

SCALE: $3/16"=1'-0"$

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GENERAL NOTES

1. FINISH GRADE SHALL SLOPE AWAY FROM FOUNDATIONS AT A 2% MIN. SLOPE FOR A MIN. OF 5' 0" AT SOIL AND A MIN. OF 3' 0" AT CONCRETE.

II. TOP OF FIREPLACE CHIMNEYS TO EXTEND 2 FEET MIN. ABOVE ANY ROOFING MATERIAL WITHIN 10 FEET (MEASURED HORIZONTALLY) OF CHIMNEY AND 3 FEET MIN. ABOVE ANY ADJACENT ROOFING MATERIAL.

V. PROVIDE WEATHER RESISTIVE BARRIERS AND, WHEN APPLIED OVER WOOD BASE SHEATHING, PROVIDE 2 LAYERS OF GRADE 'D' PAPER

VI. ALL WOOD MATERIAL EXPOSED TO WEATHER
SHALL BE PRESSURE TREATED OR RED WOOD

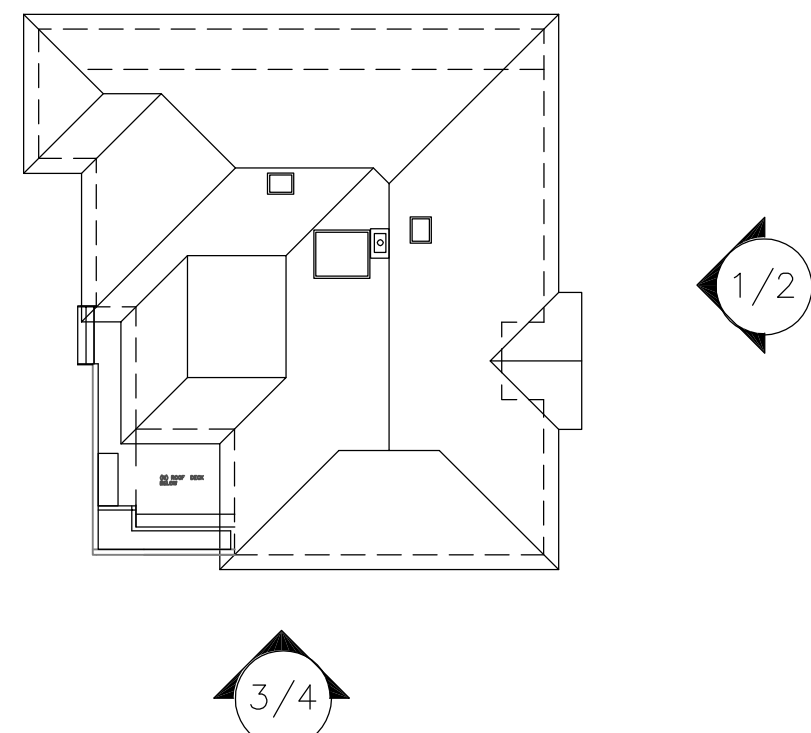
VII. ALL CONNECTORS USED IN CONJUNCTION WITH PRESSURE TREATED LUMBER MUST BE HOT-DIPPED ZINC GALVANIZED AND A MIN. GALVANIZATION LEVEL OF G185.

WORK NOTES

- 1-EXISTING DOOR AND WINDOW TO BE REMOVED
- 2-(E) WOOD FENCE TO REMAIN
- 3-(E) COMPOSITE ROOF SHINGLES ROOF TO BE MODIFIED
- 4-(N) STUCCO WALL EXTERIOR FINISH ,
MATCH (E)
- 5-(N) ALUM CLAD WOOD CASEMENT WINDOW
- 6-(N) COMPOSITE ROOF SHINGLES, MATERIAL AND STYLE
MATCH (E)
- 7-NEW RECESSED ENTRY WITH SOLID WOOD DOOR
& SIDELITE
- 8-(E) STUCCO WALL EXTERIOR FINISH TO REMAIN,
TYP.
- 9- METAL GUTTER, TYP.

- 10 NEW WROUGHT IRON MTL VERTICAL RAILING WITH CAP, TYP.
- 11 NEW WOOD GARAGE DOOR
- 12 HARD WOOD FINISH COLUMN, PAINTE TO WHITE, TYP.
- 13 EXISTING STAIR AND LANDING TO BE REMOVED
- 14 EXISTING RETAINING WALL TO REMAIN, NEW RETAINING WALL SHALL MATCH (E)
- 15 NEW SOLID HORIZONTAL WOOD SIDING BD GURADRAIL @ ROOF DECK, PAINT TO MATCH STUCCO
- 16 (N) 6"x4' ALUM CLAD WOOD CASEMENT EGRESS/RESCUE WINDOW, PROVIDE WITH SLOPE MEET EGRESS REQUIREMENTS AT LEAST ONE ESCAPE ROUTE FROM SLEEPING ROOM, 20" CLEAR WIDTH, 24" CLEAR HEIGHT, AND MIN. 5.7 SQ. FT. CLEAR OPENING. SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR, AND NOT LESS THAN 24" AFF
- 17 NEW WOOD DOOR ROOMS DOWN

- 20—(E) WOOD DOOR AND GARAGE DOOR TO BE REMOVED
- 21—(E) METAL RAILING AND STEPS TO BE REMOVED; (E) LANDING TO REMAIN
- 22—(E) METAL WINDOW TO BE REMOVED, TYP.
- 23—(E) WOOD RAILING TO BE REMOVED, TYP.
- 24—(N) ALUM CLAD WOOD FRENCH DOOR
- 25—(N) FLAT GLASS SKYLIGHT, TYP.
- 26—(N) RED BRICK FINISH STEPS



KEY PLAN

PROJECT:

RESIDENTIAL REMODEL & ADDITION

FOR

LIN FAMILY

XIE ASSOCIATES, INC.

Architectural Design & Planning

501 CRESCENT WAY #5412

SAN FRANCISCO, CA 94134

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**2721
MARTINEZ DR.
BURLINGAME
CALIFORNIA**

DRAWN BY: DM

CHECK BY:

DATE: 07/29/18

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1. *Journal of the American Medical Association*, 2000; 283: 2689-2696.

