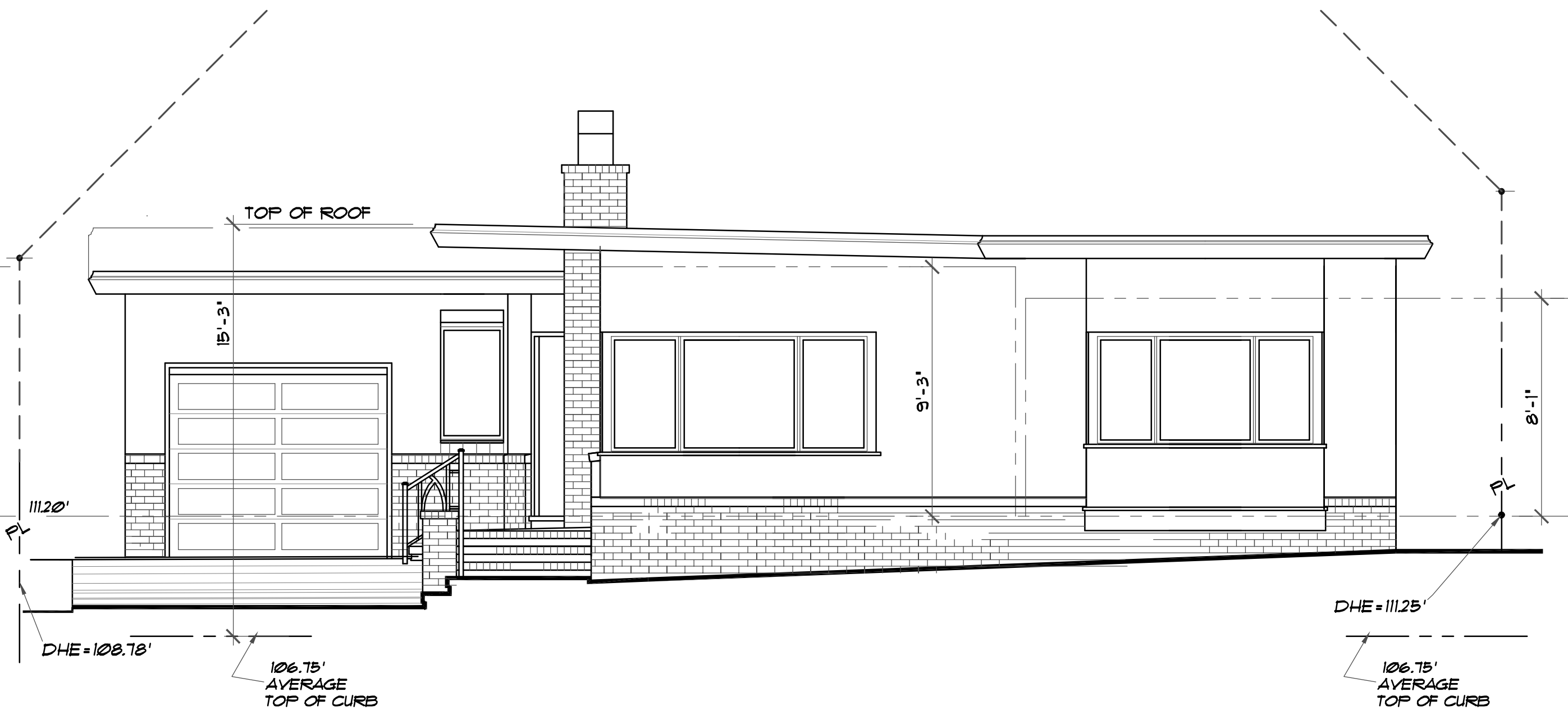


2 (E) LEFT SIDE ELEVATION  
A5 SCALE 1/4" = 1' - 0"



1 (E) FRONT ELEVATION  
A5 SCALE 1/4" = 1' - 0"

LEGEND

- (E) — 'EXISTING'  
(N) — 'NEW'  
(R) — 'REPLACE'  
TOP — TOP OF FLATS  
TOS — TOP OF FLOOR  
DS — DOWNSPOUT  
EE — EMERGENCY EGRESS  
SEE NOTES 'B/A1'  
FG — FIXED GLASS  
SG — SAFETY GLAZING/TEMPERED GLASS  
CMT — CASEMENT  
DH — DOUBLE HUNG  
AWN — AWNING  
SLR — SLIDER  
FD — FRENCH DOOR

EXTERIOR FINISHES (TYPICAL TO ALL ELEVATIONS)

WINDOWS  
ALUMINUM CLAD WOOD WINDOWS  
AT NEW & NEW REPLACEMENT WINDOWS  
TRIM/STUCCO MOLD TO MATCH (E)

ROOFING  
SPRAYFOAM POLYURETHANE COATED FOAM  
(8FF) ROOFING SYSTEM SLOPE TO DRAIN  
COMPLY WITH COOL ROOF REQUIREMENTS  
AT EXISTING FIRST FLOOR ROOFING SYSTEM  
TO PROVIDE NEW (8FF) ROOFING SYSTEM  
OVER EXISTING ROOFING, RECONFIGURED  
DRAINAGE PATTERN AS REQUIRED

