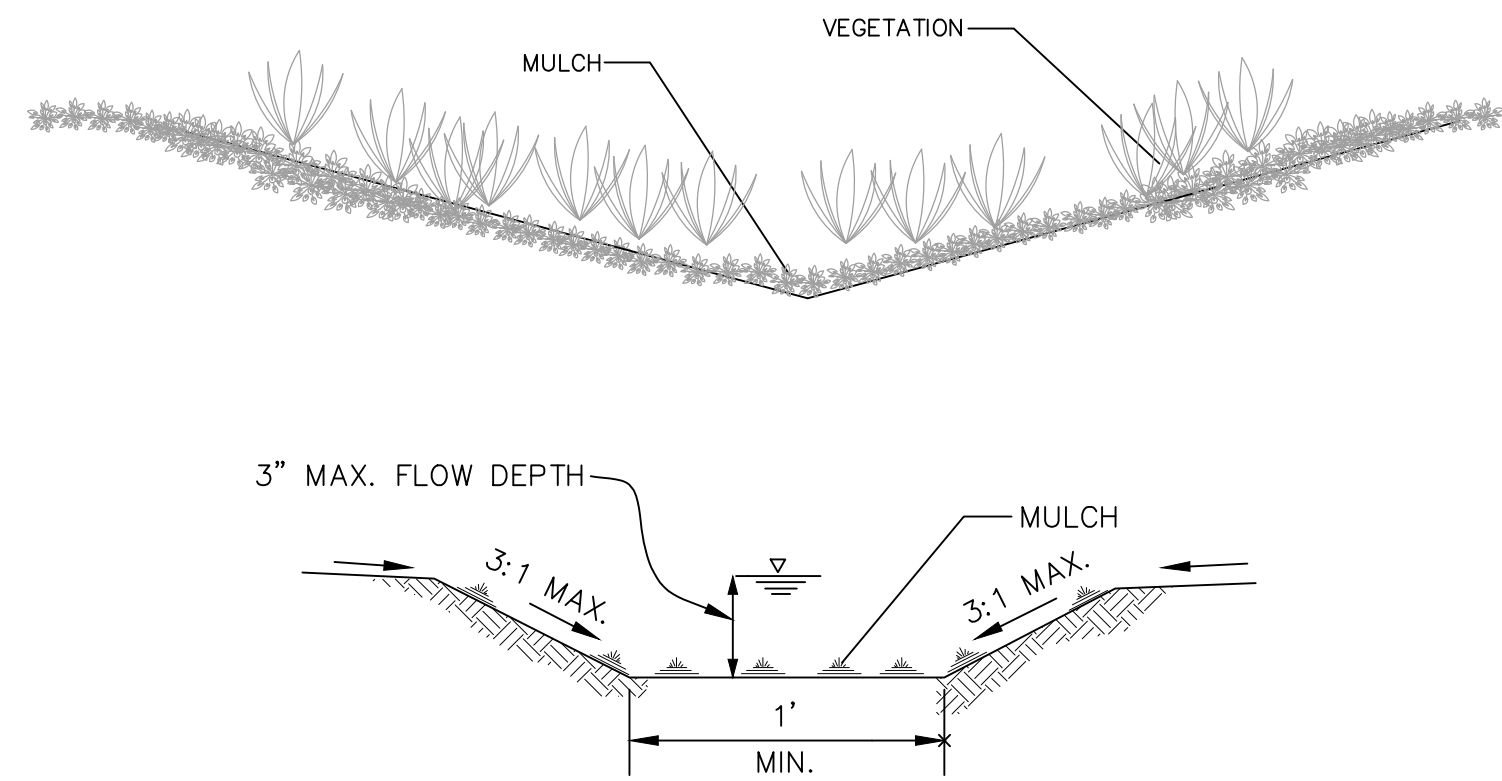
EXISTING IMPERVIOUS AREA TO BE  
REPLACED WITH NEW IMPERVIOUS AREA  
TOTAL = 1736 SQFT



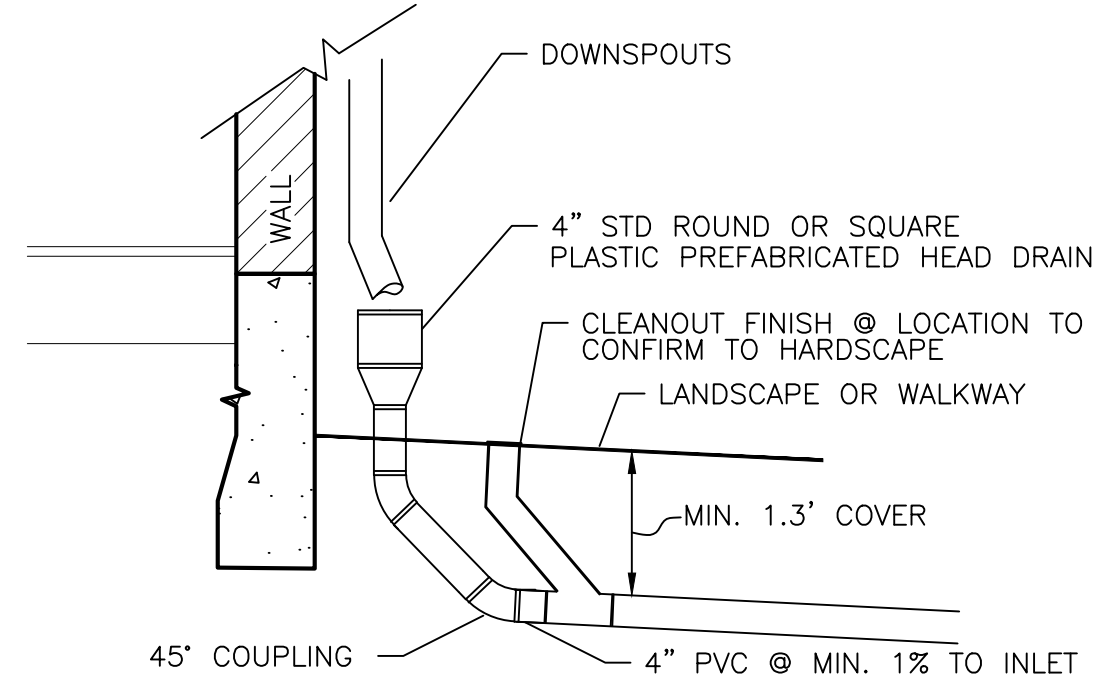
PROPOSED IMPERVIOUS AREA  
TOTAL = 4762 SQFT



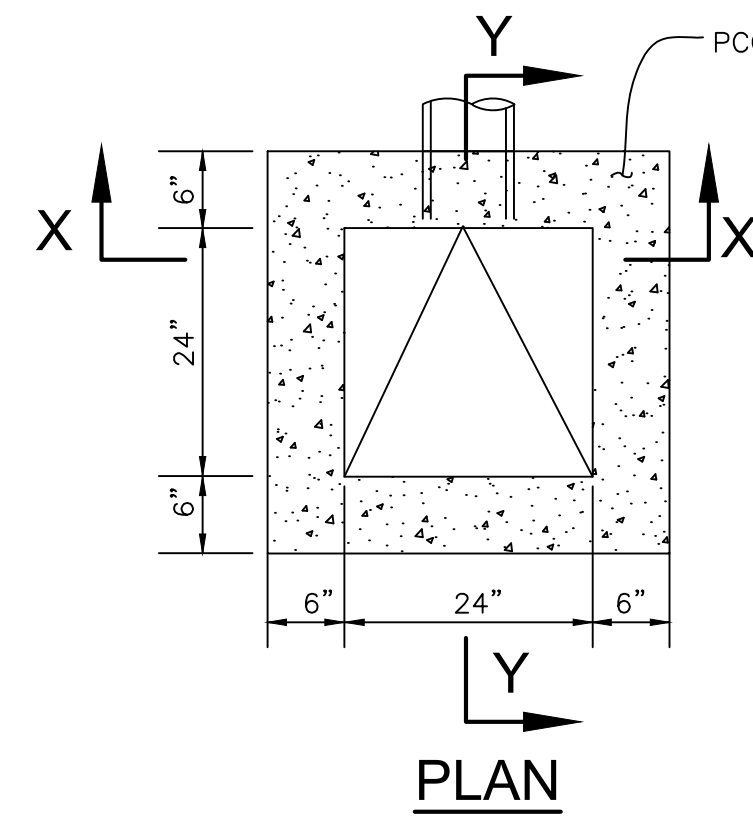
DRAINAGE MANAGEMENT PLAN



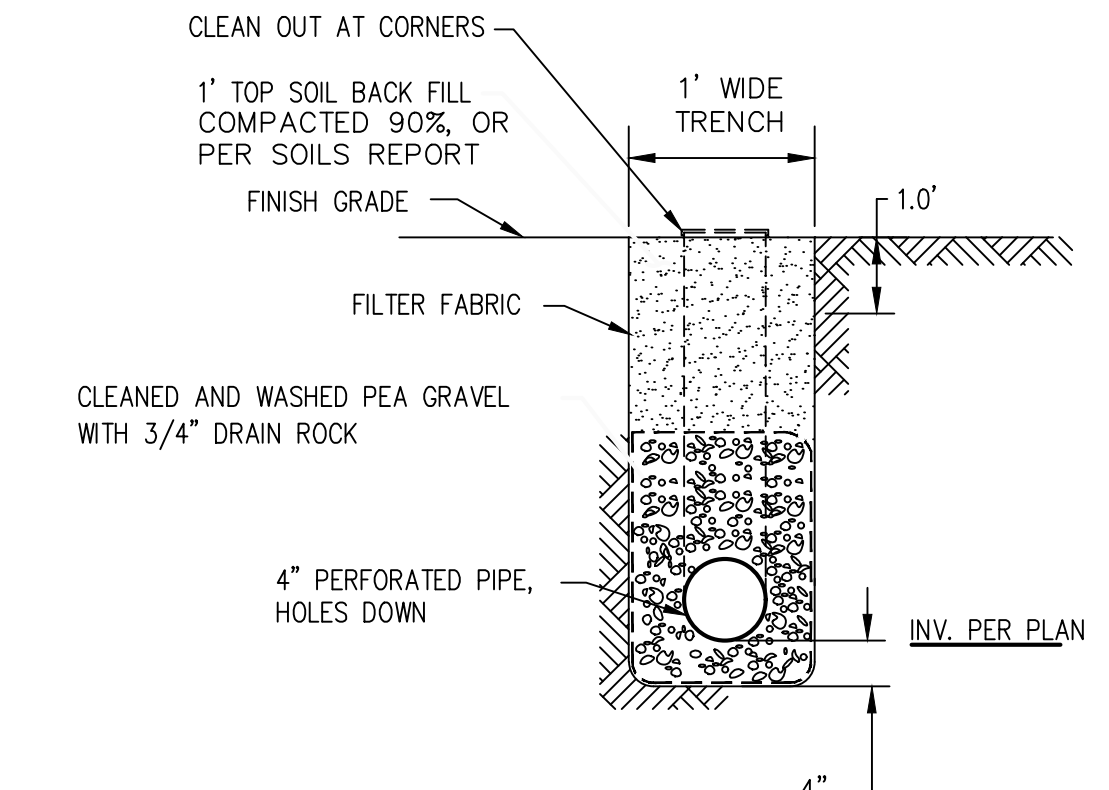
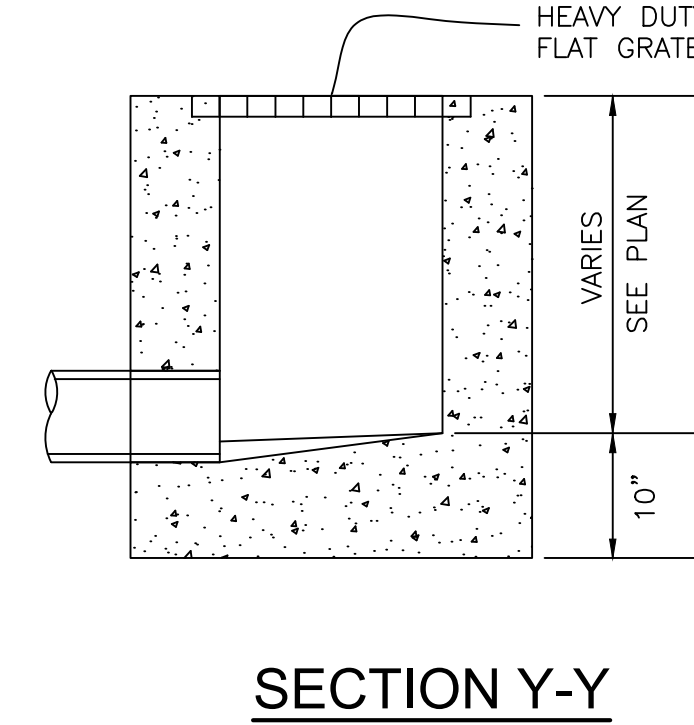
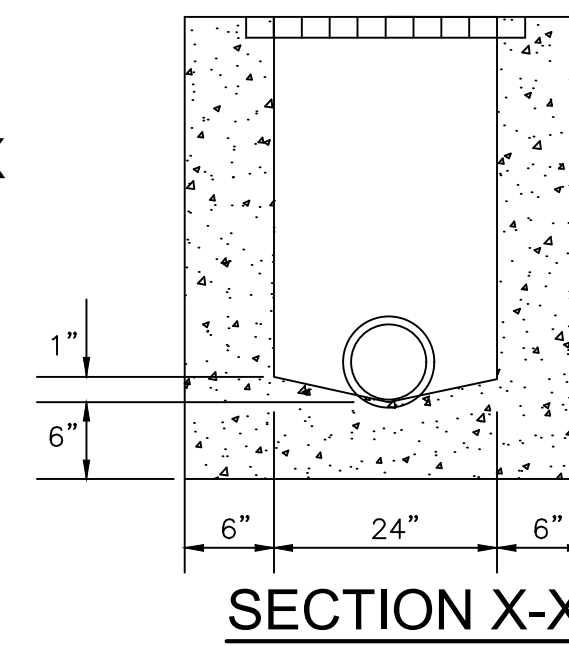
**EARTH SWALE DETAIL**  
N.T.S.



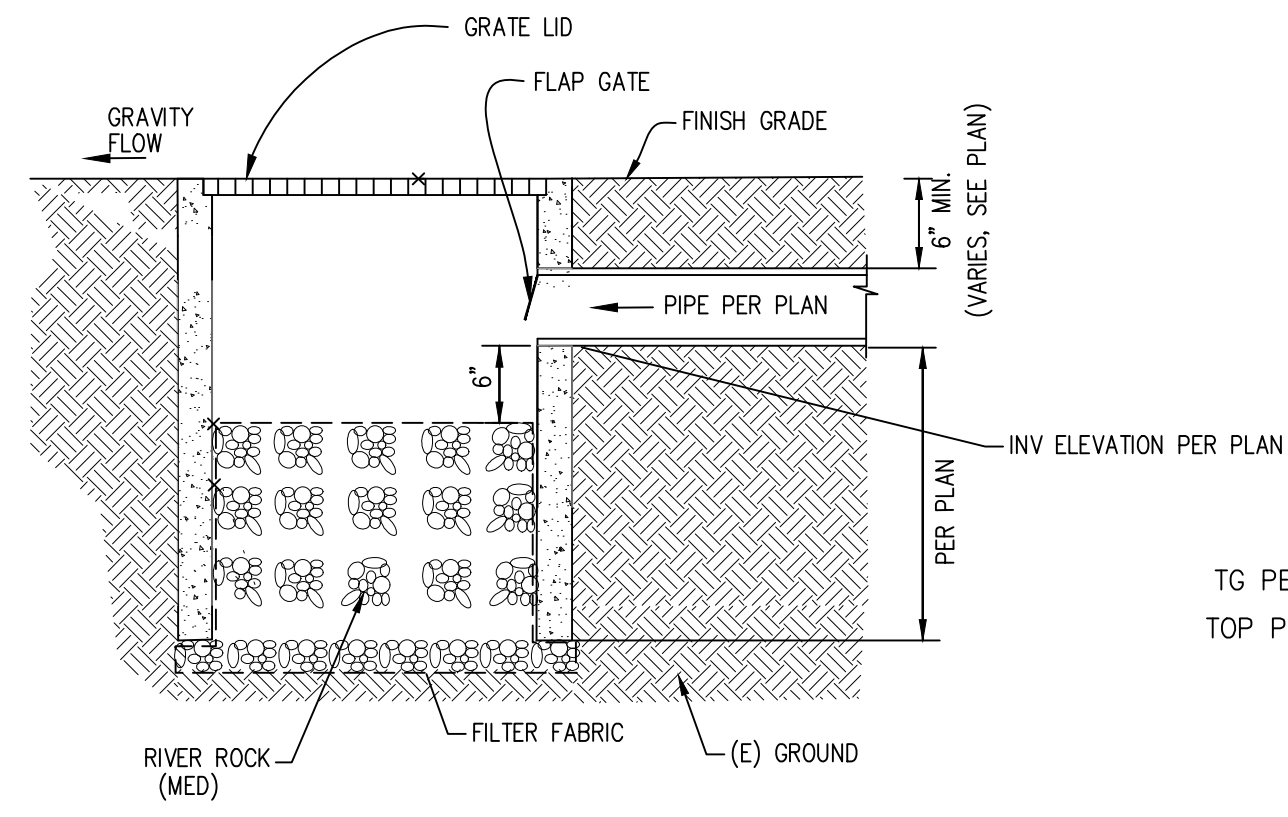
**ROOF DOWN-SPOUT CONNECTION**  
NTS



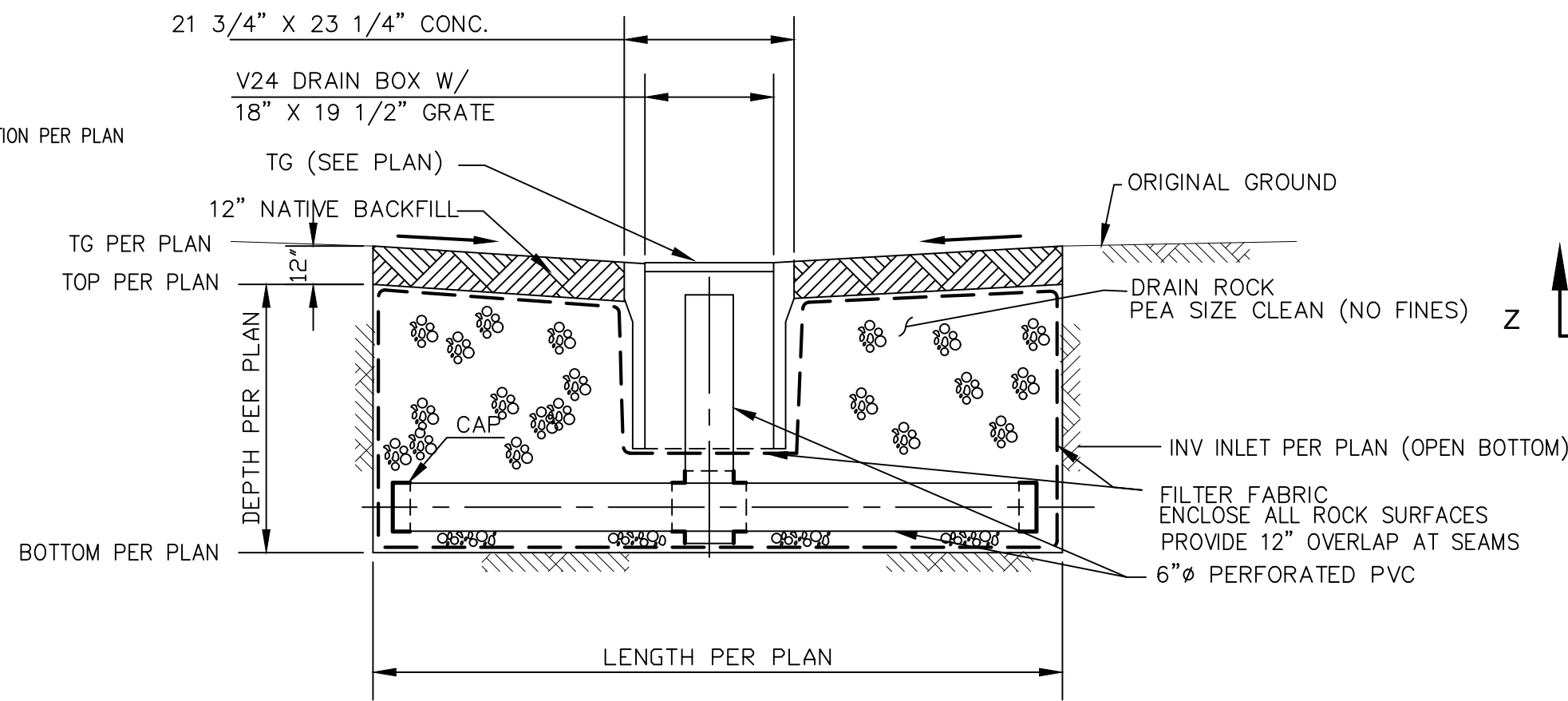
**STORM DRAIN INLET**  
N.T.S.



