



TRIM & FASCIA

- PAINT GRADE WOOD
- KELLY MOORE' CLOUD WHITE (KM157-1)

WINDOWS

- 'MARVIN INTEGRITY' ULTREX
- FIBERGLASS FRAME
- BRONZE FINISH

ROOF BRACKETS & POST

- PAINT GRADE WOOD
- 'KELLY MOORE' CLOUD WHITE (KM157-1)

ENTRY DOOR

- PAINTED WOOD & FROSTED GLASS
- 'KELLY MOORE' ANTIQUE ROSEWOOD (KM4463-5) OR EQ

SIDING (1ST FLR):

- INTEGRAL COLOR STUCCO
- LIGHT SANDED STUCCO FINISH
- 'KELLY MOORE' FOSSIL (KM 4599)

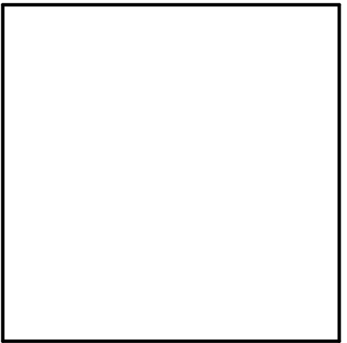
ROOF:

- COMPOSITE ASPHALT SHINGLES
- 'CERTAINTED - LANDMARK' OR EQ.
- 'MOIRE BLACK'



SIDING (2ND FLR):

- INTEGRAL COLOR STUCCO
- LIGHT SANDED STUCCO FINISH
- 'KELLY MOORE' CHAMELEON TANGO (KM4775)



SIDELITE & GARAGE DOOR:

- ALUMN. & FROSTED GLASS
- 'DARK BRONZE' PER MANUF.

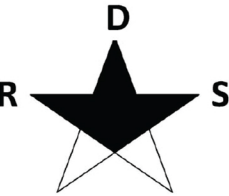
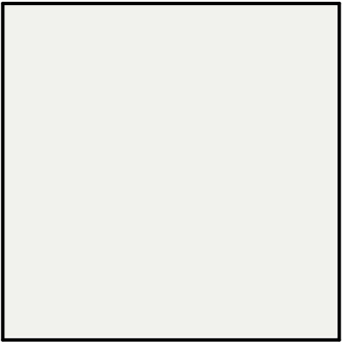
GARAGE T.P.

8'-1" MAX.

SLAB

BAY WINDOW:

- PAINT GRADE WOOD
- 'KELLY MOORE' CLOUD WHITE (KM157-1)



**RESIDENTIAL
DESIGN SOLUTIONS**

406 LA JOLLA AVENUE
SAN MATEO, CA 94403
(650) 218-8161

EMAIL RDS@CHRISTIANRUFFAT.COM

WEB CHRISTIANRUFFAT.COM

LIC. # 48803



**RESIDENTIAL
ADDITION/REMODEL**

1020 TOYON DR.

DATE

Job Number

NEW
RESIDENCE
1020 TOYON DR.
BURLINGAME, CA.

