

LEFT FRONT ISO



ENTRY FACADE



LEFT REAR ISO

PRELIMINARY

D

R

S

RESIDENTIAL

DESIGN SOLUTIONS

406 LA JOLLA AVENUE

SAN MATEO, CA 94403

(650) 218-8161

EMAIL RDS@CHRISTIANRUFFAT.COM

WEB CHRISTIANRUFFAT.COM

LIC. # 48803

BLUESTEIN
RESIDENCE
1448 DRAKE AVE.
BURLINGAME, CA.

REVISIONS	DESCRIPTION	DATE	BY
	1		
	2		
	3		
	4		
	5		

DATE

09/15/18

Drawing Number

A8

Scale

Project Number

BLUS01

D

R

S

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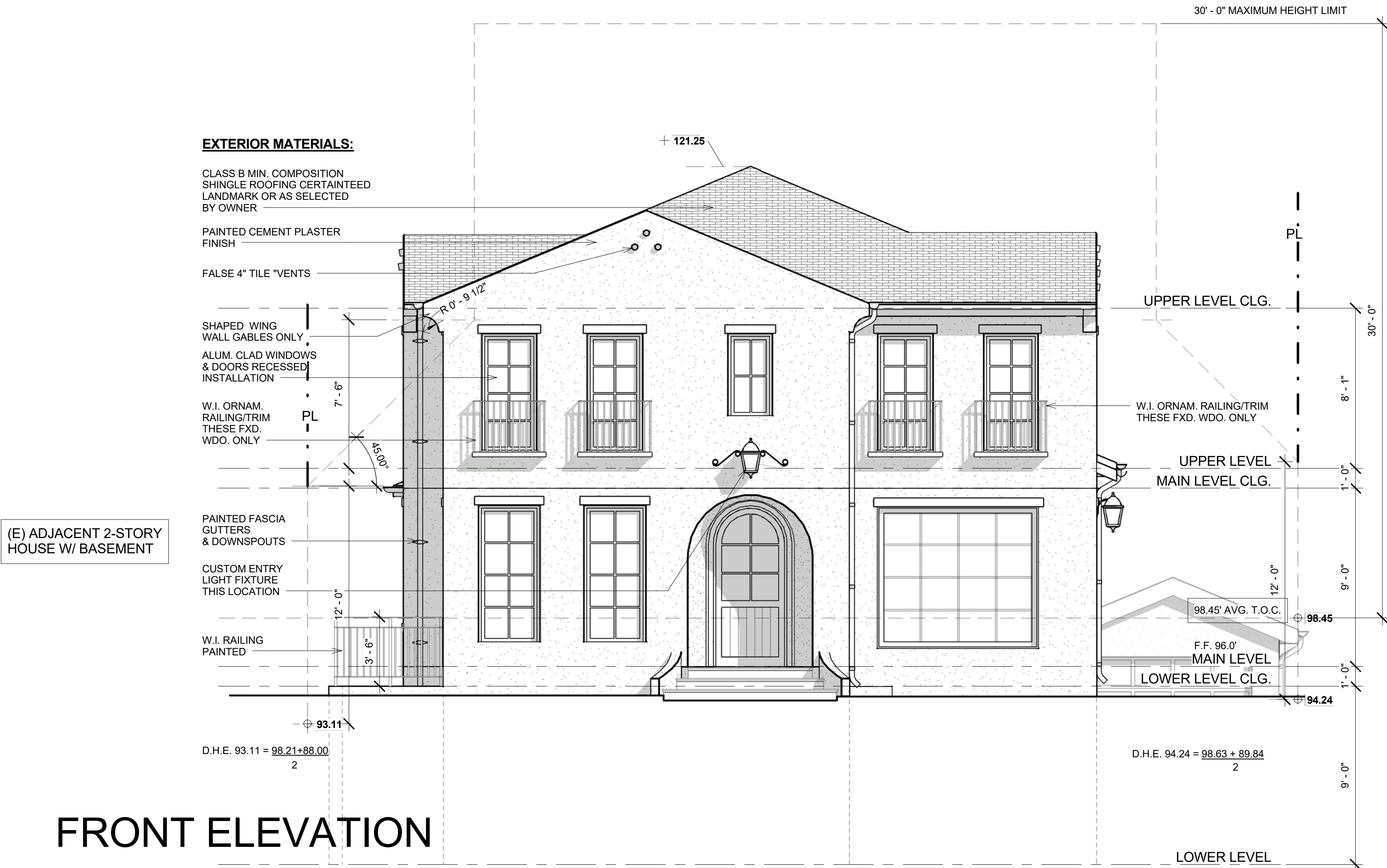
DATE
09/15/18

Drawing Number

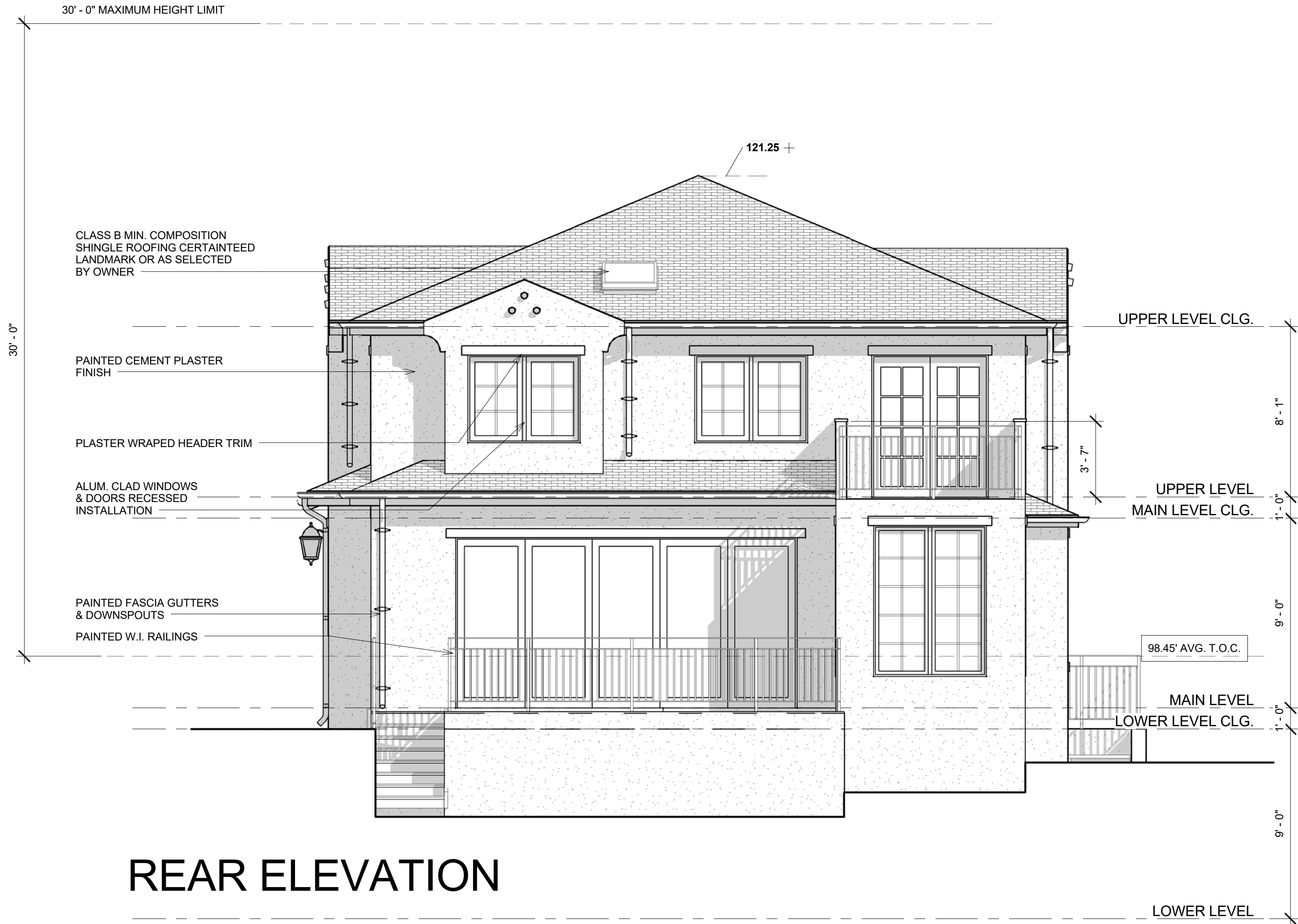
A6

Scale
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Project Number
BLUS01

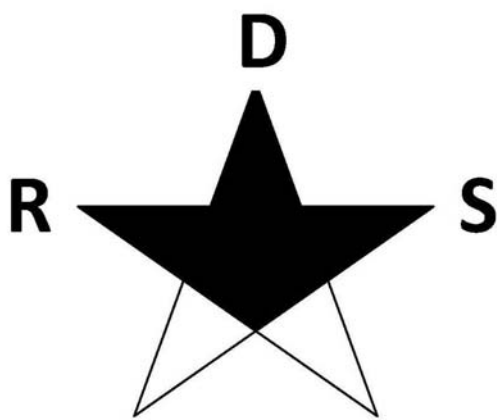


FRONT ELEVATION



REAR ELEVATION

PRELIMINARY



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[Signature]