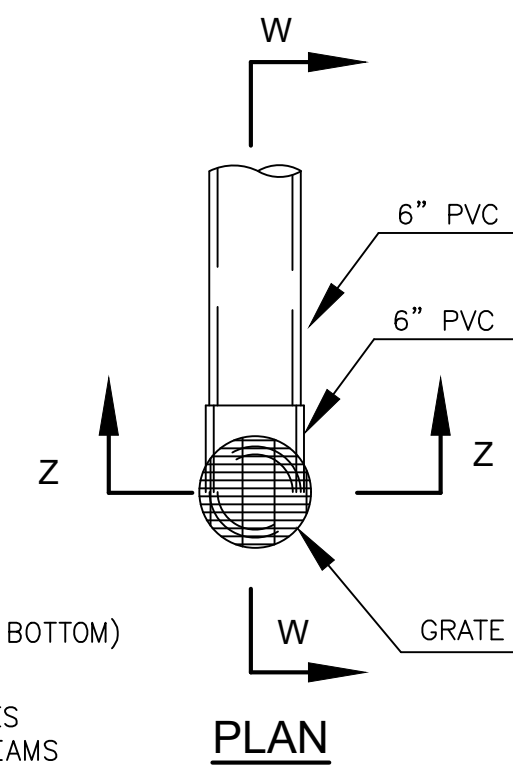
**SUBDRAIN TRENCH DETAIL**  
N.T.S.



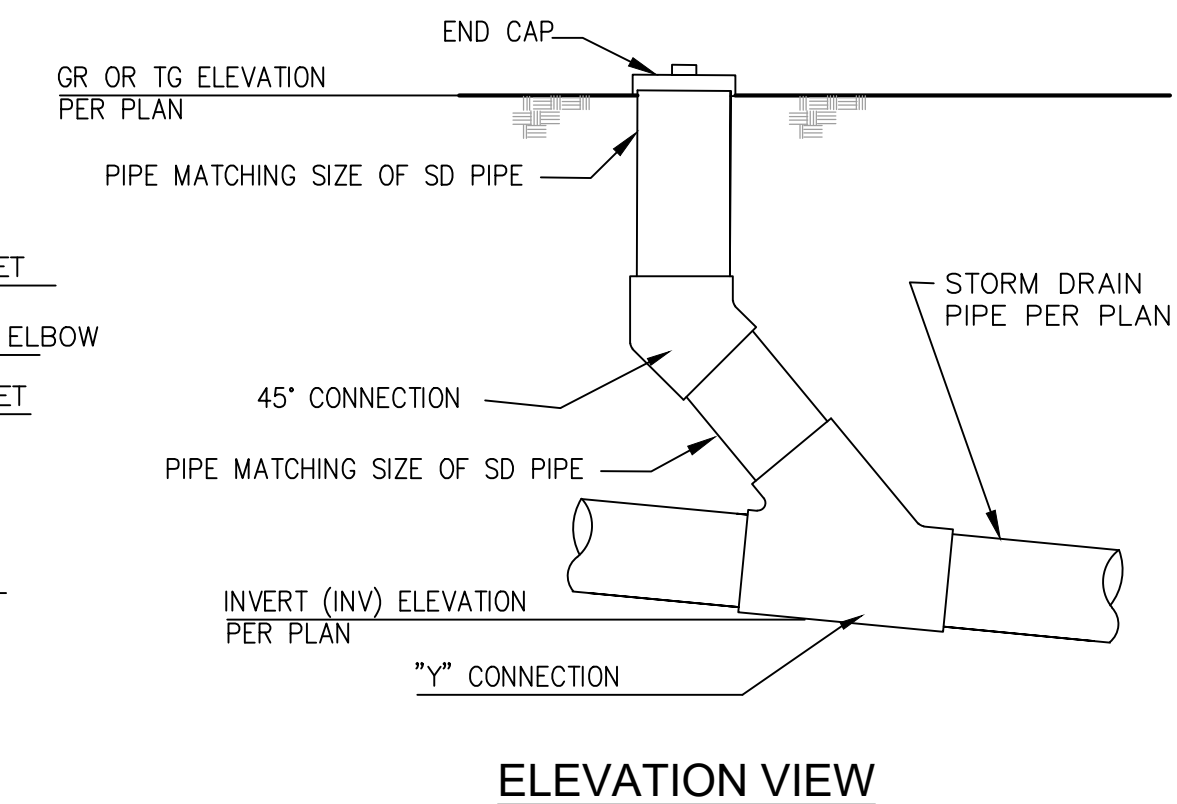
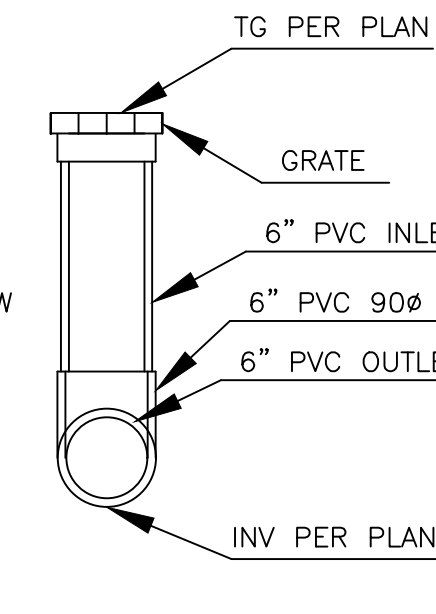
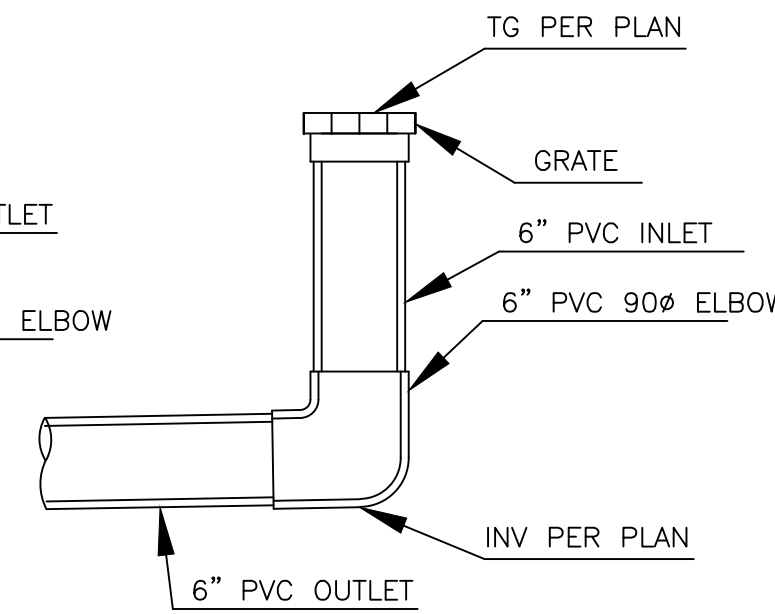
**BUBBLER BOX DETAIL**  
N.T.S.



**SHALLOW GRAVEL BASIN**  
ELEVATION VIEW- NTS



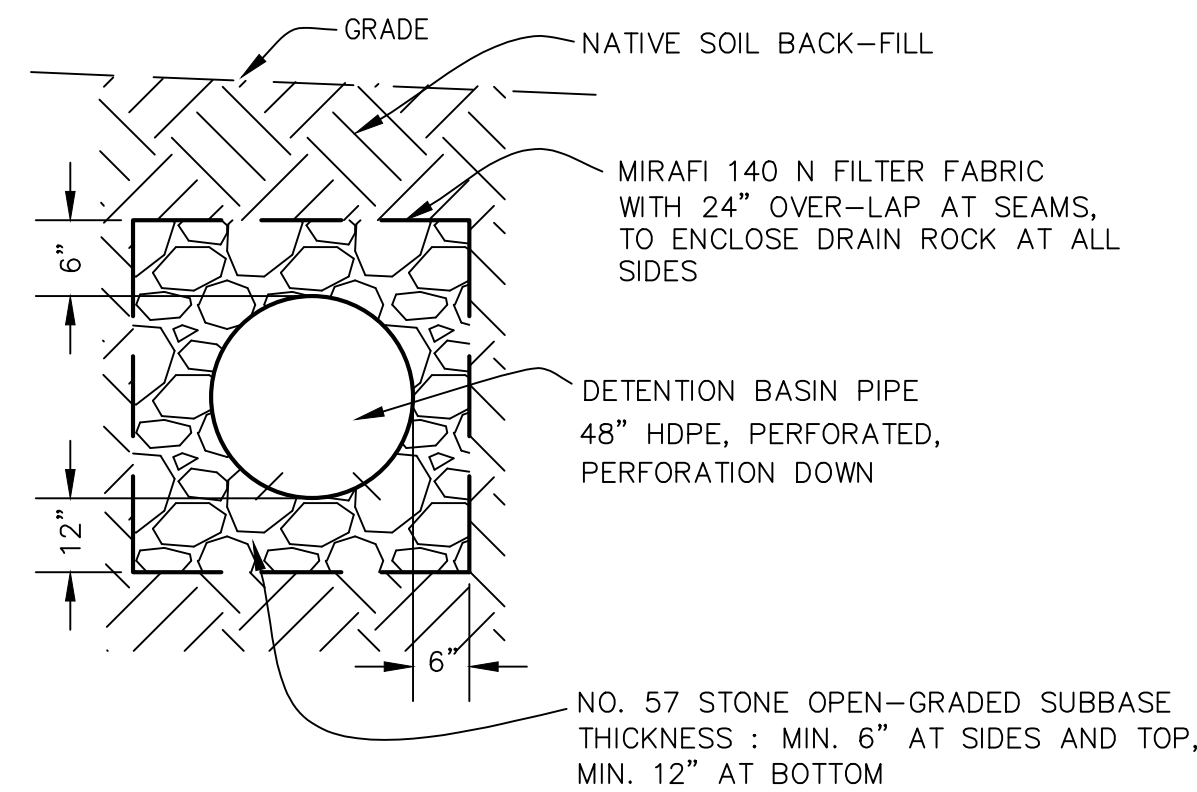
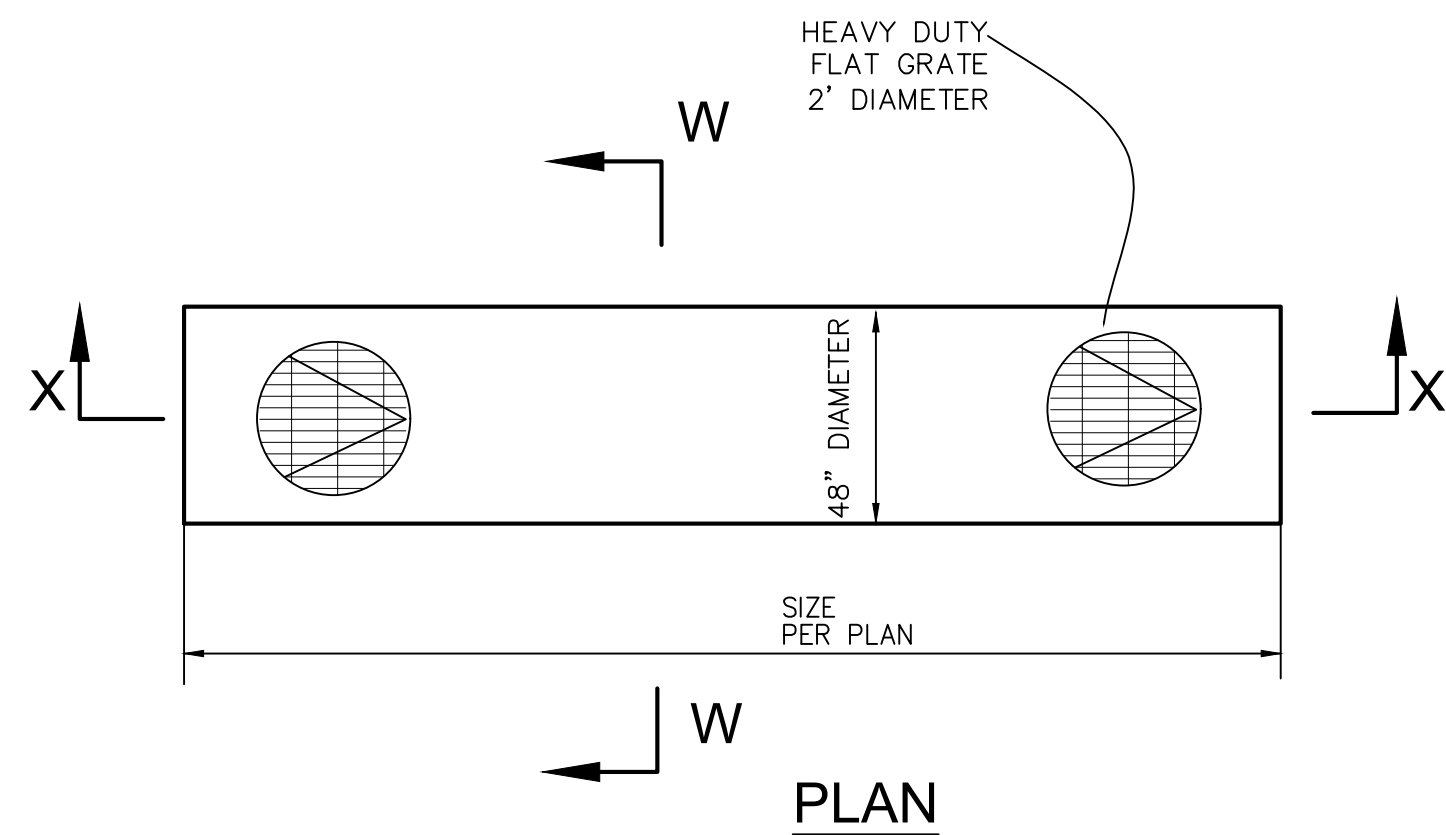
**STORM DRAIN AREA DRAIN**  
NTS



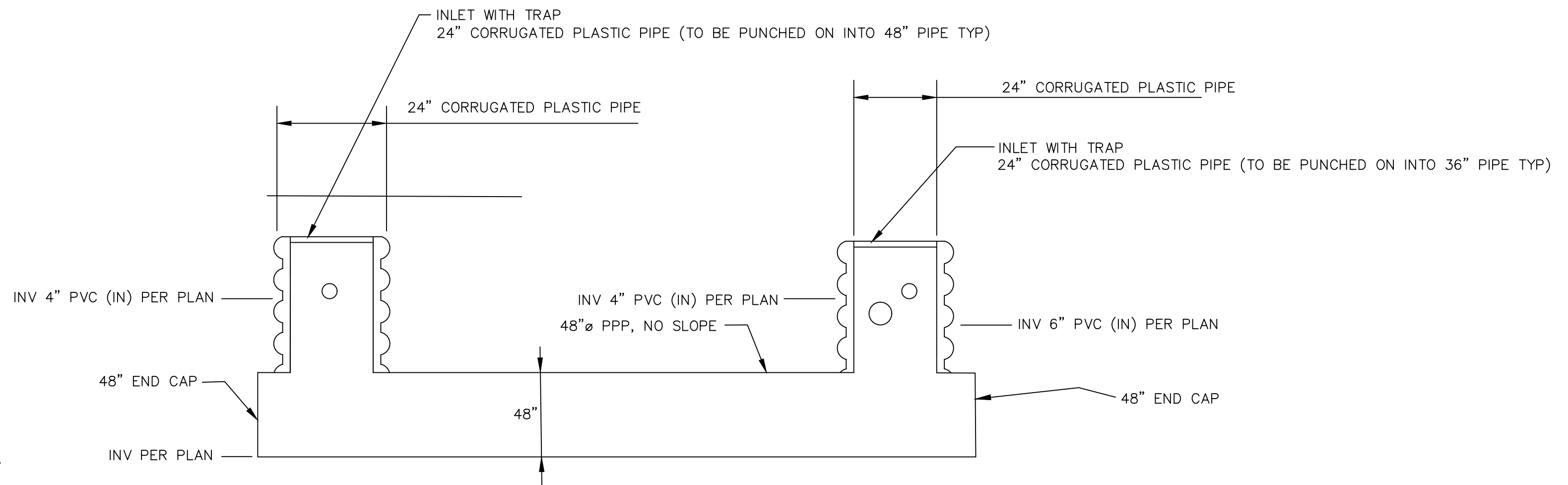
**STORM DRAIN CLEANOUT DETAIL**  
N.T.S.

**NOTES:**

1. RIGID PLASTIC, A.C., C.I., OR STEEL PIPE ALLOWED TO BOX FROM PUMP.
2. BOX SHALL BE SET WITH ADJACENT GRADES SLOPING AWAY TO PREVENT RAINWATER & LANDSCAPE WATER FROM ENTERING.
3. BOX SHALL BE SET IN LANDSCAPE AREA TO FACILITATE PERCOLATION.
4. BOX SHALL NOT HAVE CONCRETE BOTTOM TO FACILITATE PERCOLATION.
5. BOX MUST BE LOCATED AT LEAST 10 FEET FROM BACK OF SIDEWALK AND 3 FEET MIN. AWAY FROM SIDE AND REAR PROPERTY LINES, APPROX. LOCATED IN SWALE, VEGETATED OR RETENTION AREA.