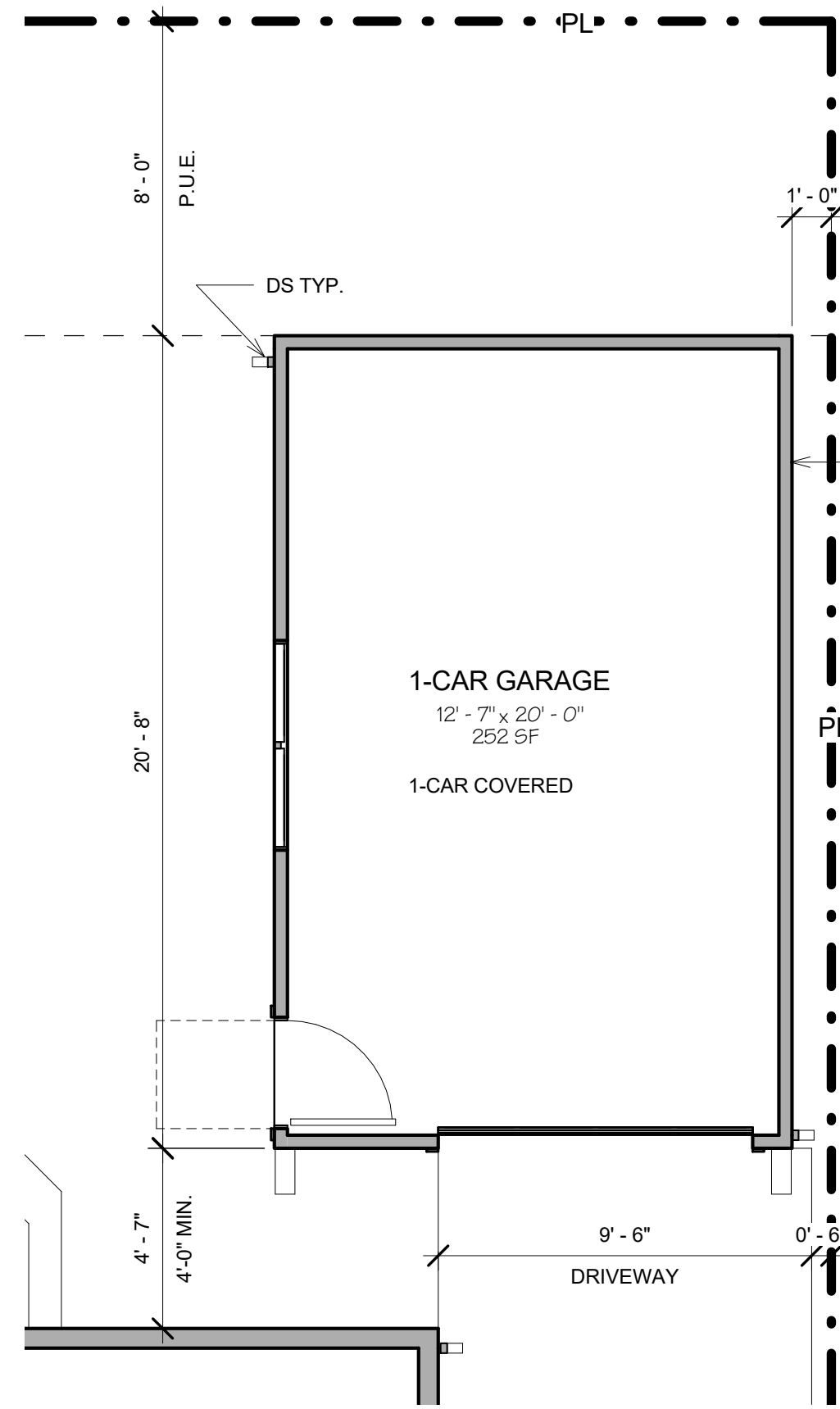
REVISIONS	DESCRIPTION	DATE	BY
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1 LEFT FRONT ISOMETRIC
SCALE:

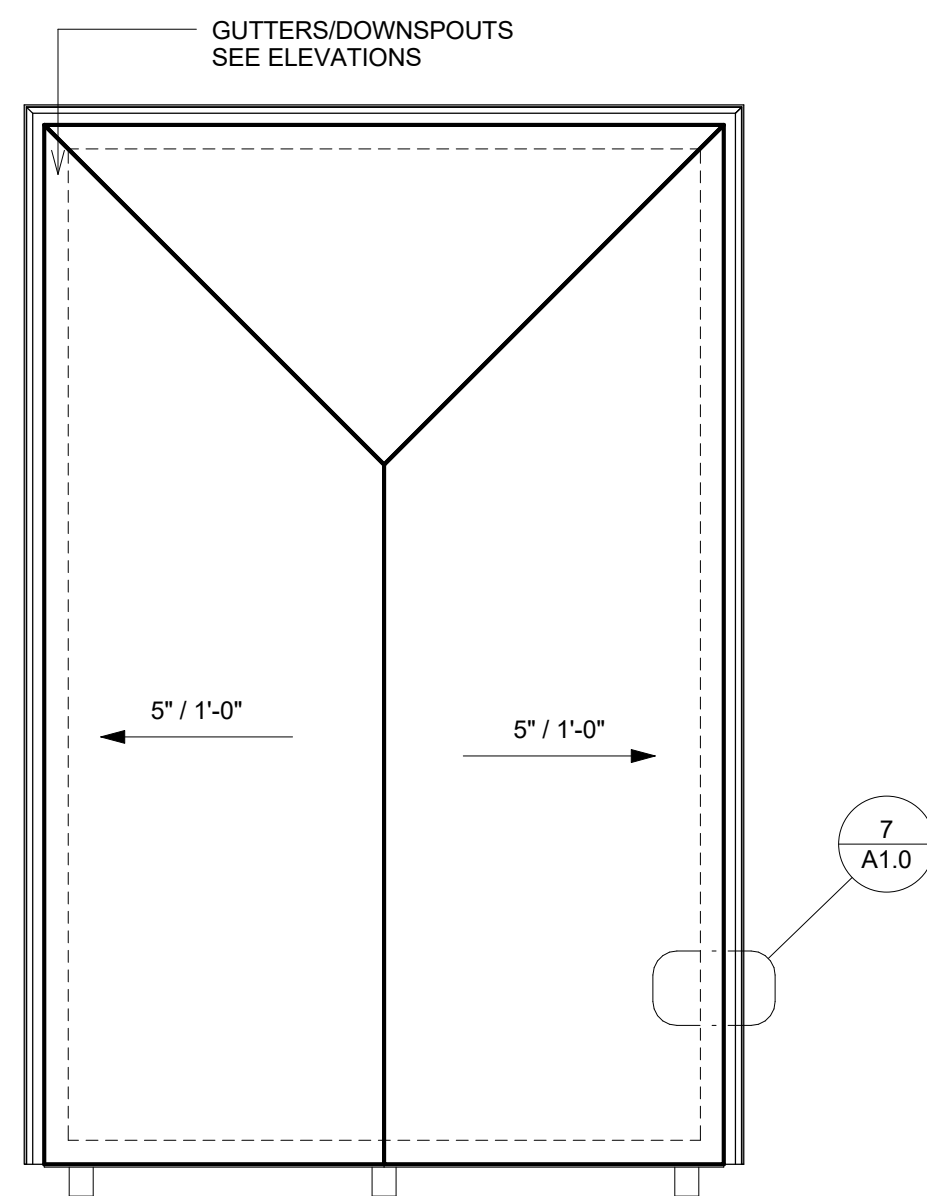
2 RIGHT REAR ISOMETRIC
SCALE:

3 FRONT ENTRY VIEW
SCALE:

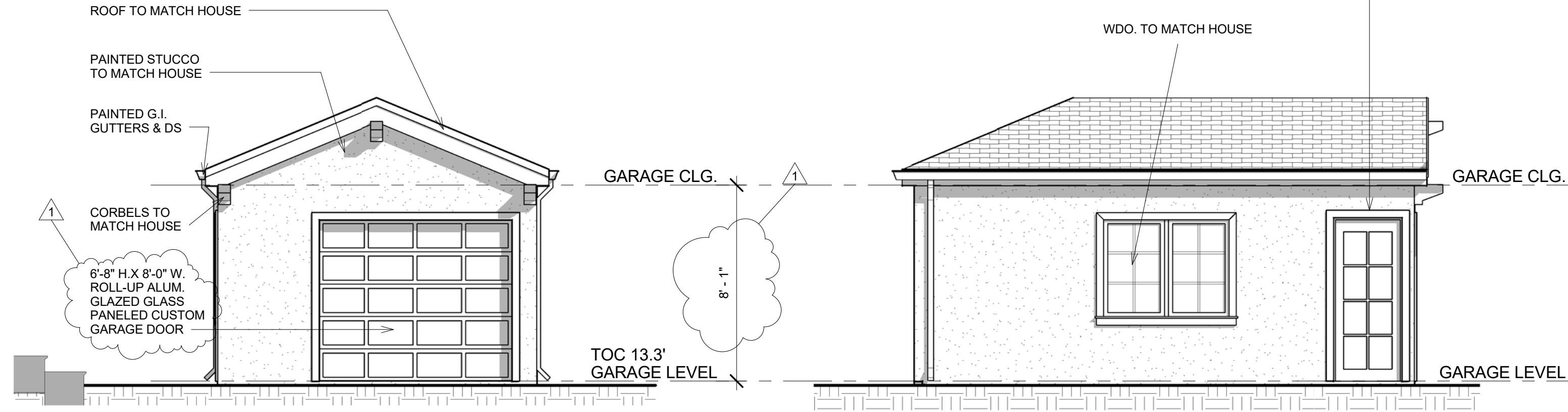
PRELIMINARY



1 GARAGE LEVEL
SCALE: 1/4" = 1'-0"