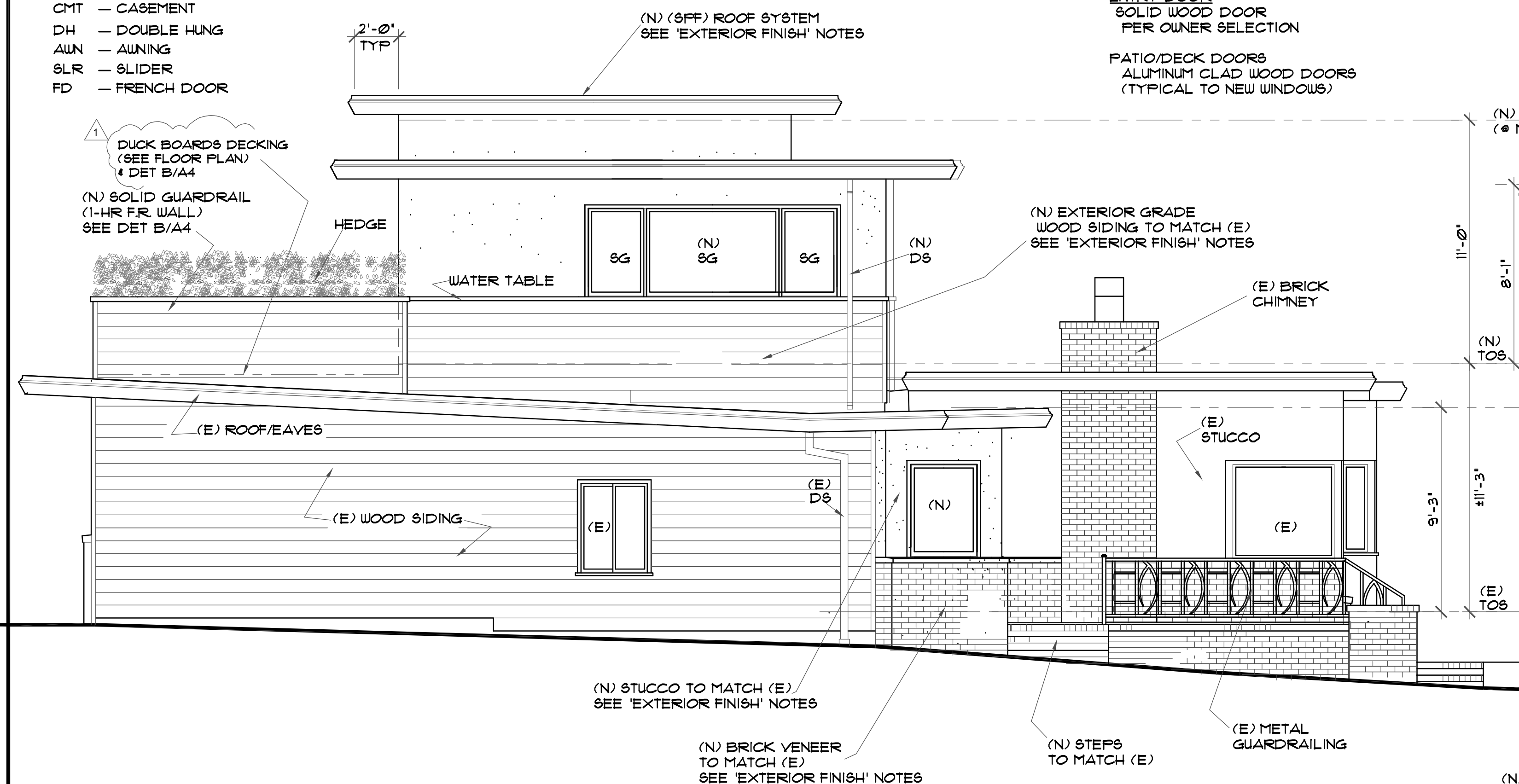
ENTRY DOOR  
SOLID WOOD DOOR  
PER OWNER SELECTION

PATIO/DECK DOORS  
ALUMINUM CLAD WOOD DOORS  
(TYPICAL TO NEW WINDOWS)

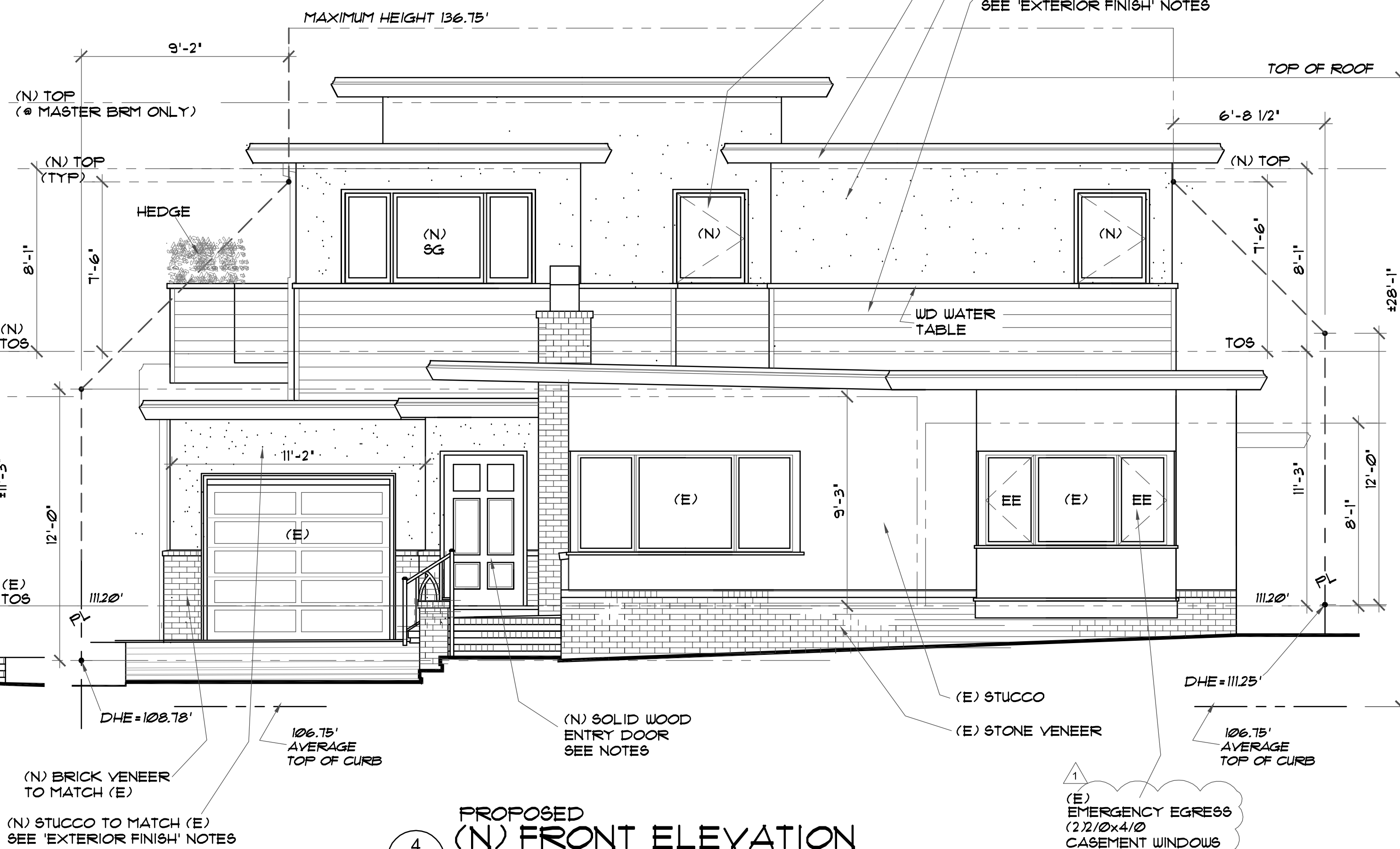
EXTERIOR FINISH  
CEMENT FLASTER (STUCCO) TO MATCH (E)  
EXTERIOR GRADE SIDING TO MATCH (E)  
(PER ELEVATIONS)