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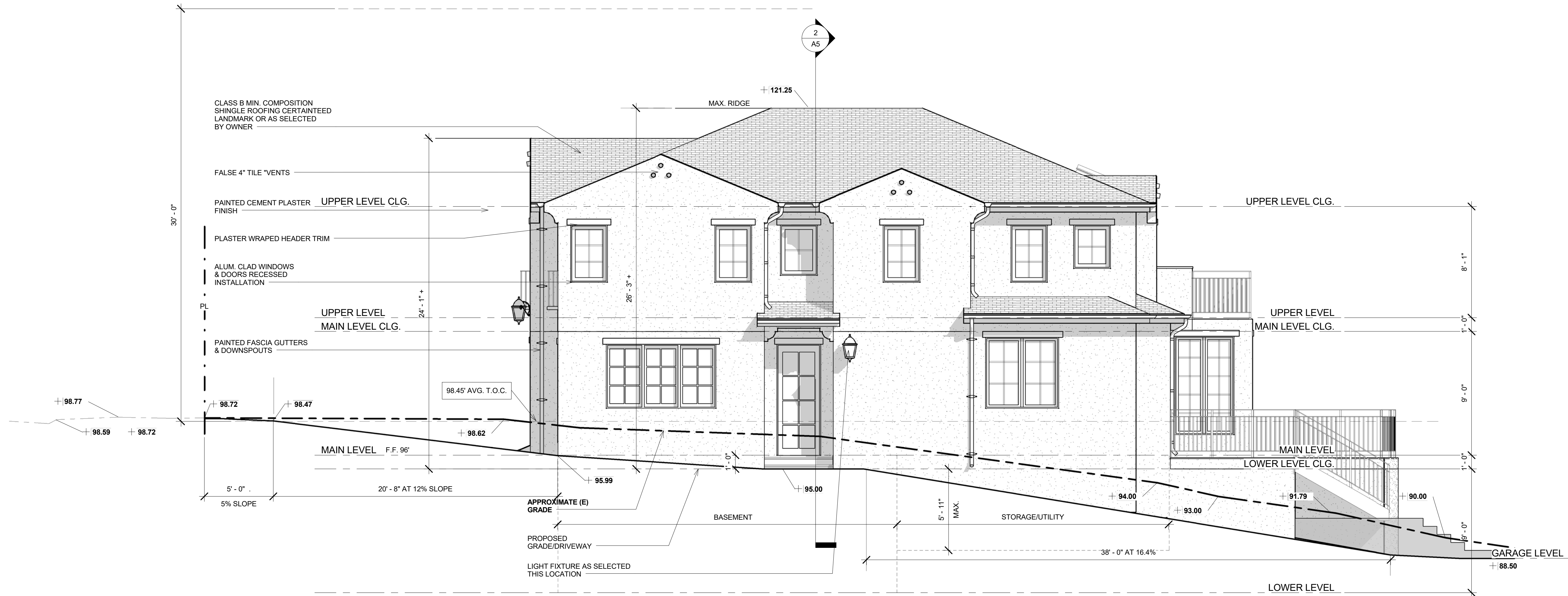
Scale

1/4" = 1'-0"