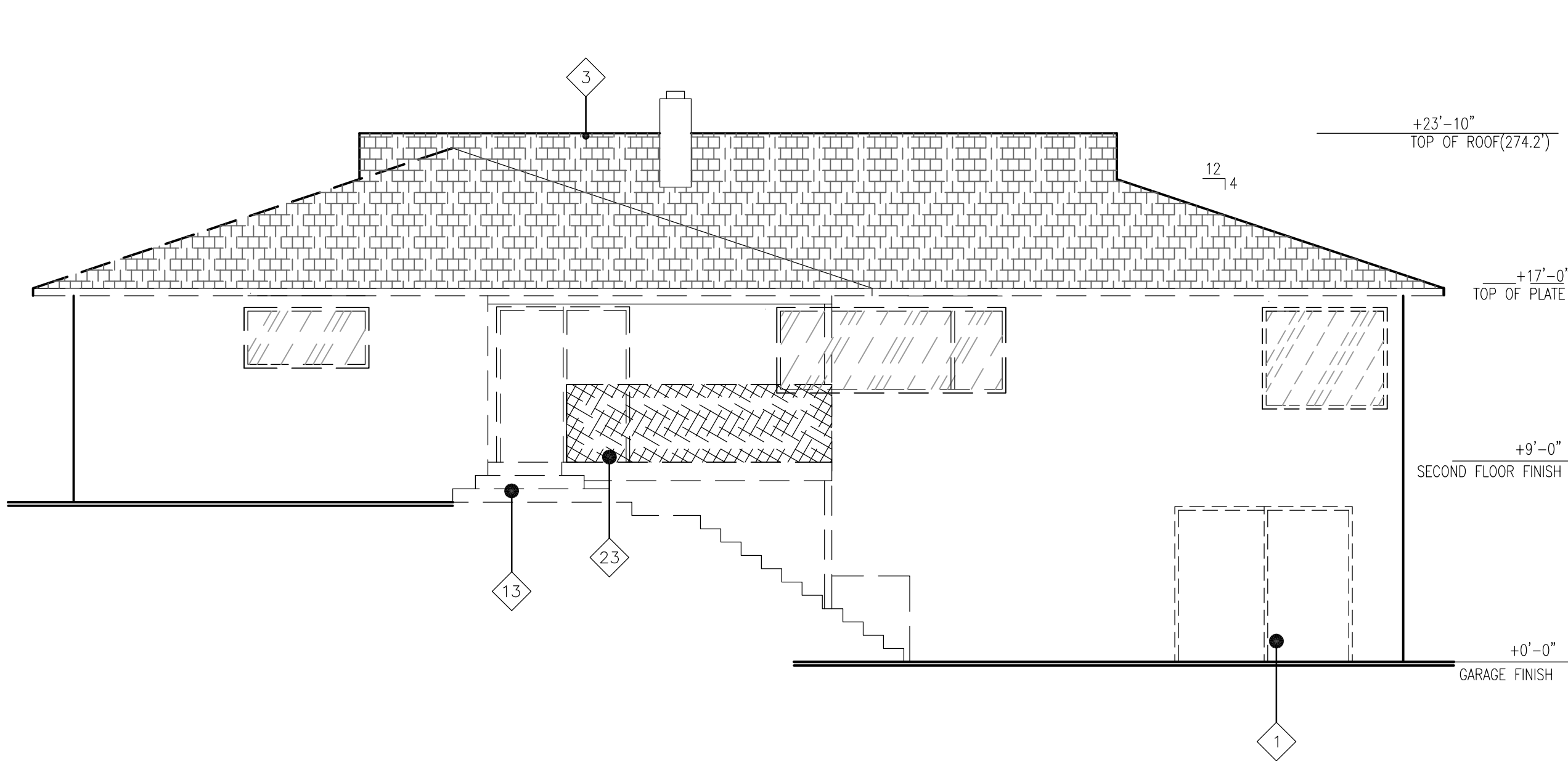
1. *Journal of the American Medical Association*, 2000; 283: 2689-2696.