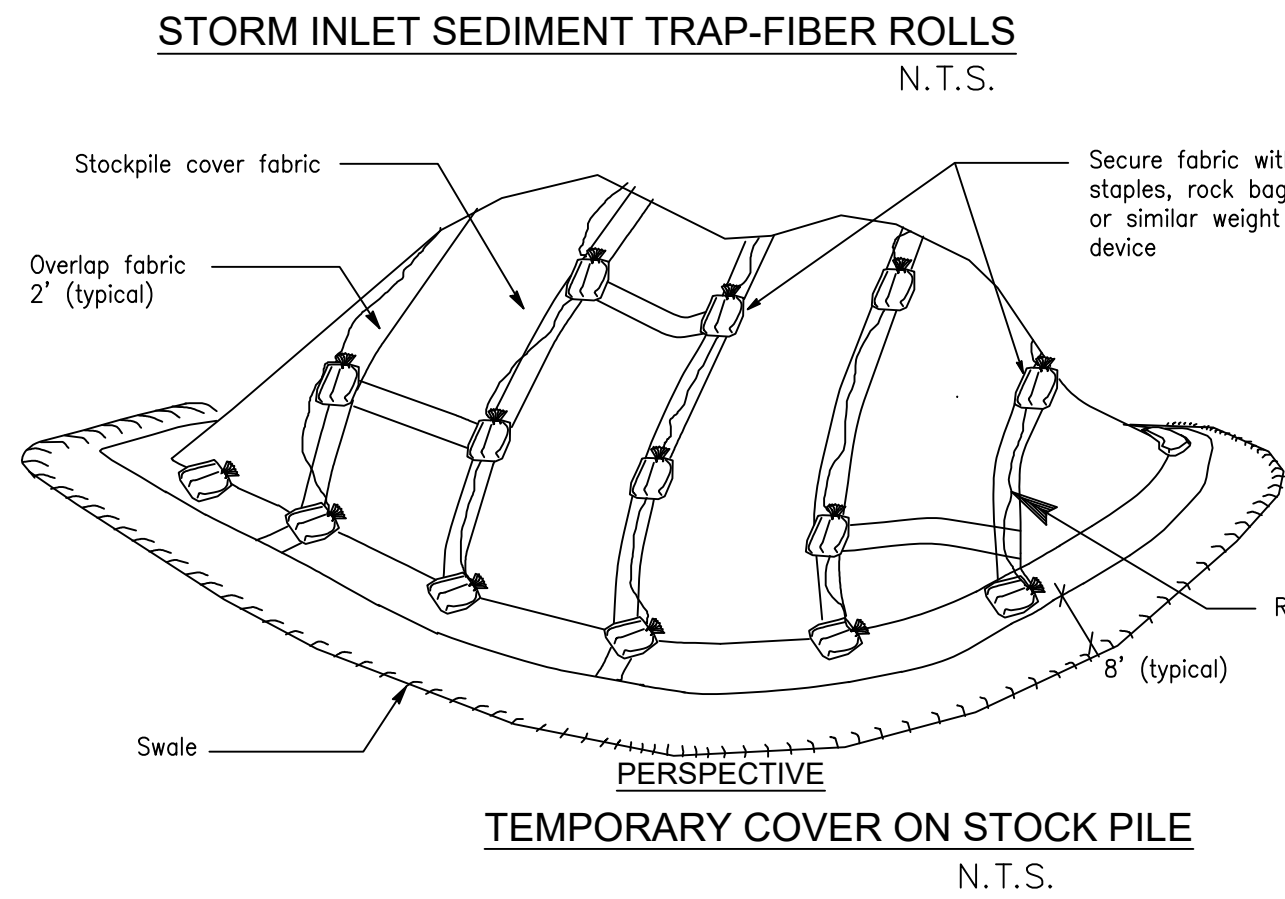
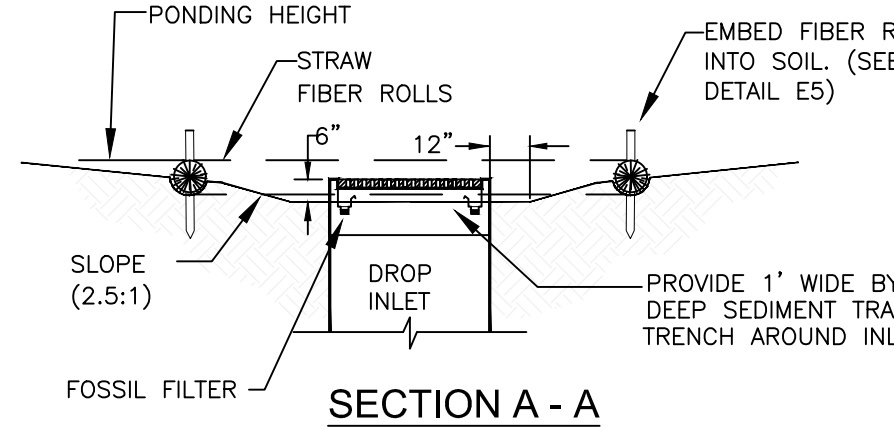
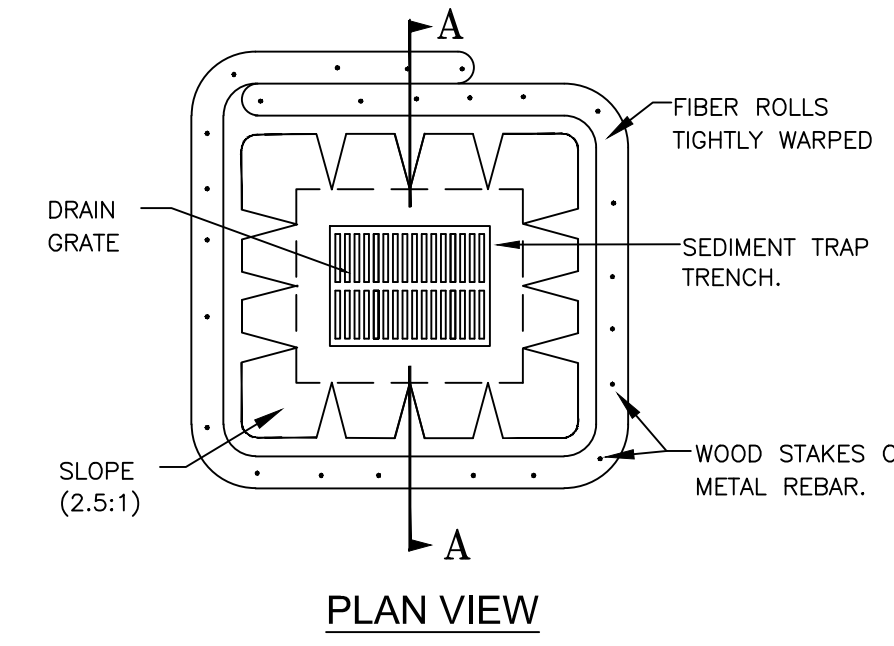
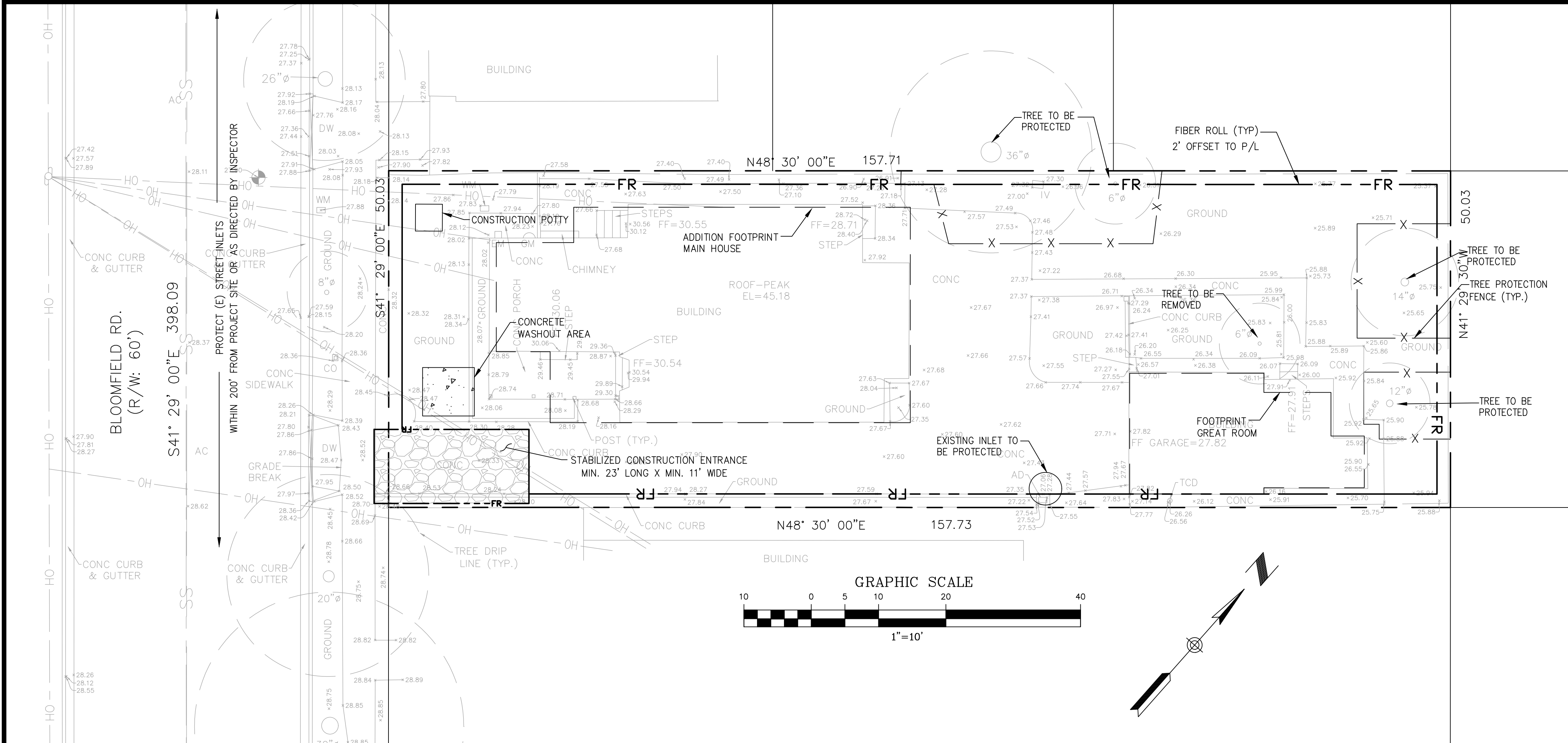
**SECTION W-W**



**SECTION X-X**

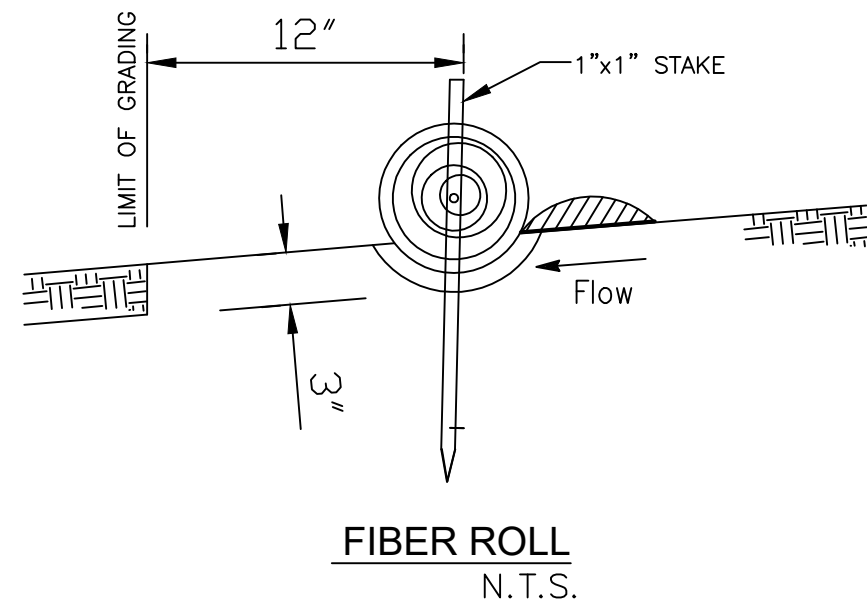
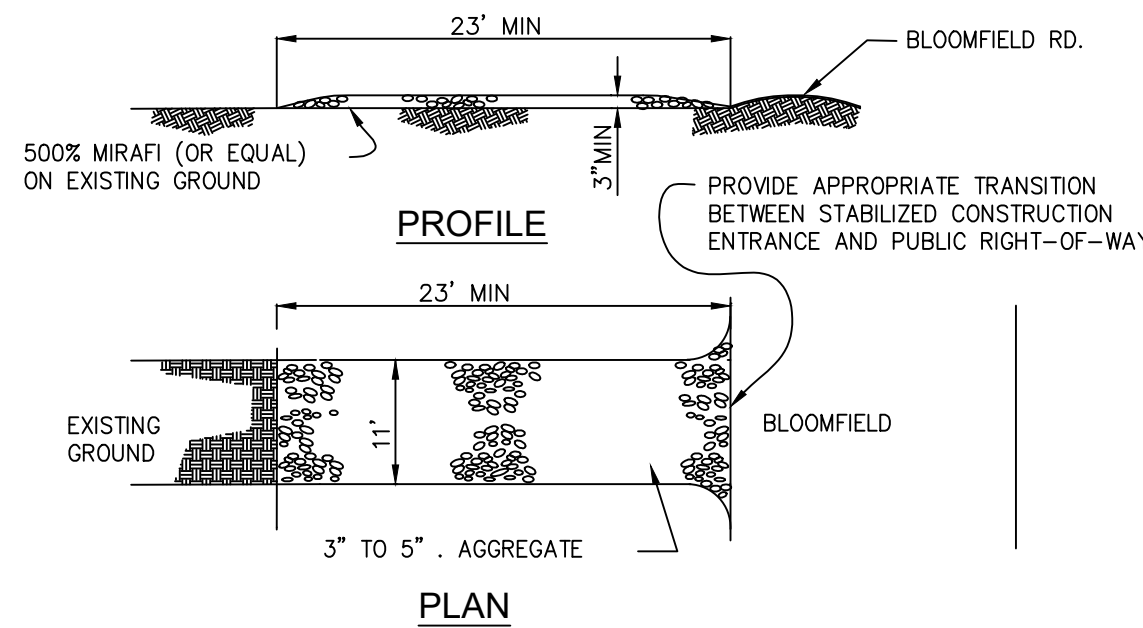
**STORM DRAIN INLET & DETENTION PIPE**

N.T.S.



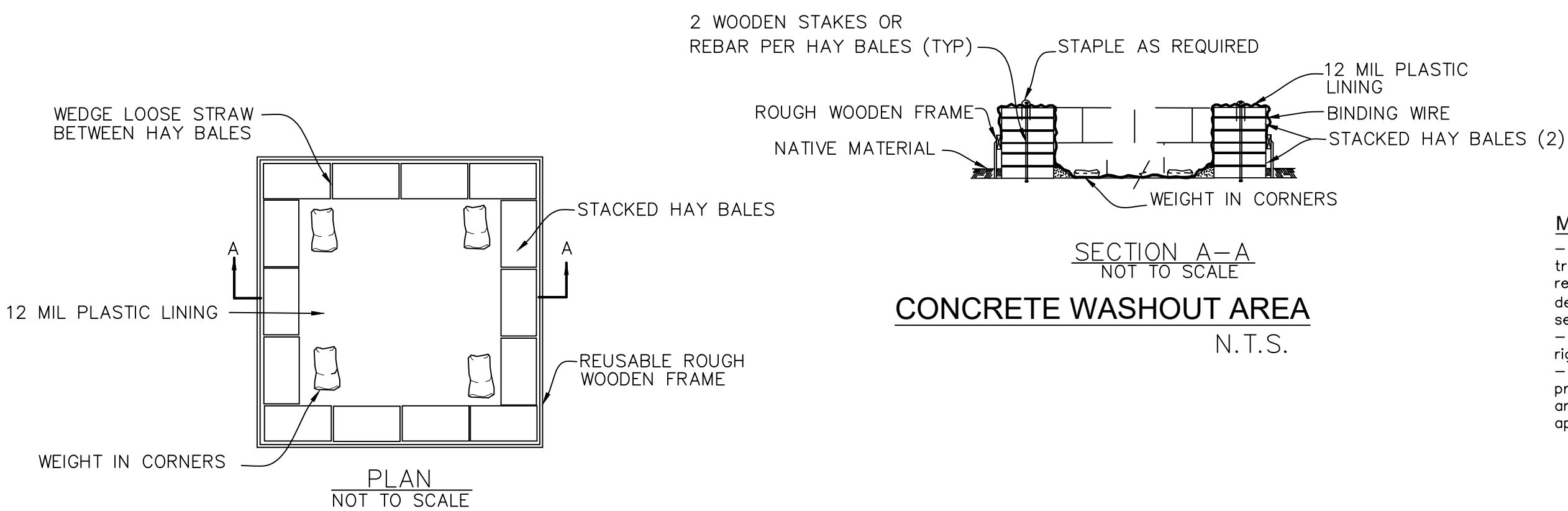
**NOTES:**

1. PLACE FIBER ROLLS AROUND THE INLET CONSISTENT WITH BASIN SEDIMENT BARRIER DETAIL ON THIS SHEET. FIBER ROLLS ARE TUBES MADE FROM STRAW BOUND W/ PLASTIC NETTING. THEY ARE APPROX. 8" DIA. AND 20 -16 FT. LONG.
2. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE FIBER ROLL IN A TRENCH, 3" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.
3. THE TOP OF THE STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY-PASSING THE INLET. EXCAVATION OF A BASIN ADJACENT TO THE DROP INLET OR A TEMPORARY DIKE ON THE DOWNSLOPE OF THE STRUCTURE MAY BE NECESSARY.
4. FOSSIL FILTERS SHALL BE INCORPORATED IN ALL CATCH BASINS AND FIELD INLETS 24" AND LARGER AND SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS. FOSSIL FILTERS ARE AVAILABLE FROM KRISTAR ENTERPRISES INC., 422 LARKFIELD CENTER, SUITE 271, SANTA ROSA, CA 95403, PHONE (800) 579-8819.



**FIBER ROLL NOTES**

1. Place fiber roll in key trench 3" deep and place excavated soil on uphill or flow side of the roll.
2. On slopes and hillsides, fiber rolls shall be abutted at the ends and not overlapped. Place alternate stakes on both sides of the roll, every 6'.
3. Install fiber roll 12" from limit of grading.



**Maintenance**

- The entrance shall be maintained in a condition that will prevent tracking or flowing sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand, and repair and/or clean out any measures used to trap sediment.

- All sediment spilled, dropped, washed, or tracked onto public rights-of-way shall be removed immediately.

- When necessary, wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. This shall be done at an area stabilized with crushed stone, which drains into an approved sediment trap or sediment basin.

**STABILIZED CONSTRUCTION ENTRANCE**  
(TO BE MAINTAINED)

**EROSION AND SEDIMENT CONTROL NOTES AND MEASURES**

1. The facilities shown on this Plan are designed to control Erosion and sediment during the rainy season, October 1st to April 30. Facilities are to be operable prior to October 1 of any year. Grading operations during the rainy season, which leave denuded slopes shall be protected with erosion control measures immediately following grading on the slopes.
2. This plan covers only the first winter following grading with assumed site conditions as shown on the Erosion Control Plan. Prior to September 15, the completion of site improvement shall be evaluated and revisions made to this plan as necessary with the approval of the city engineer. Plans are to be resubmitted for city approval prior to September 1 of each subsequent year until site improvements are accepted by the city.
3. Construction entrances shall be installed prior to commencement of grading. All construction traffic entering onto the paved roads must cross the stabilized construction entranceways.
4. Contractor shall maintain stabilized entrance at each vehicle access point to existing paved streets. Any mud or debris tracked onto public streets shall be removed daily and as required by the city.
5. If hydroseeding is not used or or is not effectively 10/10, then other immediate methods shall be implemented, such as Erosion control blankets, or a three-step application of: 1) seed, mulch, fertilizer 2) blown straw 3) tackifier and mulch.
6. Inlet protection shall be installed at open inlets to prevent sediment from entering the storm drain system. Inlets not used in conjunction with erosion control are to be blocked to prevent entry of sediment.
7. Lots with houses under construction will not be hydroseeded. Erosion protection for each lot with a house under construction shall conform to the Typical Lot Erosion Control Detail shown on this sheet.
8. This erosion and sediment control plan may not cover all the situations that may arise during construction due to unanticipated field conditions. Variations and additions may be made to this plan in the field. Notify the city representative of any field changes.
9. This plan is intended to be used for interim erosion and sediment control only and is not to be used for final elevations or permanent improvements.
10. Contractor shall be responsible for monitoring erosion and sediment control prior, during, and after storm events.

11. Reasonable care shall be taken when hauling any earth, sand, gravel, stone, debris, paper or any other substance over any public street, alley or other public place. Should any blow, spill, or track over and upon said public or adjacent private property, immediately remedy shall occur.
12. Sanitary facilities shall be maintained on the site.
10. During the rainy season, all paved areas shall be kept clear of earth material and debris. The site shall be maintained so as to minimize sediment laden runoff to any storm drainage systems, including existing drainage swales and water courses.
13. Construction operations shall be carried out in such a manner that erosion and water pollution will be minimized. State and local laws concerning pollution abatement shall be complied with.
14. Contractors shall provide dust control as required by the appropriate federal, state, and local agency requirements.
13. With the approval of the city inspector, erosion and sediment controls may be removed after areas above them have been stabilized.

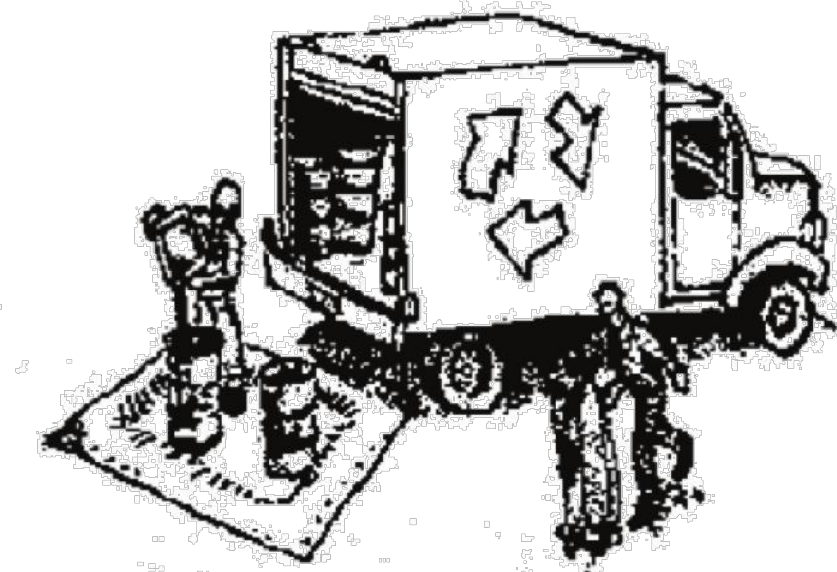
**MAINTENANCE NOTES**

1. Maintenance is to be performed as follows:
  - A. Repair damages caused by soil erosion or construction at the end of each working day.
  - B. Swales shall be inspected periodically and maintained as needed.
  - C. Sediment traps, berms, and swales are to be inspected after each storm and repairs made as needed.
  - D. Sediment shall be removed and sediment traps restored to its original dimensions when sediment has accumulated to a depth of one foot.
  - E. Sediment removed from trap shall be deposited in a suitable area and in such a manner that it will not erode.
  - F. Rills and gullies must be repaired.
2. All existing drainage inlets on St. George Lane within the limit of the project, shall be protected with sand bags during construction. See detail. Sand bag inlet protection shall be cleaned out whenever sediment depth is one half the height of one sand bag.
3. Existing concrete ditch sediment trap shall be cleaned out routinely during construction.