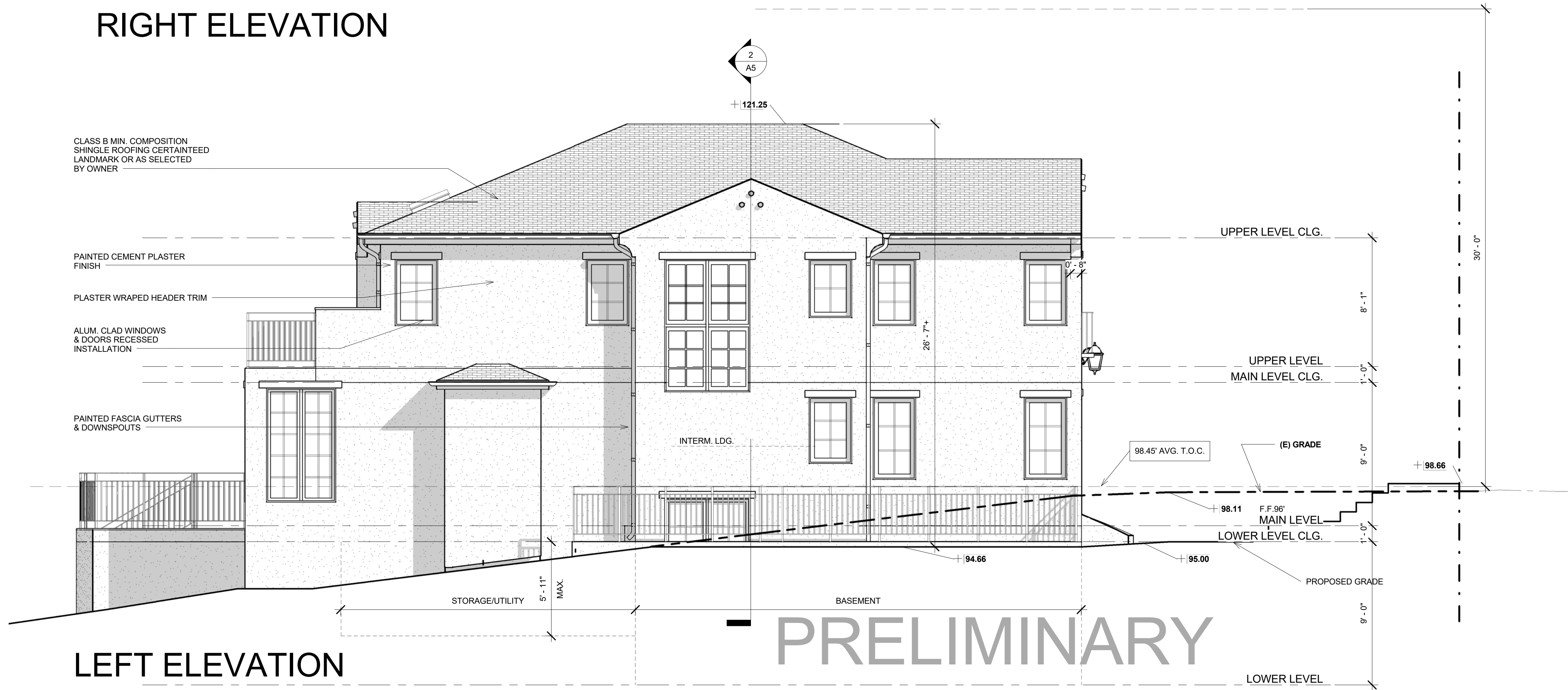
Project Number

BLUS01

A7

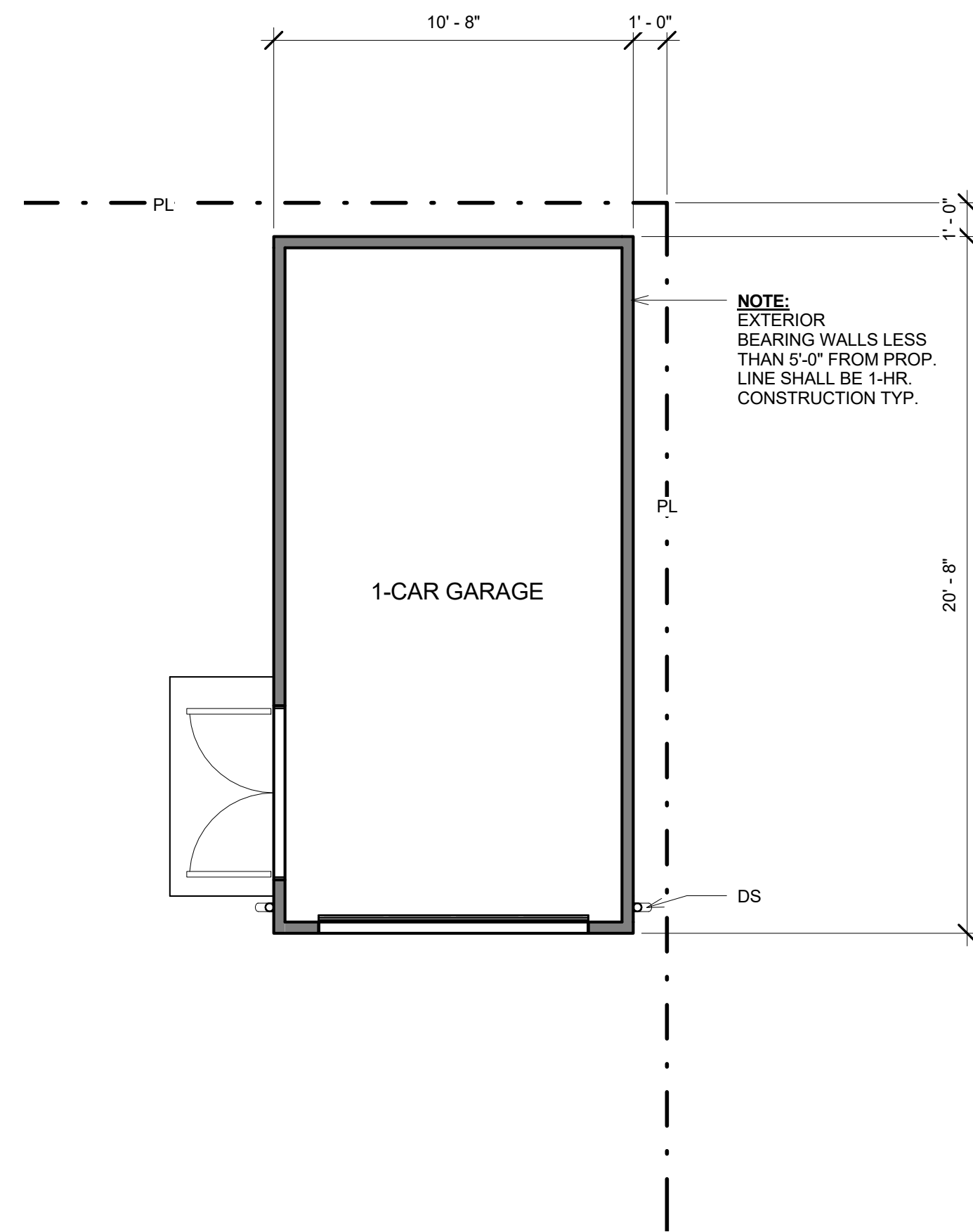


RIGHT ELEVATION

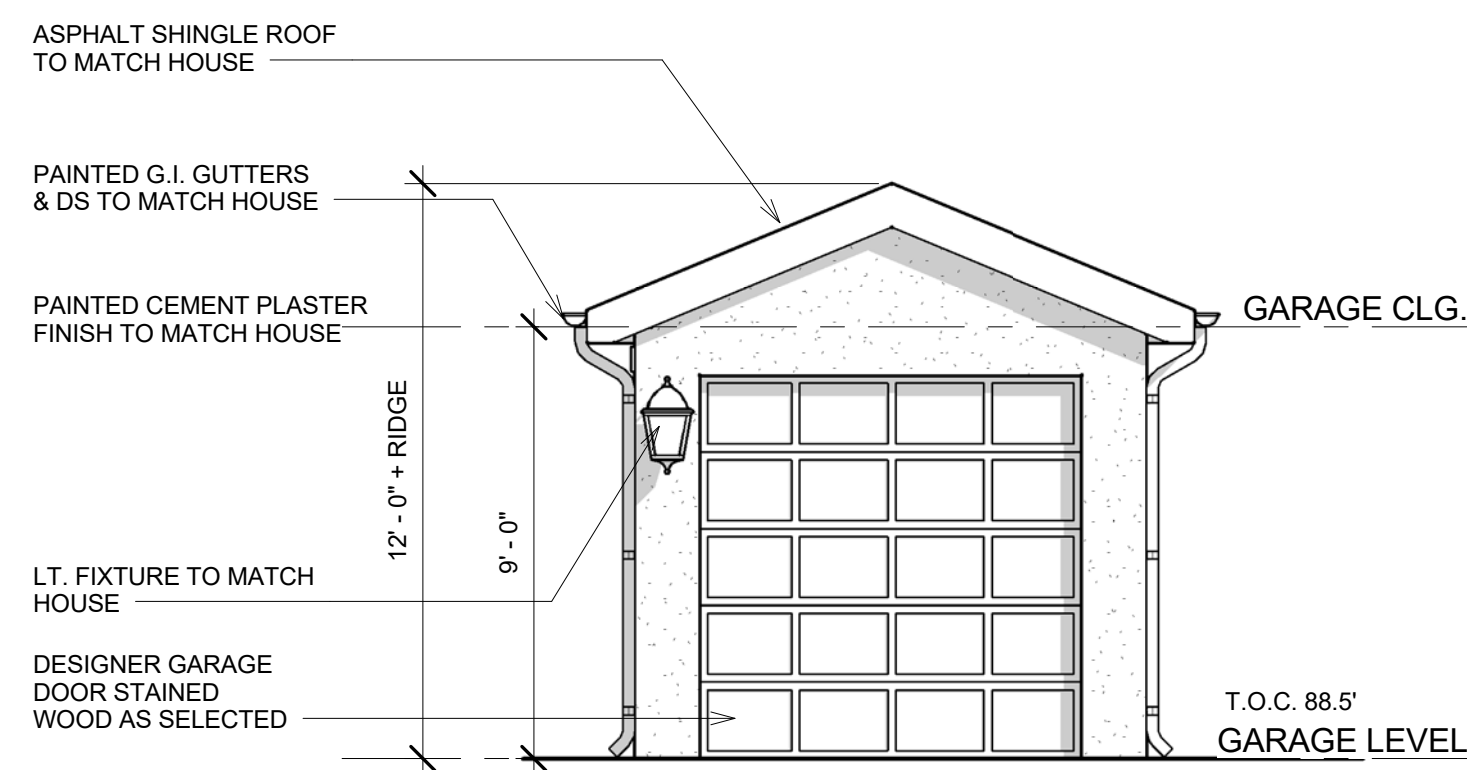


LEFT ELEVATION

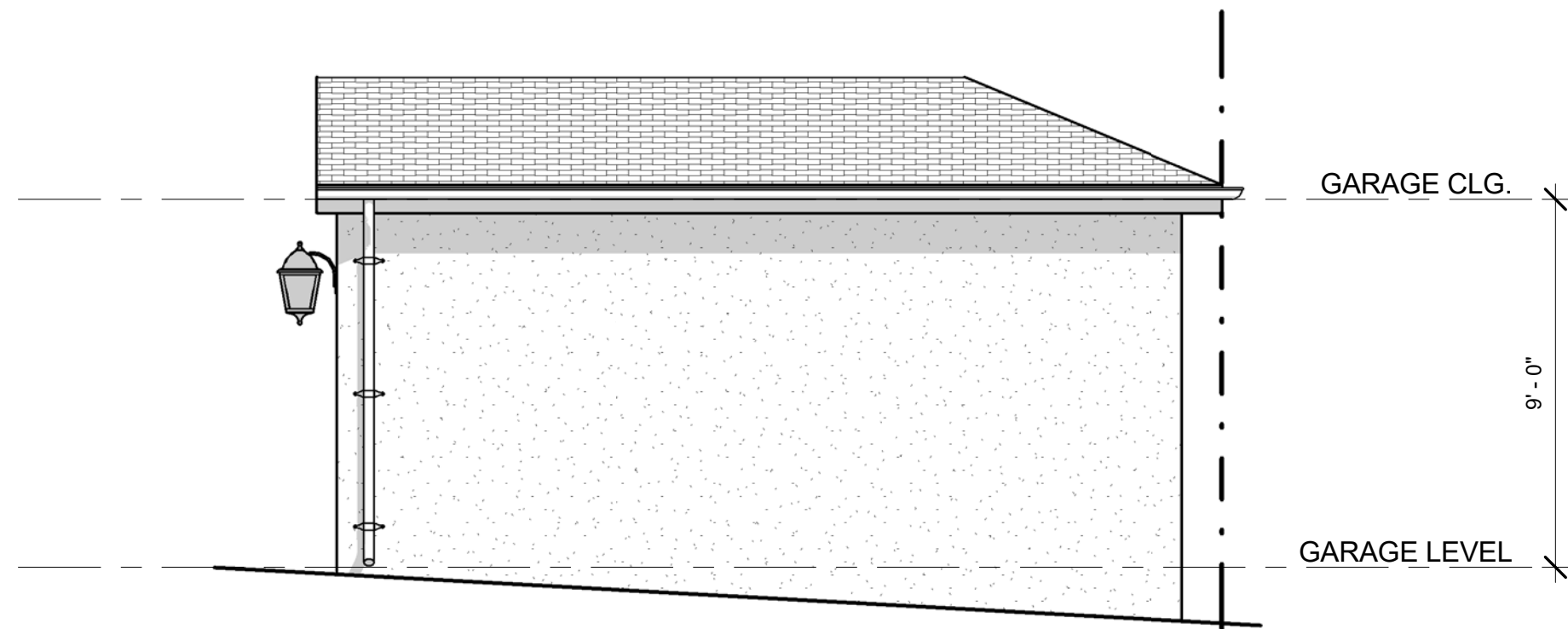
PRELIMINARY



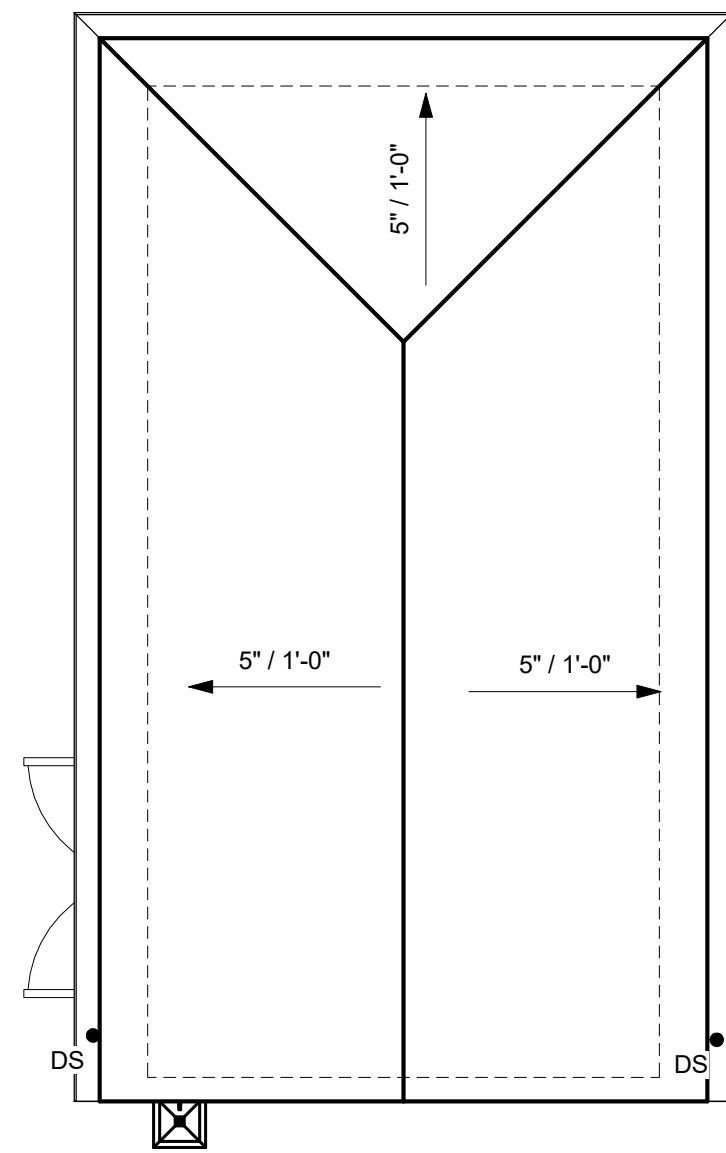
GARAGE - LEVEL



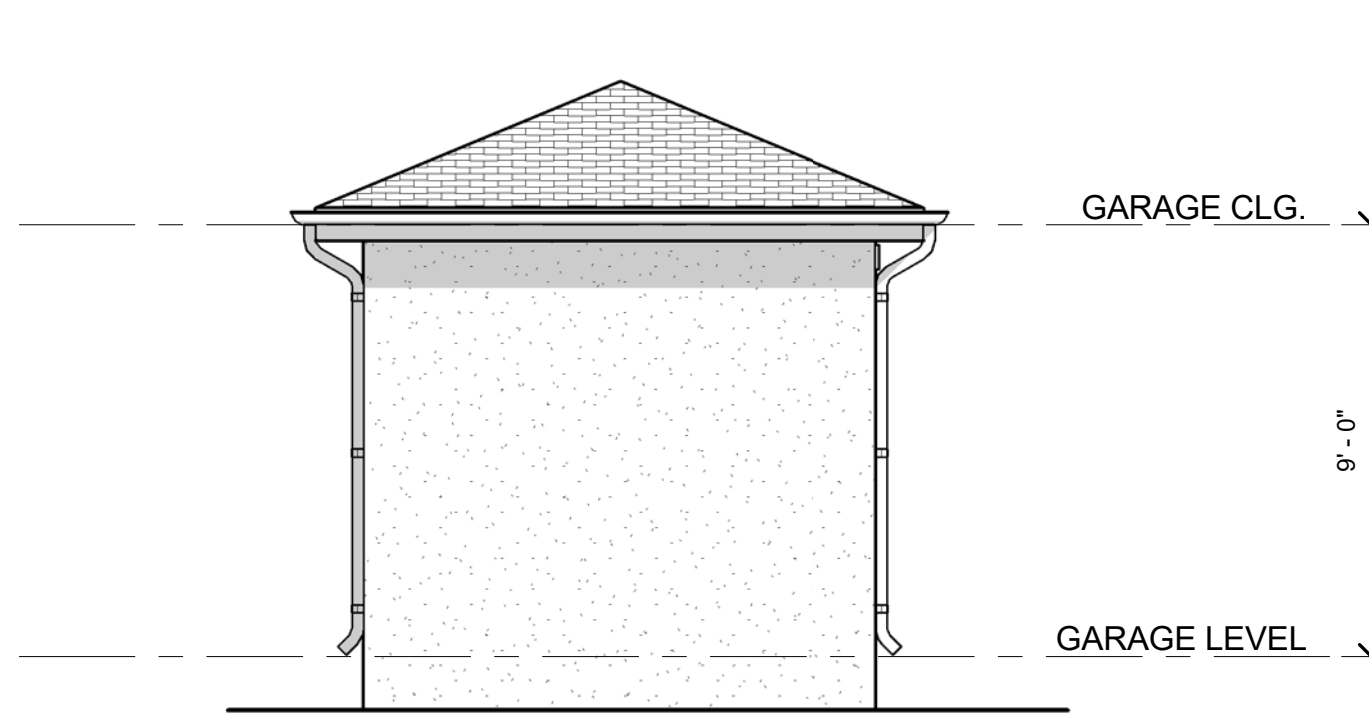
GARAGE-FRONT



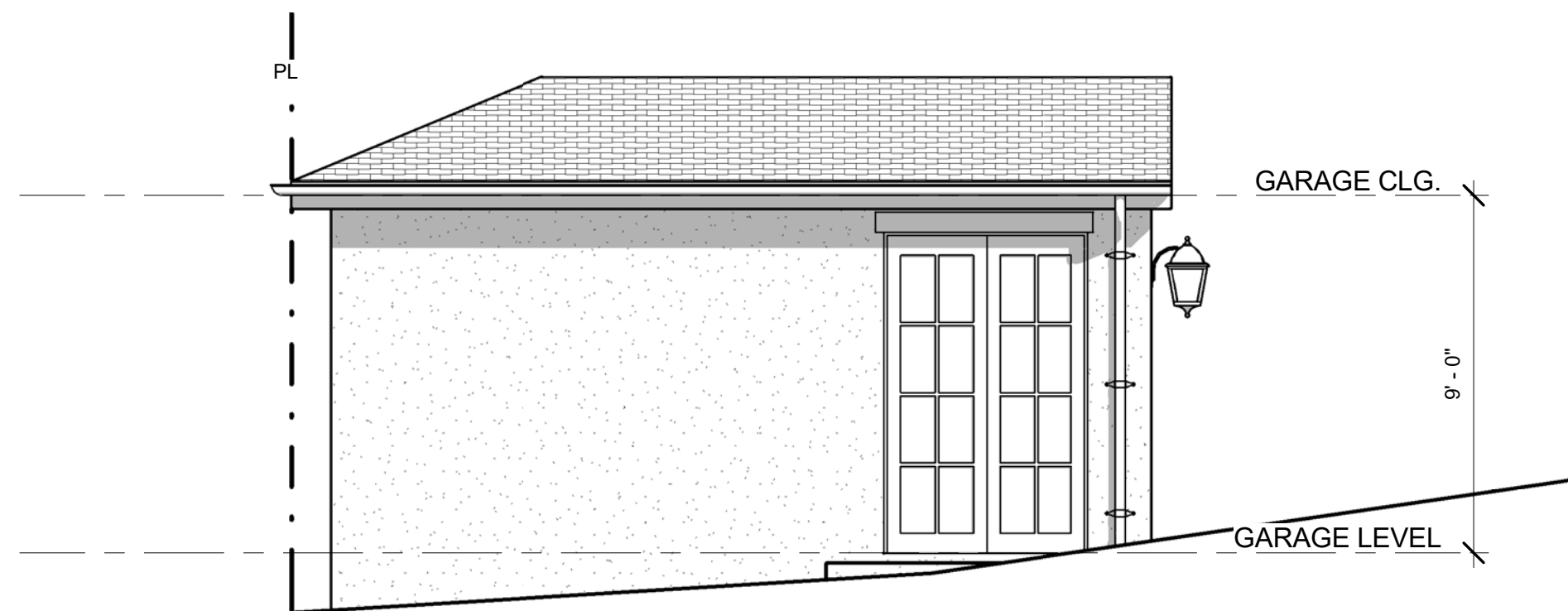
GARAGE-RIGHT



GARAGE- ROOF



GARAGE REAR



GARAGE-LEFT

PRELIMINARY

