

988 HOWARD AVENUE BURLINGAME, CA



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ABBREVIATIONS	LEGEND	GENERAL NOTES	STREET ELEVATION	DRAWING INDEX	CONTACT LIST																																																		
<p>A/C AIR CONDITIONING ADJ. ADJUSTABLE A.F.F. ABOVE FINISH FLOOR ALUM. ALUMINUM ALT. ALTERNATE APPROX. APPROXIMATELY ARCH. ARCHITECTURAL A.C.T. ACOUSTIC CEILING TILE BLDG. BUILDING BLKG. BLOCKING BOT. BOTTOM C. CENTER LINE CAB. CABINET C.G. CORNER GUARD C.H. CHANGE CLOS. CLOSURE CLR. CLEAR C.M.U. CONCRETE MASONRY UNIT COL. COLUMN CONN. CONNECTION CONSTR. CONSTRUCTION CORR. CORRUGATED C.T. CERAMIC TILE CTR. CENTER DET. DETAIL DIA. DIAMETER DIM. DIMENSION D.W.G. DRAWING D.S. DOWN SPOUT (E) EXISTING EACH EACH ELEV. ELEVATION ELEV. ELEVATION E.O. EQUAL E.O.P. EQUIPMENT EXP. EXPANSION EXPOS. EXPOSED EXT. EXTERIOR F.D. FLOOR DRAIN FIN. FINISH FL. FLOOR FLASH. FLASHING FLUOR. FLUORESCENT F.O.F. FACE OF FINISH F.O.S. FACE OF STUD FRF. FIREPROOF FURR. FURRING G. GAGE GALV. GALVANIZED G.C. GENERAL CONTRACTOR GL. GLASS GR. GRADE GYP. BOARD GYPSUM BOARD H.B. HOSE BIB HC. HANDICAPPED H.C. HOLLOW CORE HDWR. HARDWARE HGT. HEIGHT H.M. HOLLOW METAL H.P. HIGH POINT HR. HOUR H.W. HOT WATER INSUL. INSULATION/INSULATED INT. INTERIOR JAN. JANITOR JT. JOINT L.P. LOW POINT MAX. MAXIMUM M.C. MEDICINE CABINET M.D. MOTION DETECTOR MECH. MECHANICAL MIN. MINIMUM MTD. MOUNTED MTL. METAL (N) NEW N.C. NOT IN CONTRACT NO. NUMBER N.T.S. NOT TO SCALE O.C. OFFICE OFF. OFFICE OPNG. OPENING OPP. OPPOSITE O.T.B. OPEN TO BELOW PR. PAIR PLAM. PLASTIC LAMINATE PTD. PAINTED PLYWD. PLYWOOD P.O. PRIVATE OFFICE R. ROOF REQ. REQUIRED RM. ROOM R.O. ROUGH OPENING S.C. SOLID CORE STOR. STORAGE SHT. SHEET SIM. SIMILAR STR. STRUCTURAL T. TREAD T&G. TONGUE AND GROOVE TEL. TELEPHONE T.O. TOP OF TYP. TYPICAL U.O.N. UNLESS OTHERWISE NOTED V.I.F. VERIFY IN FIELD WD. WOOD W.P. WATERPROOF</p>	<p>DETAIL REFERENCE NUMBER SHEET WHERE DETAIL IS LOCATED DIRECTION OF SECTION VIEW INTERIOR SECTION IDENTIFICATION/ SHEET WHERE SECTION IS LOCATED SHEET WHERE ELEVATION IS LOCATED ELEVATION REFERENCE NUMBER DOOR SYMBOL WINDOW SYMBOL WALL / FLOOR TYPE SYMBOL ELEVATION DATUM CEILING HEIGHT REVISION SYMBOL WALL-MOUNTED INCANDESCENT SCENCE LIGHT FIXTURE WALL-MOUNTED COMPACT FLUORESCENT SCENCE LIGHT FIXTURE RECESSED INCANDESCENT LIGHT FIXTURE AT CEILING RECESSED COMPACT FLUORESCENT LIGHT FIXTURE AT CEILING SURFACE-MOUNTED COMPACT FLUORESCENT LIGHT FIXTURE AT CEILING COMBINATION EXHAUST FAN AND COMPACT FLUORESCENT LIGHT FIXTURE, RECESSED AT CEILING SURFACE-MOUNTED FLUORESCENT STRIP LIGHT FIXTURE, CEILING-MOUNTED (WITH LENGTH AS INDICATED) SURFACE-MOUNTED TRACK LIGHT FIXTURE, CEILING-MOUNTED (WITH LENGTH AS INDICATED) EMERGENCY LIGHT FIXTURE WITH BATTERY PACK, CEILING OR WALL-MOUNTED EXIT LIGHT FIXTURE WITH BATTERY BACK-UP, CEILING OR WALL-MOUNTED (WITH DIRECTIONAL ARROWS AS REQUIRED) ONE-WAY SWITCH, MOUNTED AT +48" A.F.F., U.O.N. TWO-WAY SWITCH, MOUNTED AT +48" A.F.F., U.O.N. THREE-WAY SWITCH, MOUNTED AT +48" A.F.F., U.O.N. DUPLEX OUTLET, MOUNTED AT +15" A.F.F., U.O.N. DUPLEX OUTLET (WATERPROOF) MOUNTED AT +15" A.F.F., U.O.N. DUPLEX OUTLET, (DEDICATED) MOUNTED AT +15" A.F.F., U.O.N. DUPLEX OUTLET, WITH GROUND FAULT INTERRUPTER, MOUNTED AT +44" A.F.F., U.O.N. DUPLEX OUTLET (FOR DISHWASHER), MOUNTED UNDER KITCHEN CABINET TELEPHONE JACK, MOUNTED AT +15" A.F.F., U.O.N. DATA JACK, MOUNTED AT +15" A.F.F., U.O.N.</p>	<p>GENERAL CONDITIONS: AIA DOCUMENT A201, GENERAL CONDITIONS FOR THE PERFORMANCE OF THE CONTRACT IS HEREBY INCORPORATED INTO THESE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF THE WORK. EXISTING CONDITIONS: CONDITIONS SHOWN ON THE DRAWINGS ARE AS SHOWN ON THE ORIGINAL DRAWINGS AND AS OBSERVED ON THE SITE, BUT THEIR ACCURACY IS NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECT PRIOR TO PROCEEDING WITH THE WORK. NOTE: DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE OF THE DRAWINGS. PERMITS: THE CONTRACTOR SHALL OBTAIN AND PAY ALL CITY AND/OR COUNTY FEES RELATING TO PROJECT, EXCEPTING THE GENERAL PERMIT, WHICH IS THE RESPONSIBILITY OF THE OWNERS' AND IS REIMBURSABLE TO THE G.C. CODES: ALL WORK SHALL BE DONE IN COMPLIANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO: UNIFORM BUILDING CODES, NATIONAL ELECTRICAL, MECHANICAL, AND PLUMBING CODES, HEALTH DEPARTMENT REGULATIONS, FIRE AND SAFETY CODES, CITY AND/OR COUNTY ORDINANCES AND REGULATIONS AND OTHER CODES GOVERNING CONSTRUCTION. SITE RESPONSIBILITY: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING HEALTH AND SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. CONTRACTOR TO LIMIT TRAFFIC AND ACCESS TO THOSE AREAS WHERE WORK IS PERFORMED. CLEAN UP AND REPAIRS: THE CONSTRUCTION SITE SHALL BE MAINTAINED IN AN ORDERLY MANNER AT ALL TIMES WITH ALL DEBRIS REMOVED AT THE END OF THE EACH DAY. AT THE COMPLETION OF THE CONSTRUCTION REMOVE ALL EXCESS MATERIALS AND REFUSE FROM SITE. LEAVE ALL SURFACES WITHIN CONSTRUCTION SITE FREE FROM DUST, DIRT AND STAINS. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SURFACES OR ITEMS DAMAGED BY CONSTRUCTION TO THE SATISFACTION OF THE ARCHITECT AND OWNER. PATCHING: PROPERLY PREPARE SURFACES FOR RECEIVING THE SPECIFIED FINISHES INCLUDING PATCHING OF SURFACES ALTERED BY CONSTRUCTION. ON PATCHED AREAS OR AREAS WHERE A FINISH IS NOT SPECIFIED, THE FINISH SHALL MATCH ADJACENT MATERIAL IN CONSTRUCTION, COLOR AND TEXTURE. ALL WORK NOTED "N.I.C." OR NOT IN CONTRACT IS TO BE PROVIDED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR. "ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES ON THE SAME PLANE. "TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N. DETAILS ARE USUALLY KEYED AND NOTED "TYPICAL" ONLY ONCE, WHEN THEY FIRST OCCUR, AND ARE REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N. SCHEDULE: UPON SUBMITTAL OF THE FINAL CONSTRUCTION COSTS, THE CONTRACTOR SHALL ALSO SUBMIT A CONSTRUCTION SCHEDULE INDICATING THE REQUIRED CONSTRUCTION TIME FOR ALL SUBCONTRACTOR'S AND CONTRACTOR'S WORK AND A COST-BY-TRADE BREAKDOWN FOR USE IN SCHEDULING AND EVALUATING PAY REQUESTS. SUBSTITUTIONS: SUBSTITUTIONS, REVISIONS, OR CHANGES MUST HAVE APPROVAL BY THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK. DAMAGE: THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SURFACES OR ITEMS DAMAGED BY CONSTRUCTION TO THE SATISFACTION OF THE ARCHITECT OR OWNER. GUARANTEES: THE CONTRACTOR SHALL GUARANTEE THAT THE PROJECT WILL BE FREE OF DEFECTS OF WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY DEFICIENT IN ANY REQUIREMENT OF THE DRAWINGS OR NOTES WILL BE ACCEPTABLE IN CONSEQUENCE OF THE OWNER'S OR ARCHITECT'S FAILURE TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTS OF WORKMANSHIP OR MATERIALS REVEALED WITHIN A PERIOD OF ONE YEAR FROM THE ACCEPTANCE SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONTRACT AT NO COST TO THE OWNER. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK. COLUMN CENTERLINES (ALSO REFERRED TO AS GRIDLINES) ARE SHOWN FOR DIMENSIONAL PURPOSES. (REFER TO BASE BUILDING DRAWINGS FOR EXACT LOCATIONS). CONSTRUCTION HOURS: WEEKDAYS: 7:00AM - 7:00PM SATURDAYS: 9:00AM - 6:00PM SUNDAY AND HOLIDAYS: 10:00AM - 6:00PM (SEE CITY OF BURLINGAME MUNICIPAL CODE, SECTION 13.01.100 FOR DETAILS) ANY HIDDEN CONDITIONS THAT REQUIRE WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT ISSUED FOR THESE PLANS MAY REQUIRE FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION. THE BUILDING OWNER, PROJECT DESIGNER, AND/OR CONTRACTOR MUST SUBMIT A REVISION TO THE CITY FOR ANY WORK NOT GRAPHICALLY ILLUSTRATED ON THE JOB COPY OF THE PLANS PRIOR TO PERFORMING THE WORK. AN OSHA PERMIT TO BE OBTAINED FOR THE SHORING* AT THE EXCAVATION IN THE BASEMENT PER CAL/OSHA REQUIREMENTS. SEE CAL/OSHA HANDBOOK. *CONSTRUCTION SAFETY ORDERS: CHAPTER 4, SUBCHAPTER 4, ARTICLE 6, SECTION 1541.1. GRADING PERMIT, IF REQUIRED, TO BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS. ALL PATHS OF TRAVEL AND COMMON USE SPACES WILL BE ACCESSIBLE AND ALL LIVING UNITS WILL BE ADAPTABLE.</p>		<p>GENERAL A0.0 COVER SHEET A0.1 GREEN CHECKLISTS A0.2 CODE & EGRESS PLANS A0.3 ACCESS PLANS A0.4 DETAILS: TYPICAL ACCESSIBILITY A0.5 DETAILS: TYPICAL ACCESSIBILITY A0.6 DETAILS: TYPICAL ACCESSIBILITY A0.7 AREA CALCULATIONS CIVIL SHEET 1 BOUNDARY AND TOPOGRAPHIC SURVEY C-1 PRELIMINARY GRADING AND DRAINAGE PLAN LANDSCAPE L1.1 SCHEMATIC DESIGN PHASE SITE SURVEY ARBOR CARE PLAN L2.1 SCHEMATIC DESIGN PHASE LANDSCAPE PLAN : GROUND LVL L2.2 SCHEMATIC DESIGN PHASE LANDSCAPE PLAN : ROOF LVL ARCHITECTURAL A1.0 SITE PLAN: DEMO A1.1 SITE PLAN: PROPOSED A2.0 FLOOR PLAN: BASEMENT A2.1 FLOOR PLAN: GROUND FLOOR A2.2 FLOOR PLAN: 2ND FLOOR A2.3 FLOOR PLAN: 3RD FLOOR A2.4 FLOOR PLAN: ROOF PLAN A3.1 ELEVATIONS: EXTERIOR A3.2 ELEVATIONS: EXTERIOR A3.3 EXTERIOR RENDERINGS A4.1 SECTIONS: BUILDING</p>	<p>OWNER DIMITRIOS SOGAS 1290 HOWARD STREET BURLINGAME, CA 94010 650/703-1042 CONTACT: DIMITRIOS SOGAS ARCHITECT LEVY DESIGN PARTNERS 90 SOUTH PARK SAN FRANCISCO, CA 94107 415/777-0561 415/777-5117 FAX CONTACT: TOBY LEVY LANDSCAPE ARCHITECT CFLA 74 DUDLEY AVE PIEDMONT, CA 94611 510/601-8022 510/601-0922 FAX CONTACT: CHRIS FORD CIVIL ENGINEER MACLEOD & ASSOCIATES 965 CENTER STREET SAN CARLOS, CA 94070 650/593-8580 X12 510/593-8675 FAX CONTACT: VERGEL GALURA</p>																																																		
<p>APPLICABLE CODES AND REGULATIONS 2013 CALIFORNIA BUILDING CODE 2013 CALIFORNIA RESIDENTIAL CODE (WHERE APPLICABLE) 2013 CALIFORNIA MECHANICAL CODE 2013 CALIFORNIA PLUMBING CODE 2013 CALIFORNIA ELECTRIC CODE 2013 CALIFORNIA ENERGY CODE 2013 CALIFORNIA ENERGY EFFICIENCY STANDARDS 2013 CALIFORNIA FIRE CODE 1998 CALIFORNIA ELEVATOR SAFETY CODE ANSI/ASME A17.1-2013 SAFETY CODE FOR ELEVATORS AND ESCALATORS 2013 EDITION UNIFORM FEDERAL ACCESSIBILITY STANDARDS INCLUDING ANY AMENDMENTS AS ADOPTED IN ORDINANCE 1856-2010 AS WELL AS ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS</p>	<p>AREA MAP TRUE NORTH PROJECT NORTH</p>	<p>BUILDING DATA ADDRESS: 988 HOWARD AVENUE, BURLINGAME, CA 94010 A.P.N: 029 214 220 BLOCK/LOT#: 029 214 220 LOT SIZE: 15,352 SQ. FT. ZONING DISTRICT: MMU CODES: 2013 CALIFORNIA BUILDING CODE (CBC) 2014 BURLINGAME DOWNTOWN PLAN AND HOUSING ELEMENT SCOPE OF WORK: NEW CONSTRUCTION OF A 3-STORY BUILDING OVER BASEMENT: 2 STORIES OF COMMERCIAL ABOVE GROUND LEVEL OF PARKING, LOBBY, AND RETAIL; BASEMENT CONTAINS PARKING FIRE RATINGS: TYPE IA CONSTRUCTION: PRIMARY STRUCTURAL FRAME: 3 HOUR (CBC TABLE 601) BEARING EXTERIOR WALLS: 3 HOUR (CBC TABLE 601) BEARING INTERIOR WALLS: 3 HOUR (CBC TABLE 601) NON-BEARING EXTERIOR WALLS: 1 HOUR (CBC TABLE 602) NON-BEARING INTERIOR WALLS: NO RATING (CBC TABLE 601) FLOOR CONSTRUCTION: 2 HOUR (CBC TABLE 601) ROOF CONSTRUCTION: 1.5 HOUR (CBC TABLE 601) EXIT ENCLOSURES: 2 HOURS (CBC 1022.1) TYPE VB CONSTRUCTION: PRIMARY STRUCTURAL FRAME: NO RATING (CBC TABLE 601) BEARING EXTERIOR WALLS: NO RATING (CBC TABLE 601) BEARING INTERIOR WALLS: NO RATING (CBC TABLE 601) NON-BEARING EXTERIOR WALLS: 1 HOUR & NO RATING (CBC TABLE 602) NON-BEARING INTERIOR WALLS: NO RATING (CBC TABLE 601) FLOOR CONSTRUCTION: NO RATING (CBC TABLE 601) ROOF CONSTRUCTION: NO RATING (CBC TABLE 601) EXIT ENCLOSURES: 2 HOURS (CBC 1022.1)</p> <table border="1"> <thead> <tr> <th>LOCATION</th> <th>BASEMENT & GROUND FLOOR</th> <th>2ND & 3RD FLOORS</th> </tr> </thead> <tbody> <tr> <td>PROPOSED OCCUPANCY</td> <td>BASEMENT :S-2 (PARKING & STORAGE) - GROUND FLOOR : S-2 & B</td> <td>B (BUSINESS)*</td> </tr> <tr> <td>CONSTRUCTION*</td> <td>TYPE 1A</td> <td>TYPE V-B</td> </tr> <tr> <td>SPRINKLERED</td> <td>YES</td> <td>YES</td> </tr> <tr> <td>AREA</td> <td></td> <td></td> </tr> <tr> <td>ALLOWABLE AREA (CBC TABLE 503)</td> <td>UNLIMITED</td> <td>UNLIMITED</td> </tr> <tr> <td>ALLOWABLE AREA MODIFICATION PER STORY (CBC 506.1)</td> <td>N/A</td> <td>N/A</td> </tr> <tr> <td>TOTAL ALLOWABLE AREA</td> <td>UNLIMITED</td> <td>UNLIMITED</td> </tr> <tr> <td>PROPOSED AREA</td> <td>54,000 SF (2x2x0)</td> <td>54,000 SF (2x2x0)</td> </tr> <tr> <td>TOTAL PROPOSED AREA</td> <td>14,575 SF</td> <td>10,150 SF</td> </tr> <tr> <td>HEIGHT & STORIES</td> <td></td> <td></td> </tr> <tr> <td>ALLOWABLE HEIGHT (CBC TABLE 503)</td> <td>UNLIMITED</td> <td>UNLIMITED</td> </tr> <tr> <td>PROPOSED HEIGHT</td> <td>N/A (BASEMENT)</td> <td>N/A (BASEMENT)</td> </tr> <tr> <td>ALLOWABLE STORES (CBC TABLE 503)</td> <td>UNLIMITED</td> <td>UNLIMITED</td> </tr> <tr> <td>PROPOSED STORES</td> <td>1</td> <td>1 (ABOVE GRADE)</td> </tr> <tr> <td>OCCUPANT LOAD</td> <td>14,575/200 = 73</td> <td>COMMERCIAL: 2ND FL: 11,180/100 = 112 3RD FL: 11,115/100 = 111 TOTAL: 223</td> </tr> <tr> <td>TOTAL OCCUPANTS: 136</td> <td></td> <td>TOTAL OCCUPANTS: 223</td> </tr> </tbody> </table> <p>*3 HR HORIZONTAL SEPARATION BETWEEN B (TYPE VB) & S-2 (TYPE IA) OCCUPANCIES ** FULLY SPRINKLERED FOR 1-STORY ALLOWABLE INCREASE (BUT NOT USED)</p>	LOCATION	BASEMENT & GROUND FLOOR	2ND & 3RD FLOORS	PROPOSED OCCUPANCY	BASEMENT :S-2 (PARKING & STORAGE) - GROUND FLOOR : S-2 & B	B (BUSINESS)*	CONSTRUCTION*	TYPE 1A	TYPE V-B	SPRINKLERED	YES	YES	AREA			ALLOWABLE AREA (CBC TABLE 503)	UNLIMITED	UNLIMITED	ALLOWABLE AREA MODIFICATION PER STORY (CBC 506.1)	N/A	N/A	TOTAL ALLOWABLE AREA	UNLIMITED	UNLIMITED	PROPOSED AREA	54,000 SF (2x2x0)	54,000 SF (2x2x0)	TOTAL PROPOSED AREA	14,575 SF	10,150 SF	HEIGHT & STORIES			ALLOWABLE HEIGHT (CBC TABLE 503)	UNLIMITED	UNLIMITED	PROPOSED HEIGHT	N/A (BASEMENT)	N/A (BASEMENT)	ALLOWABLE STORES (CBC TABLE 503)	UNLIMITED	UNLIMITED	PROPOSED STORES	1	1 (ABOVE GRADE)	OCCUPANT LOAD	14,575/200 = 73	COMMERCIAL: 2ND FL: 11,180/100 = 112 3RD FL: 11,115/100 = 111 TOTAL: 223	TOTAL OCCUPANTS: 136		TOTAL OCCUPANTS: 223	<p>PLANNING DATA ADDRESS: 988 HOWARD AVENUE, BURLINGAME, CA 94010 A.P.N: 029 214 220 BLOCK/LOT#: 029 214 220 LOT SIZE: 15,352 SQ. 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REQUIREMENTS) LANDSCAPING: REQUIRED: 10% OF FRONT SETBACK AREA TO BE LANDSCAPED PROPOSED: 70% OF FRONT SETBACK AREA TO BE LANDSCAPED PARKING: REQUIRED: • 1 SPACE PER 300SF OF INTERIOR GROSS OFFICE/COMMERCIAL SPACE (• 20,880SF = 69.6 SPACES) • 1 SPACE PER 400SF OF RETAIL SPACE (• 1,325SF = 3.3125 SPACES) TOTAL REQUIRED: 72.9 SPACES = 73 SPACES PROPOSED: • 1 CAR SHARE PARKING SPACE (PER CAR SHARE PARKING BONUS): • ALLOWS A MAXIMUM OF 10% PARKING REDUCTION = REQUIRING THE PROJECT TO PROVIDE: • (73/.10 = 65.7) = 66 PARKING SPACES + 1 CAR SHARE SPACE 67 SPACES : PROVIDED • 64 STANDARD COMMERCIAL SPACES (8'-6" X 18'-0") • (INCL. 25 STANDARD COMMERCIAL SPACES BY USE OF CAR STACKERS) • 3 ACCESSIBLE PARKING SPACES (9'-0" X 20'-0")</p>	<p>988 HOWARD AVENUE APN: 029 214 220 BURLINGAME, CA PROJECT NO. 2014-21 DATE SET ISSUE 05-01-2015 PLANNING COMMISSION 08-24-2015 PLANNING COMMISSION 12-23-2015 PLANNING COMMISSION CONTACT: TOBY LEVY (415) 777-0561 P (415) 777-5117 F SCALE: AS NOTED COVER SHEET A0.0</p>
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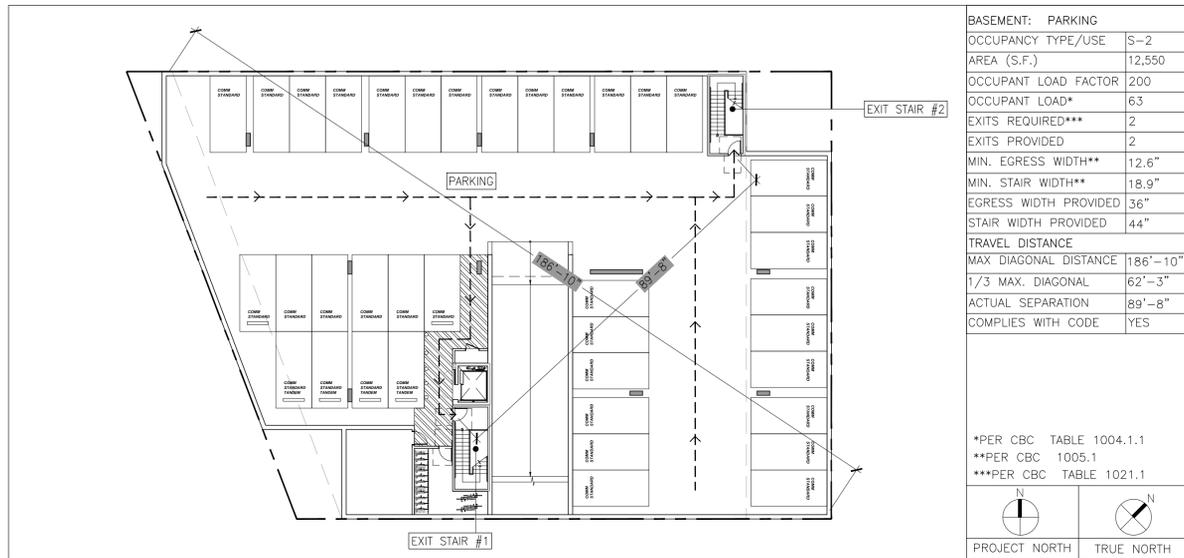
988 HOWARD AVENUE
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CONTACT: TOBY LEVY
(415) 777-0561 P
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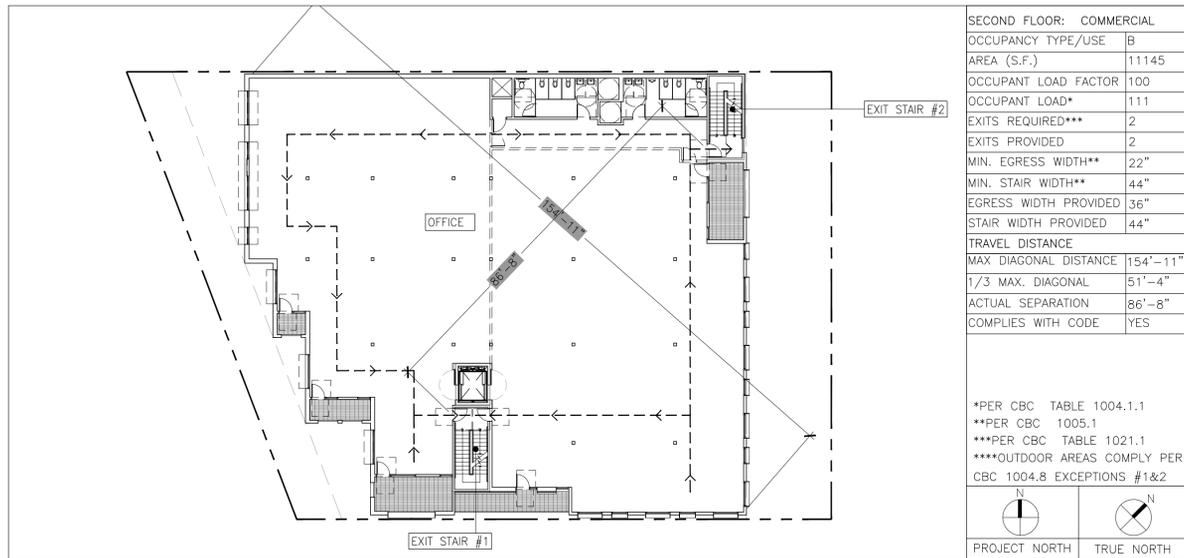
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COVER SHEET