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



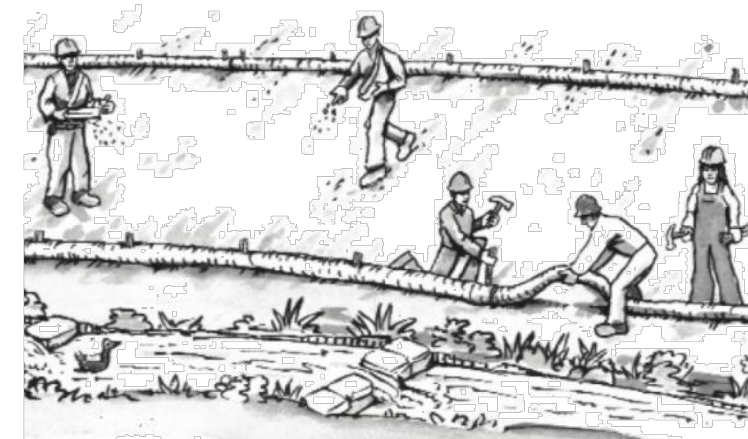
### Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work

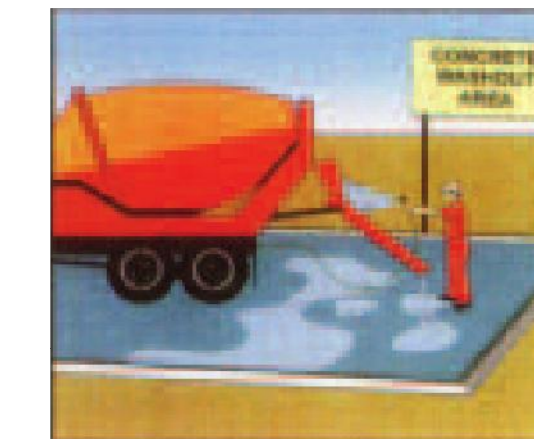


- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



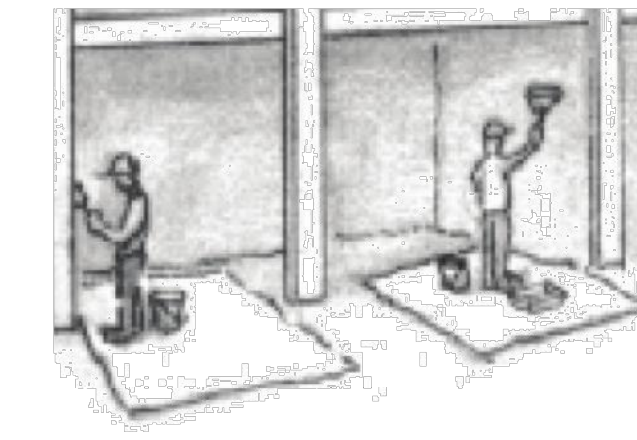
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

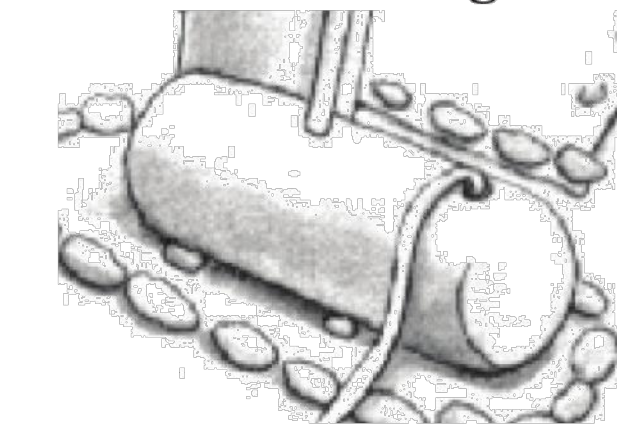
## Painting & Paint Removal



### Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

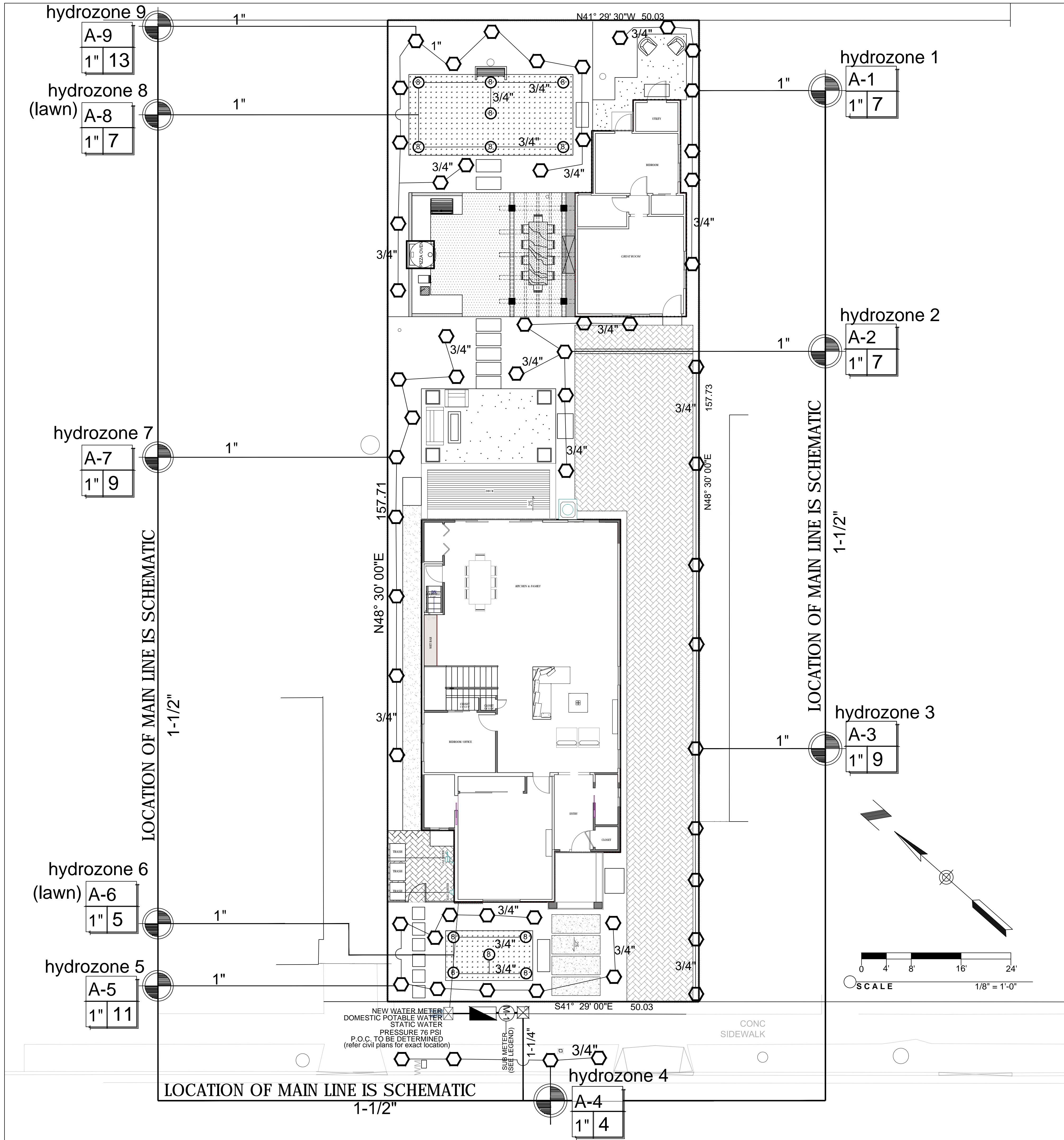
## Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**





IRRIGATION NOTES

PLAN IS DIAGRAMMATIC; THE EXACT LOCATION OF VALVES, LINES, HEADS, ETC., SHALL BE DETERMINED IN THE FIELD. LINES SHALL BE IN A COMMON TRENCH WHERE POSSIBLE. IRRIGATION TRENCHES SHALL ADHERE TO SETBACK REQUIREMENTS FROM THE OWTS.

THE ENTIRE IRRIGATION SYSTEM WILL BE WITHIN THE PROPERTY BOUNDARIES. THE LOCATION OF MAIN LINES, BACKFLOW, VALVES, ETC., ON THE DRAWINGS, IS SCHEMATIC. LINES SHALL BE IN A COMMON TRENCH WHERE POSSIBLE. LINES AND SLEEVES TO BE INSTALLED UNDER PAVING SHALL BE SCHEDULE 40 PVC. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOT OPERATE ANY HEAVY EQUIPMENT OVER UTILITY LINES AND SHALL HAND DIG ANY TRENCHES WITHIN 5' OF UTILITY LINES. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO UTILITY LINES AT THE CONTRACTOR'S OWN EXPENSE. IRRIGATION SYSTEM WAS DESIGNED FOR A MAXIMUM OF 18 GPM AT 40 PSI WORKING PRESSURE (WORST CONDITION AT FURTHEST HEAD/DRIP UNIT. IRRIGATION CONT.

TO VERIFY PRESSURE PRIOR TO CONSTRUCTION OF ANY PART OF THE IRRIGATION SYSTEM. IF WORKING PRESSURE IS GREATER THAN 75 PSI, CONSULT THE LANDSCAPE ARCHITECT FOR USE OF A PRESSURE REGULATOR. IF WORKING PRESSURE IS LESS THAN 40 PSI CONSULT LANDSCAPE ARCHITECT.

THE WATER SOURCE FOR THE IRRIGATION SYSTEM SHALL BE PROTECTED FROM BACK FLOW BY A BACK FLOW PREVENTER (TO BE INSTALLED IN ACCORDANCE WITH CITY STANDARD DETAILS).

ALL VALVE WIRING SHALL BE COPPER U.L. APPROVED FOR DIRECT BURIAL. CONNECT WIRES USING SPLICE-KOTE WIRE CONNECTORS. WIRE SIZE TO BE #12 AWG MIN. (RUNS LONGER THAN 1000 FT. SHALL BE #10 AWG) ONE SPARE CONTROL WIRE TO BE PROVIDED THROUGHOUT.

ALL BACKFILL MATERIAL SHALL BE FREE OF ROCKS (OVER 3/4"), AND OTHER EXTRANEIOUS MATERIALS, AND SHALL BE COMPACTED TO PREVENT SETTLING.

AT JOB COMPLETION SUPPLY OWNERS WITH CONTROLLER KEYS, AND MANUFACTURERS PRODUCT INFORMATION.

ALL IRRIGATION DETAILS SHALL BE CLOSELY FOLLOWED, AND ALL GOVERNING CODES SHALL BE SATISFIED.

THE DRIP IRRIGATION SYSTEM WAS DESIGNED TO PROVIDE ONE DISTRIBUTION LINE TO EACH SHRUB (LINES SHALL NOT BE TEED), AND TWO LINES FOR EACH TREE.

THE IRRIGATION CONTRACTOR SHALL COORDINATE THE SPRINKLER HEAD/DRIP UNIT LOCATIONS AND QUANTITIES WITH THE PLANTING PLAN, AND PROVIDE PROPER IRRIGATION TO ALL PLANT MATERIALS SHOWN ON THE PLANTING PLANS. THE IRRIGATION CONTRACTOR SHALL TEST THE IRRIGATION SYSTEM PRIOR TO ANY BACK FILLING, AND SHALL CONTACT THE LANDSCAPE ARCHITECT WITH ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS.

NO TRENCHING WITHIN THE DRIP LINE OF EXISTING TREES SHALL BE PERMITTED. IF IRRIGATION LINES MUST PASS THROUGH THE DRIP LINE OF EXISTING TREES, CONSULT THE LANDSCAPE ARCHITECT.

GREAT CARE SHALL BE GIVEN TO PREVENT DIRT FROM ENTERING THE IRRIGATION SYSTEM DURING CONSTRUCTION. FLUSH THE ENTIRE SYSTEM THOROUGHLY BEFORE INSTALLING THE MAXI FLO HEADS. ALL DRIP CIRCUITS SHALL HAVE A Y STRAINER AS INDICATED ON THE IRRIGATION LEGEND.

I HAVE COMPLIED WITH THE CRITERIA OF WATER CONSERVATION IN LANDSCAPING ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

SEE WATER BUDGET PREPARED FOR THIS SITE AND SUBMITTED WITH THIS DRAWING SET.

THE IRRIGATION CONTROLLER SHALL BE WEATHER BASED, TO LIMIT WATER WASTE PER WELO 12.44.070C2. CONTROLLER MAY NOT RELY SOLELY ON TIME BASED SCHEDULING. IRRIGATION SPRAY HEADS SHALL BE PLACED AND ADJUSTED TO, PREVENT OVERSPRAY ONTO PAVED AREA AND ADJUSTED TO PREVENT FOGGING AND MISTING. NOZZELS TO BE PRESSURE COMPENSATING.

PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.

CHECK VALVES OR ANTIDRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.

A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.

A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR OF THE PROJECT

AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

IRRIGATION LEGEND

☒ IRRITROL MC-E (BLUE) SERIES WITH "CLIMATE LOGIC" ON SITE WIRELESS WEATHER SENSOR. 18 STATION. WEATHER BASED SMART CONTROLLER. IRRITROL #FS-B150 1 1/2" LINE SIZE FLOW SENSOR TO BE USED WITH THE CONTROLLER. CONTRACTOR TO VERIFY COMPABILITY BETWEEN THE CONTROLLER AND THE FLOW SENSOR.

☒ ZURN WILKINS REDUCED PRESSURE BACKFLOW PREVENTER 1 1/4" AT POINT OF CONNECTION PROVIDE A MASTER SHUT OFF VALVE (ZURN-WILKINS MODEL 850XL FULL PORT BRONZE BALL VALVE 1 1/2") TO BE MOUNTED UPSTREAM FROM THE BACKFLOW PREVENTER.

M-1 RAINBIRD FMD SERIES LANDSCAPE IRRIGATION WATER SUB-METER FM150B 1 1/2" (1.54 TO 100 GPM) ALL IRRIGATION VALVES TO BE DOWNSTREAM FROM THE SUB-METER TO MEASURE ALL IRRIGATION USED FOR LANDSCAPING. THE SUBMETER WILL BE USED TO MEASURE WATER USAGE FOR IRRIGATING THE LANDSCAPE. THE SUBMETER WILL BE PLACED BELOW GRADE.

☒ Y STRAINER WILKINS YSBR SERIES WITH A 100 MESH SCREEN (LINE SIZE) MOUNT AS PART OF THE BACK FLOW ASSEMBLY.

☒ RAINBIRD PEB SERIES ELECTRIC REMOTE CONTROL VALVE SIZE AS NOTED.

— PRESSURIZED WATER MAIN, PVC SCHEDULE 40, BURY 18" MIN.

— IRRIGATION LINE PVC CLASS 200, BURY 12" MIN.

— USE SLEEVES WHERE EVER IRRIGATION LINES MUST PASS UNDER PAVING, TO BE COORDINATED ON SITE BY THE LANDSCAPE CONTRACTOR. SLEEVES SHALL BE 4" PVC SCHEDULE 40 BURY 18" MIN., EXTEND 6" BEYOND EDGE OF PAVING

A-12 — CIRCUIT DESIGNATION

1"12 — GALLONS PER MINUTE

↑ VALVE SIZE

○ AGRIFIM MAXI-FLO BUBBLER 6 OUTLETS AT 10 GPH EACH OPERATING RANGE 20-80 PSI USE A Y-STRAINER DOWN STREAM FROM VALVE FOR EACH CIRCUIT (SEE IRRIGATION LEGEND FOR SIZE AND TYPE OF FILTER) USE 1/4" DISTRIBUTION TUBING (.170" I.D. X .250" O.D. POLY) -MAXIMUM RUN 8' - LINES SHALL NOT TEE. PROVIDE ONE LINE TO EACH SHRUB OR GROUND COVER, AND TWO TO EACH TREE USE SUPPORT STAKE #56 AT END USE BUG PLUG #BP250

▲ Y STRAINER FOR ALL DRIP CIRCUITS MOUNT IN A SEPERATE PLASTIC BOX DOWN STREAM FROM THE VALVE.

● QUICK COUPLING VALVE, RAINBIRD 44LRC 1". MOUNT IN A PLASTIC VALVE BOX WITH A COVER. EXACT LOCATIONS TO BE DETERMINED ON SITE.

⑧ TORO 570Z 8"RADIUS (PROVIDE ARC AS NEEDED FOR PROPER COVERAGE)

Menaka Rao

LANDSCAPE DESIGN

4653 MonteCarlo Park Court  
Fremont, CA 94538  
Ph:650 644 7631

DRAWN BY:  
MENAKA RAO

SIGNED BY:  
RUSSELL STRINGHAM  
LA #3091

BLOOMFIELD RESIDENCE  
36 BLOOMFIELD ROAD,  
BURLINGAME, CA

IRRIGATION PLAN

REVISION	REVISION DATE
1	06-02-23

DATE:  
02-24-23

JOB:

SCALE:  
1' = 1/8"

SHEET:  
L-2

Maximum Applied Water Allowance Calculations for New and Rehabilitated Residential Landscapes

Enter value in Pale Blue Cells

Tan Cells Show Results

Messages and Warnings

Click on the blue cell on right to Pick City Name

ET<sub>o</sub> of City from Appendix A

Redwood City

Name of City

42.80

ET<sub>o</sub> (inches/year)

454

Overhead Landscape Area (ft<sup>2</sup>)

1367

Drip Landscape Area (ft<sup>2</sup>)

0

SLA (ft<sup>2</sup>)

1,821.00

Total Landscape Area

Results:

(ET<sub>o</sub>) x (0.62) x [(0.55 x LA) + (1.0 - 0.55) X SLA]]

26,577.13

Gallons

3,552.86

Cubic Feet

35.53

HCF

0.08

Acre-feet

0.03

Millions of Gallons

MAWA calculation incorporating Effective Precipitation (Optional)

Precipitation (Optional)

ET<sub>o</sub> of City from Appendix A

42.80

ET<sub>o</sub> (inches/year)

Total Landscape Area

1,821.00

LA (ft<sup>2</sup>)

Special Landscape Area

0.00

SLA (ft<sup>2</sup>)

Total annual precipitation (inches/year)

Enter Effective Precipitation

0.00

Eppt (in/yr)(25% of total annual precipitation)

Results:

MAWA = [(ET<sub>o</sub> - Eppt) x (0.62)] x [(0.55 x LA) + ((1.0 - 0.55) x SLA)]

-

Gallons

-

Cubic Feet

-

HCF

-

Acre-feet

-

Millions of Gallons

Estimated Total Water Use

Equation: ETWU = ET<sub>o</sub> x 0.62 x [(PF x HA)/IE] + SLA]; Considering precipitation ETWA =(ET<sub>o</sub>-Eppt) x 0.62 x [(PF x HA)/IE] +SLA]

Enter values in Pale Blue Cells

Tan Cells Show Results

Messages and Warnings

Irrigation Efficiency Default Value for overhead 0.75 and drip 0.81.

Plant Water Use Type

Plant Factor

Very Low

0 - 0.1

Low

0.2 - 0.3

Medium

0.4 - 0.6

High

0.7 - 1.0

SLA

1

Hydrozone	Select System From the Dropdown List click on cell below	Plant Water Use Type (s) (low, medium, high)	Plant Factor (PF)	Hydrozone Area (HA) (ft <sup>2</sup> ) Without SLA	Enter Irrigation Efficiency (IE)	(PF x HA (ft <sup>2</sup> ))/IE
Zone 1	Drip	Low	0.30	105	0.81	39
Zone 2	Drip	Low	0.30	188	0.81	70
Zone 3	Drip	Low	0.30	105	0.81	39
Zone 4	Drip	Low	0.30	92	0.81	34
Zone 5	Drip	Low	0.30	273	0.81	101
Zone 6	Overhead Spray	High	0.70	112	0.75	105
Zone 7	Drip	Low	0.30	302	0.81	112
Zone 8	Overhead Spray	High	0.70	342	0.75	319
Zone 9	Drip	Low	0.30	302	0.81	112
Zone 10						