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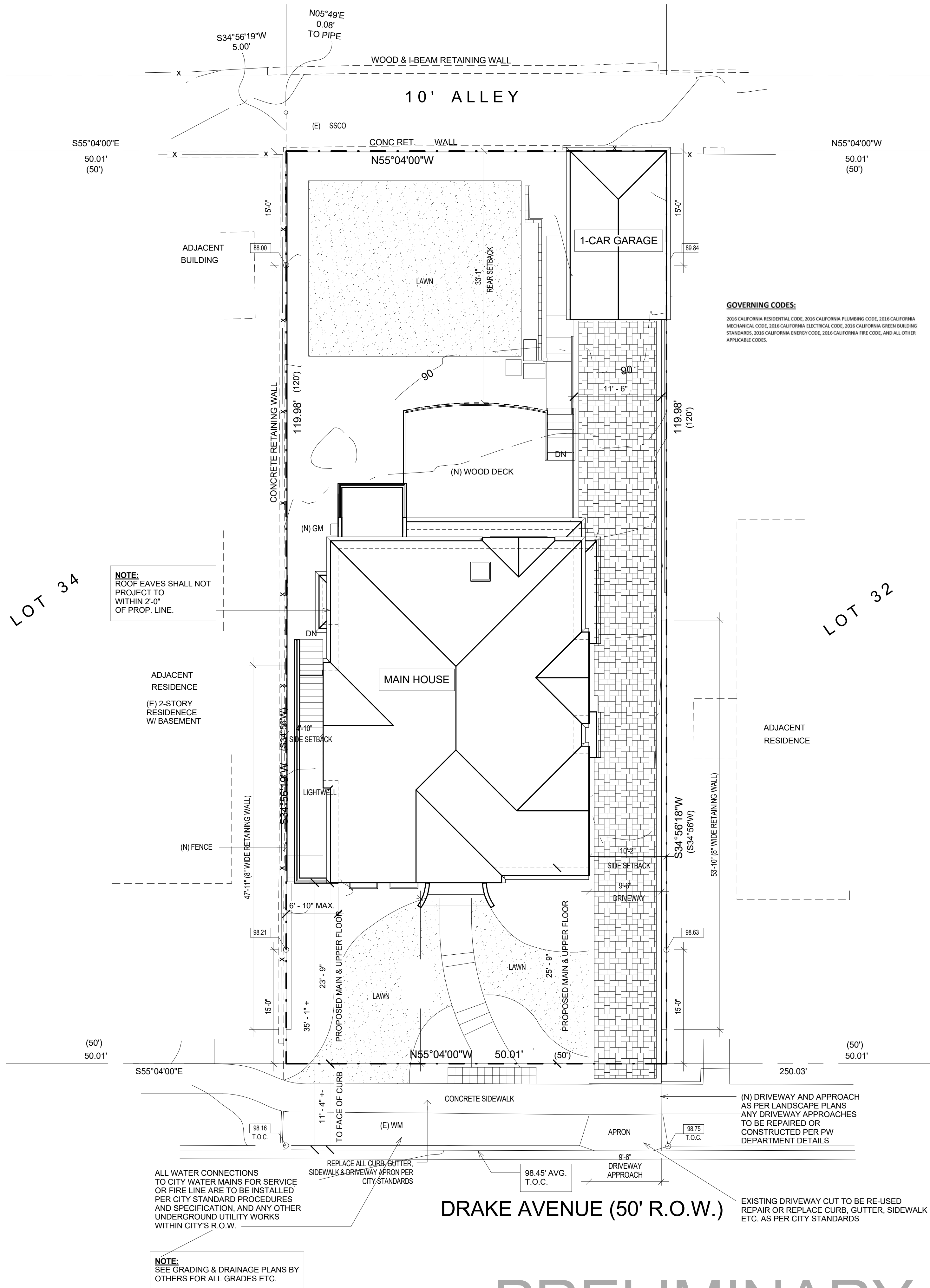
DATE
09/15/18

Drawing Number

A1.3

Scale
1/4" = 1'-0"

Project Number
BLUS01



BLOCK AVERAGE SETBACK

ADDRESS	SETBACK +/-
1456	32
1452	32
1448	32
1444	35
1440	34
1460	32
1464	32
1468	34
AVERAGE	263.00
	32.88

TAKEN FROM FACE OF CURB

GOVERNING CODES:

2018 CALIFORNIA RESIDENTIAL CODE, 2018 CALIFORNIA PLUMBING CODE, 2018 CALIFORNIA MECHANICAL CODE, 2018 CALIFORNIA ELECTRICAL CODE, 2018 CALIFORNIA GREEN BUILDING STANDARDS, 2018 CALIFORNIA ENERGY CODE, 2018 CALIFORNIA FIRE CODE, AND ALL OTHER APPLICABLE CODES.

BLOCK AVG. CALCS

NEW SINGLE FAMILY 2-STORY RESIDENCE WITH DETACHED 1 CAR GARAGE

SCOPE OF WORK

NEW 2-STORY HOUSE WITH A DETACHED 1-CAR GARAGE

PLANNING DATA

APN	=	026-042-130
ZONING	=	R1
LOT AREA	=	6000 SF
HEIGHT LIMIT	=	30'
FRONT SETBACK	=	15' MAIN./ 20' 2ND. FLR.
GARAGE SETBACK	=	25' SINGLE/35' 2 CAR
REAR SETBACK	=	15' MAIN./ 20' 2ND. FLR.
SIDE SETBACK	=	4' MIN.
REAR SETBACK	=	15' MAIN./ 20' 2ND. FLR.