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SHEET TITLE

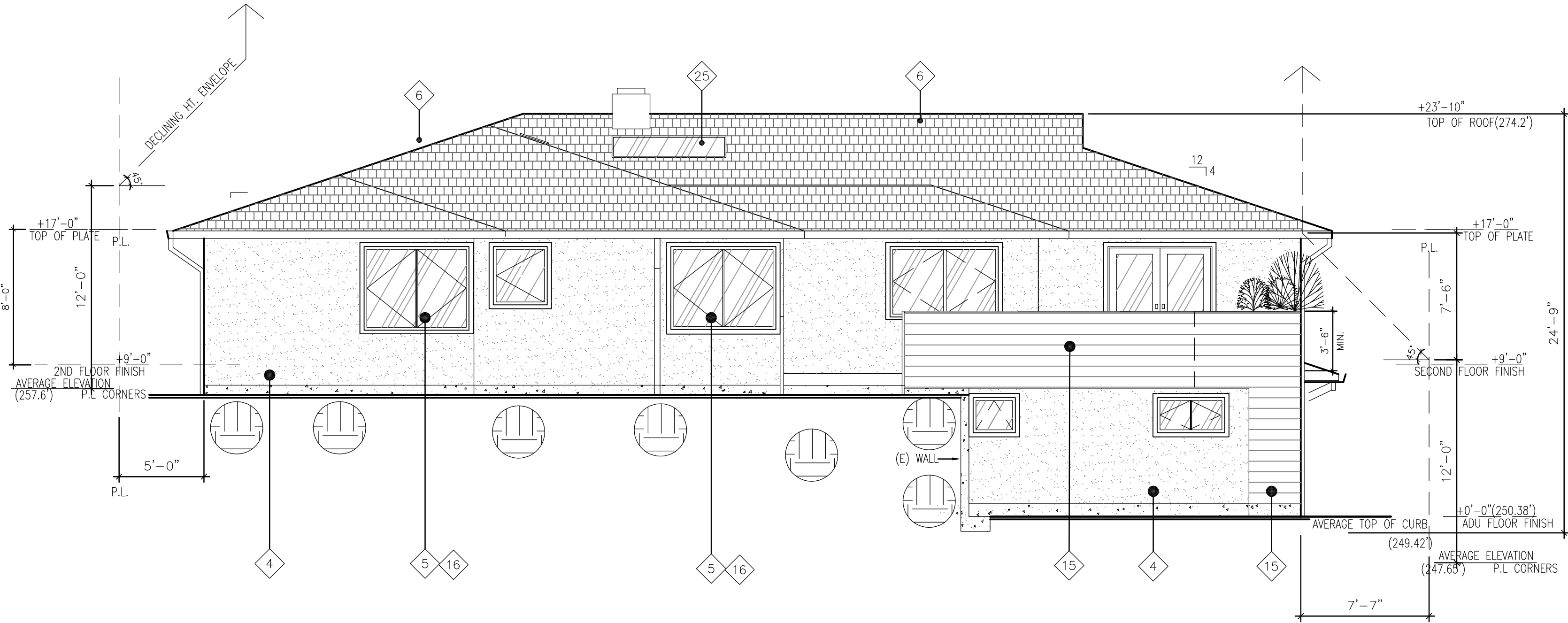
BUILDING ELEVATIONS

A3.0



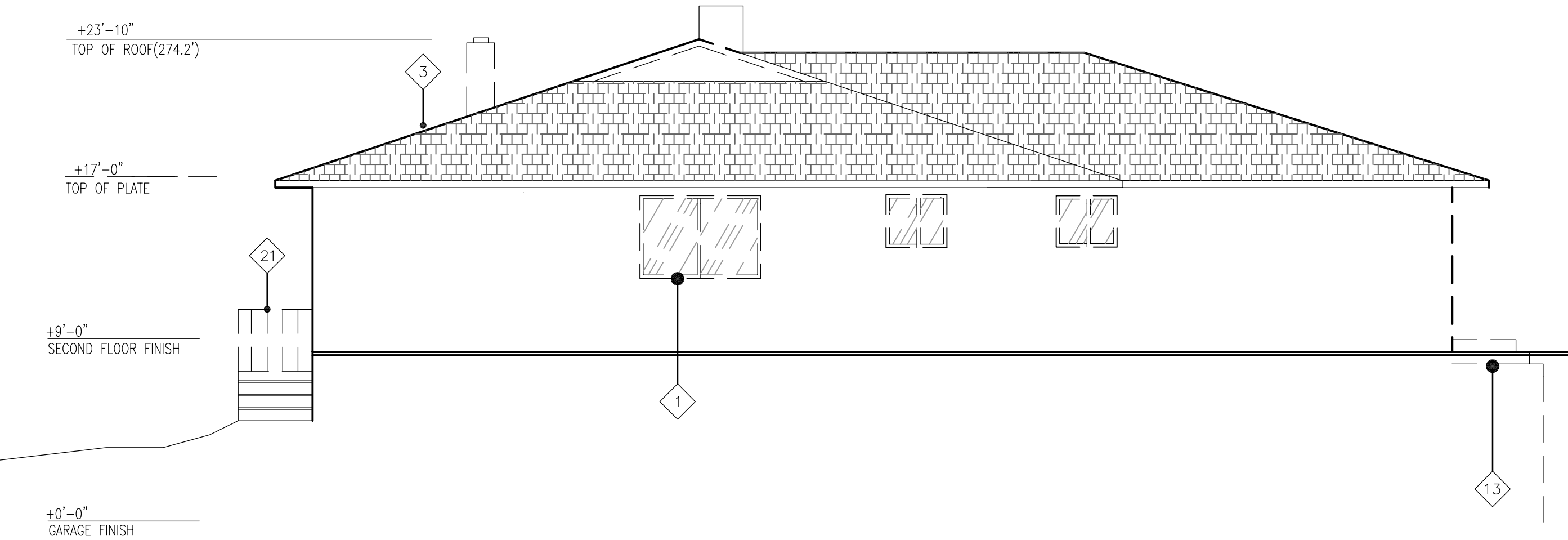
1-EAST (REAR) ELEVATION: EXISTING

SCALE: 3/16"=1'-0"



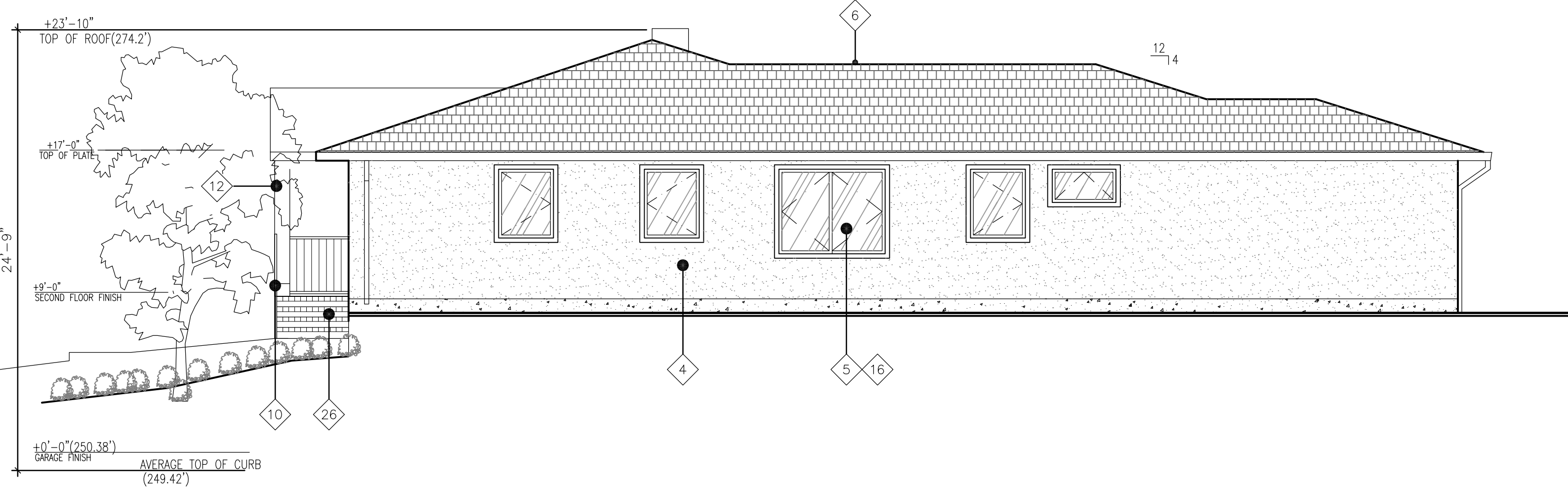
2-EAST (REAR) ELEVATION: PROPOSED

SCALE: 3/16"=1'-0"



3-SOUTH(RIGHT) ELEVATION: EXISTING

SCALE: 3/16"=1'-0"



4-SOUTH(RIGHT) ELEVATION: PROPOSED

SCALE: 3/16"=1'-0"

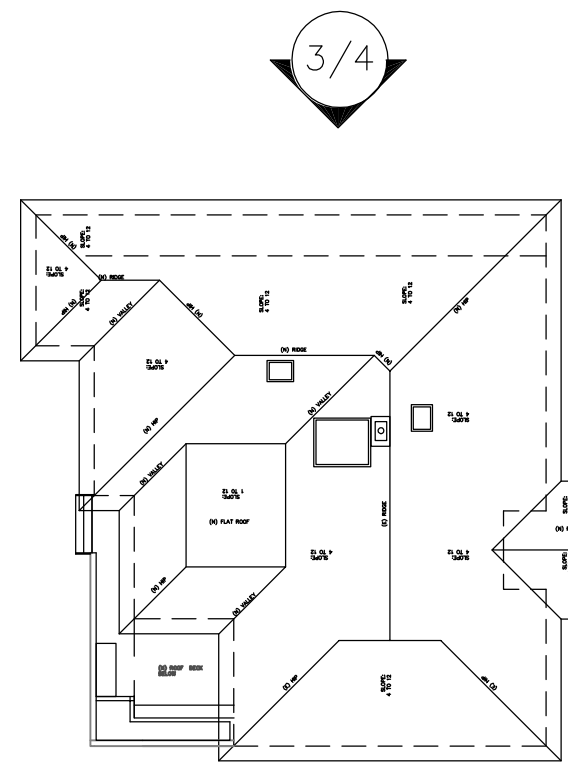
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WORK NOTES

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- (E) WOOD FENCE TO REMAIN
- (E) COMPOSITE ROOF SHINGLES ROOF TO BE MODIFY
- (N) STUCCO WALL EXTERIOR FINISH, MATCH (E)
- (N) ALUM CLAD WOOD CASEMENT WINDOW
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- NEW RECESSED ENTRY WITH SOLID WOOD DOOR
- (E) STUCCO WALL EXTERIOR FINISH TO REMAIN, TYP.
- METAL GUTTER W/SCREENING, TYP.
- NEW WROUGHT IRON MTL VERTICAL RAILING WITH CAP, TYP.
- NEW WOOD GARAGE DOOR
- HARD WOOD FINISH COLUMN, PAINT TO WHITE, TYP.
- EXISTING STAIR AND LANDING TO BE REMOVED
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- (E) METAL RAILING AND STEPS TO BE REMOVED; (E) LANDING TO REMAIN
- (E) METAL WINDOW TO BE REMOVED, TYP.
- (E) WOOD RAILING TO BE REMOVED, TYP.
- (N) ALUM CLAD WOOD FRENCH DOOR
- (N) FLAT GLASS SKYLIGHT, TYP.
- (N) RED BRICK FINISH STEPS