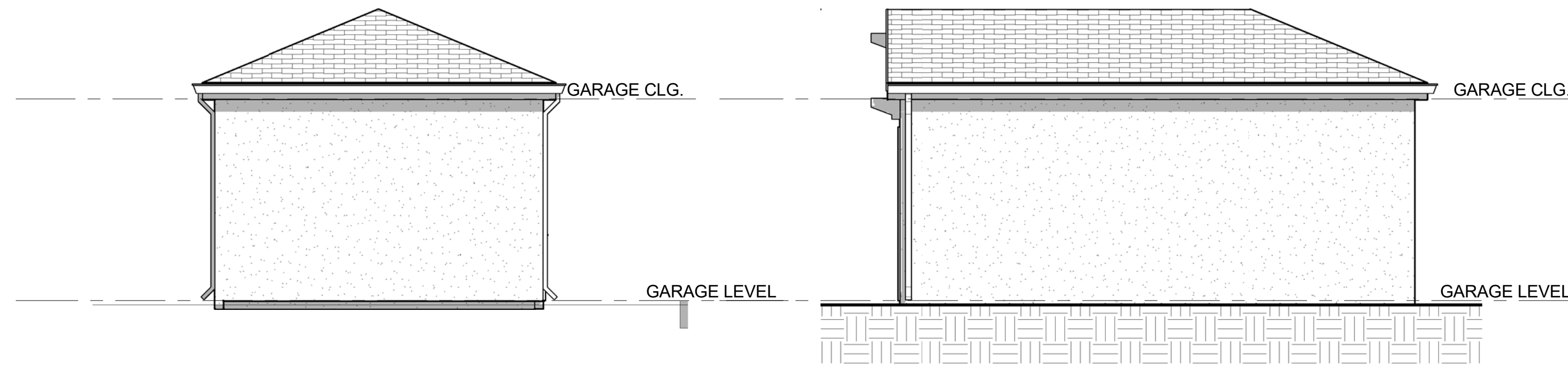


2 GARAGE- ROOF
SCALE: 1/4" = 1'-0"



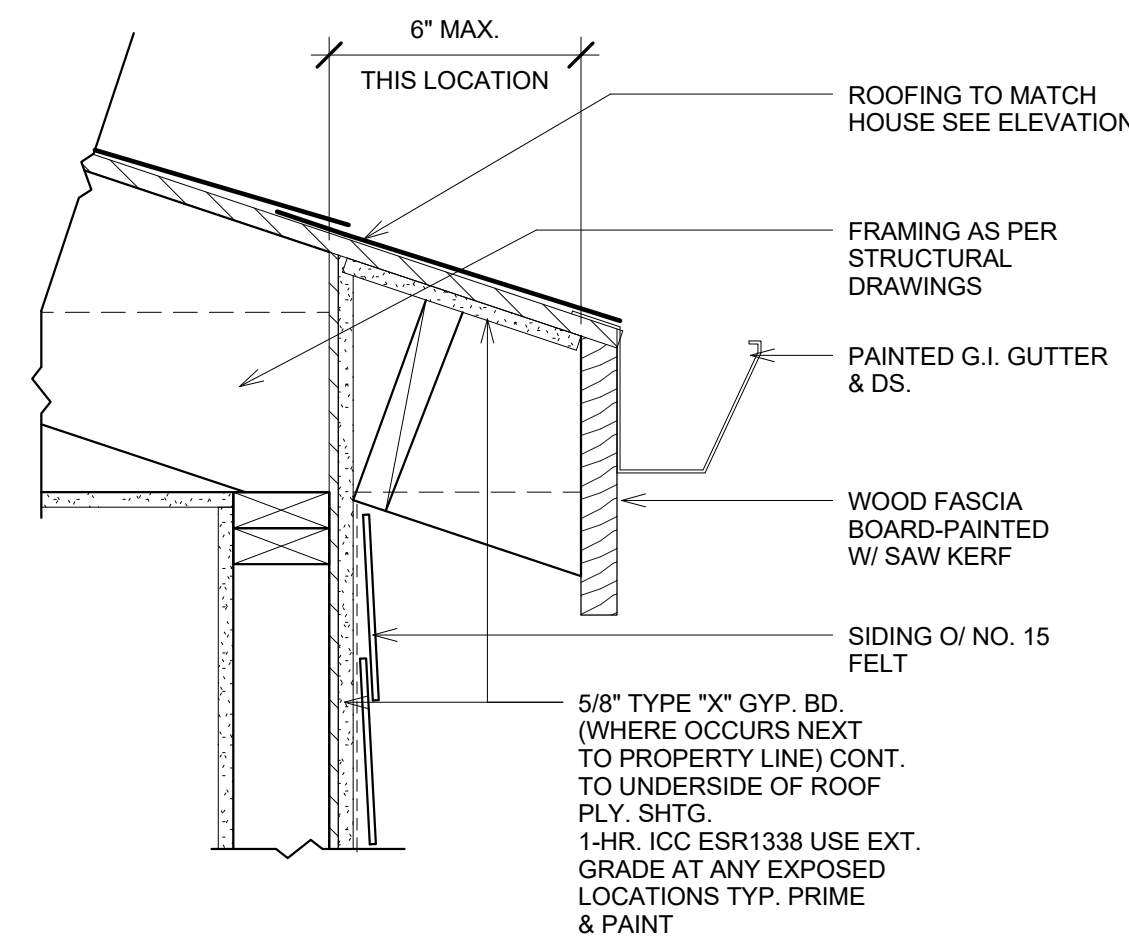
3 GARAGE-FRONT
SCALE: 1/4" = 1'-0"