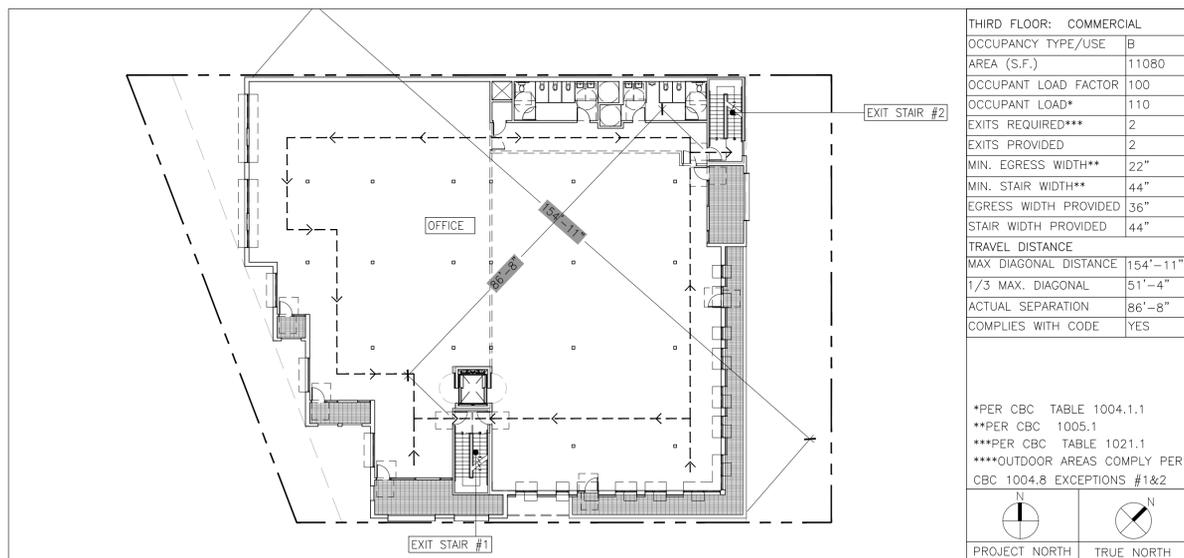
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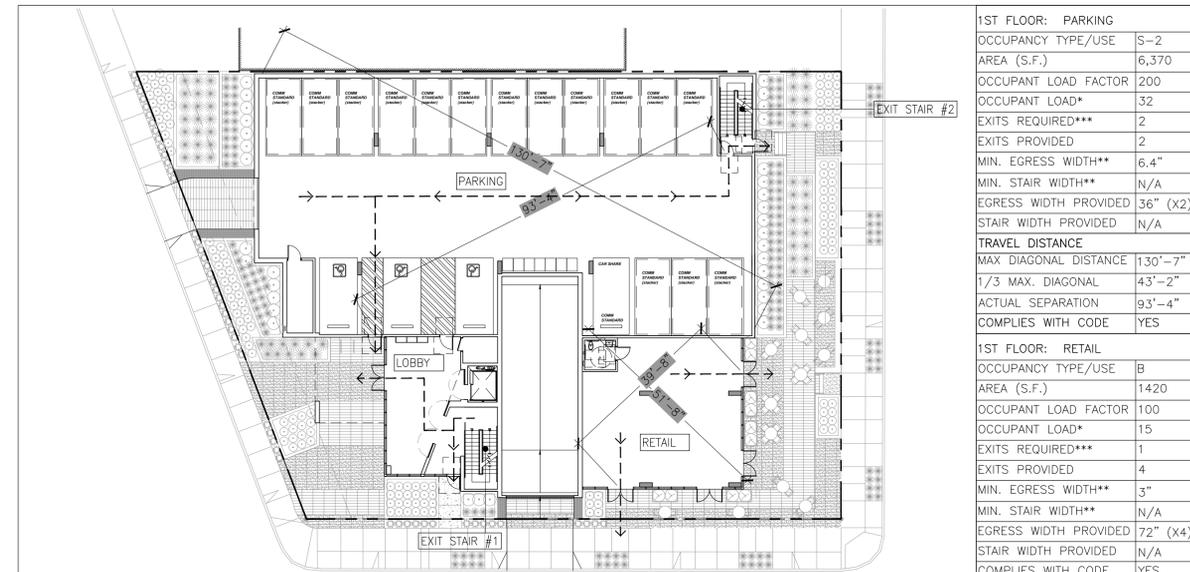
1 PLAN: BASEMENT EGRESS
 1"=20'-0"