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2721
MARTINEZ DR.
BURLINGAME
CALIFORNIA

DRAWN BY: DM
CHECK BY:

DATE: 07/29/18

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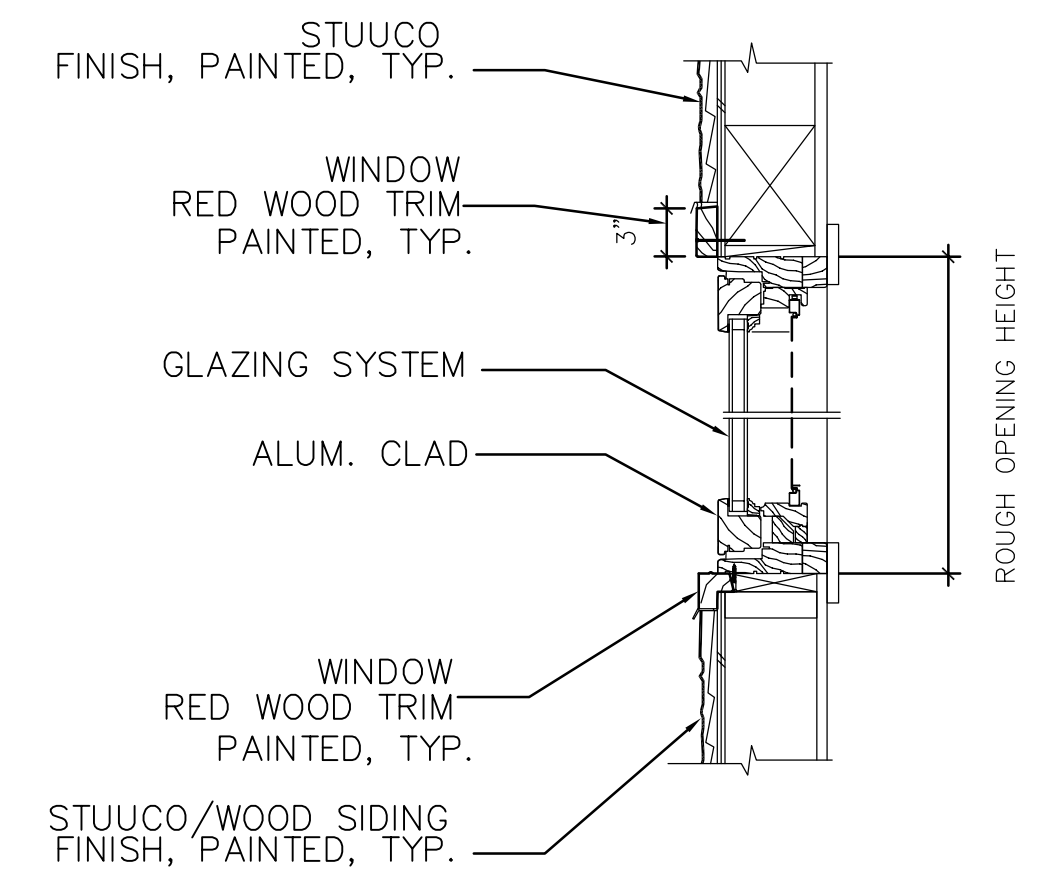
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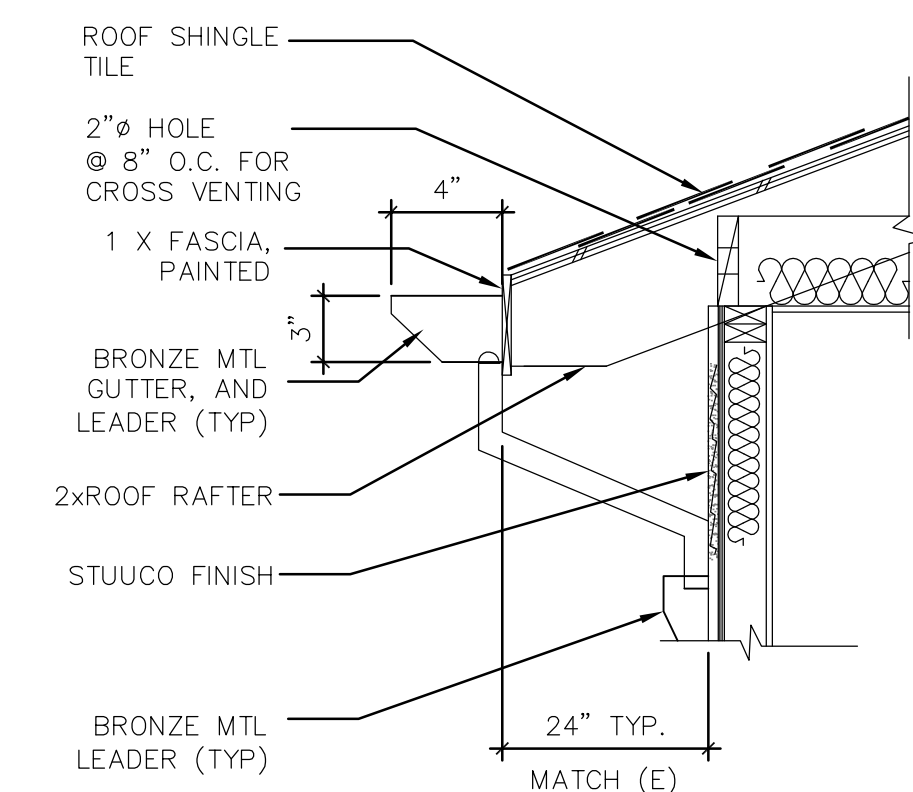
DATE: 07/29/18