5 GARAGE-LEFT
SCALE: 1/4" = 1'-0"

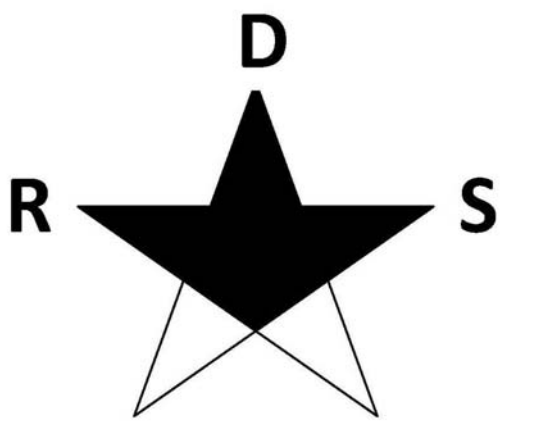


4 GARAGE-REAR
SCALE: 1/4" = 1'-0"

6 GARAGE-RIGHT
SCALE: 1/4" = 1'-0"



7 1-HR. EAVE AT PROP. LINE
SCALE: 1 1/2" = 1'-0"



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REVISIONS	DESCRIPTION	DATE	BY
	1 PLANNING	1/15/19	CR
	2		
	3		
	4		
	5		

DATE
1/15/19

Drawing Number

Scale
As indicated

Project Number
GEN 02

A1.0

TYPICAL EXTERIOR MATERIALS:

COMPOSITION SHINGLE ROOFING
CURB MOUNTED ANODIZED ALUM.
FLAT GLASS LOW E T.GL SKYLIGHT

PAINTED FACIA & RAKE TRIM

PAINTED EXT. CEMENT PLASTER FINISH

AWNING ROOF W/ PAINTED WD.
BRACKETS THIS WDO.

6"x8"x14" CEDAR CORBELS
AT GABLES PAINTED

MARVIN INTEGRITY ULTREX FIBERGLASS /
BRONZE FINISH

DECLINING HEIGHT ENVELOPE

WOOD HEADER TRIM PAINTED

EXT. CEMENT
PLASTER FINISH PAINTED

CUSTOM ENTRY
DOOR W/ SL.

14" NOM. PAINTED WOOD
COL'S/ SURROUNDS

ROCK SALT FINISHED
ENTRY PORCH

12.17' (E)
GRADE AT
PL.

MAIN LEVEL

F.F. 14.83'

11.25' AVERAGE T.O.CURB SEE SITE PLAN SHT. A1

PAINTED RAISED
PANELED WOOD
VENEER/FACE TRIM AT
BAY

UPPER LEVEL CLG.

UPPER LEVEL
MAIN LEVEL CLG.

MAIN LEVEL

12.6' (E)
GRADE AT PL

28'-0" MAX.
26'-4" MAX.
FROM GRADE
30'-0" MAX.

1 PROPOSED FRONT
ELEVATION
SCALE: 1/4" = 1'-0"

COMPOSITION SHINGLE ROOFING

PAINTED FACIA & RAKE TRIM

EXT. CEMENT PLASTER FINISH PAINTED

ANDERSON 400 SERIES ALUM. WOOD INT.
WINDOWS & DOOR W/ PAINTED WD.
AS SELECTED BY OWNER

PAINTED W.I. RAILING

SINGLE PLY MEMBRANE
DECK

EXT. CEMENT
PLASTER FINISH PAINTED

ROCK SALT FINISHED
REAR TERRACE

11.25' AVERAGE T.O.CURB SEE SITE PLAN SHT. A1

UPPER LEVEL CLG.

UPPER LEVEL
MAIN LEVEL CLG.

MAIN LEVEL

8'-1"
1'-0"
28'-0" MAX.
30'-0"

2 PROPOSED REAR
ELEVATION
SCALE: 1/4" = 1'-0"

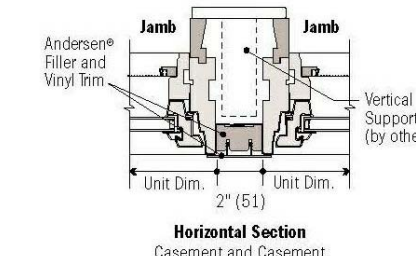
FINISH PER PLANS

PLASTER W/ WEEP SCREED
& "Z" FLASHING TYP.