EAVES  
TO MATCH (E) OVERHANG

DOWNSPOUTS  
ALUMINUM PREPAINTED TO MATCH  
SURROUNDING AREA



3 PROPOSED (N) LEFT SIDE ELEVATION  
A5 SCALE 1/4" = 1' - 0"



4 PROPOSED (N) FRONT ELEVATION  
A5 SCALE 1/4" = 1' - 0"

REVISIONS	BY
1 FLNGCHK 08-09-16	HE
2 12-21-18	HE


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JOB	BUTTON
JOB #	
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OF	SHEET

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SHEET	<b>A6</b>
OF	SHEET



1-HR FR. EXTERIOR WALL OPENING

PER TABLE 105.2 2016 CBC  
FIRE SEPARATION WALL 3'-0" TO 5'-0"  
UNPROTECTED OPENING, RULY SPRINKLERED  
• MAX 25% OF UNPROTECTED AND PROTECTED  
OPENINGS

RIGHT SIDE WALL AREA w/in 5'-0" FROM THE  
PROPERTY LINE = 515 SF

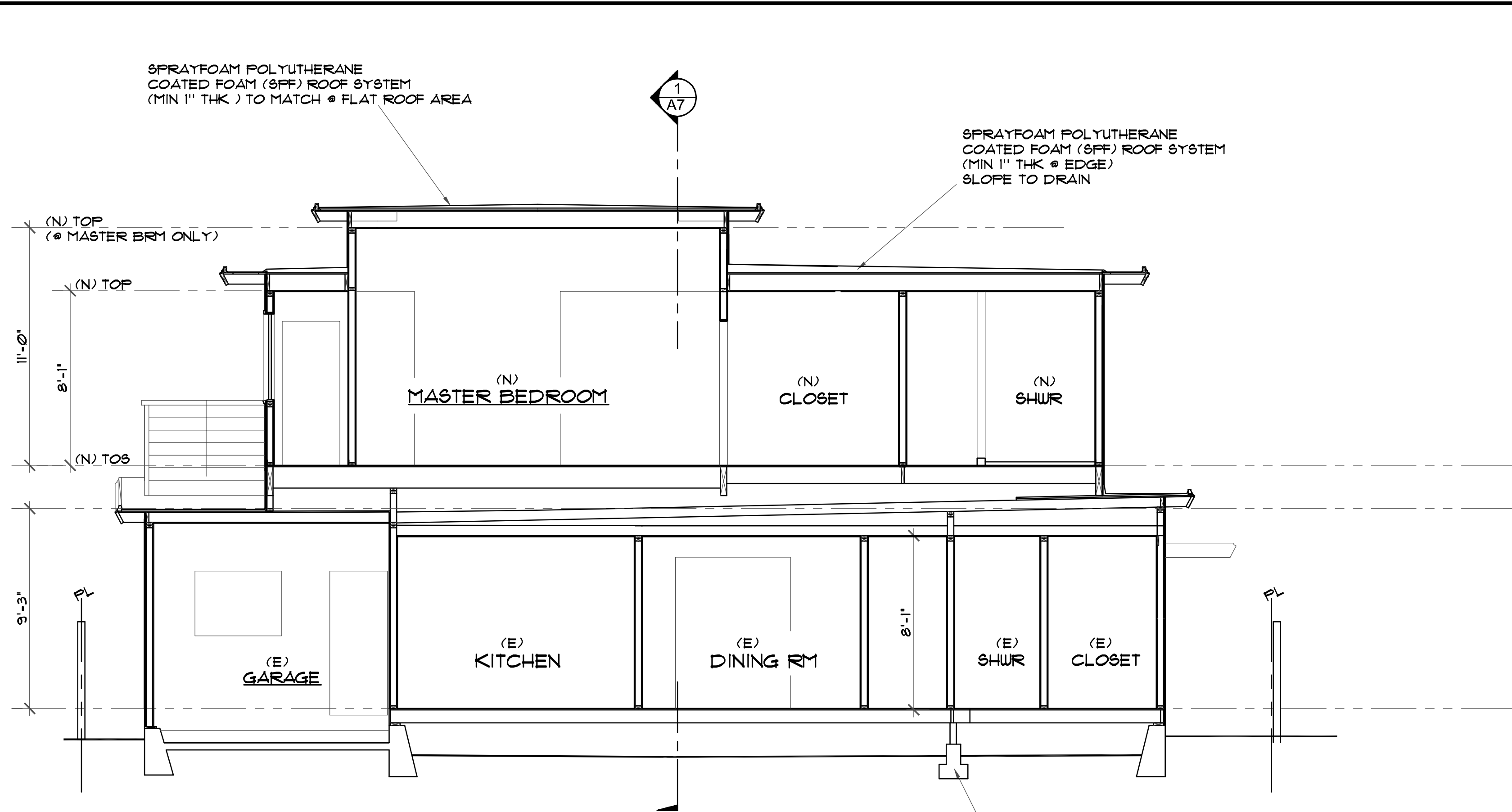
$515 \times 25 = 128.75$  SF

WINDOW OPENING TOTAL  
 $21 + 9 + 8 = 38$  SF < 143.75 SF

PROPOSED  
(N) REAR ELEVATION

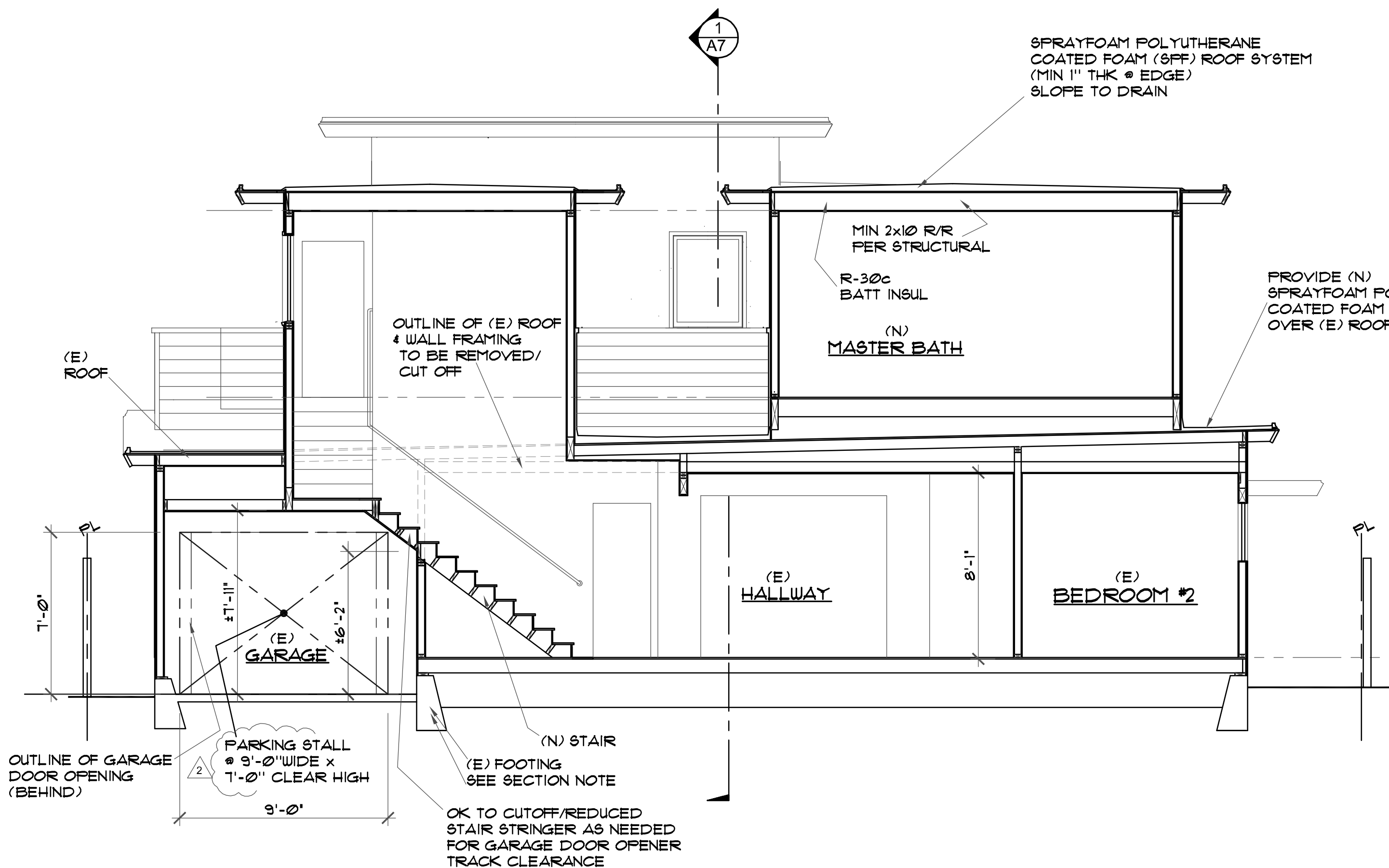
3  
A6

SCALE 1/4" = 1' - 0"