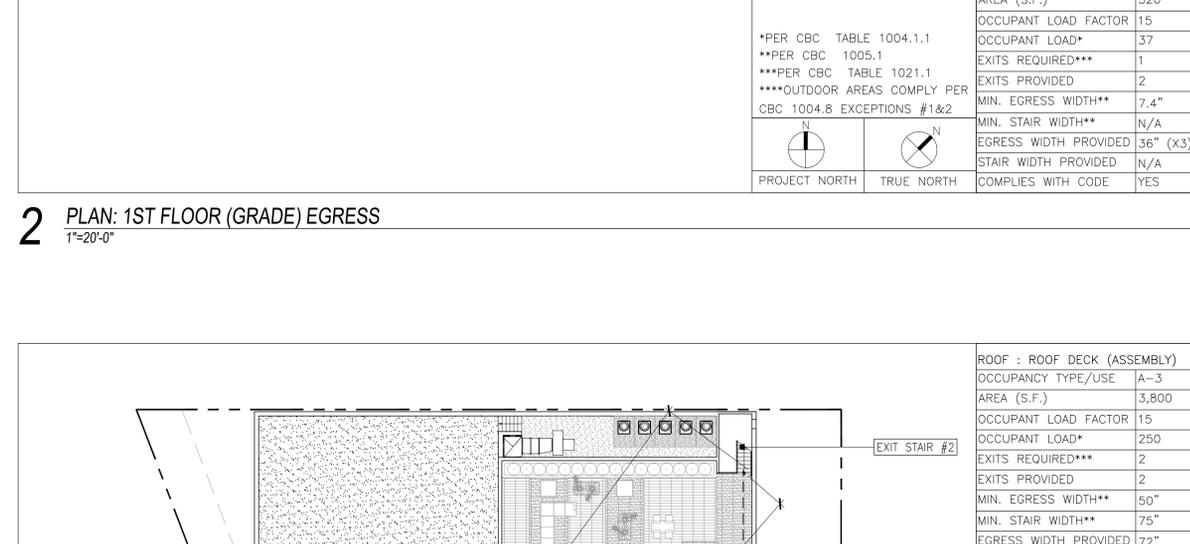
3 PLAN: 2ND FLOOR EGRESS
 1"=20'-0"



4 PLAN: 3RD FLOOR EGRESS
 1"=20'-0"



2 PLAN: 1ST FLOOR (GRADE) EGRESS
 1"=20'-0"



5 PLAN: ROOF PLAN EGRESS
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 APN: 029 214 220
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DATE	SET ISSUE
05-01-2015	PLANNING COMMISSION
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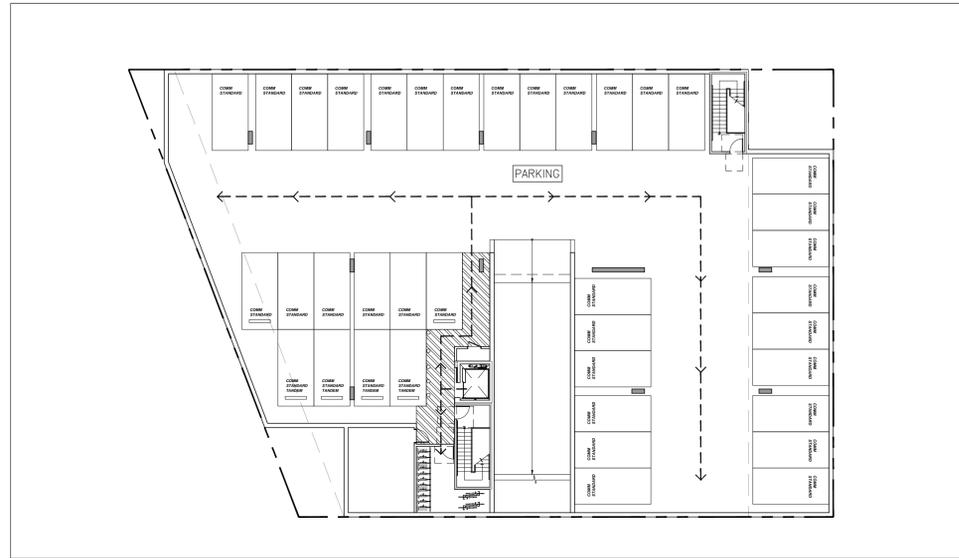
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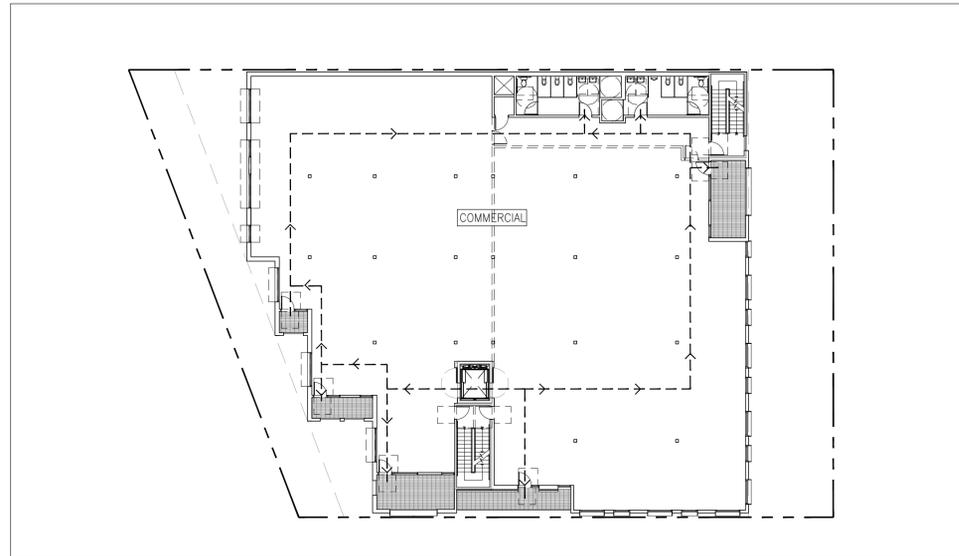
SCALE: AS NOTED

CODE & EGRESS PLANS

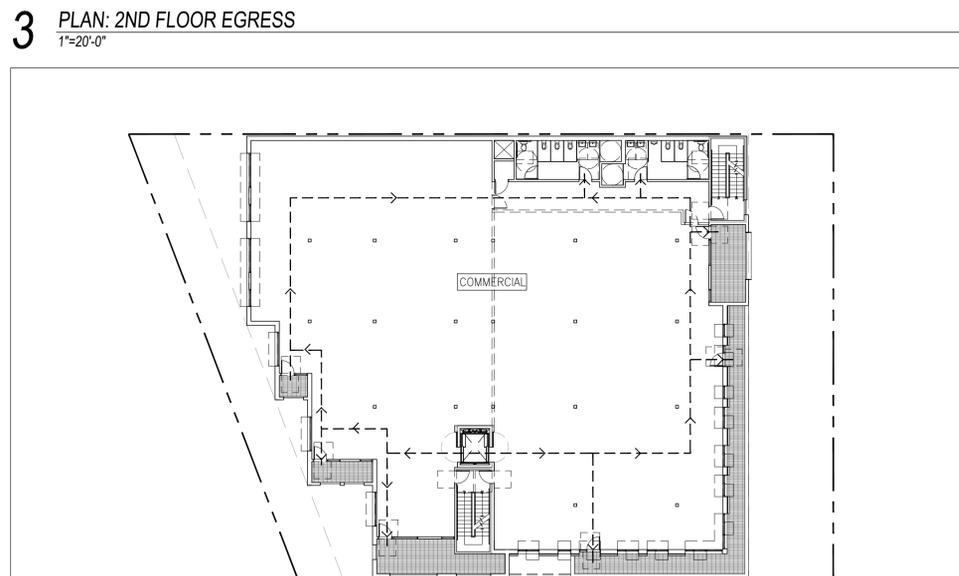
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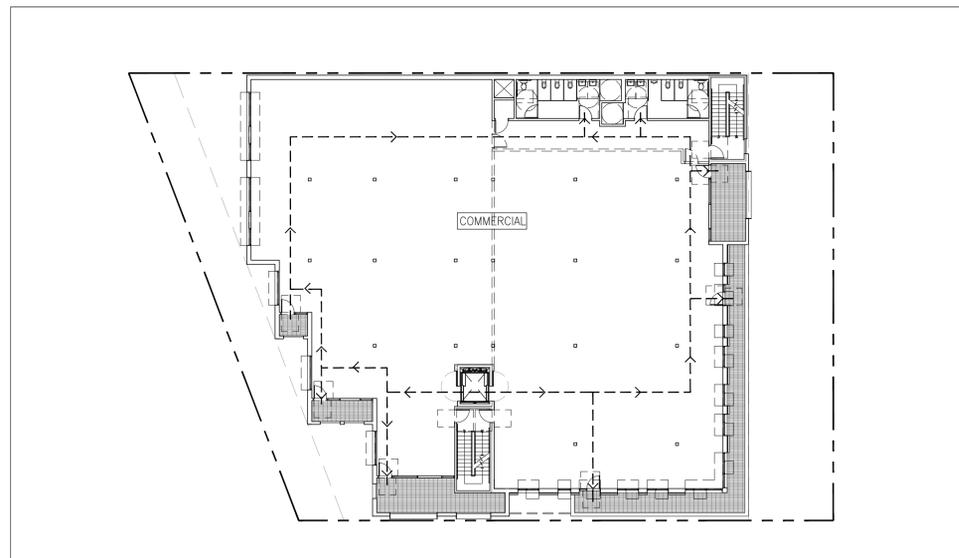
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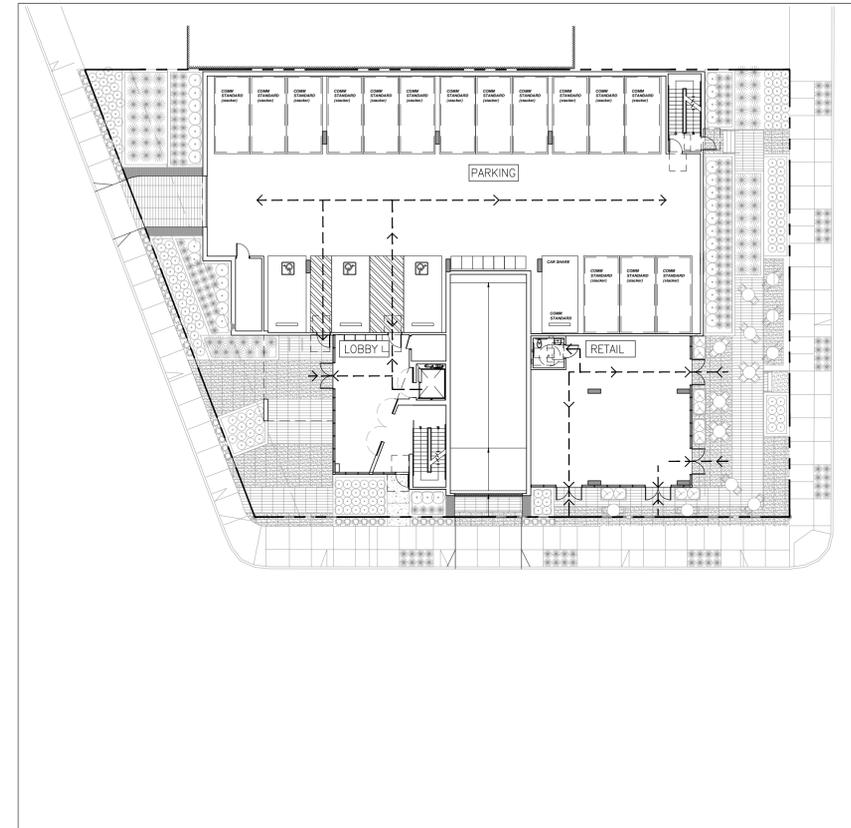
2 PLAN: 1ST FLOOR (GRADE) EGRESS
1"=20'-0"



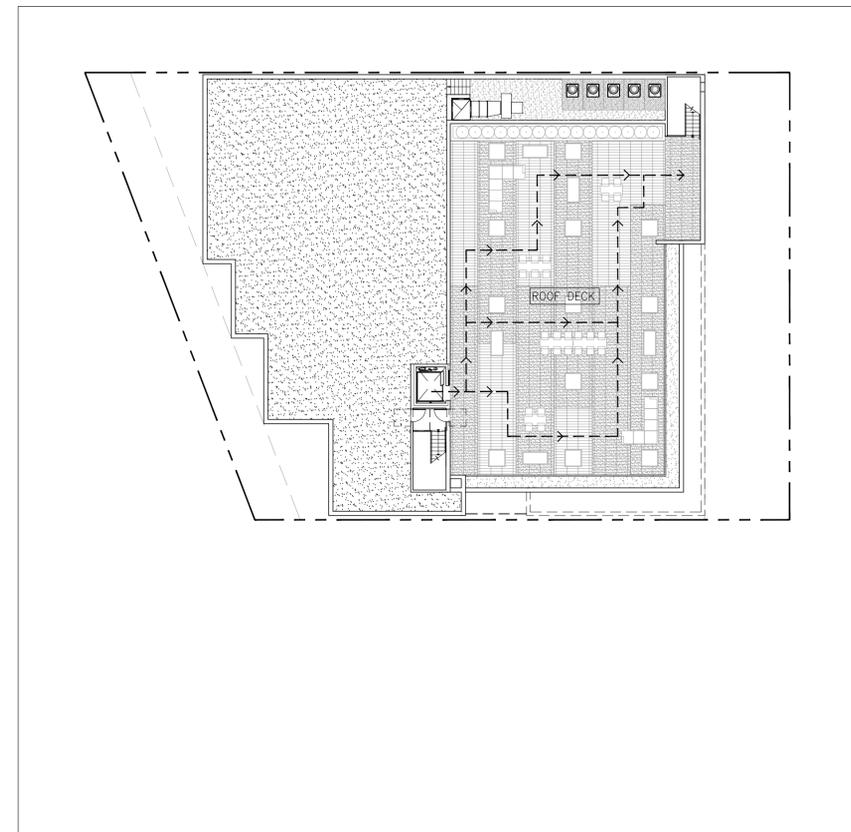
3 PLAN: 2ND FLOOR EGRESS
1"=20'-0"



4 PLAN: 3RD FLOOR EGRESS
1"=20'-0"



5 PLAN: ROOF PLAN EGRESS
1"=20'-0"



5 PLAN: ROOF PLAN EGRESS
1"=20'-0"

LEGEND

--- PROPERTY LINE

--- ACCESSIBLE PATH OF TRAVEL (P.O.T.)