PROPOSED FLOOR AREAS:

MAIN FLOOR	+	1571 SF	
UPPER FLOOR	+	1433.5 SF	
TOTAL LIVING	+	3004.5 SF	
GARAGE	+	220 SF	
PROPOSED FLOOR AREA	=	3224.5 SF	
MAXIMUM FLOOR AREA ALLOWED	=	3240 SF	
REAR DECK	+	337 SF	
COVERED FRONT PORCH	+	19 SF	
PROPOSED LOT COVERAGE	=	2147 SF	35.8%

MAX. LOT COVERAGE ALLOWED	=	2400 SF	40%
MAX. COVERED FLOOR AREA ALLOWED	=	3420 SF	57%
PROPOSED FLOOR AREA RATIO	=	0.54 SF	

LOCATION MAP



SITE PLAN GENERAL NOTES

- SEE CIVIL DRAWINGS (IF APPLICABLE) FOR ANY AND ALL NEW CONTOURS/CONTOUR LINES. VERIFY ALL EXISTING GRADES IN THE FIELD. DRAINAGE SHALL BE AS OUTLINED BY THE CIVIL DRAWINGS. SEE NOTE #4.
- CONTRACTOR SHALL REMOVE EXISTING SITE FEATURES AS NOTED OR AS REQUIRED FOR THE CONSTRUCTION OF THE PROJECT. EXISTING EARTH SHALL BE REMOVED AS REQUIRED FOR FOUNDATIONS REQUIRED UNDERFLOOR AREAS (IF APPLICABLE).
- SEE LANDSCAPE DRAWINGS (IF APPLICABLE) FOR ADDITIONAL INFORMATION.
- ALL IMPERVIOUS SURFACES SHALL BE SLOPE MIN. 2% AWAY FROM ANY BUILDING FOUNDATION/WALL.
- CONTRACTOR SHALL REVIEW AND BECOME FAMILIAR TO ANY PROJECT ARBORIST REPORTS AND FOLLOW ANY OUTLINED RECOMMENDATIONS FOR TREE PROTECTION MEASURES TYPICAL.
- ANY AND ALL UTILITY CONNECTIONS SHALL BE AS OUTLINED BY THE CIVIL DRAWINGS AND OR AS REQUIRED BY LOCAL, STATE AND CURRENT CODES.
- ANY HIDDEN CONDITIONS THAT REQUIRE WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT FOR THESE PLANS MAY REQUIRE FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION. THE BUILDING OWNER, PROJECT DESIGNER AND OR CONTRACTOR MUST OBTAIN A REVISION TO THE CITY FOR ANY WORK NOT GRAPHICALLY ILLUSTRATED ON THE JOB COPY OF THE PLANS PRIOR TO PERFORMING THE WORK.
- NOTE:** WHEN PLANS ARE SUBMITTED TO THE BUILDING DIVISION FOR PLAN REVIEW, A COMPLETED SUPPLEMENTAL DEMOLITION PERMIT APPLICATION WILL BE PROVIDED.
- IF A GRADING PERMIT IS REQUIRED IT SHALL BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS.
- CONSTRUCTION HOURS: WEEKDAYS: 8:00 AM-7:00 PM
SATURDAY: 9:00 AM-6:00 PM
SUNDAYS & HOLIDAYS: NO WORK ALLOWED
CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT OF WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00 AM AND 5:00 PM



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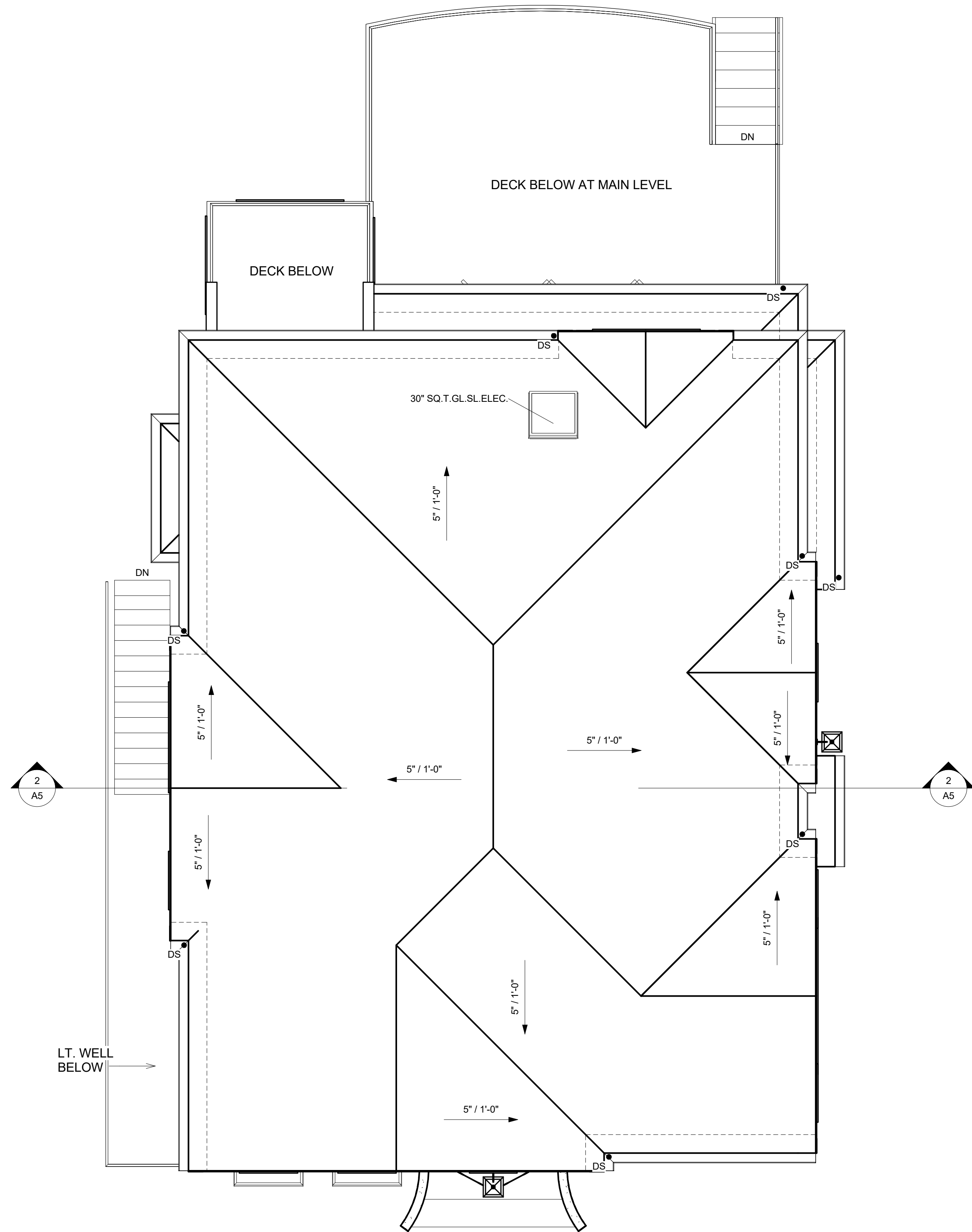
**BLUESTEIN
RESIDENCE**
1448 DRAKE AVE.
BURLINGAME, CA.