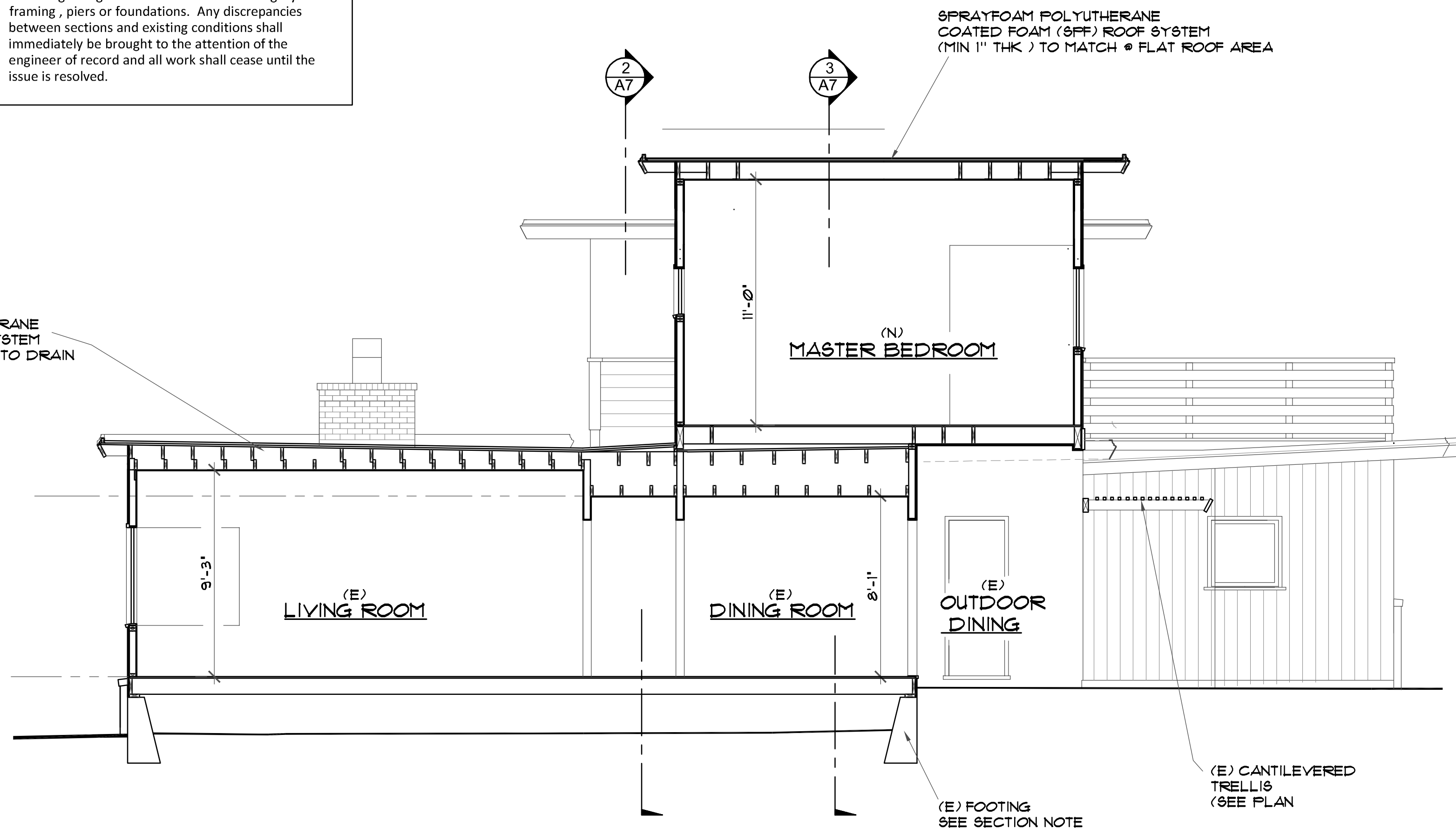


3 BUILDING SECTION  
SCALE 1/4" = 1' - 0"

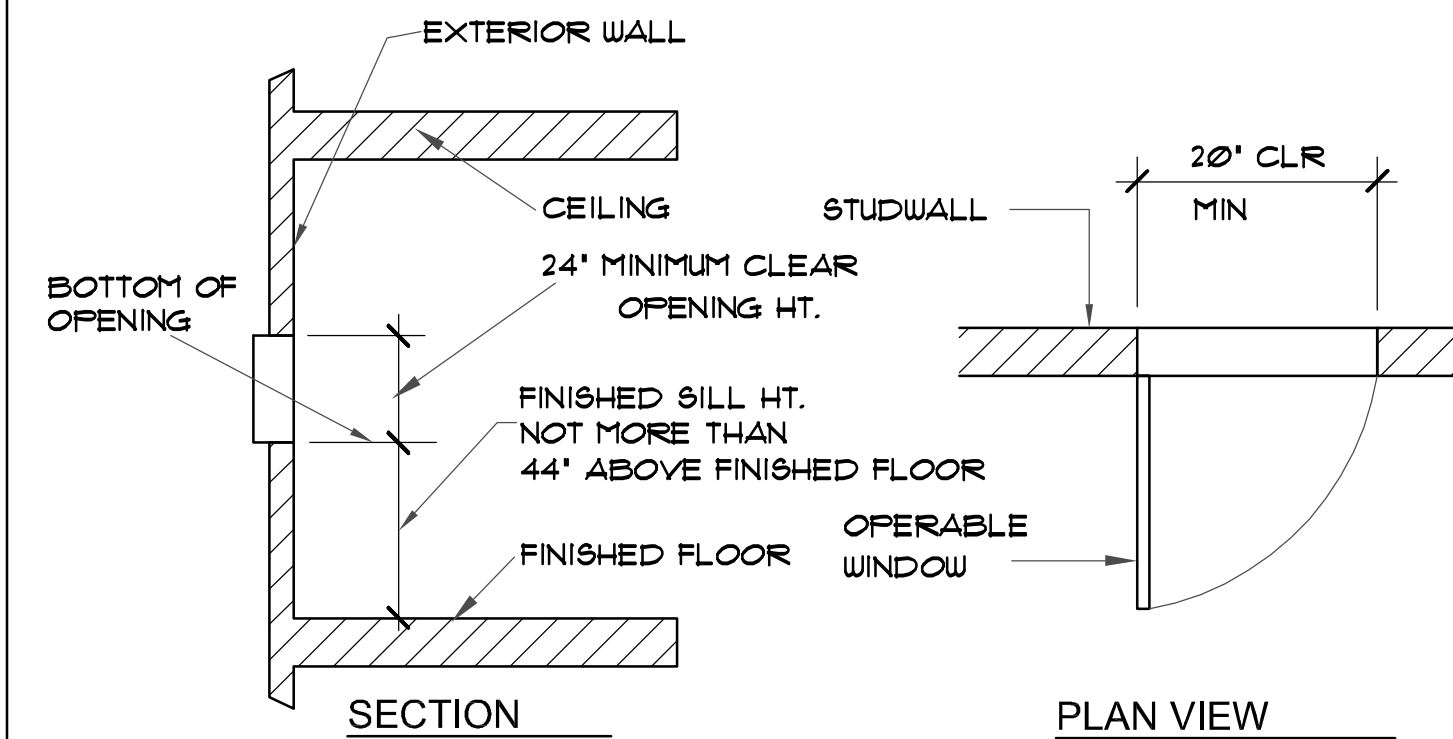
**SECTIONS NOTE:**  
Sections shall only be used for general framing concepts and may not be to scale. All structural elements including beams, framing, girders, headers etc. along with piers and foundations shall be as per structural drawings by the engineer of record.  
Sections shall not be scaled for any purpose. No determination, inspection or measurement has been made regarding the size of or structural integrity of framing, piers or foundations. Any discrepancies between sections and existing conditions shall immediately be brought to the attention of the engineer of record and all work shall cease until the issue is resolved.



