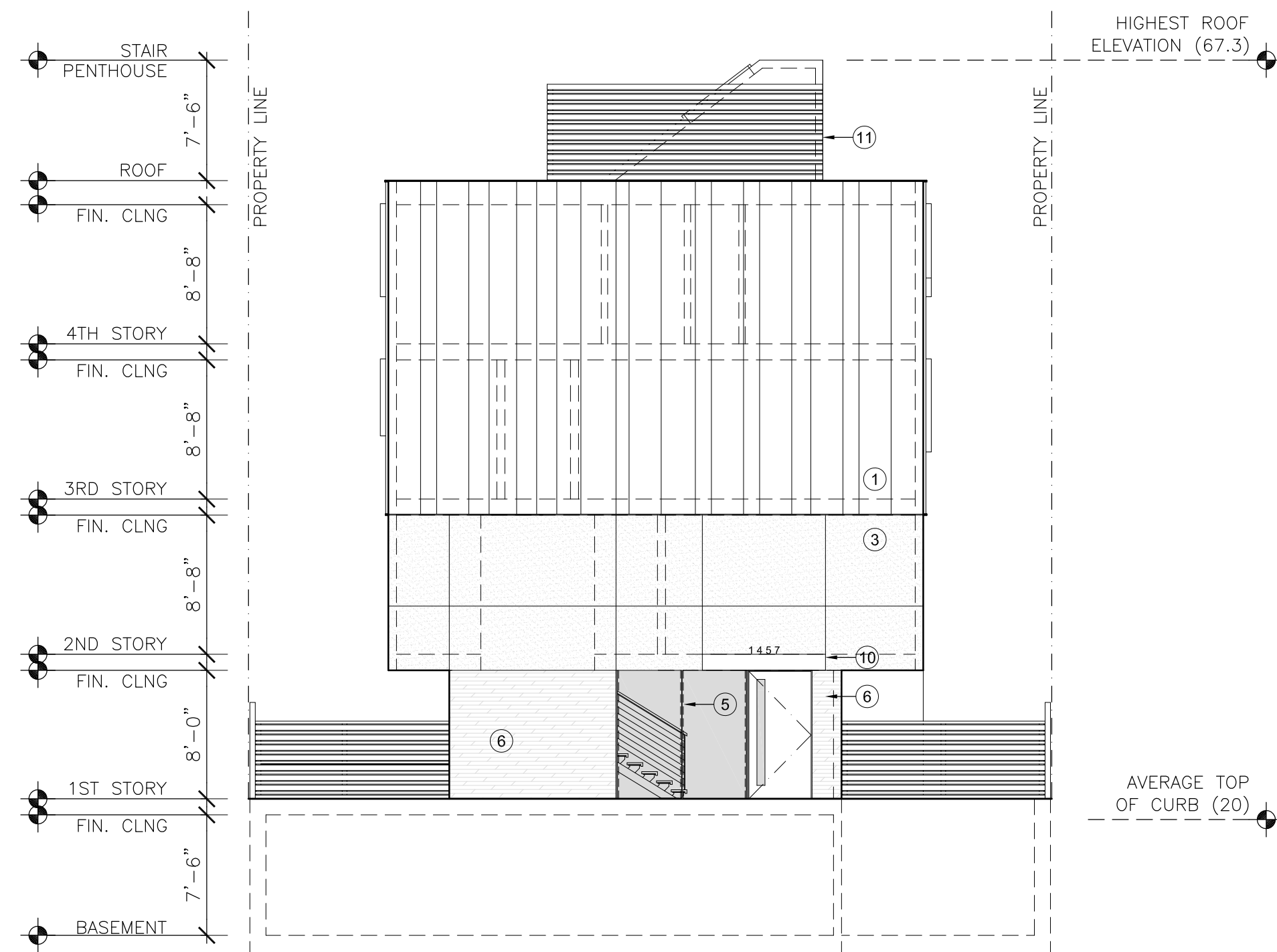


- EXTERIOR FINISHES
- ① FOLDED METAL PANEL ON CLIPS, OPEN JOINT RAINSCREEN SYSTEM.
 - ② FOLDED METAL PANEL, PERFORATED AT GUARDRAIL CONDITION
 - ③ CEMENT PLASTER, LIGHT SAND FINISH
 - ④ ANNOIDIZED ALUMINUM WINDOWS
 - ⑤ ANNOIDIZED ALUMINUM STOREFRONT SYSTEM
 - ⑥ CERAMIC TILE OR STONE BASE
 - ⑦ PERFORATED METAL RAILING IN STEEL FRAME, POWDERCOATED
 - ⑧ STANDING SEAM METAL ROOF OR SIDING
 - ⑨ WOOD SCREEN OR WOOD ENCLOSURE, THERMALLY MODIFIED FOR EXTERIOR USE
 - ⑩ METAL CLAD CANOPY