	DESCRIPTION	DATE	BY
REVISIONS	1		
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	3		
	4		
	5		

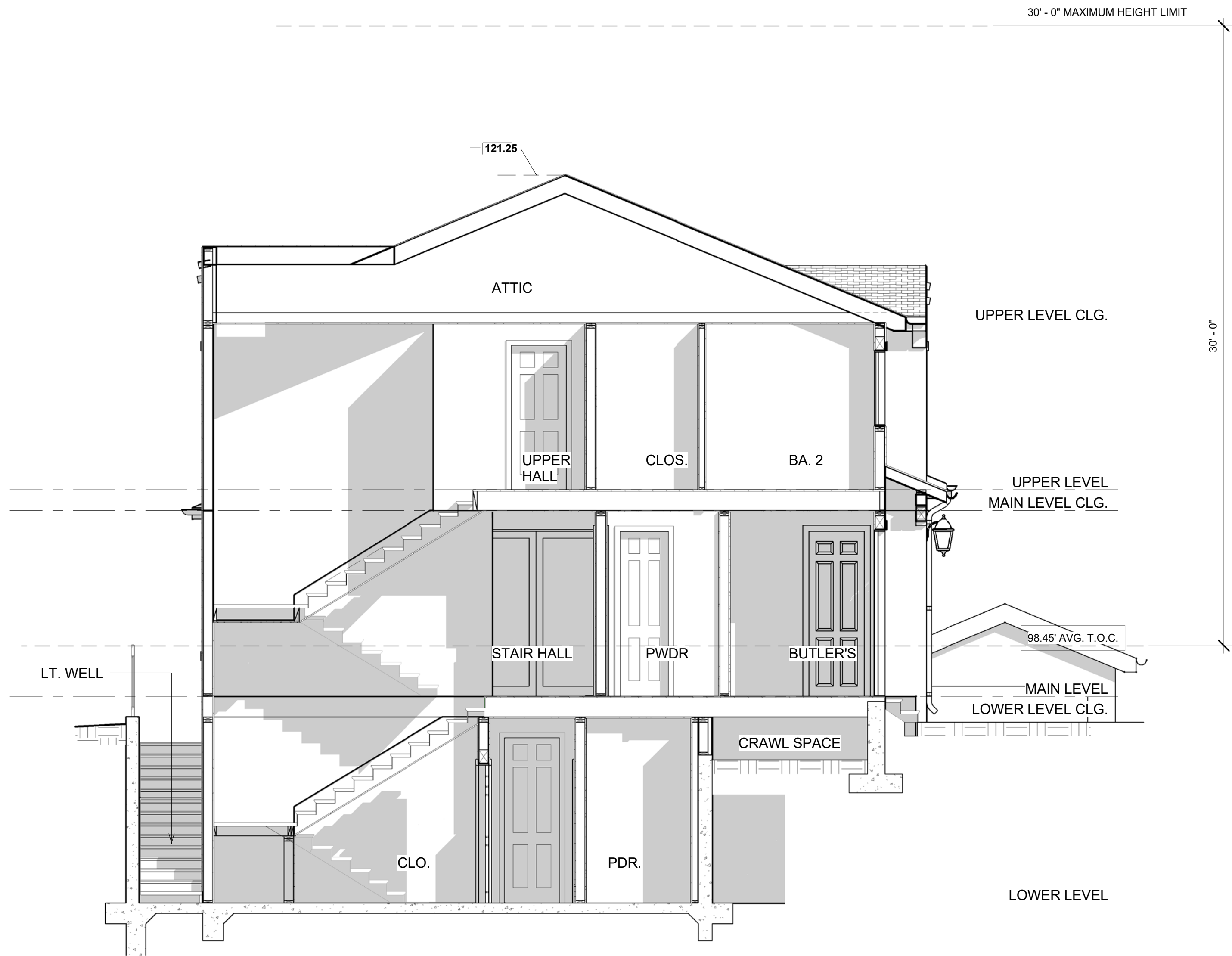
DATE
09/15/18
Drawing Number
A1
Scale
1/8" = 1'-0"
Project Number
BLUS01

SITE DEVELOPMENT PLAN

PRELIMINARY



ROOF PLAN



SECTION 1 - 1

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REVISIONS	DESCRIPTION	DATE	BY
	1		
	2		
	3		
	4		
	5		

PRELIMINARY

DATE
09/15/18

Scale
1/4" = 1'-0"

Project Number
BLUS01

Drawing Number

A5

BASIS OF ELEVATIONS:

ELEVATIONS ARE BASED UPON AN ASSUMED DATUM.

• TBM: FOUND MAG NAIL AND SHINER ALONG DRAKE AVENUE, AS SHOWN.
ELEVATION = 99.25'

FOUND 1" IRON PIPE WITH
PLASTIC PLUG "LS 7551"
AND TACK, NO REFERENCE FOUND
0.08'
TO PIPE

UTILITY NOTE:

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS
DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND
UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE
VARIOUS UTILITY COMPANIES AND THE SURVEYOR DOES NOT ASSUME
RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR
SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING
THE UTILITY.

BOUNDARY NOTE:

MONUMENTS WILL BE SET AT THE PROPERTY CORNERS
AND A RECORD OF SURVEY OR CORNER RECORD WILL
BE FILED WITH THE COUNTY OF SAN MATEO.

BASIS OF BEARINGS:

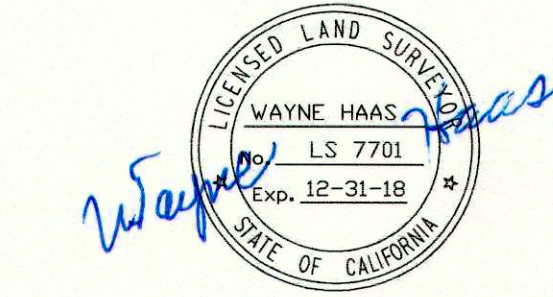
THE BEARING S55°04'00"E BETWEEN A FOUND IRON PIPE AS SHOWN
ON THAT CERTAIN CORNER RECORD #1379 AND A FOUND IRON
PIPE AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED IN
VOLUME 25 OF L.L.S. MAPS AT PAGE 59, SAN MATEO COUNTY
RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS
SURVEY.

LEGEND:

- FOUND 3/4" IRON PIPE WITH PLASTIC PLUG "RCE
70855" AND TACK, PER CORNER RECORD #1319
UNLESS OTHERWISE NOTED
- FOUND 1" BRASS DISK "LS 7551" WITH PUNCH
NO REFERENCE FOUND
- A/C ASPHALTIC CONCRETE
- BW BACK OF WALK
- CB CATCH BASIN
- CIP CAST IRON PIPE
- OMP CORRUGATED METAL PIPE
- CONC CONCRETE
- CI CLEAN-OUT
- DI DROP INLET
- EM ELECTRIC METER
- FOU FOUND
- FL FLOW LINE
- TH FIRE HYDRANT
- GA GUY ANCHOR
- OM GAS METER
- GRD GROUND
- HCR HANDICAP RAMP
- INV INVERT
- IP IRON PIPE
- JP JOINT POLE
- LAT. LATERAL
- LG LIP OF CUTTER
- O/H OVERHEAD
- P.U.E. PUBLIC UTILITIES EASEMENT
- ROP REINFORCED CONCRETE PIPE
- RET. WALL RETAINING WALL
- R/W RIGHT OF WAY
- SSCO SANITARY SEWER CLEAN-OUT
- SSMH SANITARY SEWER MANHOLE
- SDM STORM DRAIN MANHOLE
- TBC TOP BACK OF CURB
- T/W TOP OF WALL
- U/C UNDERGROUND
- VCP VITRIFIED CLAY PIPE
- WV WATER VALVE
- WM WATER METER BOX
- CTV CABLE TELEVISION LINE
- EL ELECTRICAL LINE
- SS SANITARY SEWER LINE
- SD STORM DRAIN LINE
- TEL TELEPHONE LINE
- WL WATER LINE

FOUND 3/4" IRON PIPE WITH
PLASTIC PLUG "LS 7551" AND
TACK, PER 25 LLS 59

+ 99.83
FOUND SCRIBED
CROSS



BOUNDARY AND TOPOGRAPHIC SURVEY

LOT 33, BLOCK 47
"MAP OF EASTON ADDITION TO BURLINGAME, NO. 4"
VOLUME 4 OF MAPS AT PAGE 57
ASSESSOR'S PARCEL NUMBER: 026-042-130
(1448 DRAKE AVENUE)

BURLINGAME SAN MATEO COUNTY CALIFORNIA
SCALE: 1" = 10' NOVEMBER, 2017

B & H SURVEYING, INC.
PROFESSIONAL LAND SURVEYING
901 WALTERMIRE ST.
BELMONT, CA 94002
OFFICE (650) 637-1590
FAX (650) 637-1059

AVERAGE BUILDING SETBACK:

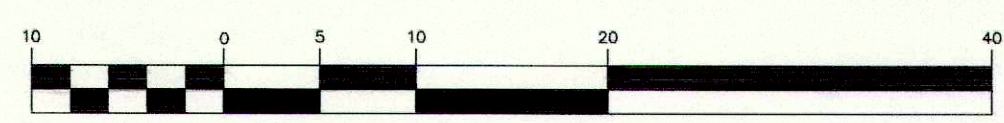
ADDRESS:	BUILDING SETBACK:
1476	20.2'
1472	20.5'
1468	22.5'
1464	20.5'
1460	20.5'
1456	20.2'
1452	21.0'
1448 (SITE)	24.2'
1444	21.7'
1440	24.0'
1436	24.5'
1432	19.8'
1428	VACANT
1420	24.6'
1412	26.2'
1406	20.1'

AVERAGE BUILDING SETBACK: 21.9'

DRAKE AVENUE (50' R/W)

FOUND MAG AND SHINER
TBM: ELEV = 99.25'

GRAPHIC SCALE



(IN FEET)
1 inch = 10 ft.