2 BUILDING SECTION  
SCALE 1/4" = 1' - 0"



1 BUILDING SECTION  
SCALE 1/4" = 1' - 0"



Escape or rescue windows from sleeping rooms shall have a minimum net clear opening of 5.7 SQ. FT.

Egress windows have the bottom of clear opening heights not more than inches above the floor and opens directly to street, public alley, or yard.  
2016 CRC R10 OR CBC 1030

**EMERGENCY EGRESS OPENINGS**

Basements in dwelling units and every sleeping room below the fourth story shall have at least one operable window or door approved for emergency escape or rescue that shall open directly into a public street, public alley, yard or exit court. The emergency door or window shall be operable from the inside to provide a full, clear opening without the use of separate tools. SEE DRAWING

5 EMERGENCY EGRESS  
NTS

REVISIONS	BY
1. PUNCH 08-09-18	HE
2. PUNCH 10-04-18	HE
3. 12-21-18	HE

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DATE	02-13-18
SCALE	AS NOTED
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JOB #	
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OF	SHEET

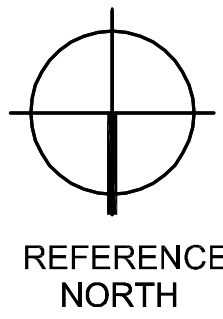
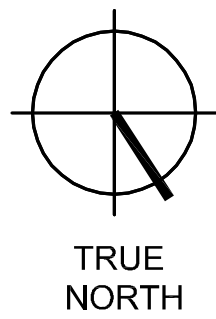


MEASUREMENTS/DIMENSIONS/DRAWINGS

Contractor responsibility  
It is the responsibility of the contractor to verify all measurements, dimensions and placement of, but not limited to: fixtures, cabinets, electrical, mechanical, plumbing, structural, components, windows, doors, stairs, handrails, etc. prior to ordering of materials and prior to any installation or fabrication.  
Any discrepancies shall be brought to the attention of JD & Associates prior to any work related to or affecting the concern.

NOTE REFERENCE

All notes applicable to the project shall apply although not directly referenced.  
Project shall conform to all applicable codes and ordinances. Conflicting notes shall be brought to the attention of JD & Associates prior to commencement of work related to those notes.



1  
A1

S I T E P L A N  
SCALE 1/8" = 1' - 0"

AVERAGE TOP OF CURB  
104.88' + 108.62' / 2 = 106.75'  
MAXIMUM HEIGHT  
106.75' + 30' = 136.75'  
LEFT SIDE DHE  
109.86' + 111.70' / 2 = 108.78'  
RIGHT SIDE DHE  
109.24' + 113.21' / 2 = 111.25'

PUBLIC WORK NOTES (See Additional Standard Notes @ Sheet L1)

1. Replace all defective sidewalks, curbs and gutters where required by the city. All new sidewalk, curbs, & gutters shall be built to City standards. A city encroachment permit is required.
2. Permit is required from engineering department for any street openings, such as sidewalks, curbs and street pavement.
3. Approved pressure regulator is required for new water service. An approved type pressure regulator preceded by an adequate strainer shall be installed and the static pressure reduced to 80 psi or less. Approved regulators with integral bypasses are acceptable. Each such regulator and strainer shall be accessibly located and shall have the strainer readily accessible for cleaning without removing the regulator or strainer body or disconnecting the supply piping. All pipe size determinations shall be based on 80% of the reduced pressure when using table 6.5, CPC 608.2
4. All debris/garbage containers location shall be on property. In the situation where not possible, an encroachment permit is required from the Public Works department for placing debris/garbage containers in public right-of-way. No wet garbage fluid shall enter public right-of-way or the storm drain system.

SEWER & WATER DEPARTMENT

1. Contact water department for disconnect of water service prior to demolition of dwellings.
2. New 1" (or larger) service OR to be determined by Building Dept. required for fire sprinklers. Need double check valve (USC approved). See 'Fire Sprinkler System notes' this sheet.
3. Water department to disconnect existing service at City main.
4. Install new sewer lateral as per city sewer dept. specifications. Abandon the existing sewer lateral at the main as per sewer department specs.
5. All exterior hose bibs shall have approved non-removable backflow prevention devices
6. water service shall be provided with a fullway valve controlling all outlets and installed on the discharge side of the water meter as per UPC 605.3
7. Need proper backflow device on irrigation system. Building Division to size, meter and service size. All backflow devices must be tested and tagged by a SM County certificated tester.

CONNECTIONS TO CITY WATER MAIN

All water connections to city water mains for services or fire line protection are to be installed per city standard procedures and material specification's. Contact the city water department for connection fees. All fire services and services 2" and over will be installed by the builder.

NATIONAL POLLUTANT DISCHARGE ELIMINATION PERMIT

The project shall comply with the City's NPDES permit requirements to prevent storm water pollution.

BACKWATER PROTECTION CERTIFICATION ORDINANCE

Contractor to provide all information as necessary for the BACKWATER PROTECTION CERTIFICATION ORDINANCE, #1710. All forms and information is available at the City of Burlingame, Building Division. BMC 15.12.110 These forms must be filled out and approved by the responsible department prior to the granting of a building permit.