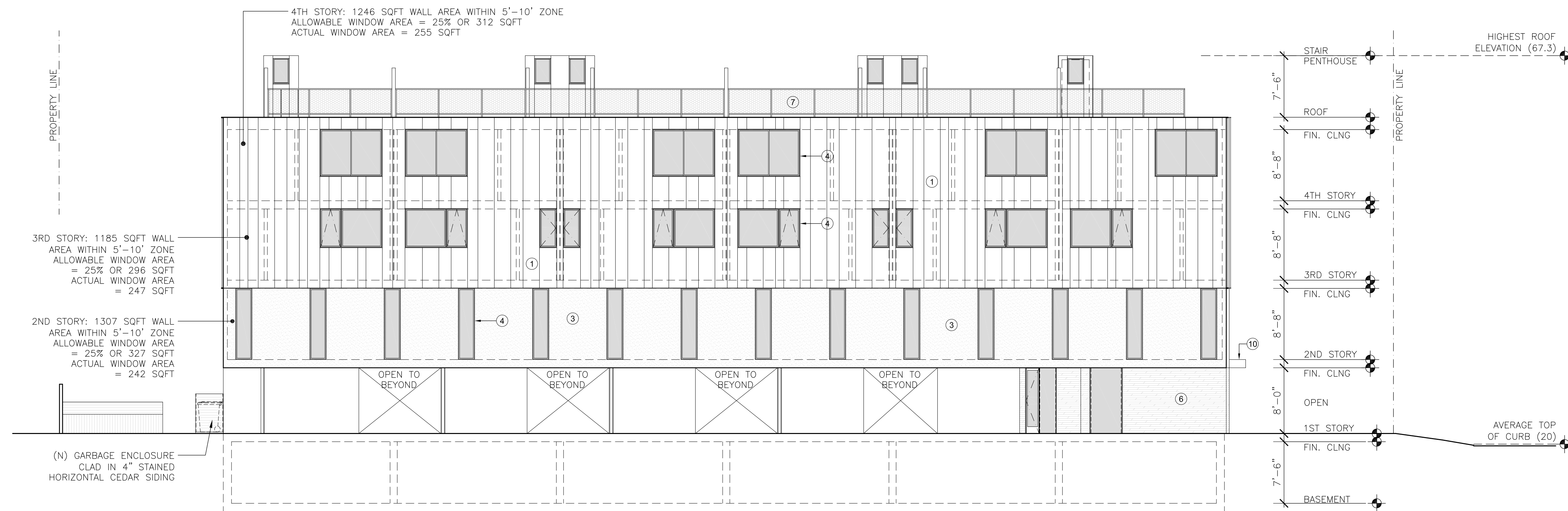
1 PROPOSED NORTH ELEVATION

SCALE: 1/8"= 1'-0"



2 PROPOSED SOUTH ELEVATION

SCALE: 1/8"= 1'-0"



3 PROPOSED EAST ELEVATION

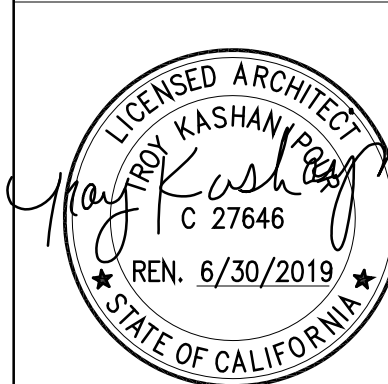
SCALE: 1/8"= 1'-0"