SLA

0

930

Sum

1,821

0

Results

MAWA = 26,577

ETWU= 24,683 Gallons

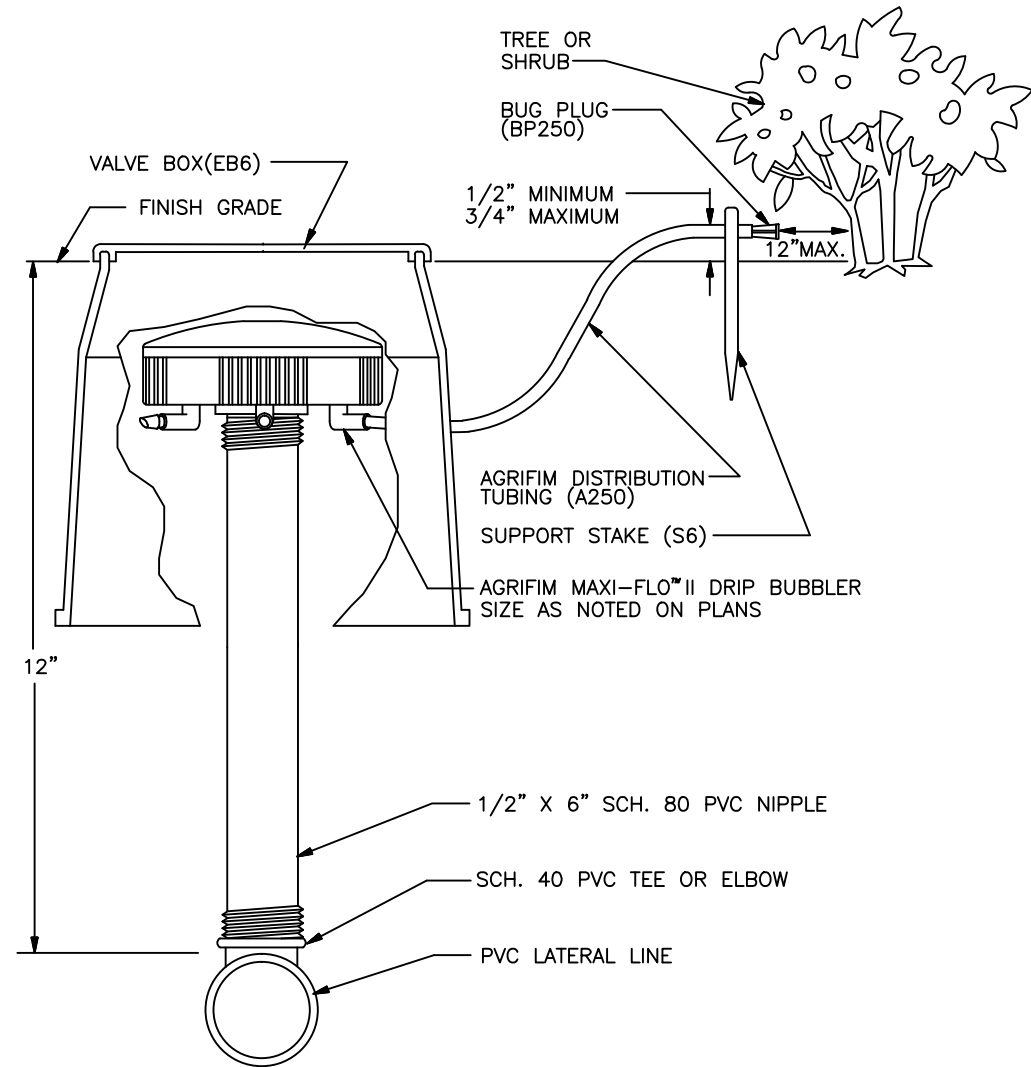
3,300 Cubic Feet

33 HCF

0 Acre-feet

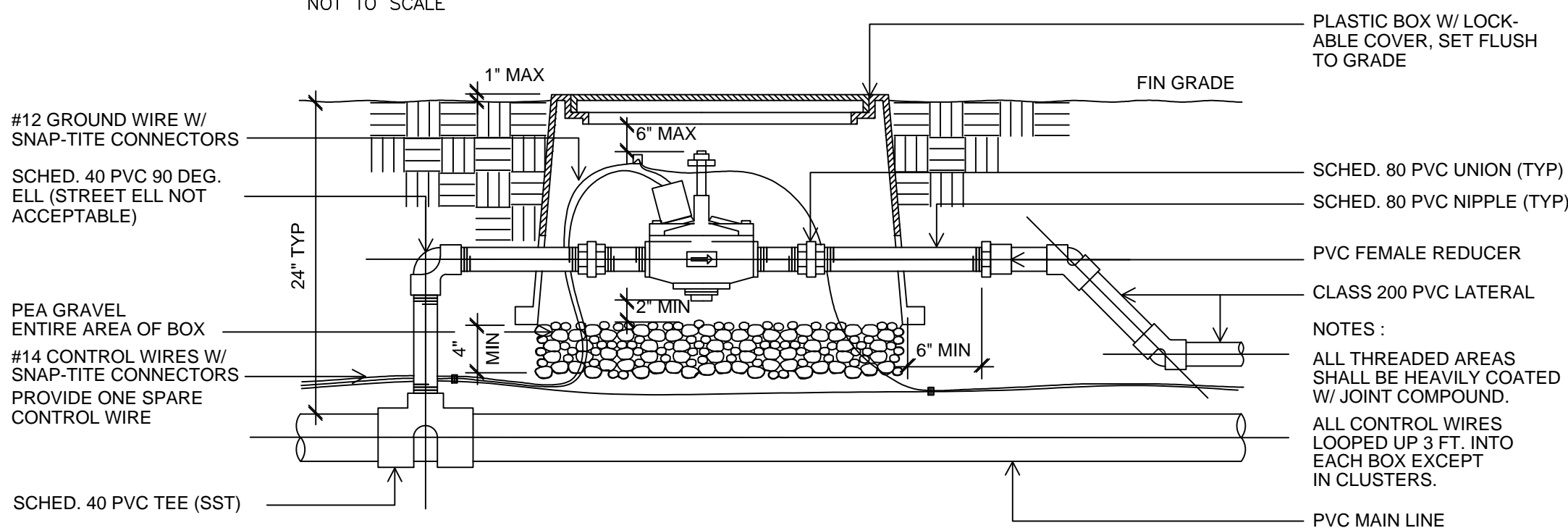
0 Millions of Gallons

ETWU complies with MAWA



NOTES:  
1. APPLY TEFLON TAPE TO ALL THREADED CONNECTIONS.  
2. SECURE END OF TUBING WITH AGRIFIM SUPPORT STAKE (S6).

MAXI-FLO™ RISER DETAIL  
NOT TO SCALE



NOTES:  
ALL THREADED AREAS SHALL BE HEAVILY COATED W/ JOINT COMPOUND.  
ALL CONTROL WIRES LOOPED UP 3 FT. INTO EACH BOX EXCEPT IN CLUSTERS.

REMOTE CONTROL VALVE

N.T.S.

LANDSCAPE DESIGN COMPLIANCE STATEMENT

I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN

Signature R. Stringham 02-24-23  
RUSSELL STRINGHAM LA #3091

MR

Menaka Rao

LANDSCAPE DESIGN

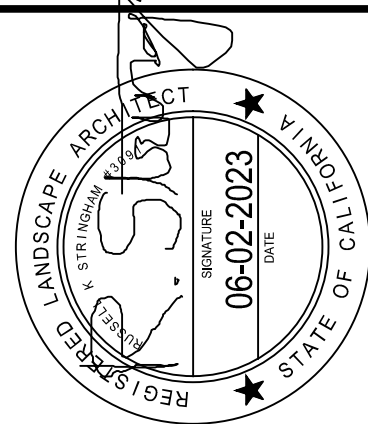
4653 MonteCarlo Park Court  
Fremont, CA 94538  
Ph:650 644 7631

DRAWN BY:

MENAKA RAO

SIGNED BY:

RUSSELL STRINGHAM  
LA #3091



BLOOMFIELD RESIDENCE  
36 BLOOMFIELD ROAD,  
BURLINGAME, CA

IRRIGATION NOTES

REVISION	REVISION DATE
1	06-02-23

DATE:  
02-24-23

JOB:

SCALE:

NTS

SHEET:

L-3

THE PLANTING PLAN IS DIAGRAMMATIC ONLY. THE EXACT LOCATION OF PLANT MATERIAL SHALL BE DETERMINED ON SITE. THE EXACT LOCATION OF PLANTS ONSITE WILL ADHERE TO SETBACK REQUIREMENTS FROM THE OWTS.

THE CONTRACTOR SHALL VERIFY THAT THE SOIL TO BE PLANTED IS NATIVE, AND FREE FROM ANY FOREIGN MATERIALS OR SUBSTANCES, WITH A MINIMUM DEPTH OF 8 INCHES OF NON COMPACTED TOPSOIL.

TILL ALL NEW PLANTING AREAS TO A DEPTH OF 8", AND REMOVE ALL WEEDS, STICKS, OVER 1/2 INCH DIAMETER AND ANY OTHER MATERIAL THAT WOULD BE HARMFUL TO TO PLANT GROWTH.

ALL NEW PLANTING AREAS SHALL RECEIVE A 3" LAYER OF WOOD RESIDUAL. TILL IN TO A DEPTH OF 6" AND FINE GRADE.

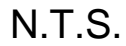
ALL PLANT MATERIAL SHALL RECEIVE "AGRIFORM" FERTILIZER TABLETS AT THE TIME OF PLANTING, INSERTED IN THE BACKFILL MIX AT HALF THE DEPTH OF THE ROOTBALL. TABLET QUANTITIES AND SIZE AS INDICATED ON THE PLANTING DETAILS.

ALL PLANT MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY THE OWNERS OR THE LANDSCAPE ARCHITECT.

ALL PLANT MATERIALS SHALL BE IN A HEALTHY, VIGOROUS, AND DISEASE FREE CONDITION. THE PLANT SIZE SHALL BE PROPORTIONAL TO THE CONTAINER SIZE SPECIFIED. PLANTS NOT MEETING THESE REQUIREMENTS WILL BE REFUSED, EVEN IF PLANTED.

A MINIMUM OF 3-INCH LAYER OF MULCH SHALL BE APPLIED ON EXPOSED SOIL SURFACES OF  
I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING  
ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1000 SQ FT OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.



## WELO PLANTING , IRRIGATION LANDSCAPE AND LANDSCAPE LIGHTING PLANS

2019 CALIFORNIA BUILDING CODE, 2019 CALIFORNIA RESIDENTIAL CODE, 2019 CALIFORNIA ELECTRICAL CODE, 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA FIRE CODE AS AMENDED BY WOODSIDE FIRE.

A. Work Hours: Working hours are strictly between the time mentioned below.

7:30 AM TO 5:30 PM- MONDAY -FRIDAY

8:00 AM TO 1:00 PM- SATURDAY

Construction parking is permitted only on the site and only on the side of the street fronting the property for which the permit is issued.

A. Except as otherwise permitted under this chapter, no person shall cause and no property owner shall permit on such owner's property, a noise produced by any person, machine, animal or device, or any combination thereof, in excess of the sound level limits set forth in this section to emanate from any property, public or private, beyond the property line.

Any sound in excess of the sound level limits set forth in this section shall constitute a noise disturbance. For purposes of determining sound levels, sound level measurements shall be made at any location on the receiving property. Professional Certification of meeting this requirement may be required prior to final inspection.

B. Sound Level Limits: 7a.m to 10 p.m. 60 dBA/10 p.m to 7 a.m 50 dBA

A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR OF THE PROJECT.

Menaka Rao

LANDSCAPE DESIGN

4653 MonteCarlo Park Court  
Fremont, CA 94538  
Ph:650 644 7631

DRAWN BY:

MENAKA RAO

SIGNED BY:

RUSSELL STRINGHAM  
LA #3091



## NOTES

REVISION	REVISION DATE
1	06-02-23

DATE:

02-24-23

**JOB:**

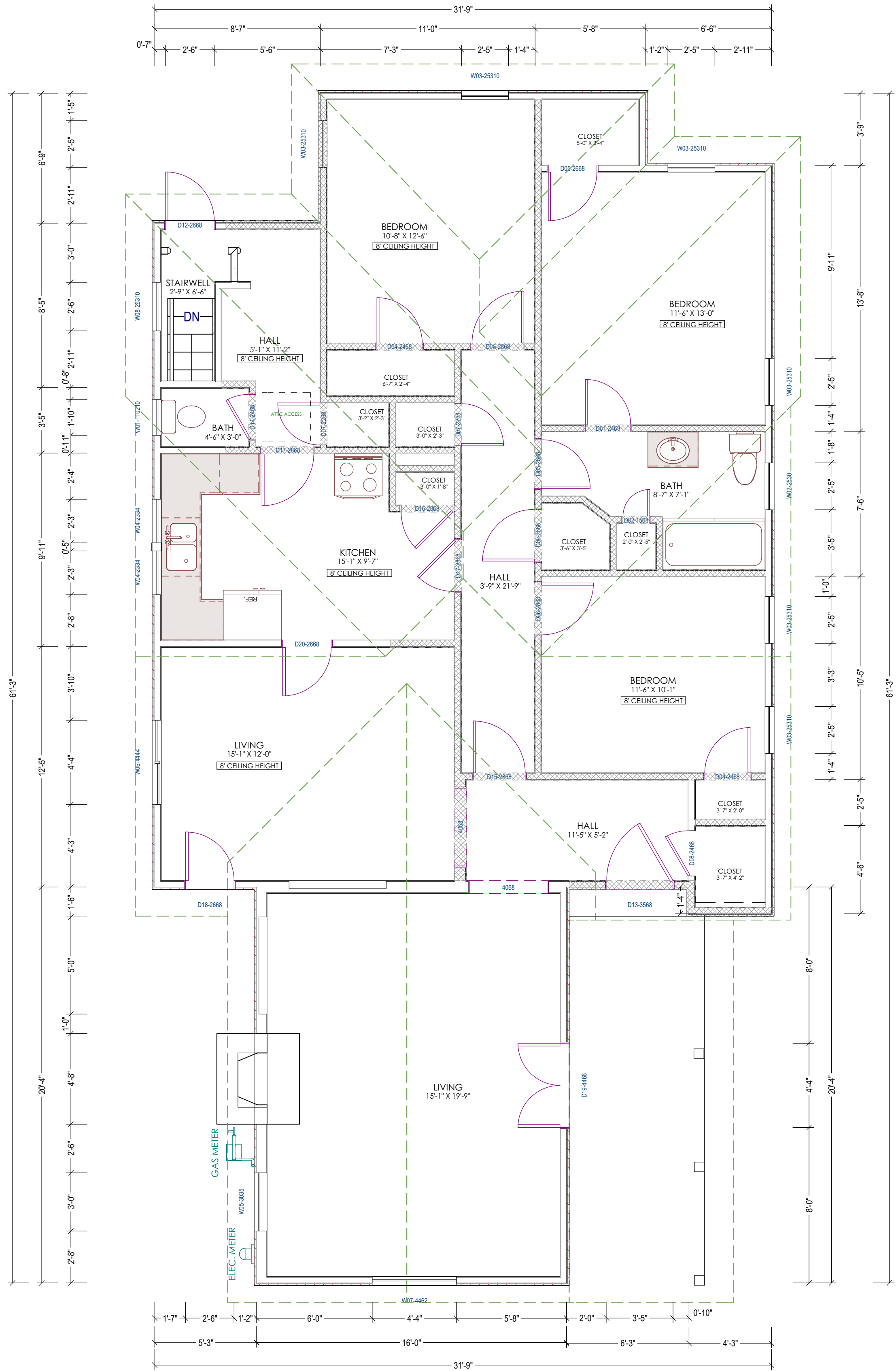
SCALE:

NTS

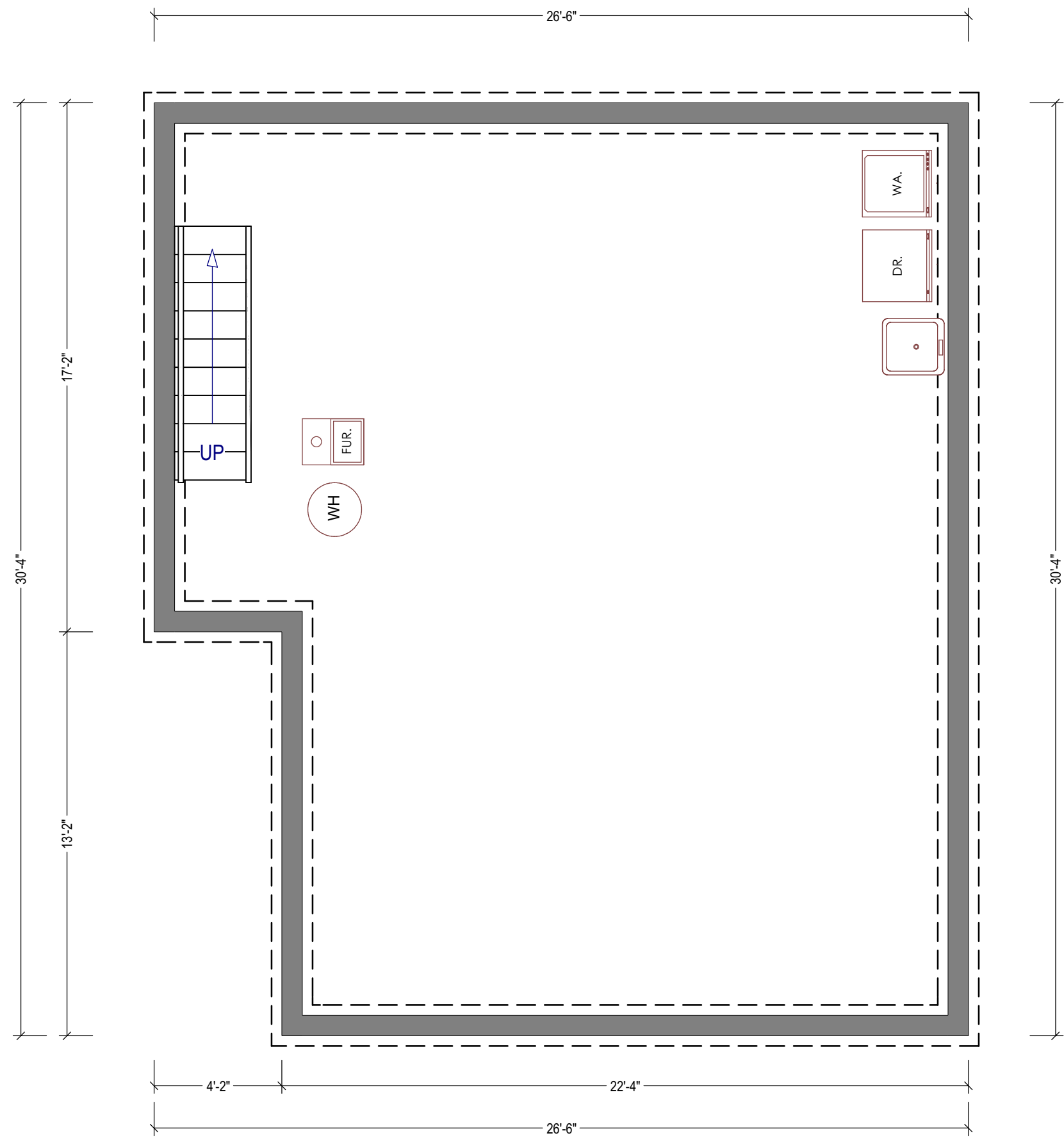
SHEET:

**L-4**





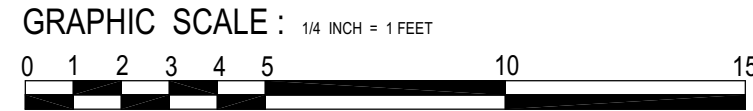
1 EXISTING FLOOR PLAN - MAIN HOUSE  
SC : 1/4" = 1'-0"



2 EXISTING FLOOR PLAN  
SC : 1/4" = 1'-0"

LEGEND:

- EXISTING WALL TO STAY
- EXISTING WALL TO BE REMOVED



AMSDESIGN

4010 MOORPARK AVE#101,  
SAN JOSE, CA 95117  
TELL: (415)254.1606  
E-MAIL: OFFICE@AMSDESIGNLLP.COM

Azadeh Masrour

THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF AMS DESIGN. THESE PLANS ARE PROTECTED UNDER COPYRIGHT LAWS AND MAY NOT BE REVISED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF AMS DESIGN. ANY USE OF THESE PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE CONSENT OF AMS DESIGN. ANY DISCREPANCY DISCOVERED ON THESE PLANS SHALL PRIOR TO COMMENCEMENT OF THE WORK IN QUESTION, ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

PROJECT NAME:

BLOOMFIELD RESIDENCE

36 BLOOMFIELD RD.,  
BURLINGAME, CA 94010

REVISION TABLE:

△	REVISION DATE	BY	DEP
01	04.06.2023	S.A.	PLN
02	05.24.2023	S.B.	PLN
03	08.01.2023	A.G.	PLN
04	09.27.2023	A.G.	PLN

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE AMS DESIGN'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PRECEDING AT HIS OWN RISK.

OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MIS-DESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY REFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MIS-DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

SITE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY AMS DESIGN IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM AMS DESIGN PRIOR TO PROCEEDING WITH ANY RELATED WORK.

SHEET TITLE:

EXISTING FLOOR PLANS

PROJECT ID: 2206-12

DATE: OCT.2022

SCALE: 1/4" = 1'

DRAWN BY: Z.H.

SHEET NUMBER:

RA-01.01

PROJECT NAME:

**BLOOMFIELD  
RESIDENCE**36 BLOOMFIELD RD.,  
BURLINGAME, CA 94010

REVISION TABLE:

△	REVISION DATE	BY	DEP
01	04.06.2023	S.A.	PLN
02	05.24.2023	S.B.	PLN
03	08.01.2023	A.G.	PLN
04	09.27.2023	A.G.	PLN

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE AMS DESIGN'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PRECEDING AT HIS OWN RISK.

OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MIS-DESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY REFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MIS-DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

SITE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY AMS DESIGN IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM AMS DESIGN PRIOR TO PROCEEDING WITH ANY RELATED WORK.

SHEET TITLE:

**EXISTING  
ELEVATIONS**

PROJECT ID: 2206-12

DATE: OCT.2022

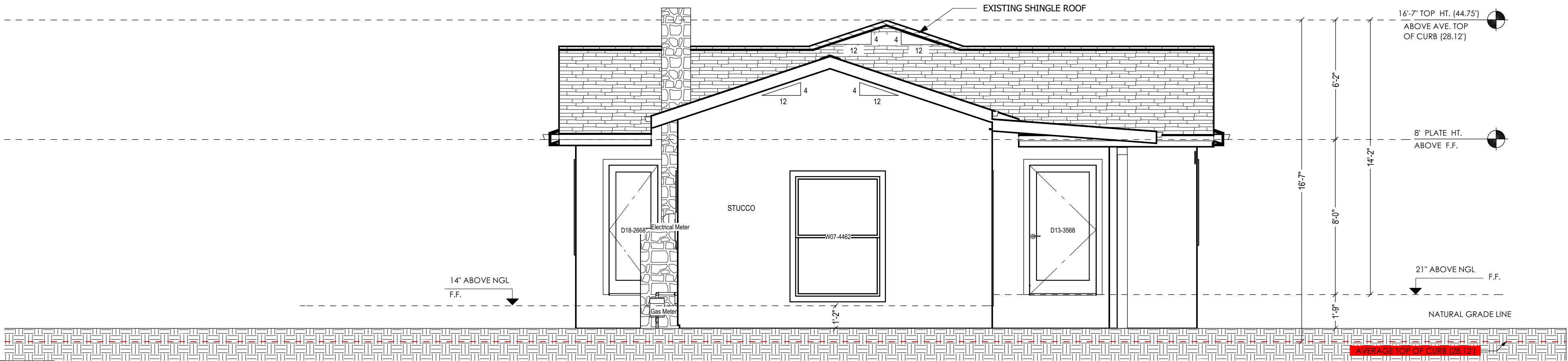
SCALE: 1/4" = 1'

DRAWN BY: Z.H.