SANITARY SEWER LATERAL

The sewer lateral may or may not need to be tested. Testing information can be found on the City of Burlingame website. If tested the sanitary sewer lateral (building sewer) shall be tested per SEWER ORDINANCE TEST ORDINANCE, # 1329. BMC 15.12.110 Testing information is available at the Building Department counter. An encroachment permit is required from the public works department whenever the city's portion of the sewer lateral or city cleanout is to be laid and / or connected to the sewer mains. The Contractor shall obtain evidence of the approval and the date of the approval from the City of Burlingame or the Owner of the property.

WASTE REDUCTION PLAN

The Contractor shall be responsible for preparation of a Waste Reduction Plan as required by the City of Burlingame. Contact the Recycling Specialist at the City of Burlingame (650) 558-7271 for forms and guidance. These forms must be filled out and approved by the responsible department prior to the granting of a building permit.

STORM WATER

No storm waters, underground waters draining from any lot, building, or paved areas shall be allowed to drain to adjacent properties nor shall these waters be connected to the city's sanitary sewer system. These waters shall all drain to either artificial or natural storm drainage facilities by gravity or pumping regardless of the slope of the property. Municipal code section 18.08.010(f)

LANDSCAPING / TREES

All existing landscaping including lawn fescue to be remain unless being damage during construction shall be rehabilitated.

EXISTING TREES

No existing tree over 48" in circumference at 54" form base of tree may be removed without a Protected Tree Removal Permit from Park Division. (650) 558-7330.

EXISTING CITY STREET TREES

Existing City Street Tree may not be cut, trimmed or removed without permitt from Park Division. (650) 558-7330.

TREE PROTECTION MEASURES

- The following tree preservation measures apply to all trees to be retained:
  - No storage of material, topsoil, vehicles or equipment shall be permitted within the tree enclosure area.
  - The ground under and around the tree canopy area shall not be altered
  - Trees to be retained shall be irrigated and maintained as necessary to ensure survival.

HIDDEN CONDITIONS

"Any hidden conditions that require work to be performed beyond the scope of work of the building permit issued for these plans may require further City approvals including review by the Planning Commission". The building owner, project designer, and/or contractor must submit a Revision to the City for a any work not graphically illustrated in these plans prior to performing this work.

SPECIAL INSPECTIONS

The Contractor shall be responsible for the Special Inspection and Testing Agreement as provided by the City.

CONSTRUCTION ACTIVITY (HOURS)

No person shall erect (including excavation and grading), demolish, alter or repair any building or structure other than between the following hours. Holidays are the first day of January, the third Monday of February, the last Monday of May, the fourth day of July, the first Monday of September, the eleventh day of November, the fourth Thursday in November and the twenty-fifth day of December, or if the twenty-fifth day of December falls on a Sunday the following Monday is a holiday. (See City of Burlingame Municipal Code, Section 13.04.100 for details)

- 1- Monday through Friday: 7 am to 7 pm
  - 2- Saturdays: 9 am to 6 pm
  - 3- Sundays and Holidays: (No Work Allowed)
- Construction hours in the City Public right-of-way are limited to weekdays and non-city Holidays between 8:00 am and 5:00 pm.

WATER-CONSERVING PLUMBING FIXTURES

As of January 1, 2014, SB 407 (2009) requires non-compliant plumbing fixtures to be replaced by water-conserving plumbing fixtures when a property is undergoing alterations or improvements. The law applies to all residential & commercial property built prior to January 1, 1994.

GRADING PERMIT

Grading Permit, if required, will be obtained from the Department of Public Works.

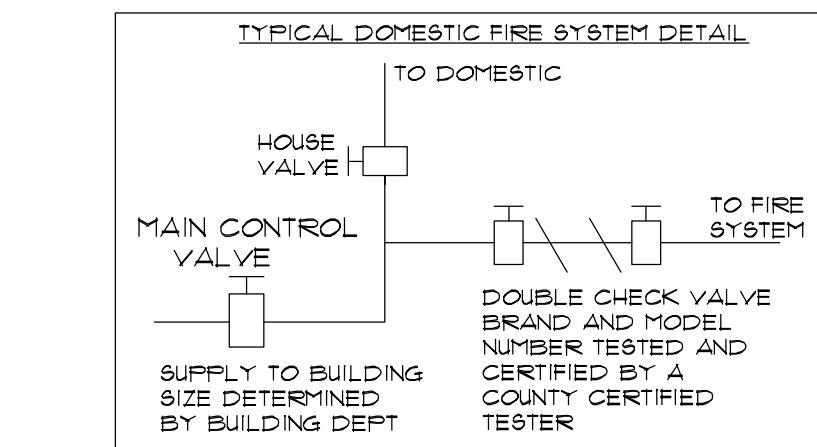
DEFERRED SUBMITTAL ITEMS

FIRE SPRINKLER SYSTEM

- 1- Automatic Fire Sprinkler system throughout Residence.  
Under separate permit- See 'FIRE SPRINKLER SYSTEM' notes 1- / N-

Drawings shall be submitted to Building Department for review and approval. Fire Sprinklers shall be installed and shop drawings shall be approved by the Fire Department prior to installation

- 2- Min 1" water meter required - see 'Water Department' notes above.



Note: Schematic of water lateral as shown above:  
If the fire protection line and domestic water is separate, submit plans for the fire protection underground to the Burlingame Building Department prior to installatoyons.