- ACCESSIBILITY NOTES**
1. ACCESSIBLE PATH OF TRAVEL (P.O.T.) AS INDICATED ON PLANS IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVELED AT 1:2 MAX. SLOPE, OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX. ALL ACCESSIBLE ROUTES OF TRAVEL TO BE AT LEAST 44". SURFACE IS STABLE, FIRM & SLIP RESISTANT, CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% U.O.N.
 2. WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEED 1:20, IT SHALL COMPLY WITH THE PROVISIONS FOR PEDESTRIAN RAMPS.
 3. WALKS, SIDEWALKS AND PEDESTRIAN WAYS SHALL BE FREE OF GRATINGS WHERE EVER POSSIBLE. FOR GRATINGS LOCATED IN THE SURFACE OF THESE AREAS, GRID OPENINGS SHALL BE LIMITED TO 1/2" IN THE DIRECTION OF TRAVEL FLOW.
 4. SURFACES WITH A SLOP OF LESS THAN 6% GRADIENT SHALL BE AT LEAST AS SLIP-RESISTANT AS THAT DESCRIBED AS A MEDIUM SALT FINISH AND HEAVY BROOM FINISH FOR SLOPES GREATER THAN 6%.
 5. ACCESSIBLE ROUTES OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80".
 6. SEE SHEETS A0.2, A0.3 AND A0.4 FOR TYPICAL ACCESSIBILITY DETAILS.
 7. ALL REQUIRED ACCESSIBLE DOOR TO HAVE 32" CLEAR OPENING MEASURED WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM IT'S CLOSED POSITION.



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BURLINGAME, CA**



988 HOWARD AVENUE
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PROJECT NO. 2014-21

DATE	SET ISSUE
05-01-2015	PLANNING COMMISSION
08-24-2015	PLANNING COMMISSION
12-23-2015	PLANNING COMMISSION

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE: AS NOTED

ACCESS PLANS

PROJECT NORTH	TRUE NORTH

A0.3



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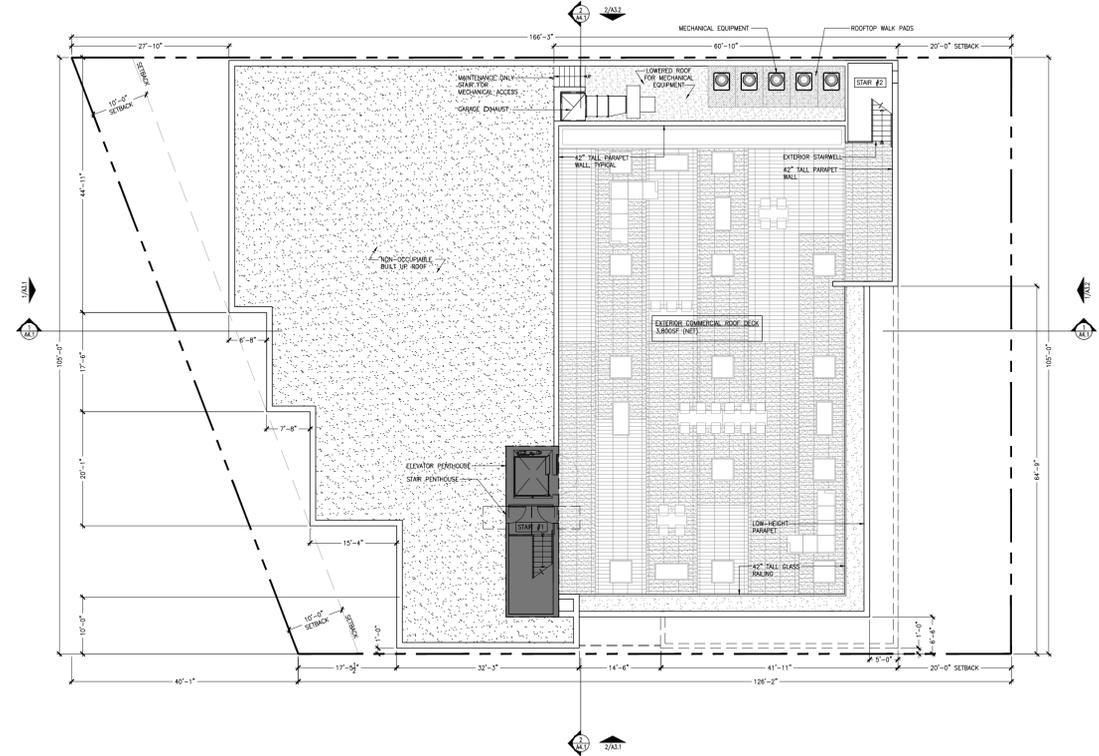
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SCALE: AS NOTED

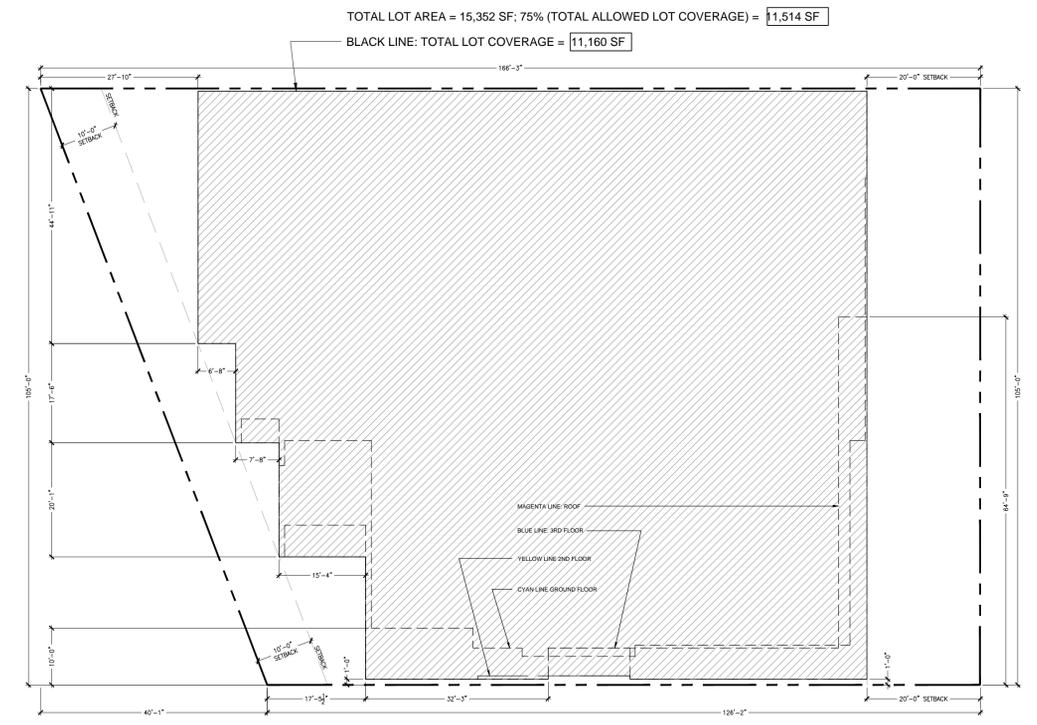
PLANNING AREA
CALCULATIONS

A0.7



TOTAL ROOF: 10,523
 TOTAL ELEVATOR, MECHANICAL EQUIPMENT, STAIR #1 & RAIL: 344 SF
 TOTAL % = 15.35%
 *PER BURLINGAME PLANNING CODE SECTION 25.08.340, A MAXIMUM OF 5% OF ROOF AREA IS ALLOWED TO BE OVER MAXIMUM BUILDING HEIGHT OF UPTO 10'-0" MAX.

1 PLAN: ROOF AREA CALCULATIONS
1" = 10'-0"



TOTAL SITE: 15,352 SF
 LOT COVERAGE: 11,160 SF
 LOT COVERAGE % = 72.77%

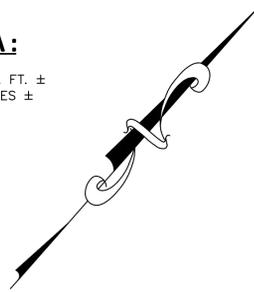
2 PLAN: TOTAL LOT COVERAGE
1" = 10'-0"

LEGEND :

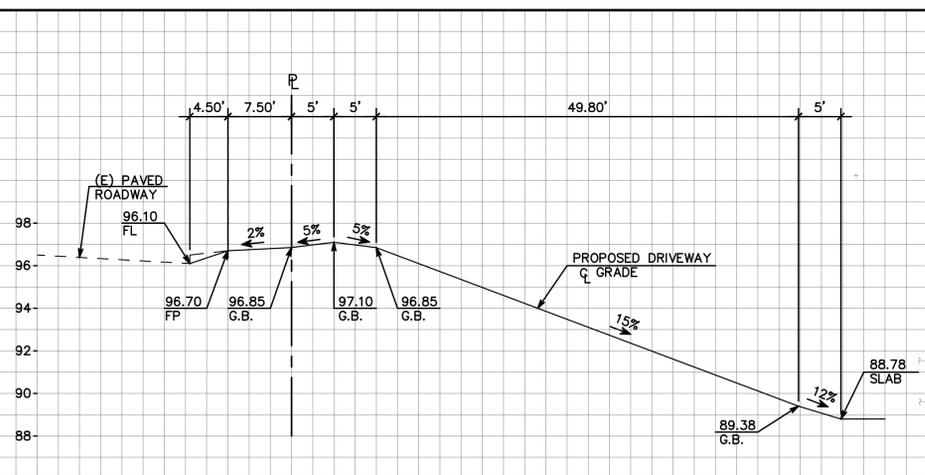
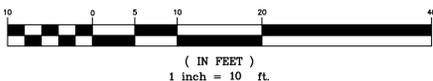
AC PAVE	ASPHALT CONCRETE PAVEMENT
BFP	BACKFLOW PREVENTER
CATV	CABLE TELEVISION
CB	CATCH BASIN
COTG	CLEANOUT TO GRADE
CVG	CONCRETE VALLEY GUTTER
DDCV	DOUBLE DETECTOR CHECK VALVE
ELEC	ELECTRIC
FH	FIRE HYDRANT
FL	FLOWLINE
F.O.D.	FULL OF DEBRIS
GA	GUY ANCHOR
GM	GAS METER
INV.	INVERT
JP	JOINT UTILITY POLE
LG	LIP OF GUTTER
LP	LIGHT POLE
P.A.	PLANTING AREA
SDMH	STORM DRAIN MAHOLE
SSMH	SANITARY SEWER MANHOLE
TB	TOP OF BERM
TC	TOP OF CURB
TD	THRU CURB DRAIN
TELE	TELEPHONE
TG	TOP OF GRATE
TW	TOP OF WALL
WM	WATER METER
WV	WATER VALVE
● 12" TREE	TREE W/ SIZE
-X-X-	FENCE
-G-	GAS LINE
-OH-	OVERHEAD LINE
-SS-	SANITARY SEWER LINE
-SD-	STORM DRAIN LINE
-W-	WATER LINE

LOT AREA :

= 15,352 SQ. FT. ±
= 0.352 ACRES ±



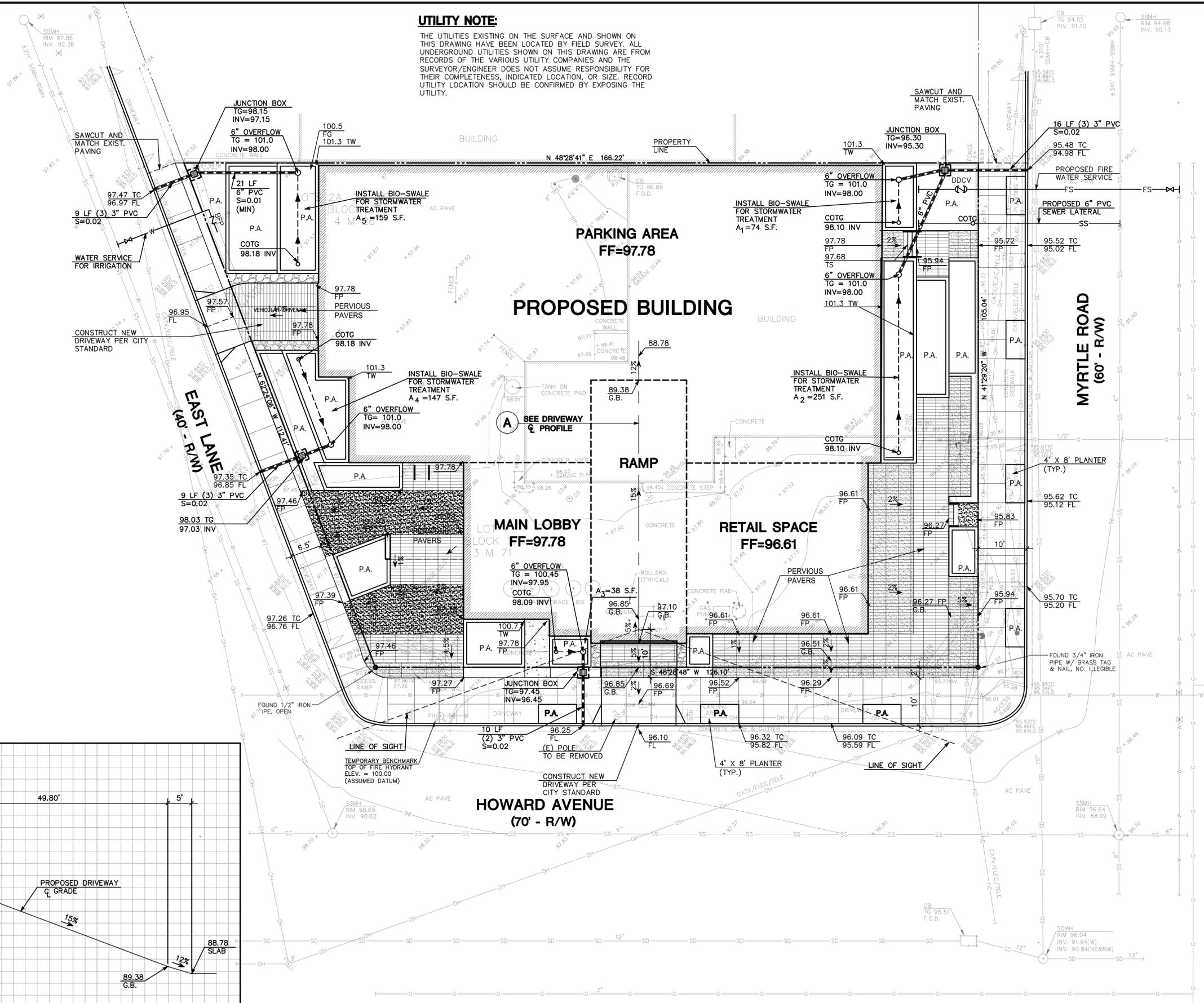
GRAPHIC SCALE



A DRIVEWAY Q PROFILE
HORIZ. SCALE: 1" = 10'
VER. SCALE: 1" = 4'

UTILITY NOTE:

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR/ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.