EXTERIOR
ELEVATIONS

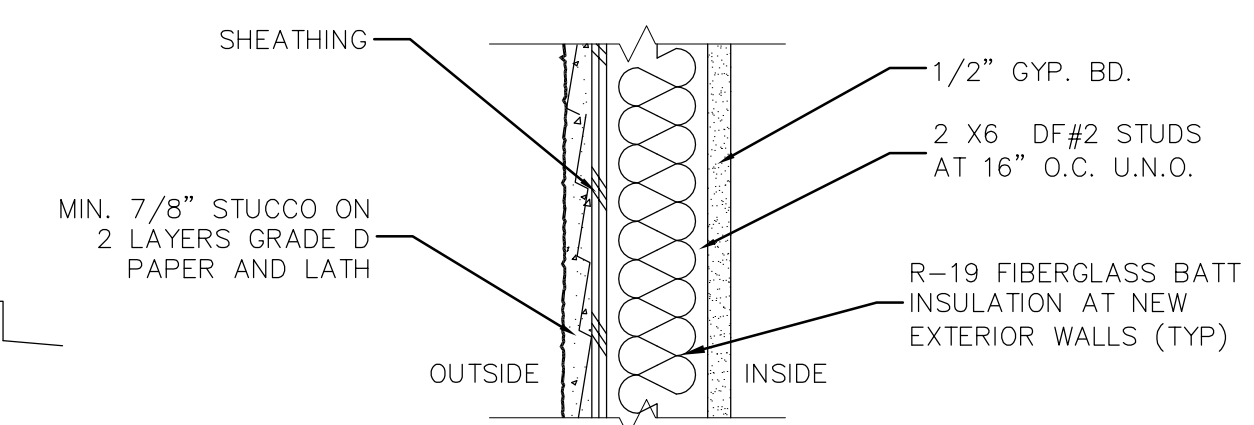
A3.1



N.T.S



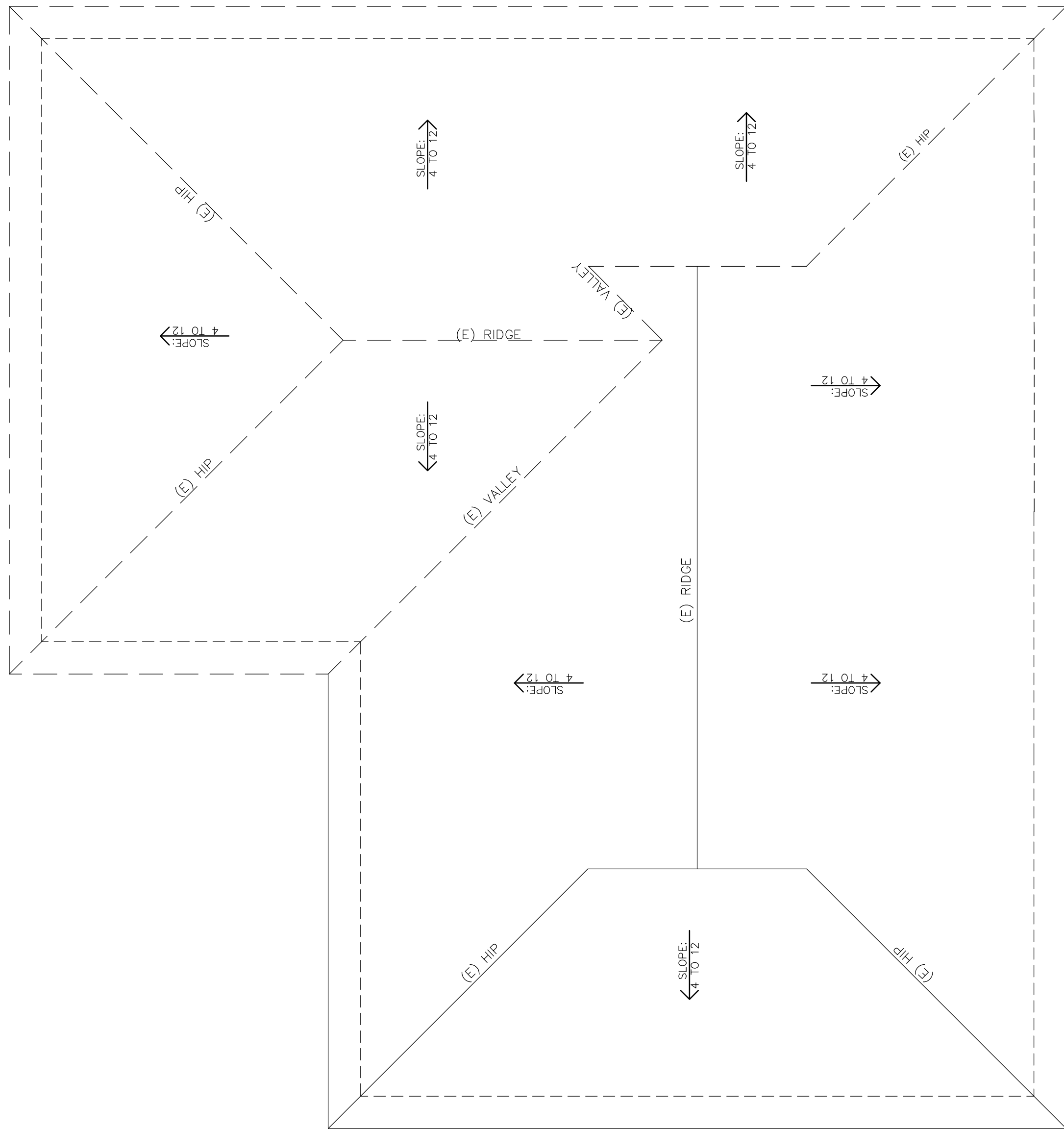
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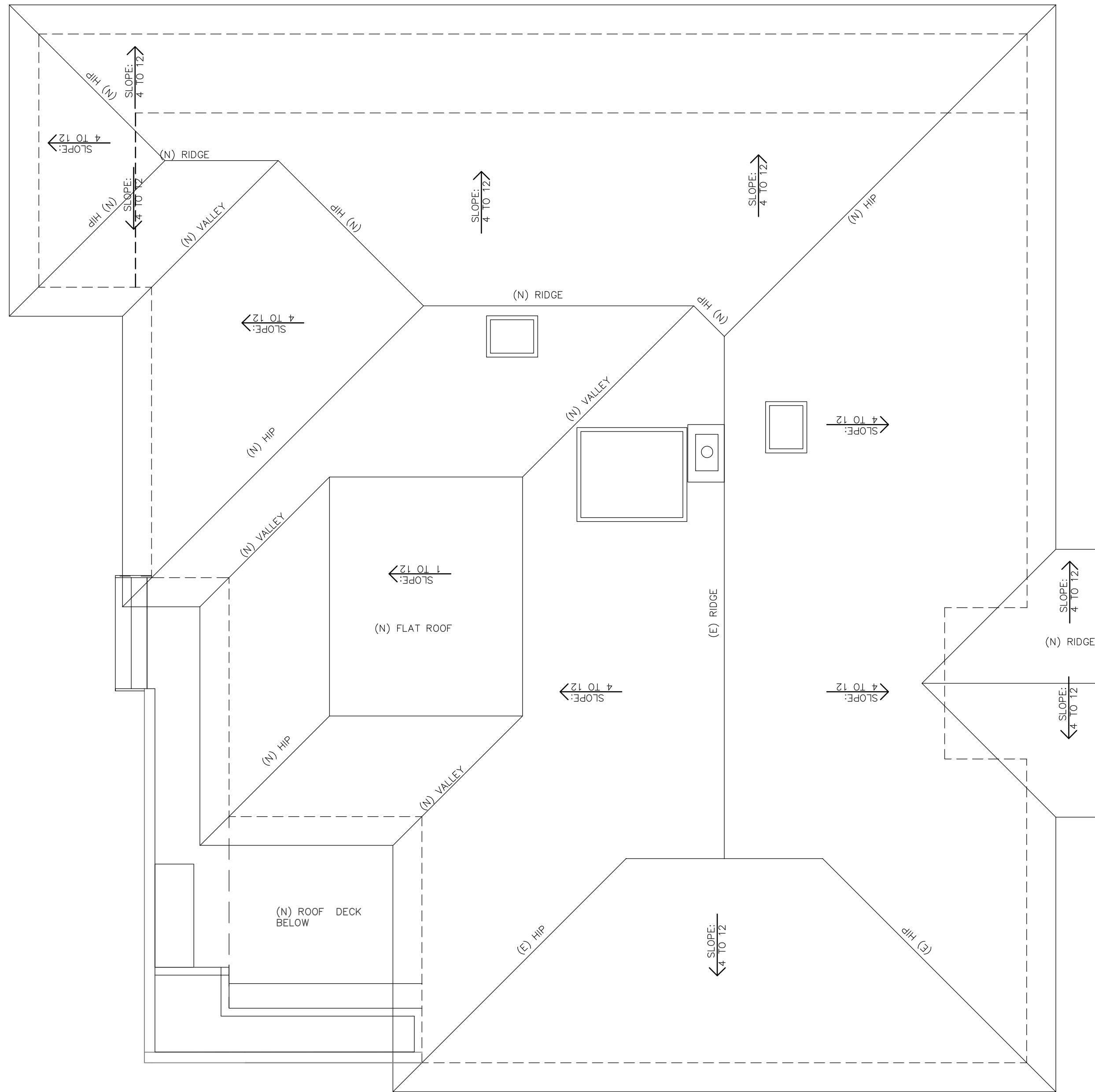
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**2721
MARTINEZ DR.
BURLINGAME
CALIFORNIA**