- 3- Provide a backflow prevention device, USC approved double check assembly. General Contractor shall insure the double check valve assembly for fire protection shall be tested and approved by a San Mateo Environmental Health approved contractor prior to scheduling Water Department final inspection.
- 4- All sprinkler drainage shall be placed into landscaping areas

PROPERTY OWNER:  
GREGORY BUTTOM  
1613 CORONADO WAY  
BURLINGAME, CA 94010  
(650) 703-2387

SURVEY ENGINEERING:  
SAVIOR P. MCALLEE  
LAND SURVEYING  
421 WILDWOOD DRIVE  
SOUTH SAN FRANCISCO, CA 94080  
(805) 109-2423

DESIGNER:  
J DEAL ASSOCIATES  
331 BEACH RD, SUITE A  
BURLINGAME, CA 94010  
(650) 691-1310  
office@jdealassociates.com

BUILDING DATA

LOT SIZE (55'x100') 5,500 SF  
ALLOWABLE FLOOR AREA RATIO  
5,500 x 0.32 + 1,100 2,860 SF  
ALLOWABLE LOT COVERAGE  
5,500 x 0.40 2,200 SF

A- EXISTING

FIRST FLOOR (HABITABLE) 1,494 SF  
ATTACHED GARAGE 423 SF  
FIREPLACE 6 SF  
COVERED OUTDOOR DINING 82 SF  
(COUNTED TOWARDS LOT COV. @ (E) CONDITION)  
(COUNTED TOWARDS LOT COV. @ (N) CONDITION)  
FRONT PORCH (w/ ROOF >24" OVERHANG) 120 SF  
(COUNTED TOWARDS LOT COVERAGE)  
ROOF > 24" OVERHANG (TOTAL) 100 SF  
(COUNTED TOWARDS LOT COVERAGE)  
TRELLISES > 24" OVERHANG 319 SF  
(COUNTED TOWARDS LOT COVERAGE)

EXISTING FLOOR AREA RATIO  
(1,494 + 423) 1,917 SF < 2,860 SF  
EXISTING LOT COVERAGE  
(1,494+423+6+82+120+100+319) 2,544 SF > 2,200 SF

B- NEW ADDITION

FIRST FLOOR  
FOYER ADDITION (PORCH PARTIAL FILLED-IN) 35 SF  
PORTION OF (N) FOYER AREA BEYOND (E) ROOF OVERHANG 1 SF  
(COUNTED TOWARDS LOT COV. @ (N) CONDITION)  
GARAGE (FURRING WALL FILLED-IN) 5 SF  
SECOND FLOOR 819 SF  
C- REMOVAL  
PORTION OF (E) TRELLIS TO BE REMOVED @ SIDE REAR - 6 SF

NEW FLOOR AREA RATIO  
(1,494 + 423 + 82 + 35+ 5 + 819) 2,858 SF < 2,860 SF  
NEW LOT COVERAGE  
(1,494+423+6+82+120+100+319) +1 (-6 SF TRELLIS REMOVAL) 2,539 SF > 2,200 SF

DRAWING INDEX

- A1 - SITE PLAN, NOTES
- A2 - EXISTING 1ST FLOOR & ROOF PLAN
- A3 - NEW 1ST & 2ND FLOOR PLAN
- A4 - NEW ROOF PLAN, DETAILS
- A5 - (N) & (E) FRONT & LEFT SIDE ELEVATIONS
- A6 - (N) & (E) REAR & RIGHT SIDE ELEVATIONS
- A7 - BUILDING SECTIONS
- L1 - LANDSCAPING PLAN
- SF - SQUARE FOOTAGE CALCULATIONS
- GBM - GREEN BUILDING MEASURES
- BMP - BEST MANAGEMENT PRACTICES SHEET
- T1 - SITE SURVEY

CERTIFICATE OF OCCUPANCY

Due to the extensive nature of this construction project the Certificate of Occupancy will be rescinded once construction begins. A new Certificate of Occupancy will be issued after the project has been final. No occupancy of the building is to occur until a new Certificate of Occupancy has been issued.

CODES

All work shall be done in accordance with the applicable National & local codes and ordinances.  
California Building Code 2016  
California Residential Code 2016 (where applicable)  
California Mechanical Code 2016  
California Plumbing Code 2016  
California Electrical Code 2016  
California Energy Efficiency Standards 2016  
City of Burlingame Municipal Ordinances

CONSTRUCTION TYPE

Dwelling Type VB  
Garage Type VB

BUILDING OCCUPANCY GROUPS

R-3 / U

REVISIONS	BY
1 PLNGCHK 08-09-18	HE
2 12-26-18	HE

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APR 08-2023-130

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DATE	02-13-18
SCALE	AS NOTED
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SHEET	A1
OF	SHEET

1. Based on the scope of work, this is a 'Type I' project that requires a Stormwater Construction Pollution Prevention Permit. This Permit is required prior to issuance of a Building Permit. An initial field inspection is required prior to start of any construction (on private property or in the public right-of-way).
2. Any work in the City right-of-way, such as placement of debris bin in street, work in sidewalk, public easements, and utility easements, is required to obtain an Encroachment Permit prior to starting work.
3. Construction hours in the City Public right-of-way are limited to weekdays and non-City Holidays between 8:00am and 5:00pm. For all activities (including hauling).
4. The project shall comply with the City's NPDES permit requirements to prevent storm water pollution.
5. Replace all damaged sidewalk, curb and gutter fronting the property.
6. All water lines connections to city water mains for services or fire line protection are to be installed per city standard procedures and material specifications. Contact the City Water Department connection fees. If required, all fire services 2" and over will be installed by builder. All underground fire service connections shall be submitted as separate Underground Fire Service permit for review and approval.
7. Sewer Backwater Protection Certification is required for the installation of any new sewer fixture per Ordinance No. 1710. The Sewer Backwater Certificate is required to the issuance of Building Permit.
8. The sanitary sewer lateral (building sewer) shall be tested per Ordinance Code Chapter 15.12. Testing information is available at the Building Department counter. A Sewer Lateral Test permit is required.



1. Replace all defective sidewalks, curbs and gutters where required by the city. All new sidewalk, curbs, & gutters shall be built to City standards. A city encroachment permit is required. SEE SITE PLAN NOTES.
2. Replace all damaged, displaced existing hardscapes (driveways, walkways, patios, etc) as required per owner's directions.
3. An automatic irrigation system controller for landscaping will be provided by the Builder (if required) unless otherwise noted and installed at the time of final inspection. 2013 CGC 4.304.1

DATE	02-13-18
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JOB #	
SHEET	L1
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