ANDERSON 400 SERIES ALUM. / WOOD INT.
DOUBLE GLAZED WINDOWS & DOORS

MFR. SILL ELEMENT PRE-FIN.

3 WDO. SCHEMATIC
SCALE: 1 1/2" = 1'-0"



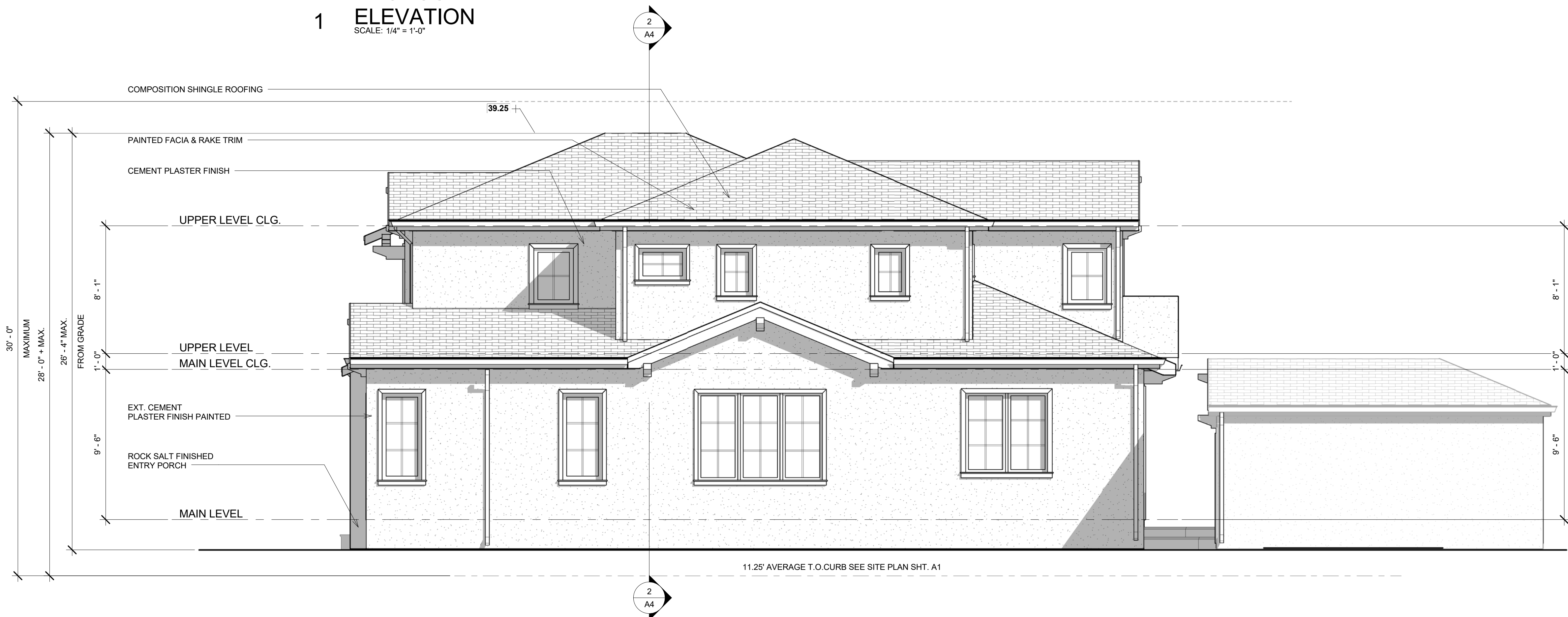
5 WINDOW MULLION DETAL
SCALE: 1 1/2" = 1'-0"

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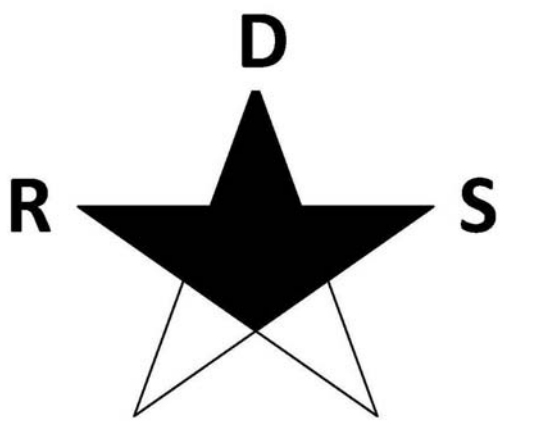


1
PROPOSED LEFT
ELEVATION
SCALE: 1/4" = 1'-0"



2
PROPOSED RIGHT
ELEVATION
SCALE: 1/4" = 1'-0"

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1/4" = 1'-0"