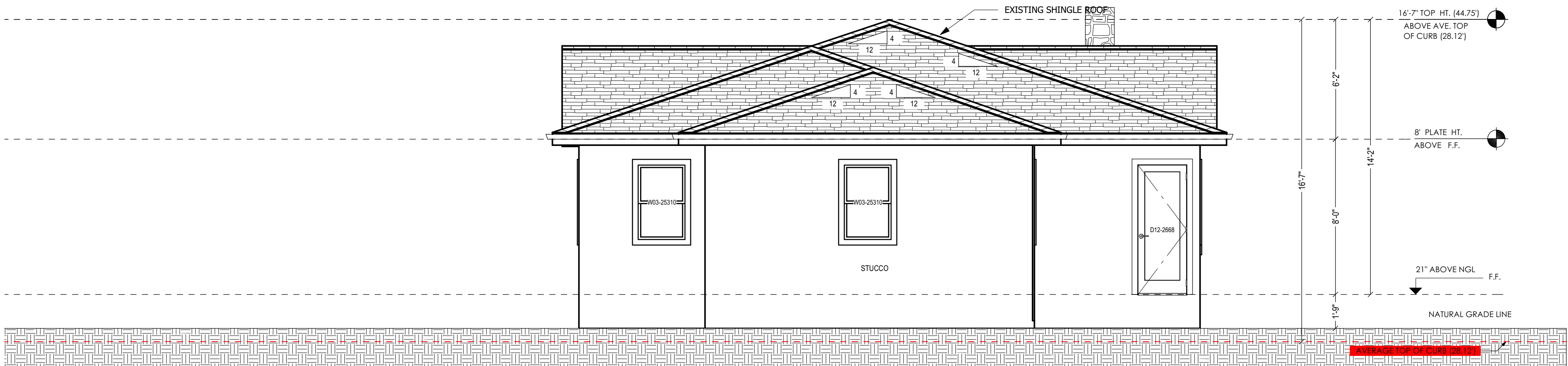
SHEET NUMBER:

**RA-02.01****1 EXISTING FRONT (SOUTH-WEST) ELEVATION**

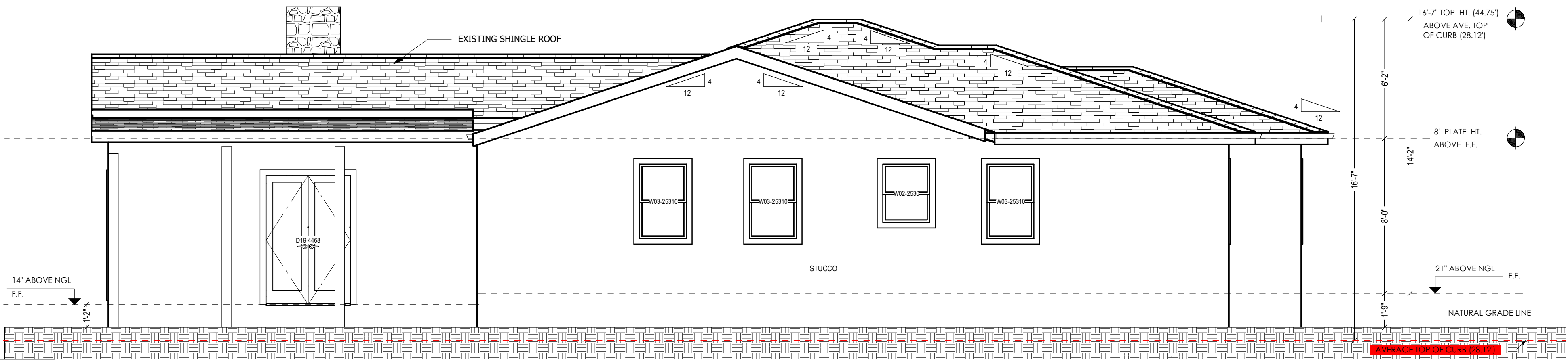
SC: 1/4" = 1'-0"

**2 EXISTING REAR (NORTH-EAST) ELEVATION**

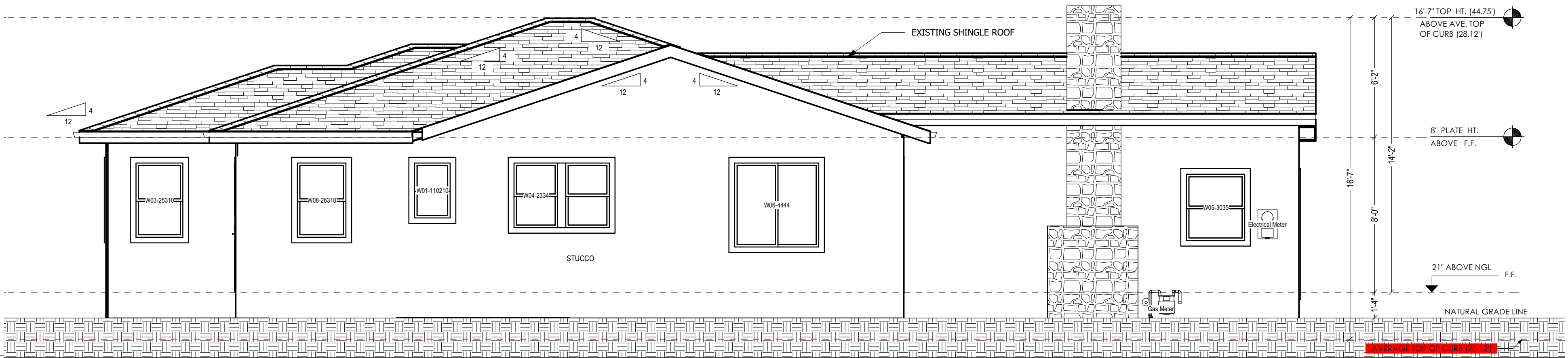
SC: 1/4" = 1'-0"

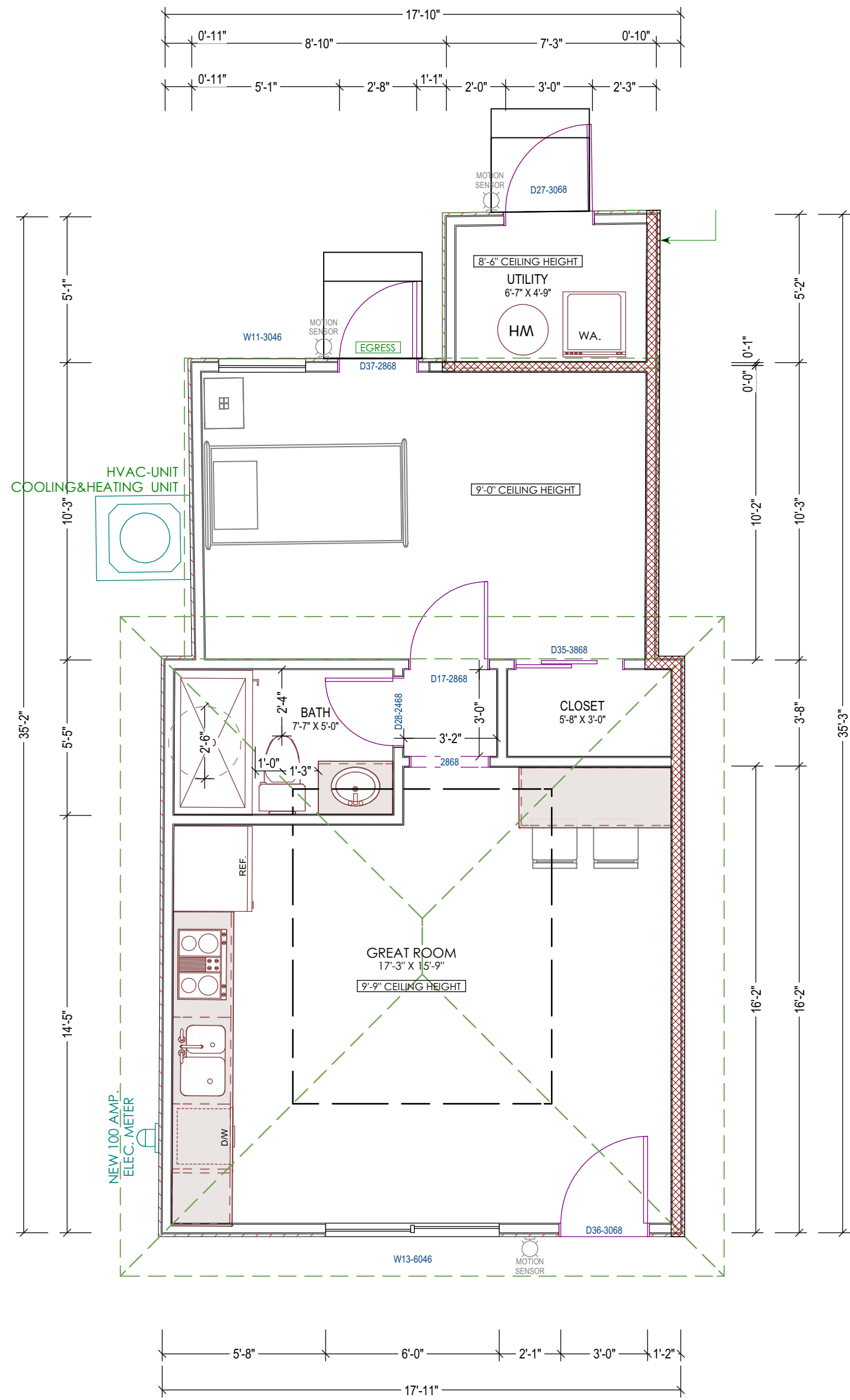
**3 EXISTING RIGHT (SOUTH-EAST) ELEVATION**

SC: 1/4" = 1'-0"

**4 EXISTING LEFT (NORTH-WEST) ELEVATION**

SC: 1/4" = 1'-0"



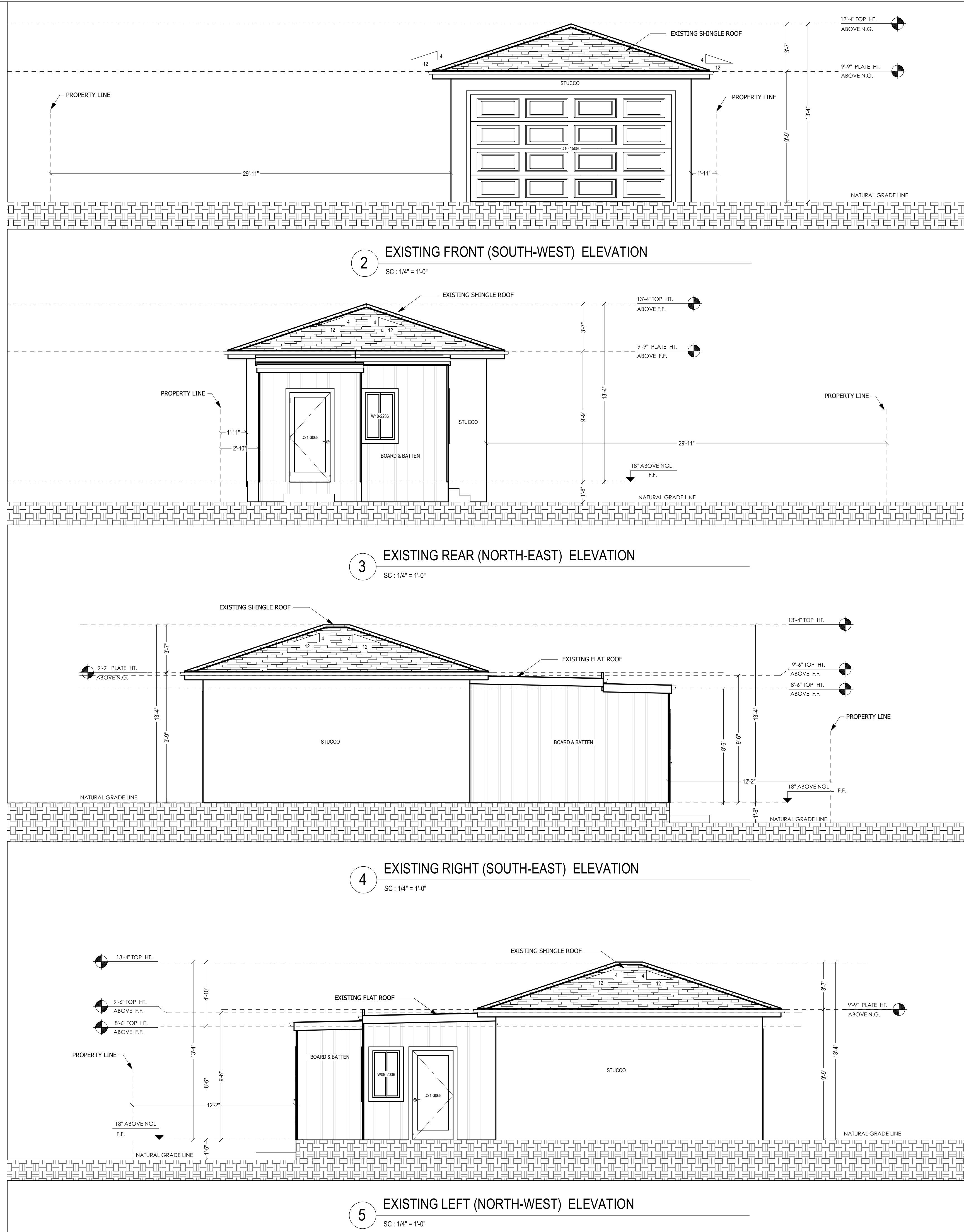
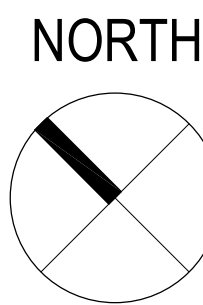


1 EXISTING FLOOR PLAN - DETACHED ADU  
SC : 1/4" = 1'-0"

### LEGEND:

- EXISTING WALL TO STAY
- 1 HOUR FIRE-RATED WALL

GRAPHIC SCALE : 1/4 INCH = 1 FEET



### AMSDESIGN

4010 MOORPARK AVE#101,  
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TELL: (415)254.1606  
E-MAIL: OFFICE@AMSDESIGNLLP.COM

Azadeh Masrour

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PROJECT NAME:

## BLOOMFIELD RESIDENCE

36 BLOOMFIELD RD.,  
BURLINGAME, CA 94010

REVISION TABLE:

REVISION DATE	BY	DEP
01 04.06.2023	S.A.	PLN
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03 08.01.2023	A.G.	PLN
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SHEET TITLE:

## EXISTING PLAN & ELEVATIONS (ADU)

PROJECT ID: 2206-12

DATE: OCT.2022

SCALE: 1/4" = 1'

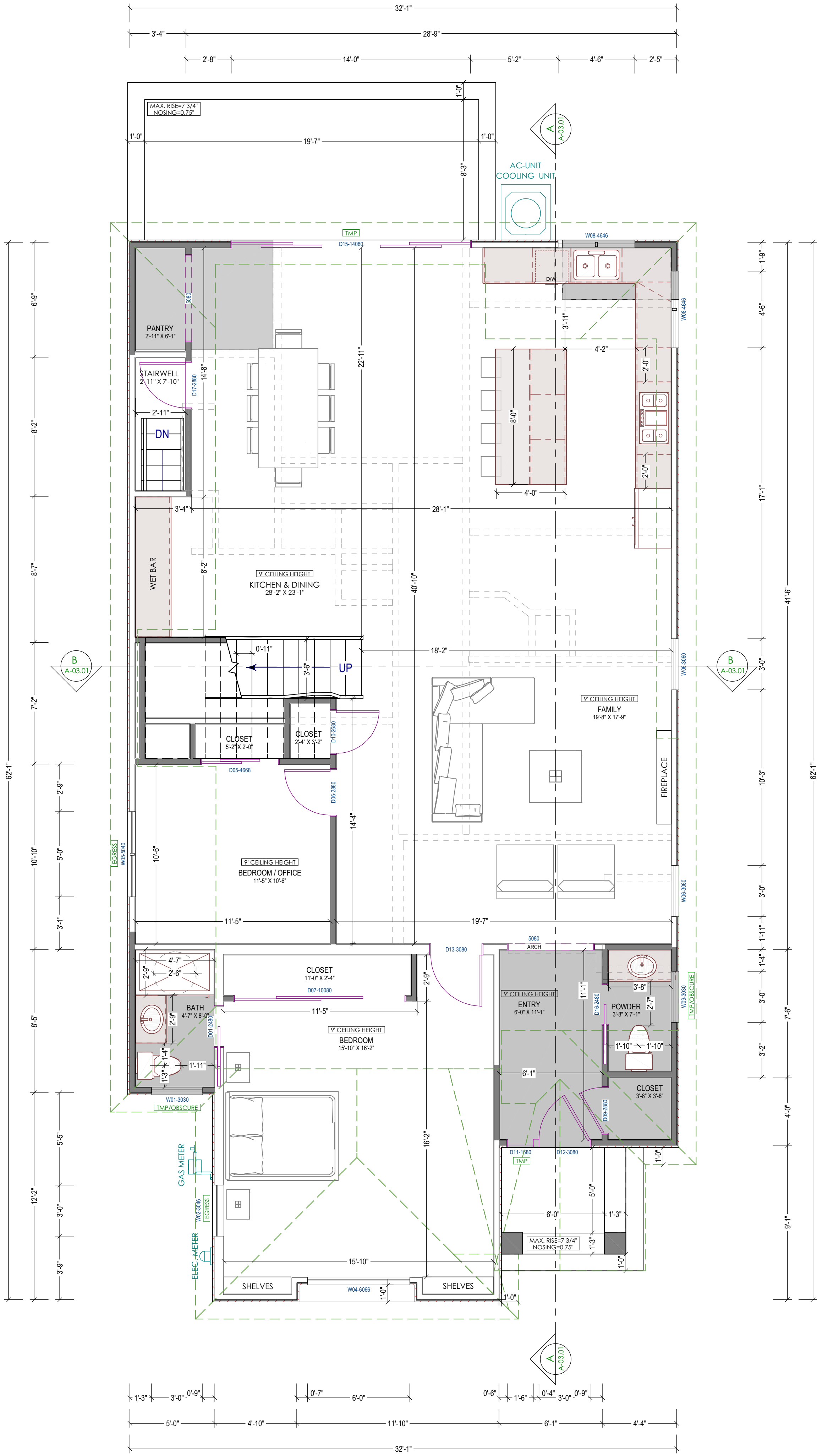
DRAWN BY: Z.H.