DATE:	02/27/15
BY:	VPG
DESCRIPTION:	PRELIMINARY GRADING AND DRAINAGE PLAN
REV:	
CITY COMMENTS:	
CITY COMMENTS:	
DATE:	08/11/15
BY:	VPG
DESCRIPTION:	PRELIMINARY GRADING AND DRAINAGE PLAN
REV:	
CITY COMMENTS:	
CITY COMMENTS:	

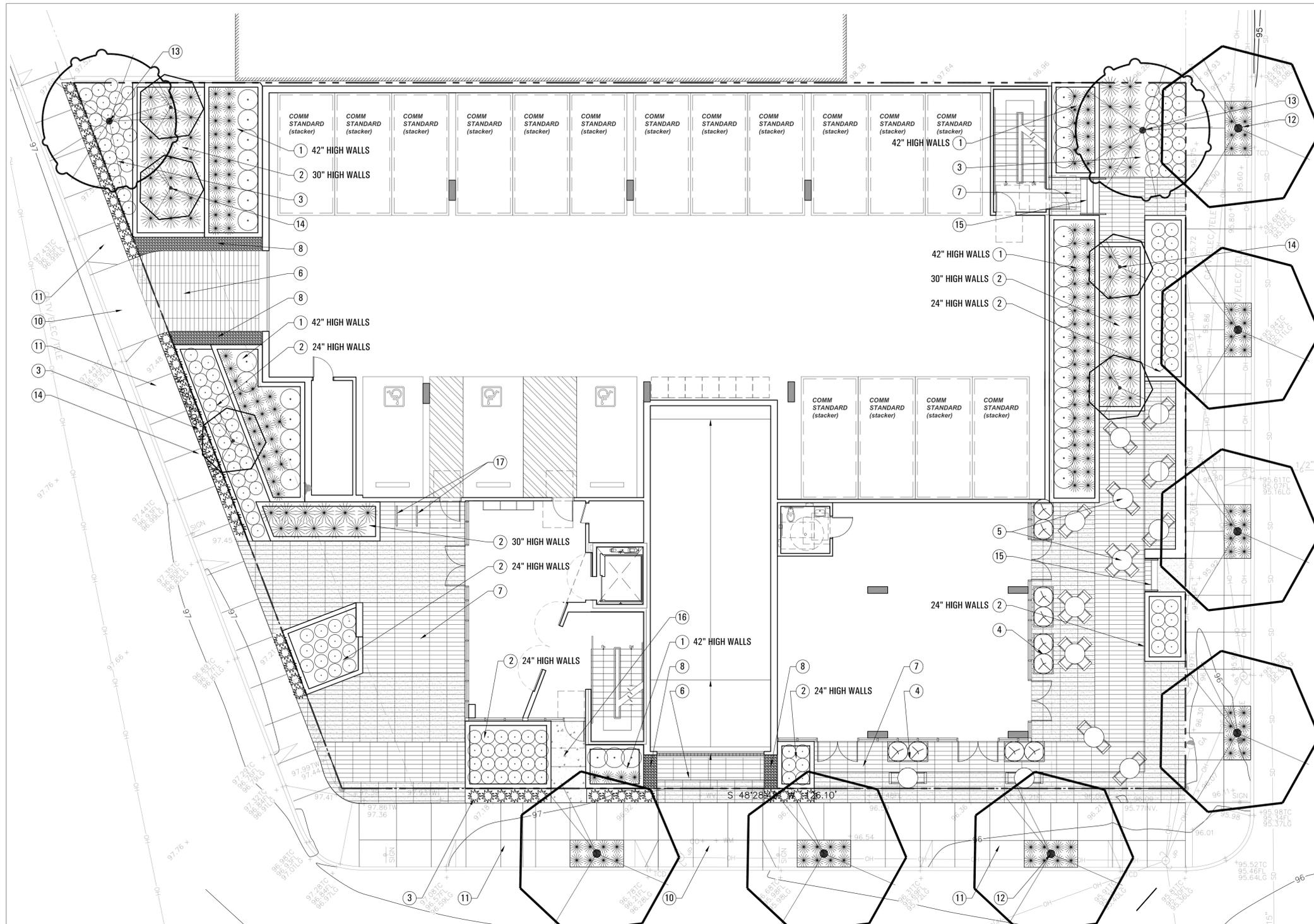


MACLEOD AND ASSOCIATES
CIVIL ENGINEERING • LAND SURVEYING
965 CENTER STREET • SAN CARLOS, CA 94070 • (650) 593-8560

PREPARED FOR:
DIMITRIOS SOGAS

988 HOWARD AVENUE
SAN MATEO COUNTY
CALIFORNIA
BURLINGAME

DRAWN BY: AAP
DESIGNED BY: VPG
CHECKED BY: DGM
SCALE: 1"=10'
DATE: 02/27/15
DRAWING NO. 4107-GRAD
SHEET 1 OF 1



A COLUMNAR MAIDENHAIR TREE



B CONCRETE PLANTER WALLS



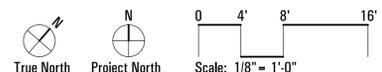
C BIKE RACK

- 1 FLOW-THROUGH PLANTER, ON-STRUCTURE. CONCRETE WALLS 42" ± TALL.
- 2 TRADITIONAL PLANTER, ON-STRUCTURE. CONCRETE WALLS 42" ±, 36" ±, 30" ± OR 24" ± TALL.
- 3 PLANTING AREA, ON-GRADE.
- 4 PLANTER POT, TYP OF (5), 24" TALL, WITH EVERGREEN SHRUBS.
- 5 OUTDOOR TABLE & CHAIR SETS, VARIOUS SIZES & CONFIGURATIONS, SEATING FOR (32) TOTAL.
- 6 PERMEABLE PAVERS, AUTO-LOAD.
- 7 PERMEABLE PAVERS, PEDESTRIAN-LOAD.
- 8 DECORATIVE PEBBLES.

- 9 NOT USED.
- 10 CONCRETE DRIVEWAY APRON, AUTO-LOAD AS PER CITY STANDARD. SEE CIVIL DRAWINGS.
- 11 CONCRETE SIDEWALK, PEDESTRIAN-LOAD AS PER CITY STANDARD. SEE CIVIL DRAWINGS.
- 12 STREET TREE IN 4' x 8' PLANTING AREA, TYP OF (7): GINKGO BILOBA.
- 13 TREE PLANTED ON-GRADE, 24" BOX SIZE, TYP OF (2).
- 14 TREE PLANTED ON-STRUCTURE IN PLANTER, 24" BOX SIZE, TYP OF (5).
- 15 STEP(S) & HANDRAIL.
- 16 CONCRETE PAVING WITH INTEGRAL COLOR, BROOM FINISH.
- 17 BIKE RACK TYPICAL.

PLANT PALETTE			
SYMBOL	BOTANICAL	COMMON	SIZE
CER OCC	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BOX
GIN FAI	GINKGO BILOBA 'FAIRMOUNT' (STREET TREE)	COLUMNAR MAIDENHAIR TREE	24" BOX
LAG TON	LAGERSTROEMIA 'TONTU'	RED CRAPE MYRTLE (MULTI-STEM TRUNK)	24" BOX
SHRUBS / PERENNIALS / GRASSES			
ANE LES	ANEMANTHELE LESSONIANA	NEW ZEALAND WIND GRASS	1 GAL
ANI RED	ANIGOZANTHOS 'RED CROSS'	RED CROSS KANGAROO PAW	1 GAL
GRE FIR	GREVILLEA 'FIRESPRITE'	FIRESPRITE GREVILLEA	5 GAL
LOM BRE	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	1 GAL
OLE LIT	OLEA EUROPAEA 'LITTLE OLLIE'	DRARF OLIVE	5 GAL
PHO MAO	PHORMIUM 'MAORI QUEEN'	MAORI QUEEN FLAX	5 GAL
GROUND COVERS			
ARC WOO	ARCTOSTAPHYLOS UVA-URSI 'WOOD'S COMPACT'	BEARBERRY	1 GAL
SEN MAN	SENECIO MANDRALISCAE	BLUE ICE PLANT	1 GAL

- ### IRRIGATION PLANTING NOTES
- PROVIDE SEPARATE BUBBLER IRRIGATION TO STREET TREES AS PER CITY TREE PLANTING WITH BUBBLER IRRIGATION DETAIL.
 - IRRIGATION SYSTEM SHALL UTILIZE AUTOMATIC, SELF-ADJUSTING WEATHER-BASED IRRIGATION CONTROLLER WITH RAIN SENSOR SHUTOFF.
 - SYSTEM SHALL ONLY OPERATE BETWEEN 8 PM AND 10 AM.
 - IRRIGATION SYSTEM SHALL BE CONNECTED TO A SEPARATE WATER METER.
 - THE DESIGN SHALL CONFORM TO THE WATER CONSERVATION IN LANDSCAPE ORDINANCE.
 - INSTALL 2.5" DEEP LAYER OF MULCH IN PLANTING AREAS. MULCH SHALL BE "FOREST FLOOR", AS AVAILABLE AT AMERICAN SOIL & STONE, RICHMOND, CA (510.292.3000).
 - "OUTDOOR POTABLE WATER USE" AND THE "IRRIGATION DESIGN" CONTROLS REQUIREMENTS SHALL BE MET.
 - ALL PLANTS SHALL BE GROUPED IN LIKE HYDROZONES.



1 PROPOSED LANDSCAPE PLAN: GROUND LEVEL

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DATE	SET ISSUE
03-04-2015	PLANNING COMMISSION
04-23-2015	TEAM REVIEW
08-11-2015	PLANNING COMMISSION

CONTACT:
 CFLA
 74 Dudley Avenue
 Piedmont, CA 94611
 Telephone 510.601.8022
 Email Chris@CFLA.biz
 CRLA # 3557

SCALE: AS NOTED

LANDSCAPE PLAN
 GROUND LEVEL

L2.1

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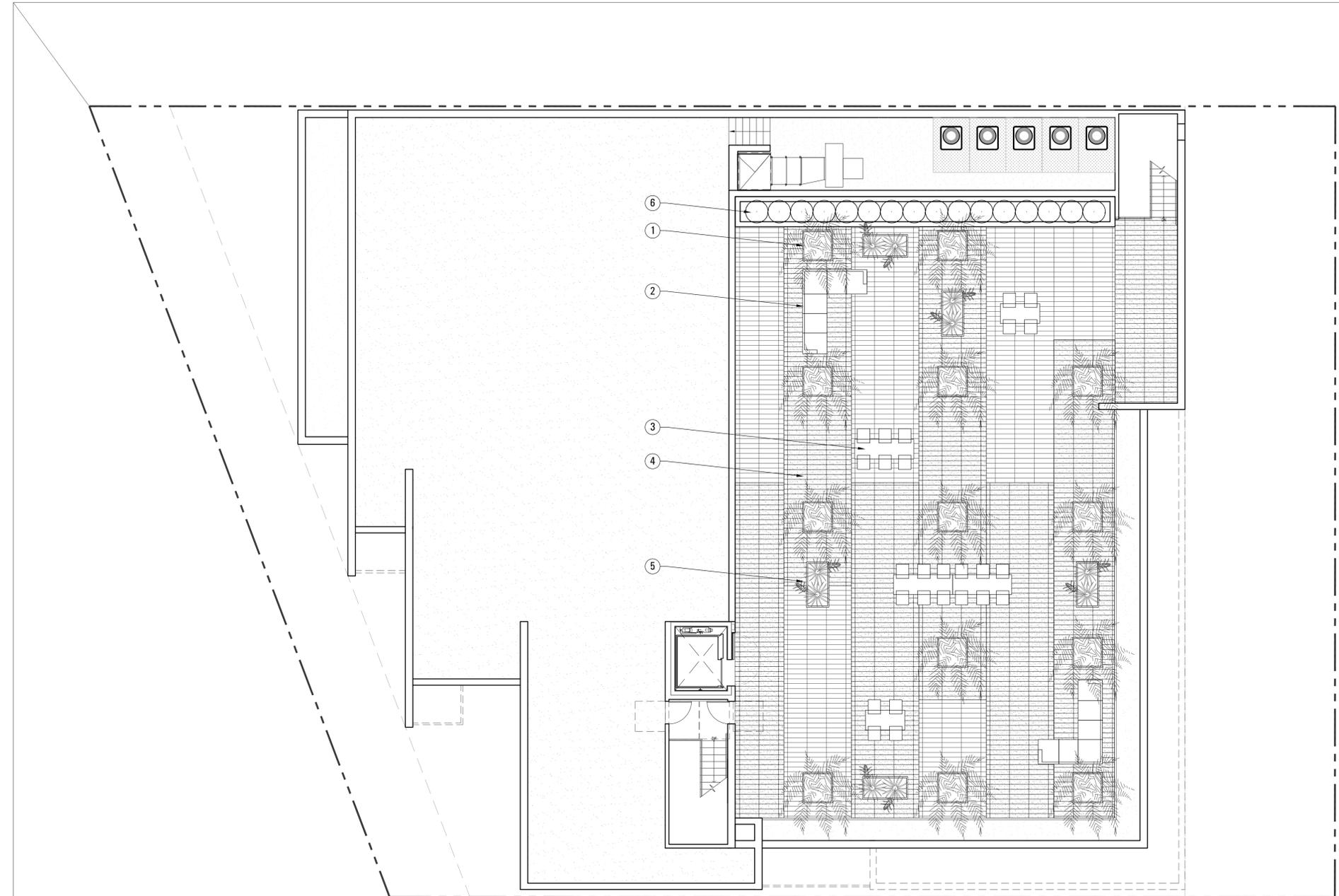
DATE SET ISSUE
 03-04-2015 PLANNING COMMISSION

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 CFLA
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 Piedmont, CA 94611
 Telephone 510.601.8022
 Email Chris@CFLA.biz
 CRLA # 3657

SCALE: AS NOTED

LANDSCAPE PLAN
 ROOF LEVEL

L2.2



- ① 4' SQUARE PLANTER POT WITH 24" BOX PALM TREE OR DROUGHT TOLERANT EVERGREEN TREE, TYP OF (13).
- ② OUTDOOR SECTIONAL SOFA, SEATS (6) PEOPLE, (2) TOTAL, SEATING FOR (12) TOTAL.
- ③ OUTDOOR TABLE & CHAIR SETS, VARIOUS SIZES & CONFIGURATIONS, SEATING FOR (26) TOTAL.