A4.0



1-EXISTING ROOF PLAN
SCALE: 3/16"=1'-0"



2-PROPOSED ROOF PLAN
SCALE: 3/16"=1'-0"

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CALIFORNIA**

DRAWN BY: DM
CHECK BY:
DATE: 07/29/18

NO. 07-0000000000
RENEWAL DATE: 07/31/2019
PROJECT: 2721 MARTINEZ DR. BURLINGAME, CA 94610
BY XIE ASSOCIATES, INC.



SHEET TITLE

ROOF PLANS

A2.2

GENERAL NOTS

1. ALL DESIGN AND CONSTRUCTION SHALL CONFORM TO ALL FEDERAL, STATE, CITY AND COUNTY CODES AND ORDINANCES. ANY WORK FOUND IN THESE DRAWINGS NOT IN CONFORMANCE WITH ANY APPLICABLE CODES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCEMENT OF ANY RELATED WORK.

CODES USED AND COMPLY:

2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA FIRE CODE(CFC)
2016 CALIFORNIA ENERGY CODE(CEC/T-24)
EFFICIENCY STANDARD
2016 CALIFORNIA GREEN BUILDING CODE
2016 CALIFORNIA RESIDENTIAL BUILDING CODE

2. ALL WORK SHALL CONFORM TO APPLICABLE LOCAL CODES.

3. ANY HIDDEN CONDITIONS THAT REQUIRED WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT ISSUED FOR THESE PLANS MAY REQUIRED FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION.

6. THIS BUILDING MUST COMPLY WITH THE 2016 CA. BLDG CODE IF PLANNING COMMISSION HAS NOT APPROVED THE PROJECT PRIOR TO 5:00 PM ON DEC. 31, 2016

7. THIS BUILDING MUST COMPLY WITH THE 2016 CA. BLDG CODE FOR NEW STRUCTURES. MBC 18.07.020

HOURS OF CONSTRUCTION

NO PERSON SHALL ERECT (INCLUDING EXCAVATION AND GRADING),DEMOLISH, ALTER OR REPAIR ANY BUILDING OR STRUCTURE OTHER THAN BETWEEN THE FOLLOWING HOURS EXCEPT IN THE CASE OF URGEN NECESSITY IN THE INTEREST OF PUBLIC HEALTH AND SAFETY, AND THEN ONLY WITH PRIOR WRITTEN APPROVAL FROM THE BUILDING OFFICAL,WHICH APPROVAL SHALL BE GRANTED FOR A PERIOD NOT TO EXCEED THREE DAYS. HOLIDAY ARE THE FIRST DAY OF JANUARY, THE THIRD MONDAY OF FEBRUARY, THE LAST MONDAY OF MAY, THE FOURTH DAY OF JULY, THE ELEVENTH DAY OF NOVEMBER, OR THE TWENTH-FITHDAY OF DEC. FALLS UPON A SUNDAY THE FOLLOWING MONDAY IS A HOLIDAY.

PROJECT CONSTRUCTION SHALL BE LIMITED TO THE FOLLOW:

MONDAY THROUGH FRIDAY: 8AM TO 7PM
SATURDAYS: 9AM TO 6PM
SUNDAYS AND HOLIDAYS: NO WORK ALLOWED
(SEE CITY OF BURLINGAME MUNICIPAL CODE, SECTION 13.04.100 FOR DETAILS)

CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT-OF WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN/ 8:00 A.M. AND 5:00 P.M.
NOTE: CONSTRUCTION HOURS FOR WORK IN THE PUBLIC RIGHT OF WAY MUST NOW BE INCLUDED ON THE PLANS

FIRE NOTED

1.PROVIDE A MIN. 1 INCH WATER METER
2. FIRE SPRINKLERS SHALL BE INSTALLED AND SHOP DRAWINGS SHALL BE APPROVED BY THE FIRE DEPT. PRIOR TO INSTALLATION
3. BACKFLOW PREVENTION DEVICE TO BE PROVIDED ON FIRE SERVICE LINE--USC APPROVED DOUBLE CHECK VALVE. ASSEMBLY. GENERAL CONTRACTOR SHALL ENSURE THE DOUBLE CHECK VALVE ASSEMBLY IS TESTED AND APPROVEDBY A SAN MATEO COUNTY ENVIROMENTAL HEALTH APPROVED CONTRACTOR PRIOR TO WATER DEPT FINAL INSPECTION
4. FIRE FLOW SHALL MEET REQUIREMENTS OF CALIFORNIA FIRE CODE APPENDIX IIIA. PROVIDE AT 1,000 GPM ULESS PROTECTED BY AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM, THEN IT MAY BE REDUCED BY 50%

WATER CONSERVATION

SAVING FIXTURES
1. PROVIDE MAXIMUM 1.8 GALLONS PER MINUTE FOR SHOWER HEADS
SHOWER HEAD WITH FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACE W/ WATER SHOWER HEAD WITH MAX. FLOW RATE OF 2.0 GPF
2. PROVIDE MAXIMUM 1.5 GALLONS PER MINUTE FOR LAVATORY FAUCETS
LAVATORY WITH A FLOW RATE IN EXCESS OF 2.2 GPM WILL NEED TO BE REPLACE WITH LAVATORY WITH MAX. FLOW RATE OF 1.5 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS)
3. PROVIDE MAXIMUM 1.28 GALLONS PER FLUSH FOR NEW TOILETS.
WATER CLOSET WITH A FLOW RATE IN EXCESS OF 1.6 GPF WILL NEED TO BE REPLACE WITH WATER CLOSET WITH MAX. FLOW RATE OF 1.28 GPF
4. NEW CLOTHES WASHERS SHALL HAVE A WATER FACTOR EQUAL OR LESS THAN 6.0
5. PROVIDE MAXIMUM 1.8 GALLONS PER MINUTE FOR KITCHEN FAUCETS
6. NEW DISH WASHERS SHALL USE LESS THAN 6.5 GALLONS PER CYCLE, OR BE ENERGY STAR QUALIFIED

PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CALGREEN SECTION 301.1, FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO A SINGLE FAMILY RESIDENTIAL PROPERTY, EXISTING PLUBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET COMPLIANT FLOW RATES WILL NEED TO BE UPGRADE.