A6

Project Number
GEN 02

BLOCK AVERAGE SETBACK

ADDRESS	SETBACK +/-
1028	17
1024	18
1020	17.5
1016	18
1010	17
1008	17
1004	17
1000	17
904	17.5
908	17.5
912	17
AVERAGE	17.32

BURLINGAME GARDENS
BOOK 22 MAPS 66-67
BLOCK 10

GOVERNING CODES:

2016 CALIFORNIA RESIDENTIAL CODE, 2016 CALIFORNIA PLUMBING CODE, 2016 CALIFORNIA MECHANICAL CODE, 2016 CALIFORNIA ELECTRICAL CODE, 2016 CALIFORNIA GREEN BUILDING STANDARDS, 2016 CALIFORNIA ENERGY CODE, 2016 CALIFORNIA FIRE CODE, AND ALL OTHER APPLICABLE CODES.

PLANNING DATA

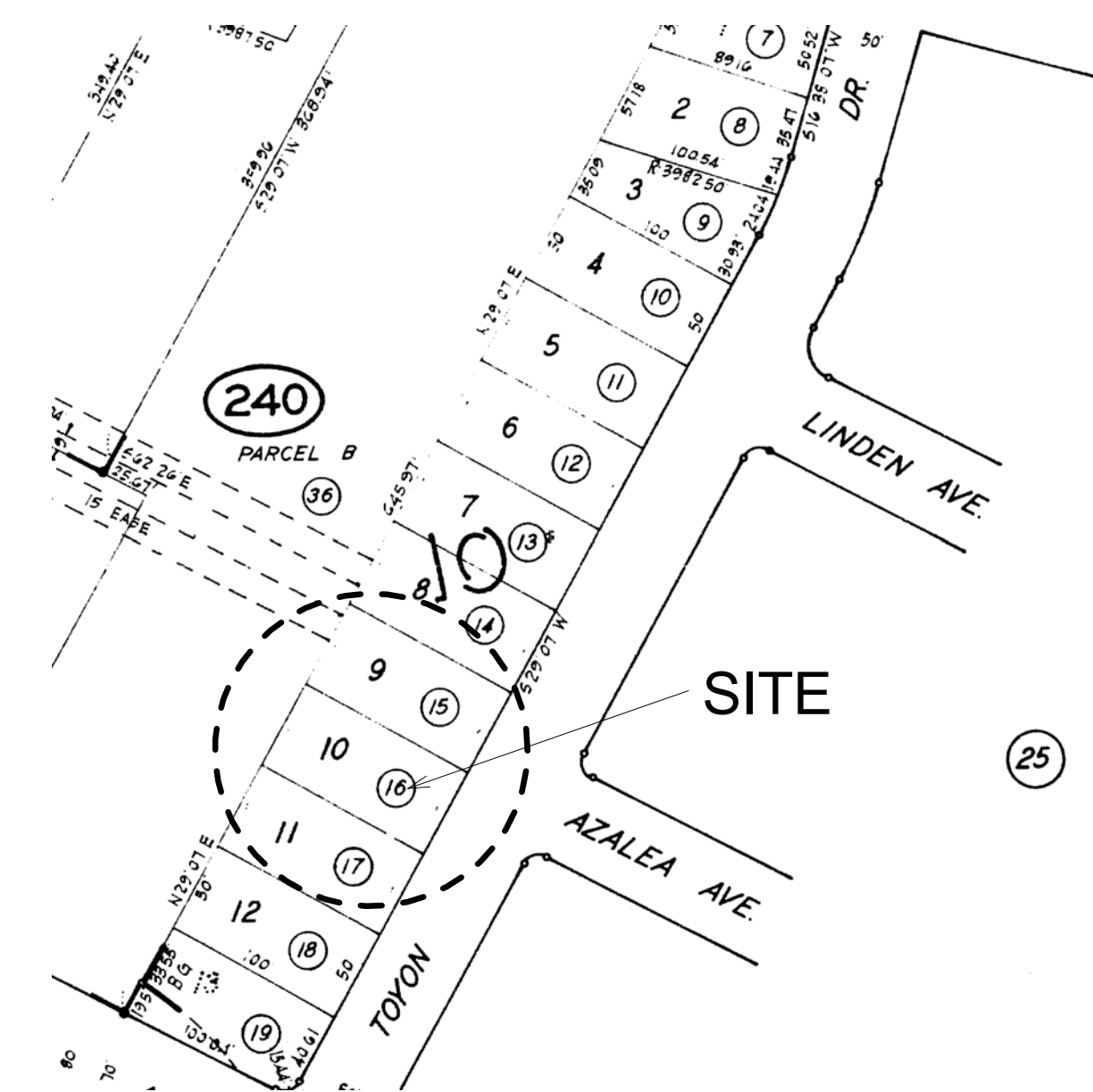
APN	=	026-240-160
ZONING	=	R1
LOT AREA	=	5000 SF
HEIGHT LIMIT	=	30'
FRONT SETBACK	=	15' MAIN./ 20' 2ND. FLR.
GARAGE SETBACK	=	25' SINGLE/35' 2 CAR
REAR SETBACK	=	15' MAIN./ 20' 2ND. FLR.
SIDE SETBACK	=	4' MIN.
REAR SETBACK	=	15' MAIN./ 20' 2ND. FLR.