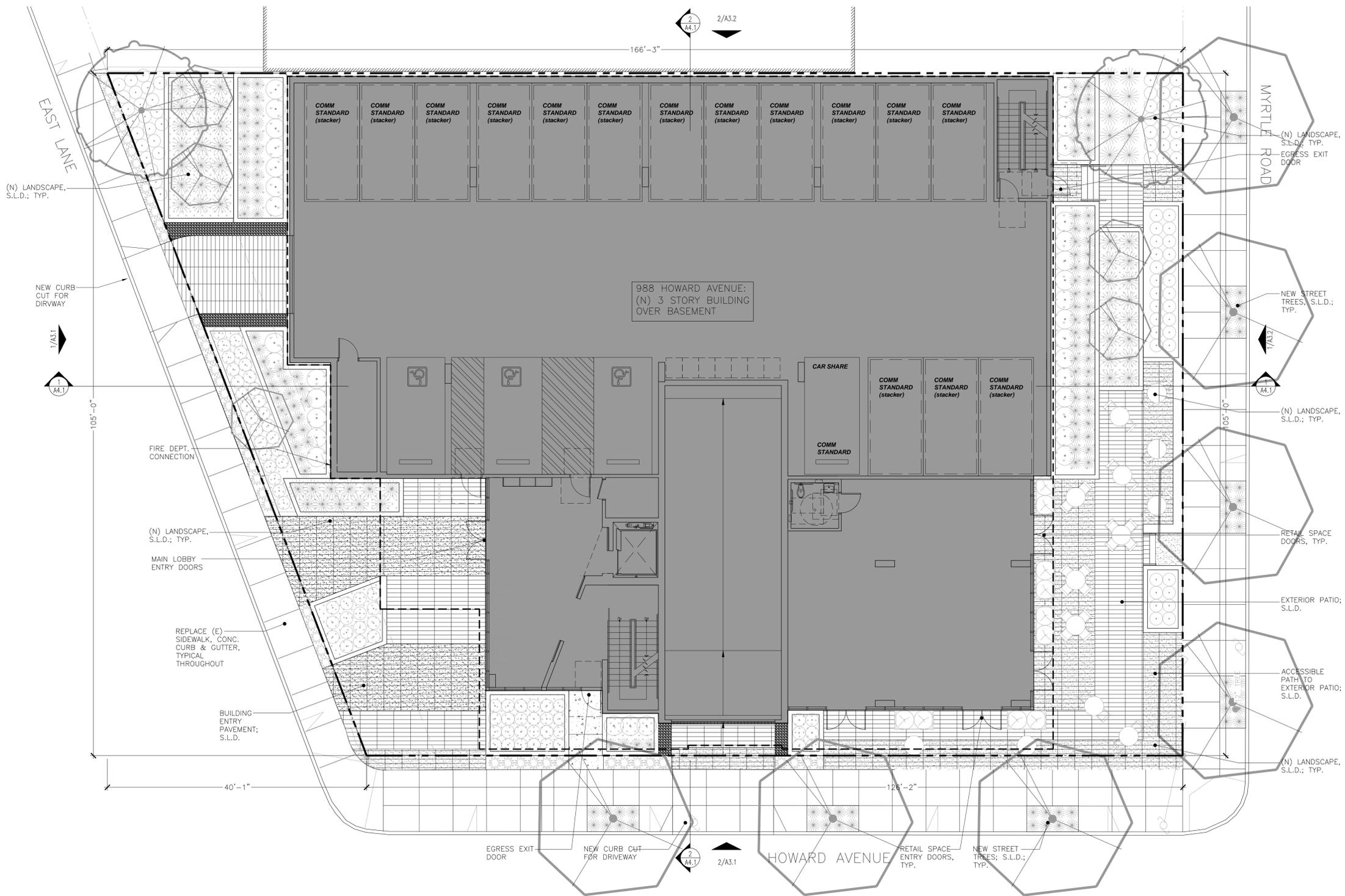
- ④ PRECAST CONCRETE PAVERS. COLOR & PATTERN VARIES.
- ⑤ 3' x 5' PLANTER WITH DROUGHT TOLERANT EVERGREEN SHRUBS.
- ⑥ TRADITIONAL PLANTER, ON-STRUCTURE, CONCRETE WALL 36" ± TALL.



A DESIGN IMAGE: ROOF DECK



A DESIGN IMAGE: PAVERS



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CONTACT: TOBY LEVY

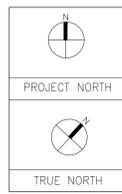
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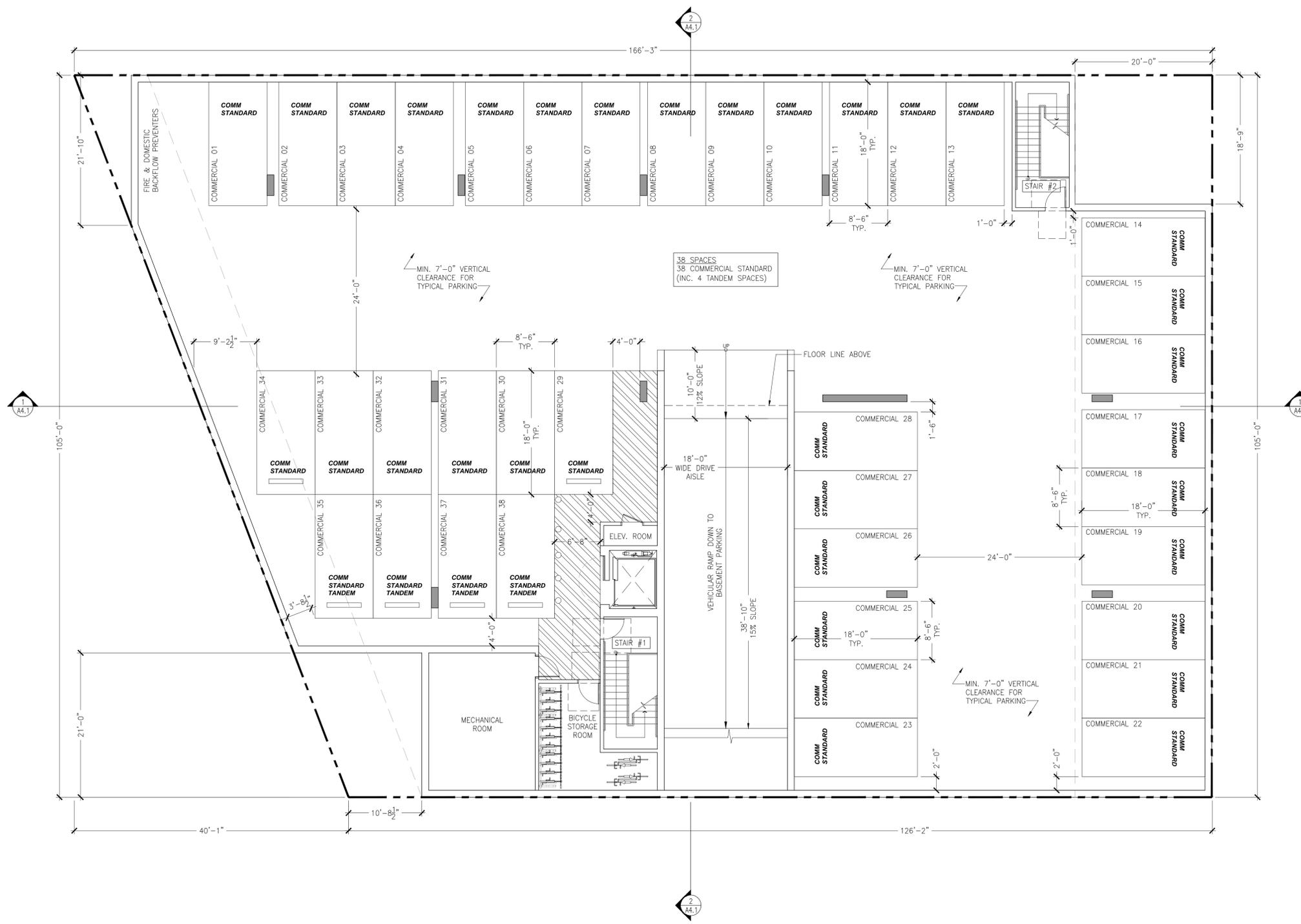
SCALE: AS NOTED

SITE PLAN:
PROPOSED

A1.1

1 SITE PLAN: PROPOSED SITE PLAN
1/8"=1'-0"





GENERAL NOTES

- AT THE TIME OF BUILDING PERMIT APPLICATION, PLANS AND ENGINEERING WILL BE SUBMITTED FOR SHORING AS REQUIRED BY 2013 CBC, CHAPTER 33 REGARDING THE PROTECTION OF ADJACENT PROPERTY AND AS REQUIRED BY OSHA. THE FOLLOWING WILL BE ADDRESSED:
 - THE WALLS OF THE PROPOSED BASEMENT SHALL BE PROPERLY SHORED, PRIOR TO CONSTRUCTION ACTIVITY. THIS EXCAVATION MAY NEED TEMPORARY SHORING. A COMPETENT CONTRACTOR SHALL BE CONSULTED FOR RECOMMENDATIONS AND DESIGN OF SHORING SCHEME FOR THE EXCAVATION. THE RECOMMENDED DESIGN TYPE OF SHORING SHALL BE APPROVED BY THE ENGINEER OF RECORD OR SOILS ENGINEER PRIOR TO USAGE.
 - ALL APPROPRIATE GUIDELINES OF OSHA SHALL BE INCORPORATED INTO THE SHORING DESIGN BY THE CONTRACTOR. WHERE SPACE PERMITS, TEMPORARY CONSTRUCTION SLOPES MAY BE UTILIZED IN LIEU OF SHORING. MAXIMUM ALLOWABLE VERTICAL CUT FOR THE SUBJECT PROJECT WILL BE FIVE (5) FEET. BEYOND THAT HORIZONTAL BENCHES OF 5 FEET WIDE WILL BE REQUIRED. TEMPORARY SHORES SHALL NOT EXCEED 1 TO 1 (HORIZONTAL TO VERTICAL). IN SOME AREAS DUE TO HIGH MOISTURE CONTACT/WATER TABLE, FLATTER SLOPES WILL BE REQUIRED WHICH WILL BE RECOMMENDED BY THE SOILS ENGINEER IN THE FIELD.
 - IF SHORING IS REQUIRED, SPECIFY ON THE PLANS WHO'S SOLE RESPONSIBILITY IT IS TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, FORMWORK, ETC. AS REQUIRED FROM THE PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION OF THE BUILDING.
 - SHORING AND BRACING SHALL REMAIN IN PLACE UNTIL FLOORS, ROOF AND WALL SHEATHING HAVE BEEN ENTIRELY CONSTRUCTED.
 - SHORING PLANS SHALL BE WET-STAMPED AND SIGNED BY THE ENGINEER-OF-RECORD AND SUBMITTED TO THE CITY FOR REVIEW PRIOR TO CONSTRUCTION. IF APPLICABLE, INCLUDE SURCHARGE LOADS FROM ADJACENT STRUCTURES THAT ARE WITHIN THE ZONE OF INFLUENCE (45 DEGREE WEDGE UP THE SLOPE FROM THE BASE OF THE RETAINING WALL) AND/OR DRIVEWAY SURCHARGE LOADS.
- WHEN PLANS ARE SUBMITTED FOR BUILDING CODE PLAN CHECK, THEY WILL INCLUDE A COMPLETE UNDERGROUND PLUMBING PLAN INCLUDING COMPLETE DETAILS FOR THE LOCATION OF ALL REQUIRED GREASE TRAPS AND CITY-REQUIRED BACKWATER PREVENTION DEVICES.

ACCESSIBILITY NOTES

- PUBLIC DOORS: 60"
- INTERIOR DOORS: 18"
- EXTERIOR PUBLIC DOORS: 24"
- NOTE: SEE A0.5 FOR ADDITIONAL DOOR ACCESSIBILITY CLEARANCE DETAILS



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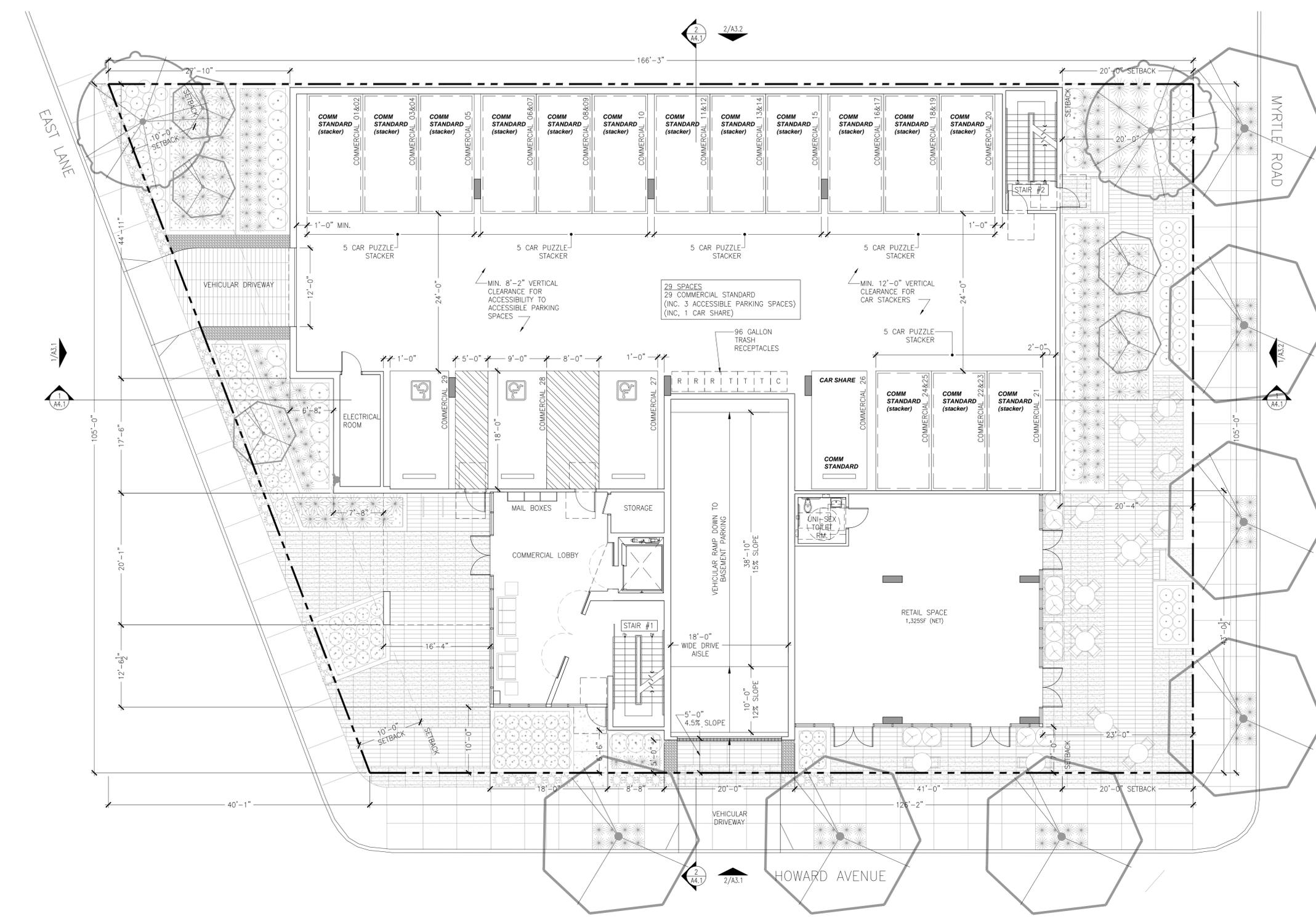
SCALE: AS NOTED