DEFERRED PERMIT

1-GRADING PERMIT, IF REQUIRED, WILL BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS
2-DEMOLITION PERMIT WILL NOT BE ISSUED UNTIL A BUILDING PERMIT IS ISSUED FOR THE PROJECT
3-NO OCCUPANCY OF THE BUILDING IS TO OCCUR UNTIL A NEW CERTIFICATED OF OCCUPANCY HAS BEEN ISSUED

PUBLIC WORK NOTES

1-ANY DRAIN INLETS WITHIN THE VEGETATED AREA ARE AT LEAST 3 INCHES ABOVE THE SURROUNDING GRADE
2. VEGETATED AREA HAS AMENDED SOILS, VEGETATION, AND IRRIGATIONAS REQUIRED TO MAINTAIN SOIL STABILITY AND PERMEABILITY
3. RUNOFF IS DISPERSED ACROSS THE VEGETATED AREA WITH SPLASH BLOCK OR GRAVEL ROCK TO EROSION AND PROMOTE INFILTRATION
4. ROOF AREAS COLLECT RUNOFF AND ROUTE IT TO THE RECEIVING PERVIOUS AREA VIA GUTTERS AND DOWNSPOUTS
5. TRIBUTARY IMPERVIOUS SQUARE FOOTAGE IN NO INSTANCE EXCEEDS TWICE THE SQUARE FOOTAGE OF THE REVEIVING PERVIOUS AREA
6. CONTRACTOR SHALL SECURE AN ENROACHMENT PERMIT FROM THE CITY'S ENGINEERING DEPT. PRIOR TO INSTALLATION OF WATER SERVICE, CURB DRAIN, DRIVEWAY AND OTHER ITEMS TO BE INSTALLED WITHIN THE CITY RIGHT-OF WAY
7. PROTECT STREET TRESS DURING CONSTRUCTION
8. ALL DAMAGED AND DISPLACED CURB, GUTTER AND/OR SIDEWALK FRONTING SITE MUST BE REPLACED PRIOR TO FINAL OF BUILDING PERMIT
9. CONSTRUCTION HOURS IN THE CITY PBLIC RIGHT-OF-WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00 AM AND 5:00PM.; THIS INCLUDES CONSTRUCTION HAULING.
10. PER MUNICIPAL CODE SECTION 18.08.090, NO STORM WATER OR UNDERGROUND WATER DRIANING FROM ANY LOT, BUILDING, OR PAVED AREA SHALL BE ALLOWED TO DRAIN TO ADJACENT PROPERTIES NOR SHALL THIS WATER BE CONNECTED TO THE CITY'S SANITARY SEWER SYSTEM. REGARDLESS OF THE SLOPE OF THE SOURCE PROPERTY, SUCH WATER SHALL DRAIN TO EITHER ARTIFICIAL OR NATURAL STORM DRAINAGE FACILITIES BY GRAVITY OR PUMPING
11. ALL WATER LINES CONNECTIONS TO CITY WATER MAIN FOR SERVICES OR FIRE LINE PROTECTION ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND MATERIAL SPECIFICATIONS. CONTACT THE CITY WATER DEPARTMENT FOR CONNECTION FEES. IF REQUIRED, ALL FIRE SERVICES AND SERVICE 2" AND OVER WILL BE INSTALLED BY BUILDER. ALL UNDERGROUND FIRE SERVICES CONNECTION SHALL BE SUBMITTED AS A SEPARATE UNDERGROUND FIRE SERVICE PERMIT FOR REVIEW AND APPROVAL.
12. NO STRUCTURE SHALL BE BUILT INTO CITY'S RIGHT-OF-WAY
13. THE PROJECT SHALL BE COMPLY WITH THE CITY'S NPDES PERMIT REQUIREMENTS TO PREVENT STORM WATER POLLUTION.
14. ALL DEBRIS/GARBAGE CONTAINERS LOCATION SHALL BE ON PROPERTY. IN A SITUATION WHERE THAT IS NO POSSIBLE, AN ENROACHMENT PERMIT IS REQUIRED FROM PUBLIC WORK DEPARTMENT FOR PLACING DEBRIS/GARBAGE CONTAINERS IN PUBLIC RIGHT-OF-WAY. NO WET GARBAGE FLUID SHALL ENTER PUBLIC RIGHT-OF-WAY OR THE STORM DRAIN SYSTEM.
15. IT IS THE RESPONSIBILITY OF THE WONER AND/OR CONTRACTOR TO NOTIFY UNDERGROUND SERVICE ALERT(USA) AT LEAST 48 HOURS BEFORE THE START OF ANY EXCAVATION WORK

PROPERTY DATA

○ OWNER:	LIN YUN PING
○ ADDRESS:	2721 MARTINEZ DR. BURLINGAME, CA 94010
○ APN #:	025-023-040
○ ZONING:	R1
○ OCCUPANCY GROUPS:	R-3/U
○ TYPE OF CONSTRUCTION:	VB
○ LOT AREA:	10,033Φ
○ MAX. FLOOR AREA(32%)+PLUS 1,100 S.F:	4,310Φ
○ MAX. LOT COVERAGE:	4,013Φ (40%)
○ MAX. BUILDING HIGH	30 Φ
○ EXISTING LOT COVERAGE:	1,382 Φ
○ EXISTING HABITABLE 2ND FLOOR AREA:	2,624 Φ
○ EXISTING HABITABLE 1ST FLOOR AREA:	297 Φ
○ EXISTING PARKING SPACE PROVIDED	430Φ (2 SPACE)
○ EXISTING FLOOR AREA:	3,351 Φ
● PROPOSED 1ST FLOOR AREA:	994 Φ
● PROPOSED SECOND FLOOR AREA:	3,299 Φ
● TOTAL PROPOSED FLOOR AREA :	4,293 Φ <4,310 SF
● TOTAL LOT COVERAGE :	3,992 Φ <4,013

LOCATION MAP

SHEET INDEX

A1.0	SITE PLAN & NOTES
A1.1	(E) SITE PLAN
A1.2	LANDSCAPE PLAN
A2.0	EXISTING & PROPOSED 1ST FLOOR PLANS
A2.1	EXISTING AND PROPOSED 2ND FLOOR PLANS
A2.2	(E) & PROPOSED ROOF PLAN & FLOOR CALC.
A3.0	PROPOSED EXTERIOR ELEVATIONS
A3.1	PROPOSED EXTERIOR ELEVATIONS
A4.0	SECTIONS & DTLs