PROPOSED FLOOR AREAS:

MAIN FLOOR	+	1589 SF
UPPER FLOOR	+	1111 SF
TOTAL LIVING	+	2700 SF
GARAGE	+	272 SF
TOTAL FLOOR AREA	=	2972 SF
COVERED FRONT PORCH	+	108 SF
PROPOSED LOT COVERAGE	=	1969 SF 39.4%

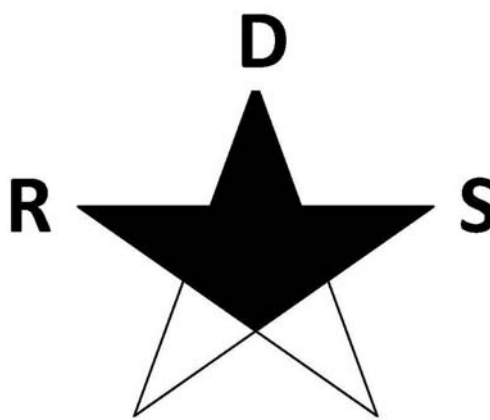
ALLOWABLE LOT COVERAGE	=	2000 SF 40%
ALLOWABLE FLOOR AREA RATIO	=	3100 SF
PROPOSED FLOOR AREA RATIO	=	0.59 SF

LOCATION MAP



SITE PLAN GENERAL NOTES

- SEE CIVIL DRAWINGS (IF APPLICABLE) FOR ANY AND ALL NEW CONTOURS/CONTOUR LINES. VERIFY ALL EXISTING GRADES IN THE FIELD. DRAINAGE SHALL BE AS OUTLINED BY THE CIVIL DRAWINGS. SEE NOTE #4.
- CONTRACTOR SHALL REMOVE EXISTING SITE FEATURES AS NOTED OR AS REQUIRED FOR THE CONSTRUCTION OF THE PROJECT. EXISTING EARTH SHALL BE REMOVED AS REQUIRED FOR FOUNDATIONS REQUIRED UNDERFLOOR AREAS (IF APPLICABLE).
- SEE LANDSCAPE DRAWINGS (IF APPLICABLE) FOR ADDITIONAL INFORMATION.
- ALL IMPERVIOUS SURFACES SHALL BE SLOPE MIN. 2% AWAY FROM ANY BUILDING FOUNDATION/WALL.
- CONTRACTOR SHALL REVIEW AND BECOME FAMILIAR TO ANY PROJECT ARBORIST REPORTS AND FOLLOW ANY OUTLINED RECOMMENDATIONS FOR TREE PROTECTION MEASURES TYPICAL.
- ANY AND ALL UTILITY CONNECTIONS SHALL BE AS OUTLINED BY THE CIVIL DRAWINGS AND OR AS REQUIRED BY LOCAL, STATE AND CURRENT CODES.
- ANY HIDDEN CONDITIONS THAT REQUIRE WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT FOR THESE PLANS MAY REQUIRE FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION. THE BUILDING OWNER, PROJECT DESIGNER AND OR CONTRACTOR MUST OBTAIN A REVISION TO THE CITY FOR ANY WORK NOT GRAPHICALLY ILLUSTRATED ON THE JOB COPY OF THE PLANS PRIOR TO PERFORMING THE WORK.
- NOTE**-WHEN PLANS ARE SUBMITTED TO THE BUILDING DIVISION FOR PLAN REVIEW, A COMPLETED SUPPLEMENTAL DEMOLITION PERMIT APPLICATION WILL BE PROVIDED.
- IF A GRADING PERMIT IS REQUIRED IT SHALL BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS.
- CONSTRUCTION HOURS: WEEKDAYS: 8:00 AM-7:00 PM
SATURDAY: 9:00 AM-6:00 PM
SUNDAYS & HOLIDAYS: NO WORK ALLOWED
CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT OF WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00 AM AND 5:00 PM



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SCHEMATIC SITE PLAN

PRELIMINARY