FLOOR PLAN:
BASEMENT



A2.0

1 PLAN: BASEMENT
1/8"=1'-0"



1 PLAN: GROUND FLOOR
1/8"=1'-0"

GENERAL NOTES

- CONTRACTOR TO PROVIDE SOLID CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME DIMENSION AS ASSOCIATED FRAMING, SEE A0.5
- AT ALL TOILET ROOMS PROVIDE THE FOLLOWING:
 - MIN. 30"x48" CLR. SPACE IN FRONT OF SINK
 - MIN. 30"x48" CLR. SPACE AT SIDE OF TUB
 - MIN. 36"x48" CLR. SPACE IN FRONT OF TOILET
- SEE A0.5 FOR TYPICAL MOUNTING HEIGHTS IN BATHROOMS
- ALL BATHROOMS MUST COMPLY WITH CBC SECTION 11B



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SCALE: AS NOTED

FLOOR PLAN:
GROUND FLOOR



A2.1

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- AT ALL TOILET ROOMS PROVIDE THE FOLLOWING:
 - MIN. 30"x48" CLR. SPACE IN FRONT OF SINK
 - MIN. 30"x48" CLR. SPACE AT SIDE OF TUB
 - MIN. 36"x48" CLR. SPACE IN FRONT OF TOILET
- SEE A0.5 FOR TYPICAL MOUNTING HEIGHTS IN BATHROOMS
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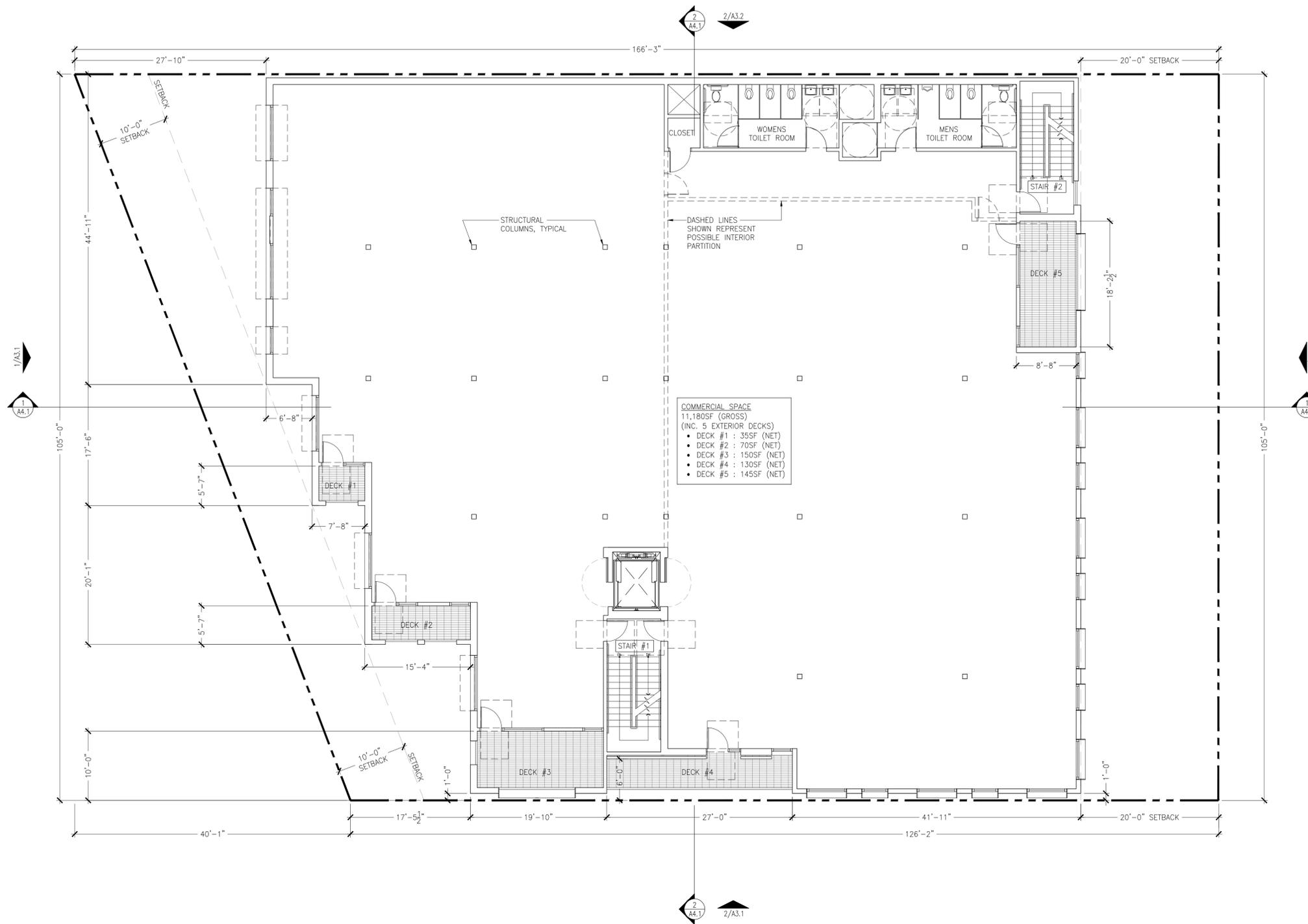
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SCALE: AS NOTED

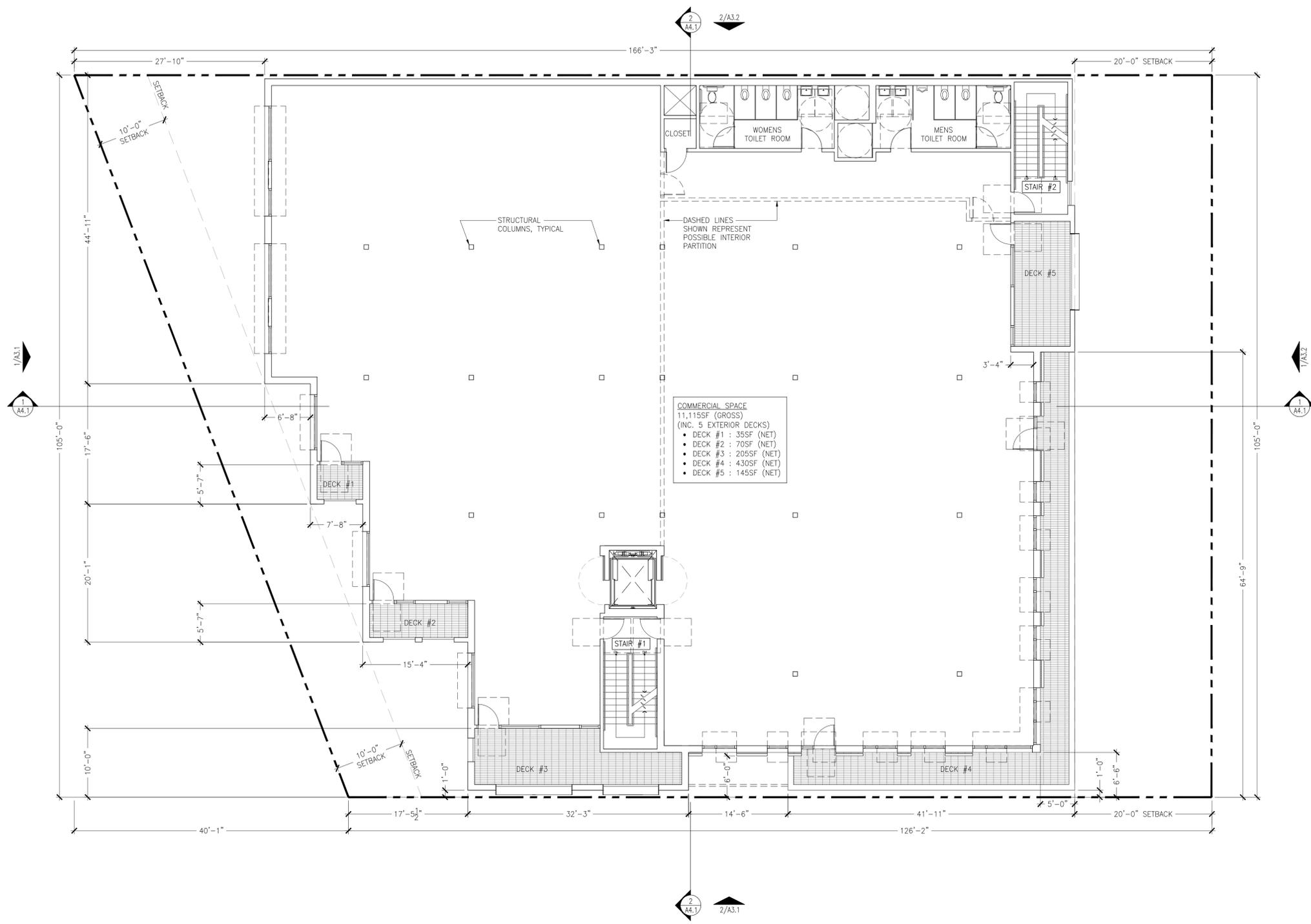
FLOOR PLAN:
SECOND FLOOR

PROJECT NORTH	TRUE NORTH

A2.2



1 PLAN: SECOND FLOOR
1/8"=1'-0"



COMMERCIAL SPACE
11,115SF (GROSS)
(INC. 5 EXTERIOR DECKS)
• DECK #1 : 355SF (NET)
• DECK #2 : 705SF (NET)
• DECK #3 : 2055SF (NET)
• DECK #4 : 4305SF (NET)
• DECK #5 : 1455SF (NET)

GENERAL NOTES

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- AT ALL TOILET ROOMS PROVIDE THE FOLLOWING:
 - MIN. 30"x48" CLR. SPACE IN FRONT OF SINK
 - MIN. 30"x48" CLR. SPACE AT SIDE OF TUB
 - MIN. 36"x48" CLR. SPACE IN FRONT OF TOILET
- SEE A0.5 FOR TYPICAL MOUNTING HEIGHTS IN BATHROOMS
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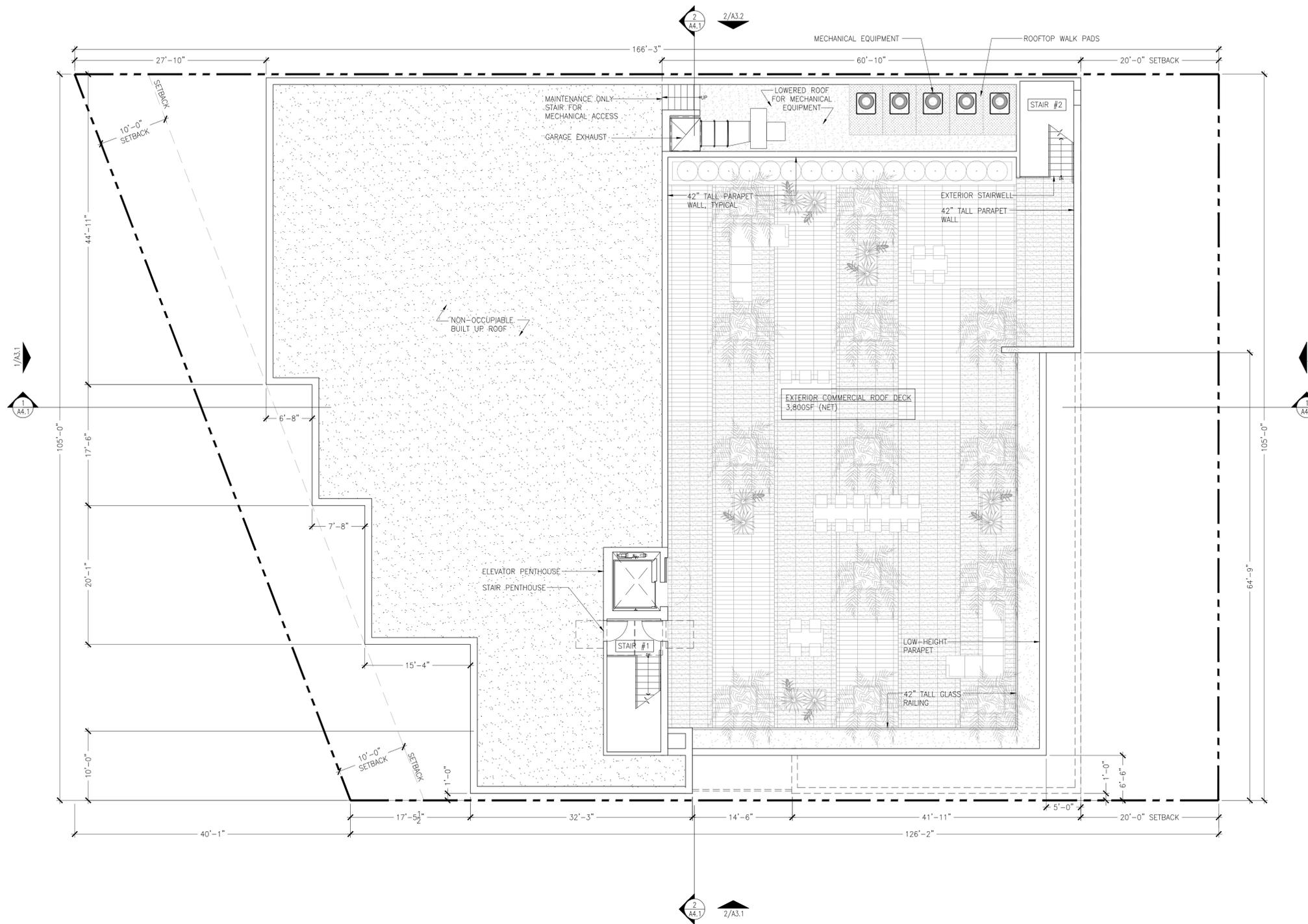
SCALE: AS NOTED

FLOOR PLAN:
THIRD FLOOR



A2.3

1 PLAN: THIRD FLOOR
1/8"=1'-0"



GENERAL NOTES

1. ROOF TO COMPLY WITH "COOL ROOF" REQUIREMENTS OF THE 2010 CALIFORNIA ENERGY CODE SECTION 151.F.12.
2. ALL ROOF AREAS TO BE CLASS "A" 4-PLY PER CBC TABLE 1505. ROOF TO SLOPE TO DRAIN AT 1/4" PER FOOT MIN.
3. ROOF AND OVERFLOW DRAINS @ ROOF AND DECK AREAS SHALL CONNECT/FLOW TO PLANTERS TO CITY SEWER, S.C.D.
4. BUILT-UP WITH RIGID ROOF INSULATION OVER STRUCTURAL SHEATHING, TYP.