SHEET NUMBER:

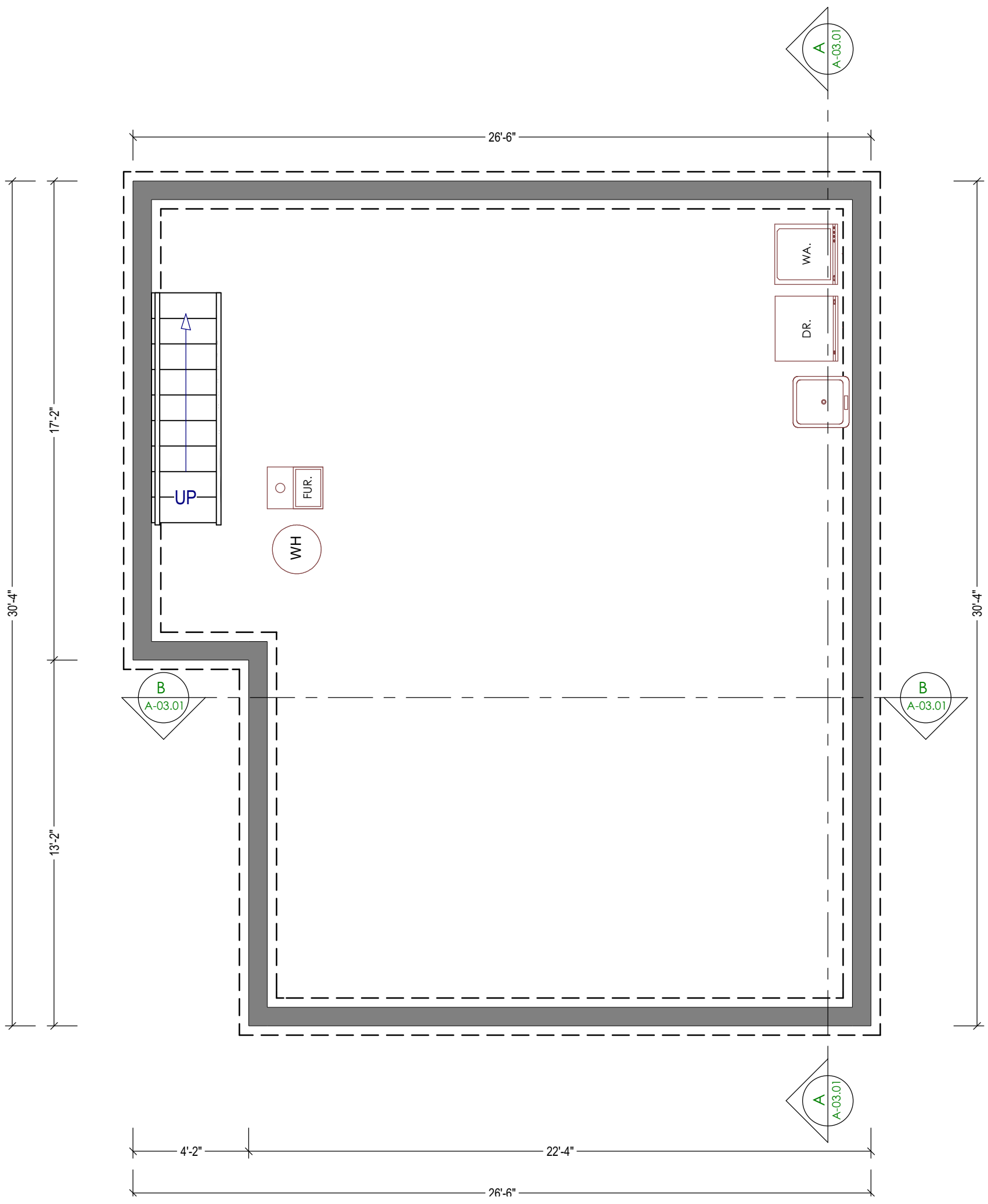
RA-02.02

BUILDING NOTES:

- 1- BASEMENTS (EXCEPT THOSE ONLY FOR MECHANICAL EQUIPMENT AND NOT OVER 200 SQFT IN FLOOR AREA), HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. R310.1
- a. MIN. NET CLEAR OPENABLE DIMENSION OF 24 INCHES IN HEIGHT. R310.1.2
- b. MIN. NET CLEAR OPENABLE DIMENSION 20 INCHES IN WIDTH. R310.1.3
- c. MIN. NET CLEAR OPENABLE DIMENSION OF 5.7 SQFT IN AREA. GRADE FLOOR OPENINGS SHALL HAVE A MIN. NET CLEAR OPENING OF 5 SQFT. 310.1.1
- d. THE HEIGHT OF BOTTOM OF EMERGENCY EGRESS OPENING SHALL HAVE NOT MORE THAN 44 INCHES MEASURED FROM THE FLOOR. 310.2.2
- 2- FOR KITCHEN, A CLEAR PASSAGEWAY OF NOT LESS THAN 3-FEET BETWEEN THE COUNTER FRONTS AND APPLIANCES OR COUNTER FRONTS AND WALLS. CRC R311
- 3- SHOWER COMPARTMENTS AND WALL ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO THE HEIGHT NOT LESS THAN 72 INCHES(6 FT). CRC R307.2
- 4- THE DOOR BETWEEN GARAGE AND ENTRY REQUIRED TO BE SELF LATCHING AND SELF CLOSING, SOLID CORE DOOR NOT LESS THAN 1-3/8 INCH THICK.
- 5- THE MAXIMUM RISER HEIGHT CAN BE 7.75-INCHES. MINIMUM TREAD DEPTH CAN BE 10-INCHES. FOR ANY TREAD DEPTH LESS THAN 11-INCHES, A NOSING OF NOT LESS THAN 0.75-INCHES, BUT NOT MORE THAN 1.25-INCHES SHALL BE PROVIDED.
- 6- DOORS AND PANELS OF SHOWER AND BATHTUB ENCLOSURES SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC. CRC R308.6.2
- GLAZING IN SHOWERS OR BATHTUB ADJACENT WALL OPENINGS WITHIN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC. CRC R308.5
- 7- GLAZING IN AN INDIVIDUAL FIXED OR PORTABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF GLAZING IS LESS THAN 60-INCHES ABOVE THE WALKING SURFACE SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC ( I.E. SIDE LIGHT AT NEW MAIN ENTRY DOOR) . CRC R308.4.2
- 8- MINIMUM 36" DEEP LANDING IN THE DIRECTION OF TRAVEL AT NEW EXTERIOR DOORS SHALL BE PROVIDED. LANDING TO BE NOT MORE THAN 7-¾ INCHES LOWER THAN THE DOOR'S THRESHOLD FOR IN-SWINGING AND SLIDING GLASS DOORS AND NOT MORE THAN 7" FOR IN-SWINGING AND MAIN ENTRY DOOR.
- 9- NEW ENTRY DOOR SHALL BE OPENABLE FROM THE INSIDE OF THE DWELLING WITHOUT USE OF KEY, SPECIAL KNOWLEDGE OR EFFORT. CRC SEC. R311.2
- 10- 1/2" GYPSUM BOARD FROM FOUNDATION TO ROOF SHEATHING TO BE INSTALLED ON THE GARAGE SIDE AT SEPARATION WALL BETWEEN GARAGE AND RESIDENCE. (GARAGE MUST BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA) CRC SEC. R302.6 AND TABLE R302.6
- 5/8" TYPE "X" GYP. BOARD FINISH ON THE GARAGE SIDE OF THE WALL IS REQUIRED. ALSO THE GARAGE SHALL BE SEPRATED FROM THE DWELLING SPACE ABOVE, BY 5/8" TYPE "X" GYP AT THE CEILING.
- 11- BATHROOMS & KITCHEN:
- 11.1- 22" MIN SHOWER DOOR CLEARANCE.
- 11.2- TEMPER GLAZING FOR THE SHOWER DOOR AND SLIDING WINDOWS. CEMENT BOARD SUBSTRATE FOR SHOWER WALLS.
- 11.3- LAVATORY FAUCETS TO HAVE A FLOW RATE OF NO MORE THAN 1.2 GPM OR LESS AT 60 PSI AND NOT LESS THAN 0.8 GPM OR LESS AT 20 PSI. (CALGREEN 4.303.1)
- 11.4- WATER CLOSETS TO HAVE A FLOW RATE OF 1.28 GALLONS/FLUSH OR LESS. (CALGREEN 4.303.1)
- 11.5 -CEMENT BOARD SUBSTRATE (IE. DUROCK OR WONDERBOARD,ETC) FOR TILE APPLICATION SURROUNDING THE BATH TUB WALLS .
- 11.6- KITCHEN FAUCETS TO HAVE A FLOW RATE OF 1.8 GPM OR LESS AT 60 PSI. (CALGREEN 4.303.1)
- 11.7- SHOWER HEAD TO HAVE A FLOW RATE NOT TO EXCEED OF 1.8 GPM AT 80 PSI. (CALGREEN 4.303.1)



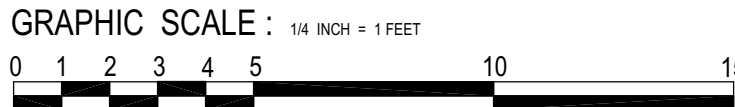
1 PROPOSED 1ST FLOOR PLAN  
SC : 1/4" = 1'-0"



2 PROPOSED BASEMENT  
SC : 1/4" = 1'-0"

LEGEND:

- NEW ADDITION
- NEW CONSTRUCTION WALL
- EXISTING WALL TO STAY
- EXISTING WALL TO BE REMOVED



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RESIDENCE

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SHEET TITLE:

PROPOSED  
FLOOR PLAN

PROJECT ID: 2206-12

DATE: OCT.2022

SCALE: 1/4" = 1'

DRAWN BY: Z.H.

SHEET NUMBER:

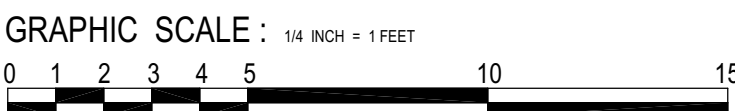
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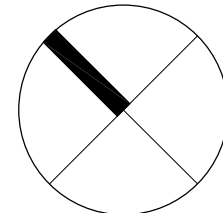
1 PROPOSED 2ND FLOOR PLAN  
SC : 1/4" = 1'-0"

LEGEND:

NEW CONSTRUCTION WALL



NORTH



D.S.  
W / SPLASH BLOCK  
IF NEEDED

D.S.  
W / SPLASH BLOCK  
IF NEEDED

D.S.  
W / SPLASH BLOCK  
IF NEEDED

D.S.  
W / SPLASH BLOCK  
IF NEEDED

D.S.  
W / SPLASH BLOCK  
IF NEEDED

2 PROPOSED ROOF PLAN  
SC : 1/4" = 1'-0"



AMS DESIGN

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PROJECT NAME:

**BLOOMFIELD  
RESIDENCE**

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SHEET TITLE:

**PROPOSED 2ND FLOOR  
PLAN / ROOF PLAN**

PROJECT ID: 2206-12

DATE: OCT.2022

SCALE: 1/4" = 1'

DRAWN BY: Z.H.

SHEET NUMBER:

**A-01.02**

PROJECT NAME:

## BLOOMFIELD RESIDENCE

36 BLOOMFIELD RD.,  
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SHEET TITLE:

## PROPOSED ELEVATIONS

PROJECT ID: 2206-12

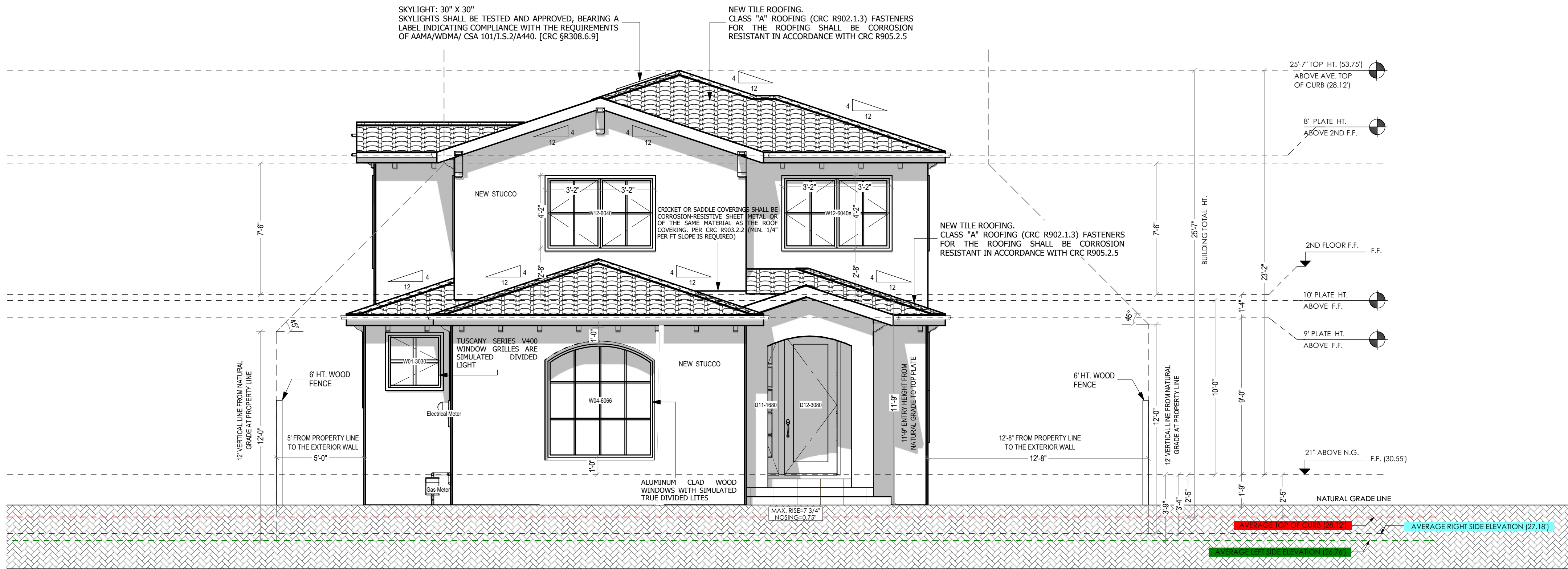
DATE: OCT.2022

SCALE: 1/4" = 1'

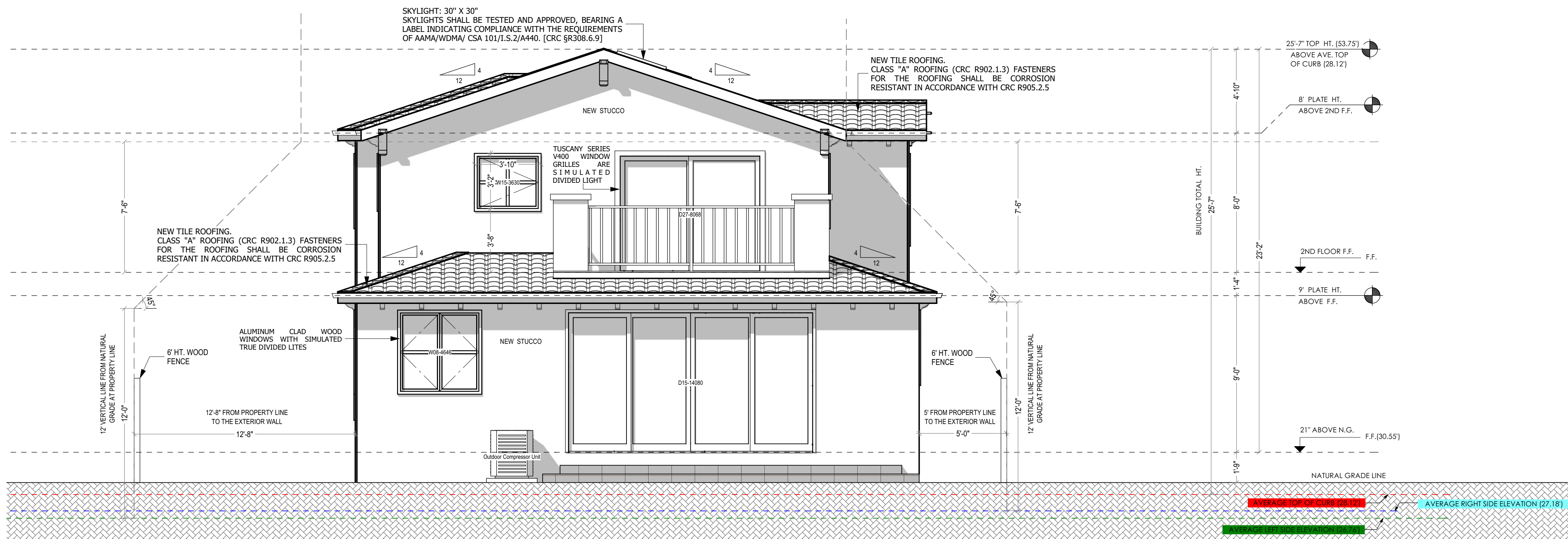
DRAWN BY: Z.H.

SHEET NUMBER:

A-02.01



1 PROPOSED FRONT (SOUTH-WEST) ELEVATION  
SC : 1/4" = 1'-0"



2 PROPOSED REAR (NORTH-EAST) ELEVATION  
SC : 1/4" = 1'-0"

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SHEET TITLE:

## PROPOSED ELEVATIONS

PROJECT ID: 2206-12

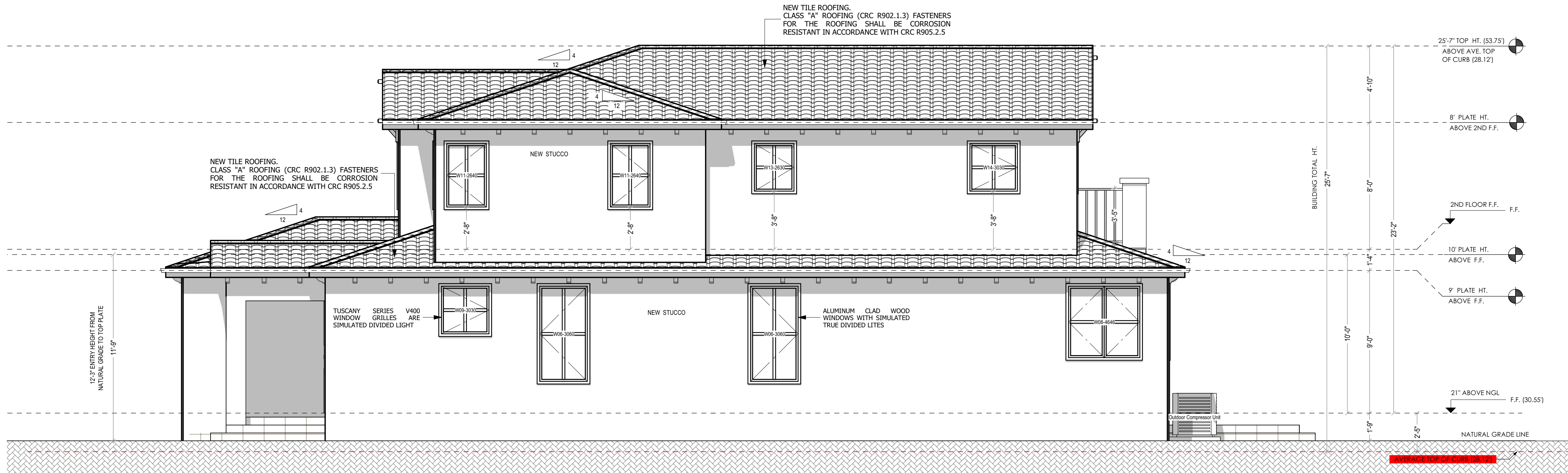
DATE: OCT.2022

SCALE: 1/4" = 1'

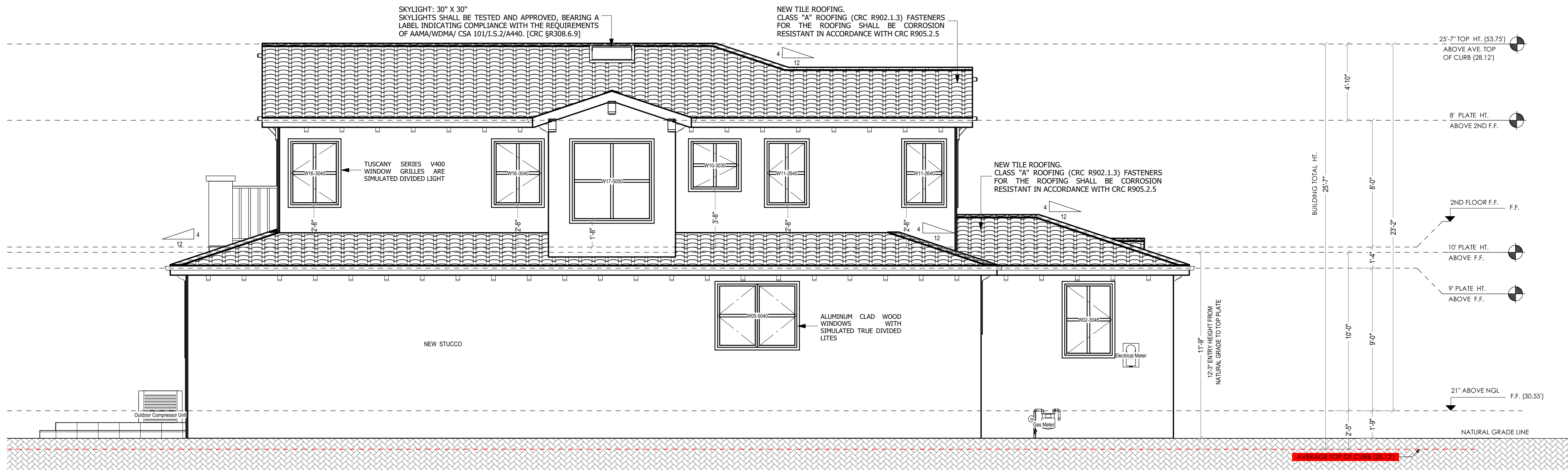
DRAWN BY: Z.H.