SCOPE OF WORK

●CONSTRUCT A ONE-STORY REAR AND SIDE ADDITION AT UPPER NOUTH SIDE OF THE (E) ONE-STORY DWELLING, NEW ROOF DECK AND INTERIOR REMODEL

●CONSTRUCT A ONE-STORY REAR ADDITION @ THE LOWER NORTH SIDE

SITE LEGEND

	PROPERTY LINE
	SETBACK LINE
	EASEMENT LINE
	WOOD FENCE
	BUILDING FOOTPRINT
	(N) ONE-STORY REAR ADDITION
	SURFACE WATER DRAIN DIRECTION, AWAY BUILDING, TYP. 5% MIN. 6" MIN. FALL WITHIN 10' FROM WALL
	(N) DRAIN ROCK DISSIPATE RAIN WATER TO YARD
	ROOF DRAIN, DRAIN TO YARD OR DRIVEWAY

1- PROPOSED SITE PLAN

WORK NOTES

1 REPLACE EXISTING LATERAL SEWER LINE WITH NEW 4"Ø SEWER LINE, NEW CLEAN OUT, CLEAN OUT MUST BE 18" TO 24" FROM THE BLDG FOUNDATION/BUILDING

2 REPAIR EXISTING SIDEWALK AND DRIVEWAY, AND CURB CUTTER FOR ANY DAMAGED PER CITY STANDARD, ALL CONCRETE SHALL BE REMOVED AND REPLACE FRONT THE PROPERTY, TYP.

SCALE

0 4' 8' 16'

SCALE: 1/8" = 1'-0"

PROJECT INFORMATION

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XIE ASSOCIATES, INC.

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301 CRESCENT WAY #5412
SAN FRANCISCO, CA 94134

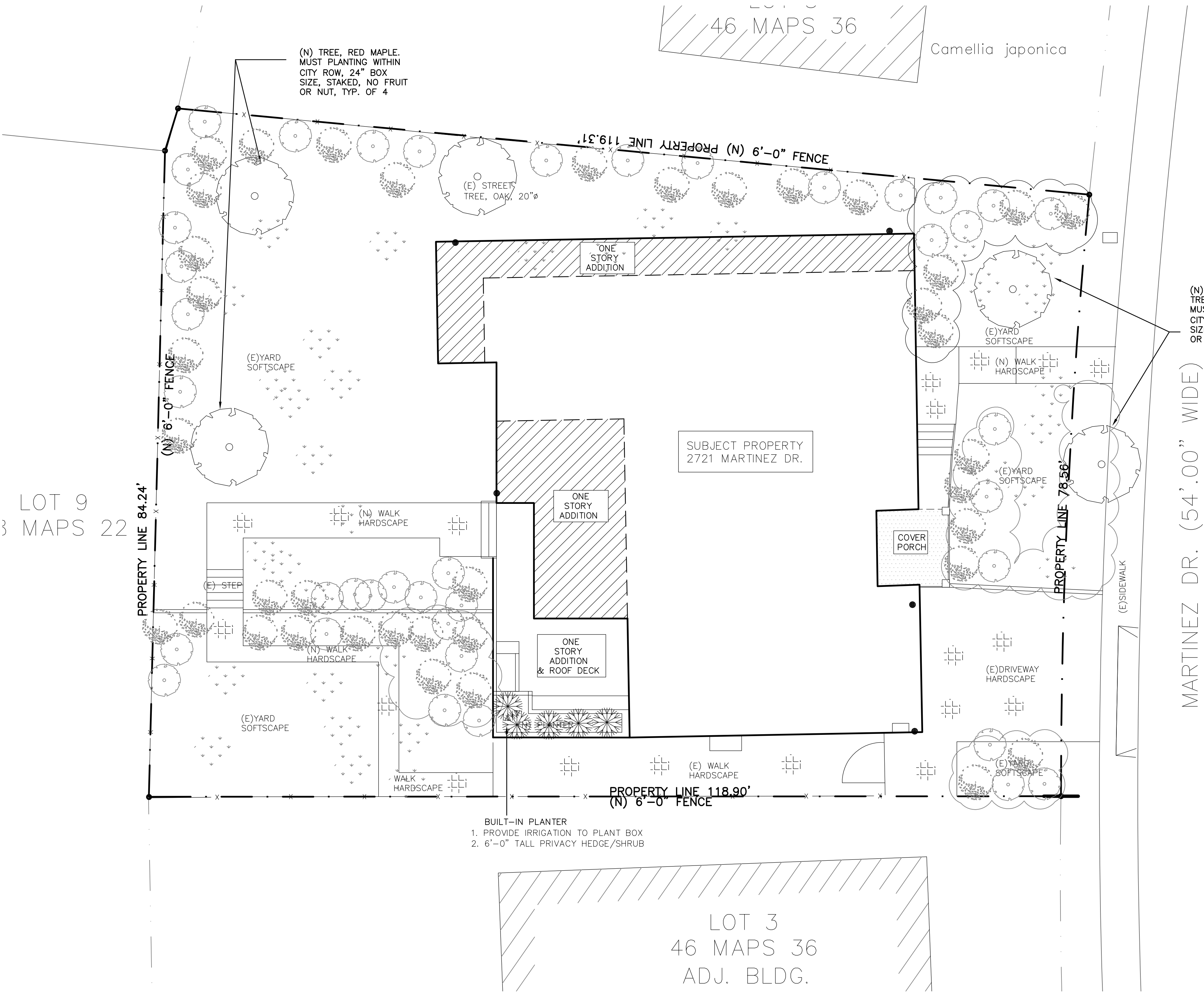
Tel: (415) 652-3047
Fax:(415) 656-0542
Email: bil@xiearchdesign.com

SHEET TITLE

SITE PLAN & NOTES

A1.0

LOT 9
3 MAPS 22



1- LANDSCAPE PLAN

PLANT LIST

TREES	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY	WTR USE
	(E) TREE	(E) TREE		PER PLAN	4	
SHRUB						
	(E) SHRUB					
	SOFTSCAPE PREVIOUS SURFACE					
	(E) SHRUB					
	SOFTSCAPE PREVIOUS SURFACE					
	(E) SHRUB					
	SOFTSCAPE PREVIOUS SURFACE					
	CAMELLIA JAPONICA	CAMELLIA	5 GALLON		6	LOW
GRASSES						
	(E) GRASS					
	SOFTSCAPE PREVIOUS SURFACE					
	STONE PAVING					

- NOTES:
1. IRRIGATION TO BE PER CITY OF BURLINGAME STANDARDS
 2. ALL PLANTING AREAS TO IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM UTILIZING A WEATHER-BASED CONTROLLER AND LOW-FLOW HEADS TO MEET ALL REQUIREMENT PER CITY OF BURLINGAME STANDARDS
 3. EXISTING LANDSCAPE TO REMAIN
 4. ALL NEW PLANTING TO BE ADDRESS AT FINAL BUILDING PERMIT DRAWINGS

NO EXISTING TREE OVER 48" CIRCUMFERENCE AT 54" FROM BASE TO BE REMOVED

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STATE OF CALIFORNIA

SHEET TITLE

LANDSCAPE PLAN

A1.2