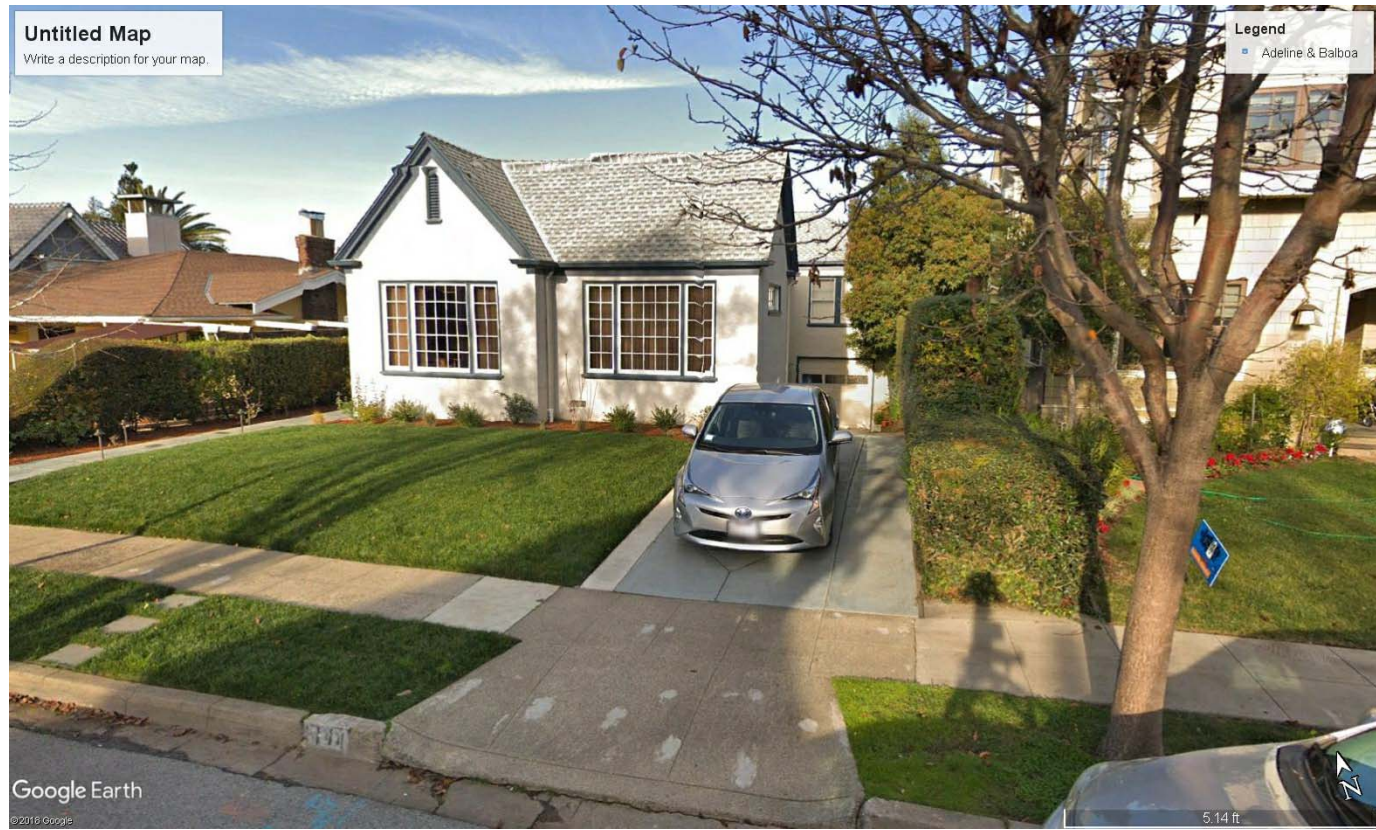
1 - 1456 DRAKE AVE.



2 - 1452 DRAKE AVE.



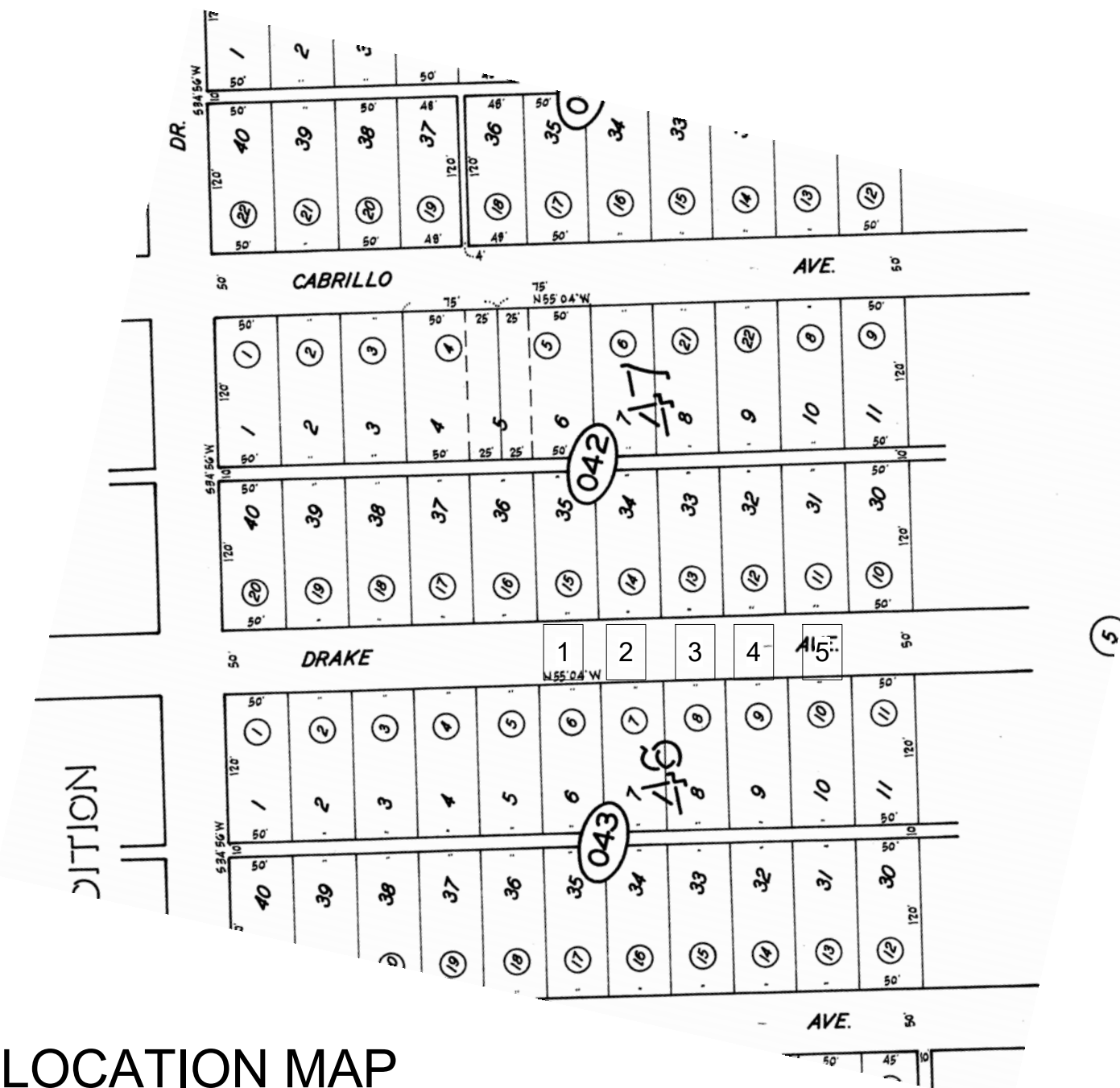
3 - 1448 DRAKE AVE.



4 - 1444 DRAKE AVE.



5 - 1440 DRAKE AVE.



LOCATION MAP

D

R

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