SHEET NUMBER:

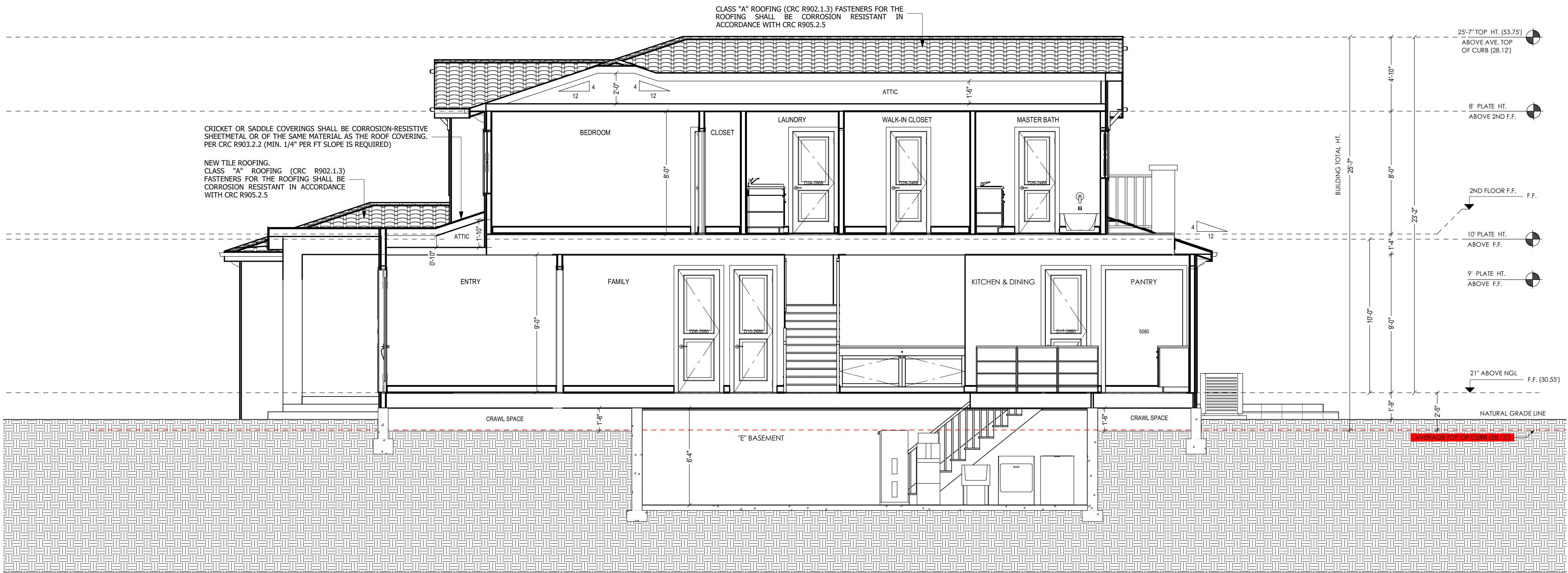
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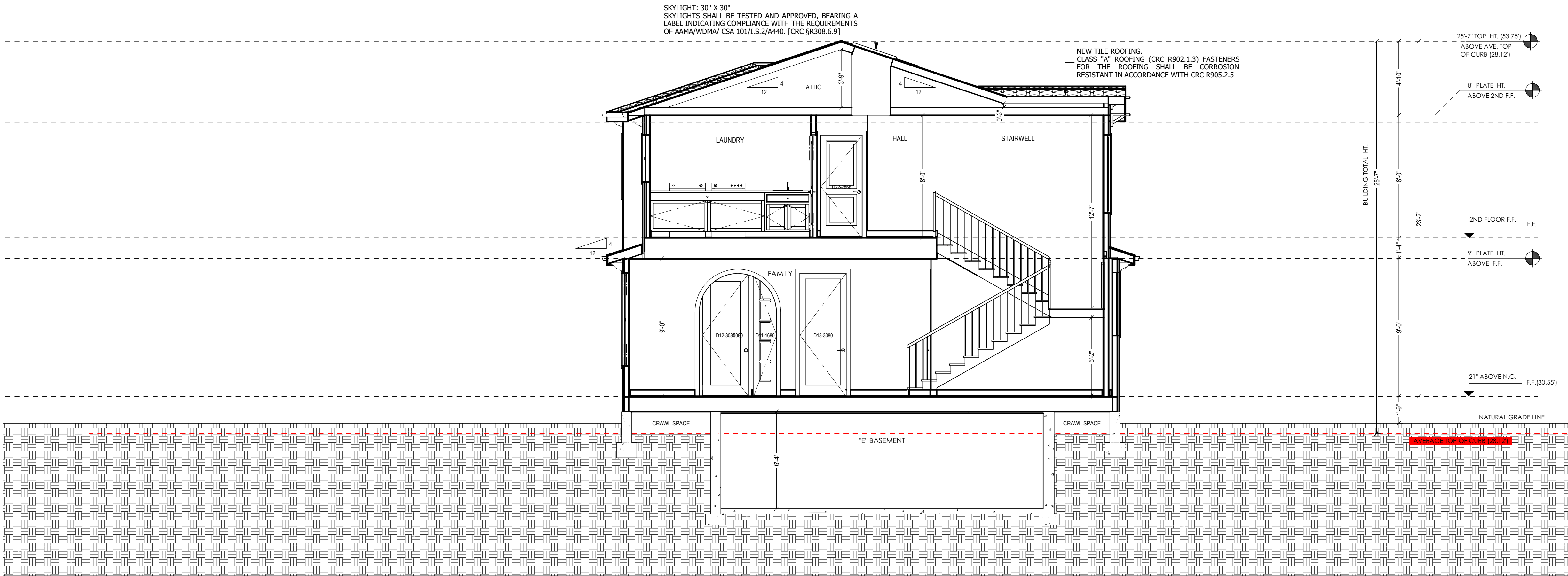
3 PROPOSED RIGHT (SOUTH-EAST) ELEVATION  
SC : 1/4" = 1'-0"



4 PROPOSED LEFT (NORTH-WEST) ELEVATION  
SC : 1/4" = 1'-0"



1 A-A CROSS SECTION  
SC : 1/4" = 1'-0"



2 B-B CROSS SECTION  
SC : 1/4" = 1'-0"

PROJECT NAME:

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SHEET TITLE:

## PROPOSED SECTIONS

PROJECT ID: 2206-12

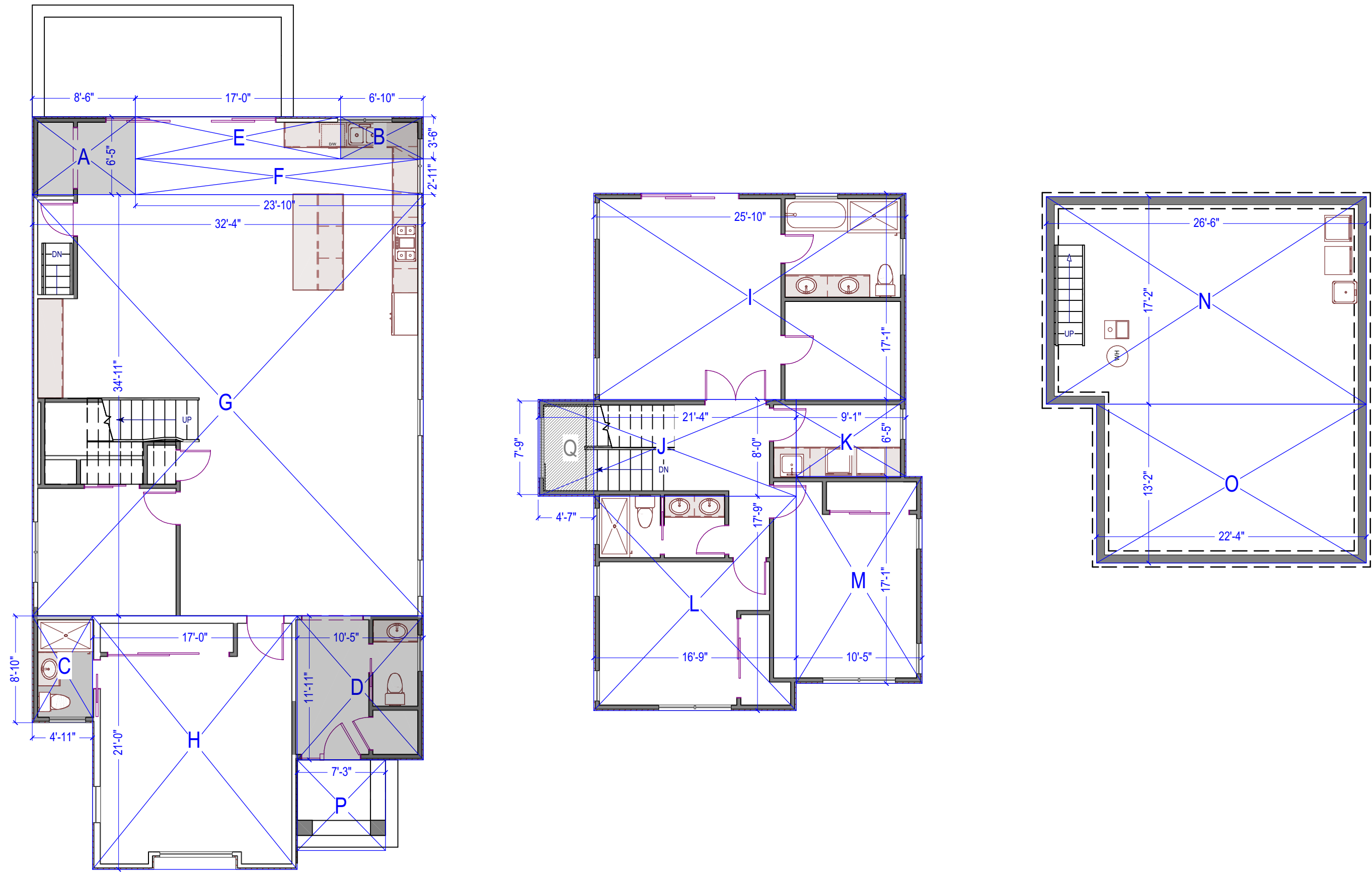
DATE: OCT.2022

SCALE: 1/4" = 1'

DRAWN BY: Z.H.

SHEET NUMBER:

A-03.01



1ST FLOOR AREA DIAGRAM

SCALE: 1/8" : 1'

2ND FLOOR AREA DIAGRAM

SCALE: 1/8" : 1'

BASEMENT AREA DIAGRAM

SCALE: 1/8" : 1'

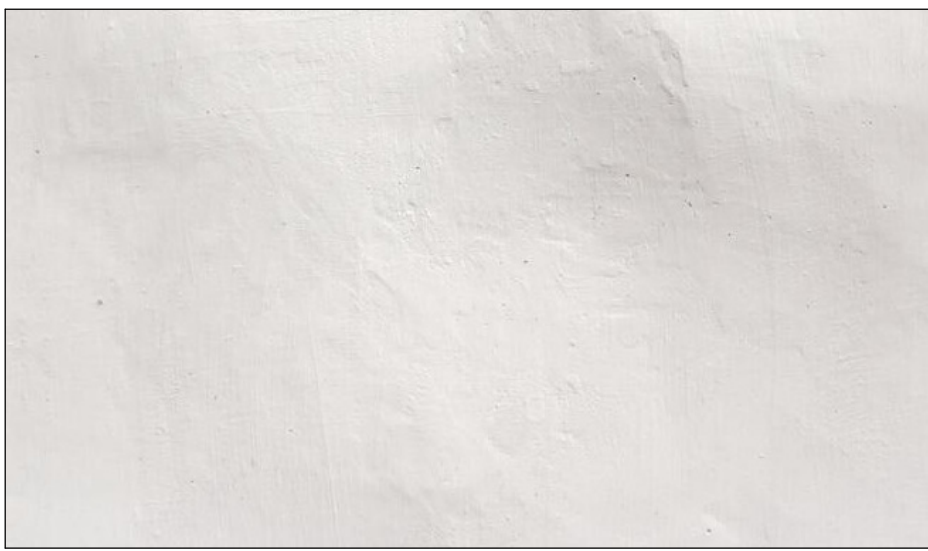
FLOOR AREA DIAGRAM (PROPOSED PLAN):

FLOORS	SPACES	SIZE	AREAS (SQF)	TOTAL	
NEW ADDITION TO LIVING AREA(1ST FLOOR)	A	8'-6" X 6'-5"	55	246	1862
	B	6'-10" X 3'-6"	24		
	C	8'-10" X 4'-11"	43		
	D	11'-11" X 10'-5"	124		
EXISTING LIVING AREA (1ST FLOOR)	E	17'-0" X 3'-6"	60	1616	
	F	23'-10" X 2'-11"	70		
	G	34'-11" X 32'-4"	1129		
	H	21'-0" X 17'-0"	357		
2ND FLOOR LIVING AREA	I	25'-10" X 17'-1"	441	1145	
	J	21'-4" X 8'-0"	171		
	K	9'-1" X 6'-5"	58		
	L	17'-9" X 16'-9"	297		
	M	17'-1" X 10'-5"	178	3007	
TOTAL BUILDING AREA					
EXISTING BASEMENT	N	26'-6" X 17'-2"	455	749	
	O	22'-4" X 13'-2"	294		
COVERED PORCH	P	9'-0" X 7'-3"	65	65	

DECLINING HEIGHT ENVELOPE ENCROACHMENT:

FLOORS	SPACES	SIZE	AREAS (SQF)	TOTAL
ENCROACHMENT	Q	7'-9" X 4'-7"	35	35

STUCCO



TILE ROOFING



EXTERIOR MATERIAL SCHEDULE:

TITLE	TYPE	INFO
ROOF	TILE ROOFING	
SIDING	STUCCO	SMOOTH
GARAGE DOOR	CLOPAY	DARK GRAY COLOR
DOOR	ALIBABA DOORS	DARK GRAY COLOR
WINDOWS	MILGARD	TUSCANY / DARK GRAY COLOR



AMSDESIGN

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Azadeh Masrour

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PROJECT NAME:

BLOOMFIELD  
RESIDENCE

36 BLOOMFIELD RD.,  
BURLINGAME, CA 94010

REVISION TABLE:

△	REVISION DATE	BY	DEP
01	04.06.2023	S.A.	PLN
02	05.24.2023	S.B.	PLN
03	08.01.2023	A.G.	PLN
04	09.27.2023	A.G.	PLN

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OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MIS-DESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY REFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MIS-DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

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SHEET TITLE:

FLOOR AREA DIAGRAM /  
EXTERIOR MATERIAL  
SCHEDULE

PROJECT ID: 2206-12

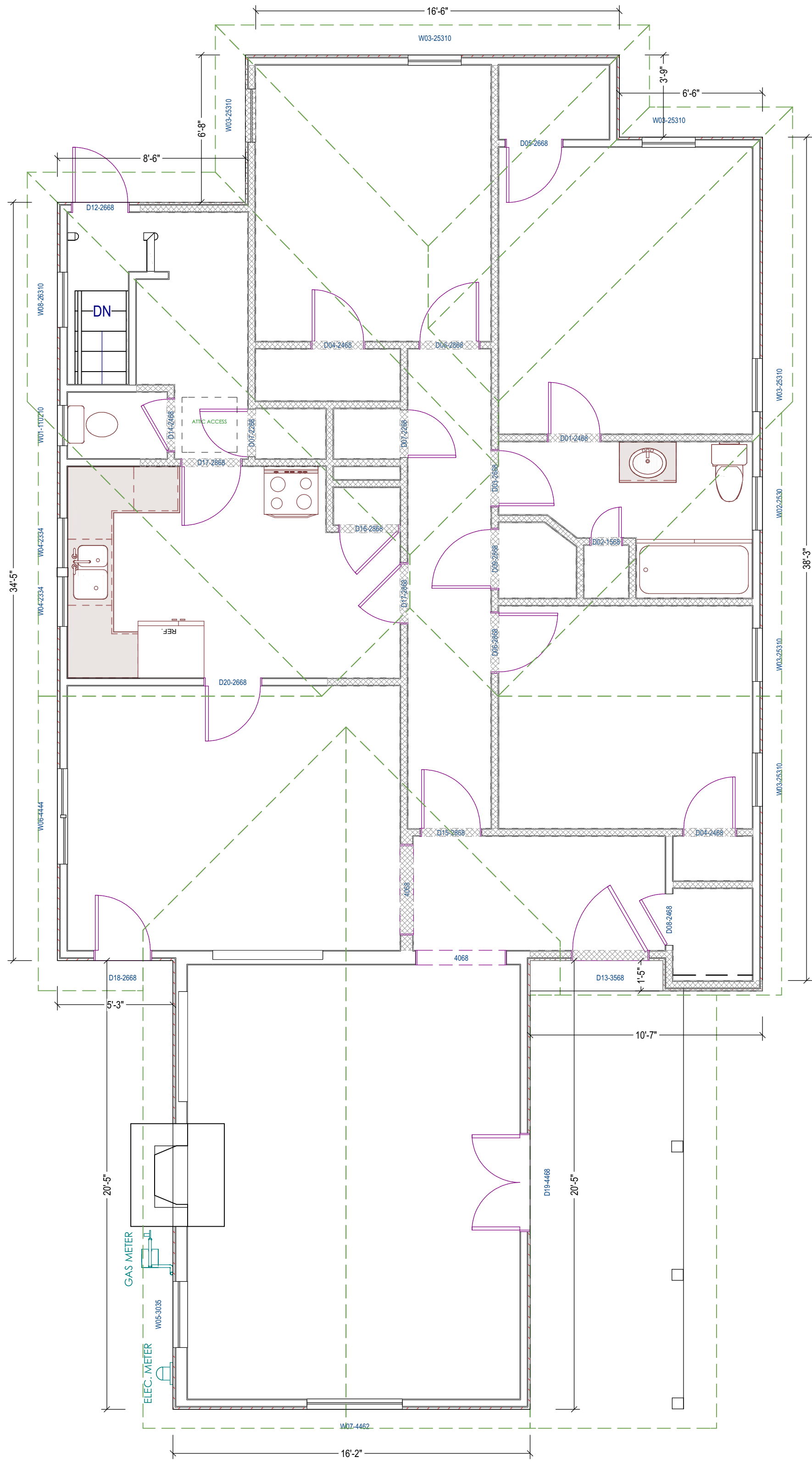
DATE: OCT.2022

SCALE: 1/8" = 1'

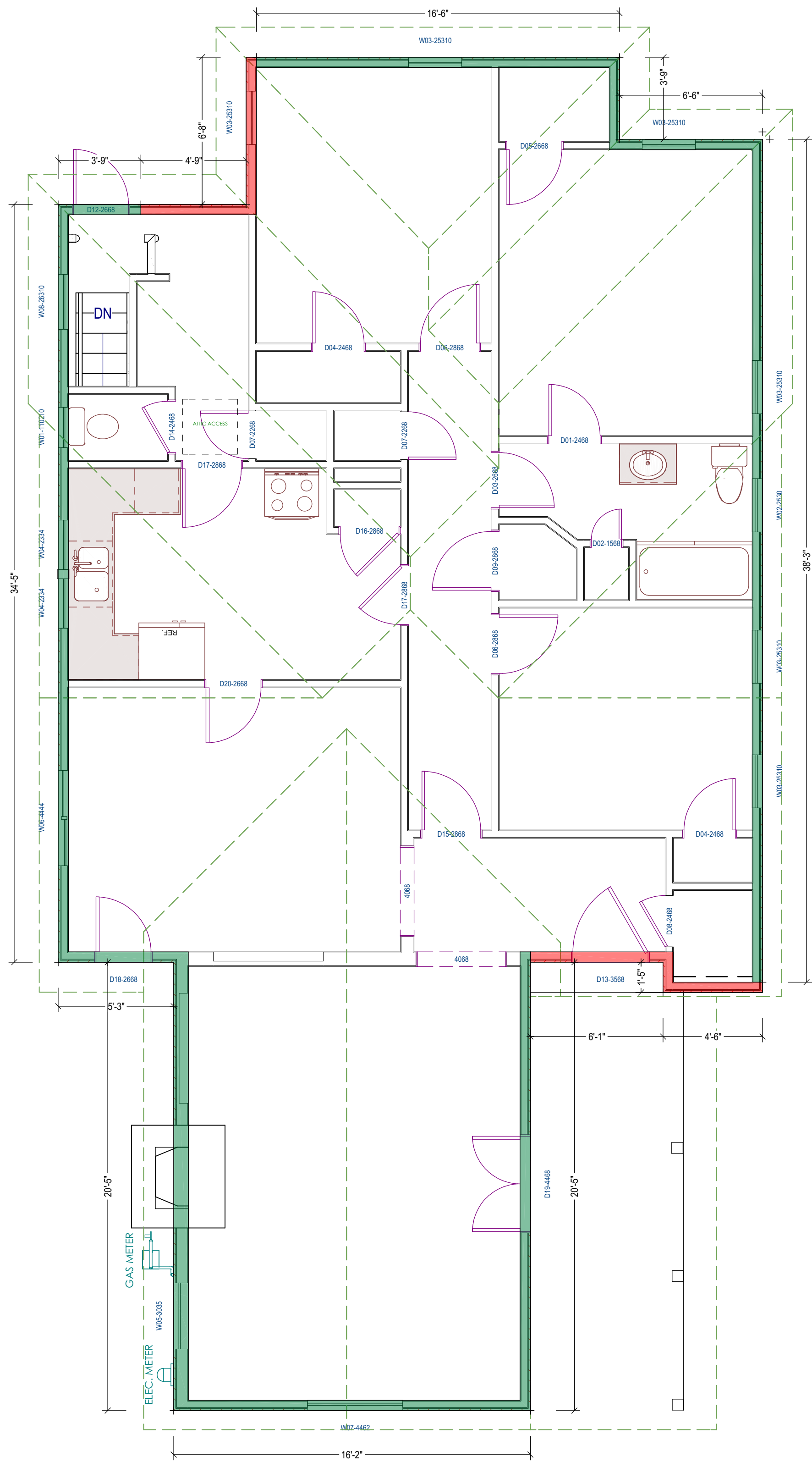
DRAWN BY: Z.H.

SHEET NUMBER:

A-04.01



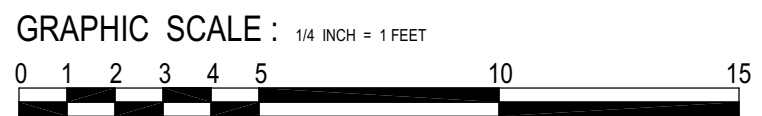
1 EXISTING FOOT PRINT PLAN  
SC : 1/4" = 1'-0"



2 DEMOLITION PLAN - 1ST FLOOR  
SC : 1/4" = 1'-0"

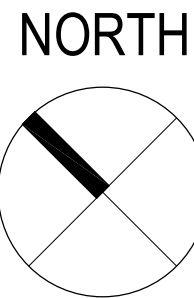
FLOORS	EXISTING FOOT PRINT (LINEAR FEET)	WIDTH OF PRESERVED WALL FRAMING IN LINEAR FEET (INCLUDING EXISTING OPENINGS)	WIDTH OF DEMOLISHED WALL FRAMING IN LINEAR FEET (INCLUDING NEW AND ENLARGED OPENINGS)
FIRST	188'-10"	165'-5"	23'-5"

SINCE 165'-5" IS GREATER THAN 23'-5" THEN NO TECH DEMO



LEGEND:

- PRESERVED WALL FRAMING
- DEMOLISHED WALL FRAMING



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SHEET TITLE:

**EXISTING FOOT  
PRINT PLAN /  
DEMOLITION PLAN**

PROJECT ID: 2206-12

DATE: OCT.2022

SCALE: 1/4"=1'

DRAWN BY: Z.H.

SHEET NUMBER:

**A-04.02**