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12-23-2015	PLANNING COMMISSION

CONTACT: TOBY LEVY

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SCALE: AS NOTED

FLOOR PLAN:
ROOF PLAN

PROJECT NORTH	TRUE NORTH

A2.4

1 PLAN: ROOF PLAN
1/8"=1'-0"



1 ELEVATION: EAST LANE (PROJECT WEST)
1/8"=1'-0"



2 ELEVATION: HOWARD AVENUE (PROJECT SOUTH)
1/8"=1'-0"



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**988 HOWARD AVENUE
BURLINGAME, CA**



988 HOWARD AVENUE
APN: 029 214 220
BURLINGAME, CA
PROJECT NO. 2014-21

DATE	SET ISSUE
05-01-2015	PLANNING COMMISSION
08-24-2015	PLANNING COMMISSION
12-23-2015	PLANNING COMMISSION

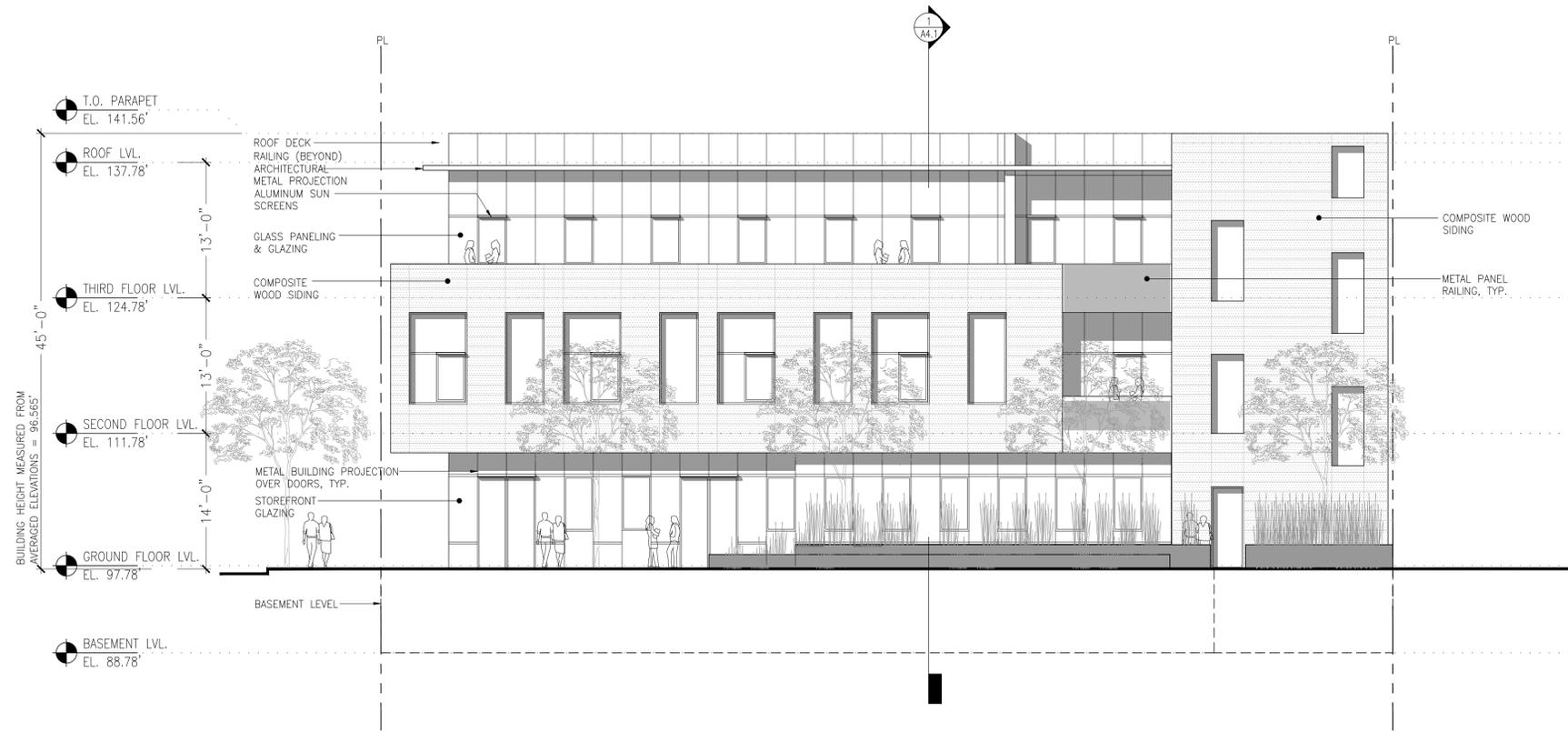
CONTACT: TOBY LEVY

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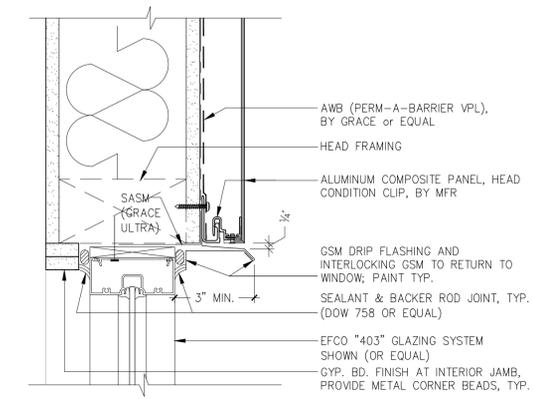
SCALE: AS NOTED

ELEVATIONS:
EXTERIOR

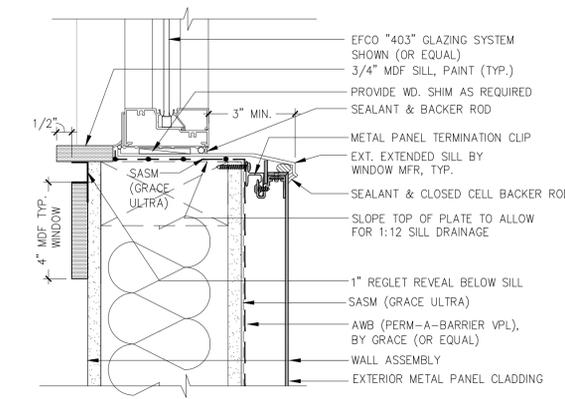
A3.1



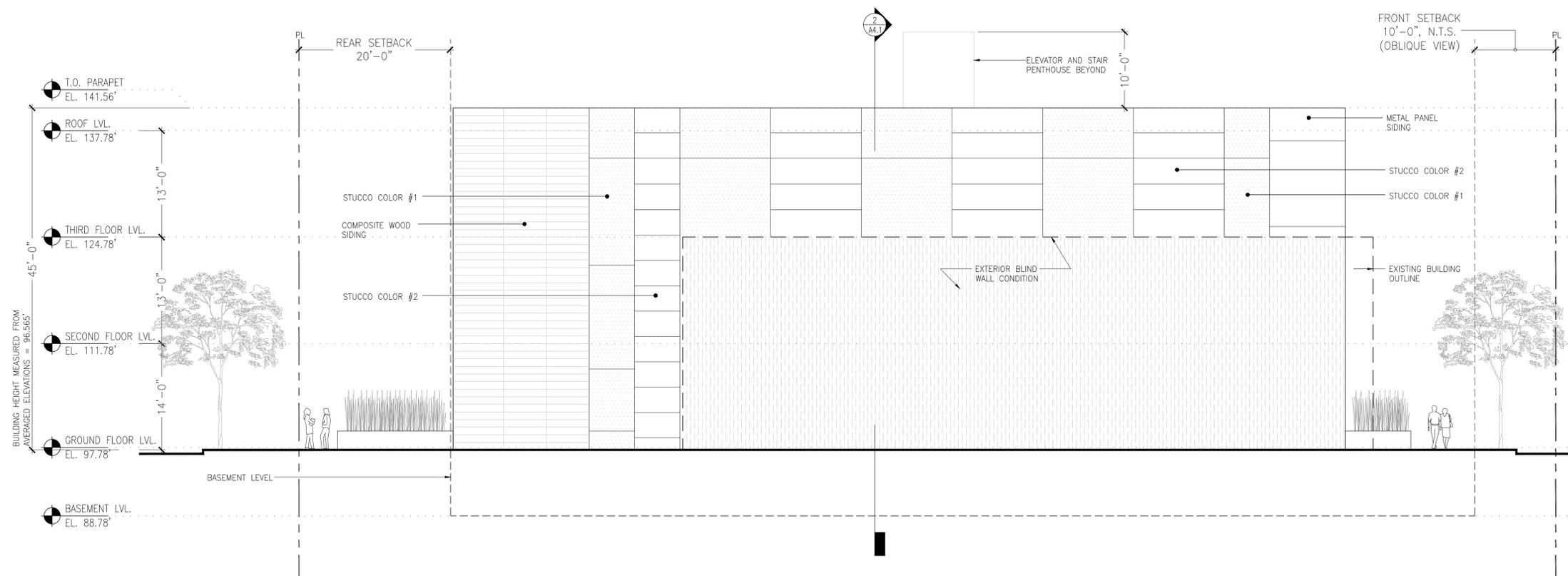
1 ELEVATION: MYRTLE ROAD (PROJECT EAST)
1/8"=1'-0"



3 HEAD @ ALUMINUM WINDOW - METAL PANEL
3/8"=1'-0" (JAMB SIMILAR)



4 SILL @ ALUMINUM WINDOW - METAL PANEL
3/8"=1'-0"



2 ELEVATION: PROJECT NORTH
1/8"=1'-0"



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SCALE: AS NOTED

ELEVATIONS:
EXTERIOR

A3.2

988 HOWARD AVENUE
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SCALE: AS NOTED

EXTERIOR
 RENDERINGS

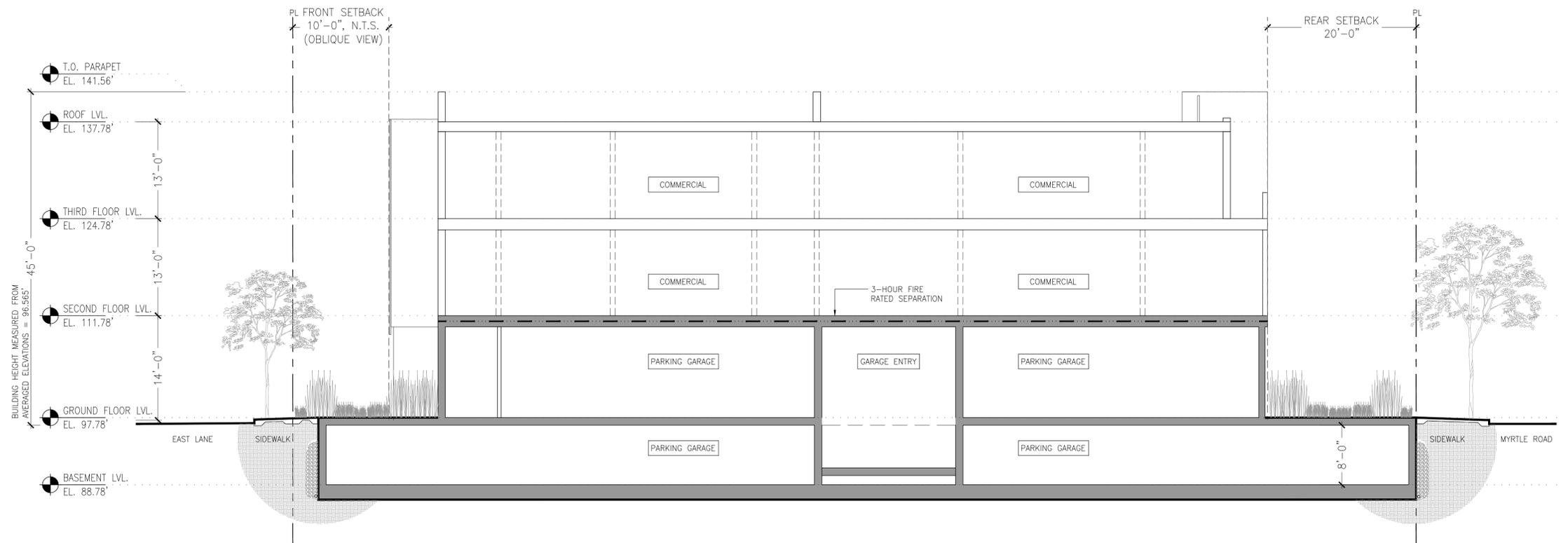
A3.3



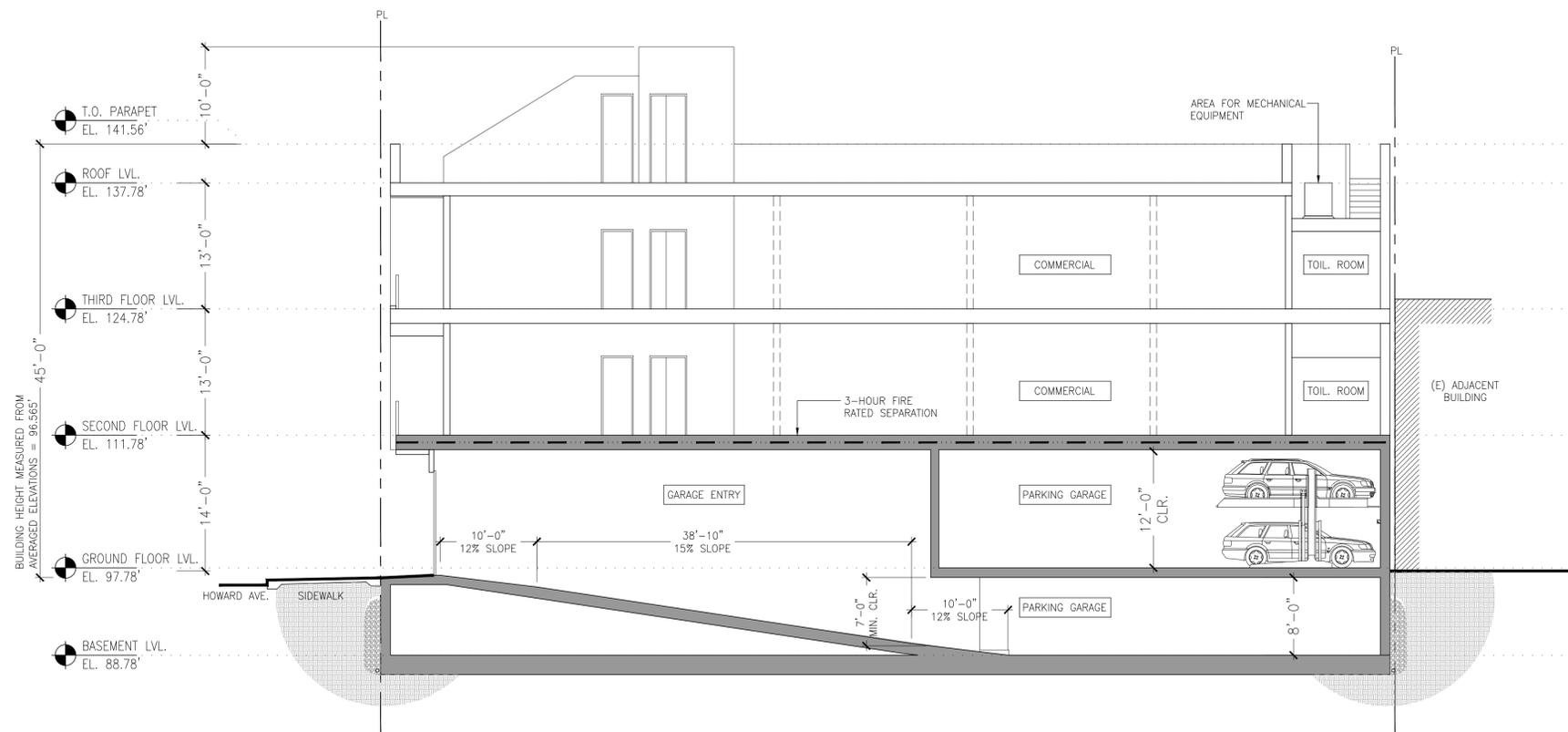
1 3D PERSPECTIVE : CORNER OF EAST LANE & HOWARD AVENUE



2 3D PERSPECTIVE : CORNER OF HOWARD AVENUE & MYRTLE ROAD



1 BUILDING SECTION
1/8"=1'-0"



2 BUILDING SECTION
1/8"=1'-0"



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SCALE: AS NOTED

**BUILDING
SECTIONS**

A4.1