OWNER:
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RABIH@OSCARTEK.COM

ISSUE: DATE:
ISSUED FOR PLANNING REVIEW 07.13.2018
PLANNING COMMENTS 11.16.2018
PLANNING COMMENTS 12.20.2018

CONSULTANT

APPROVAL



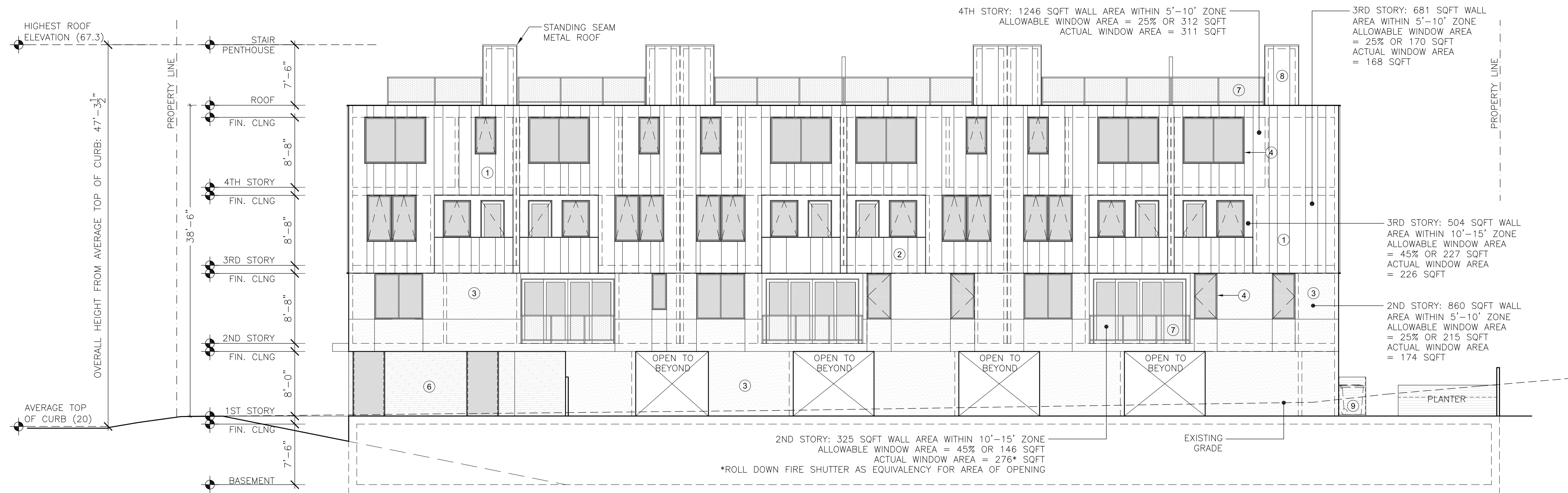
DRAWN:
SC
CHECKED:
TK
SCALE:
1/4"=1'-0"

PROPOSED ELEVATIONS

A3.0

TROY KASHANPOUR ARCHITECTURE 2325 3RD STREET SUITE 401, SF CA 94107. PHONE/FAX 415.431.0869

1 4 5 7 EL CAMINO REAL



- EXTERIOR FINISHES
- ① FOLDED METAL PANEL ON CLIPS, OPEN JOINT RAINSCREEN SYSTEM.
 - ② FOLDED METAL PANEL, PERFORATED AT GUARDRAIL CONDITION
 - ③ CEMENT PLASTER, LIGHT SAND FINISH
 - ④ ANNOXIDIZED ALUMINUM WINDOWS
 - ⑤ ANNOXIDIZED ALUMINUM STOREFRONT SYSTEM
 - ⑥ CERAMIC TILE OR STONE BASE
 - ⑦ PERFORATED METAL RAILING IN STEEL FRAME, POWDERCOATED
 - ⑧ STANDING SEAM METAL ROOF OR SIDING
 - ⑨ WOOD SCREEN OR WOOD ENCLOSURE, THERMALLY MODIFIED FOR EXTERIOR USE
 - ⑩ METAL CLAD CANOPY

2 PROPOSED WEST ELEVATION
SCALE: 1/8"= 1'-0"



1 PROPOSED BUILDING SECTION THROUGH RAMP
SCALE: 1/8"= 1'-0"

TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 401, SF CA 94107. PHONE/FAX 415.431.0869

1457 EL CAMINO REAL

OWNER:
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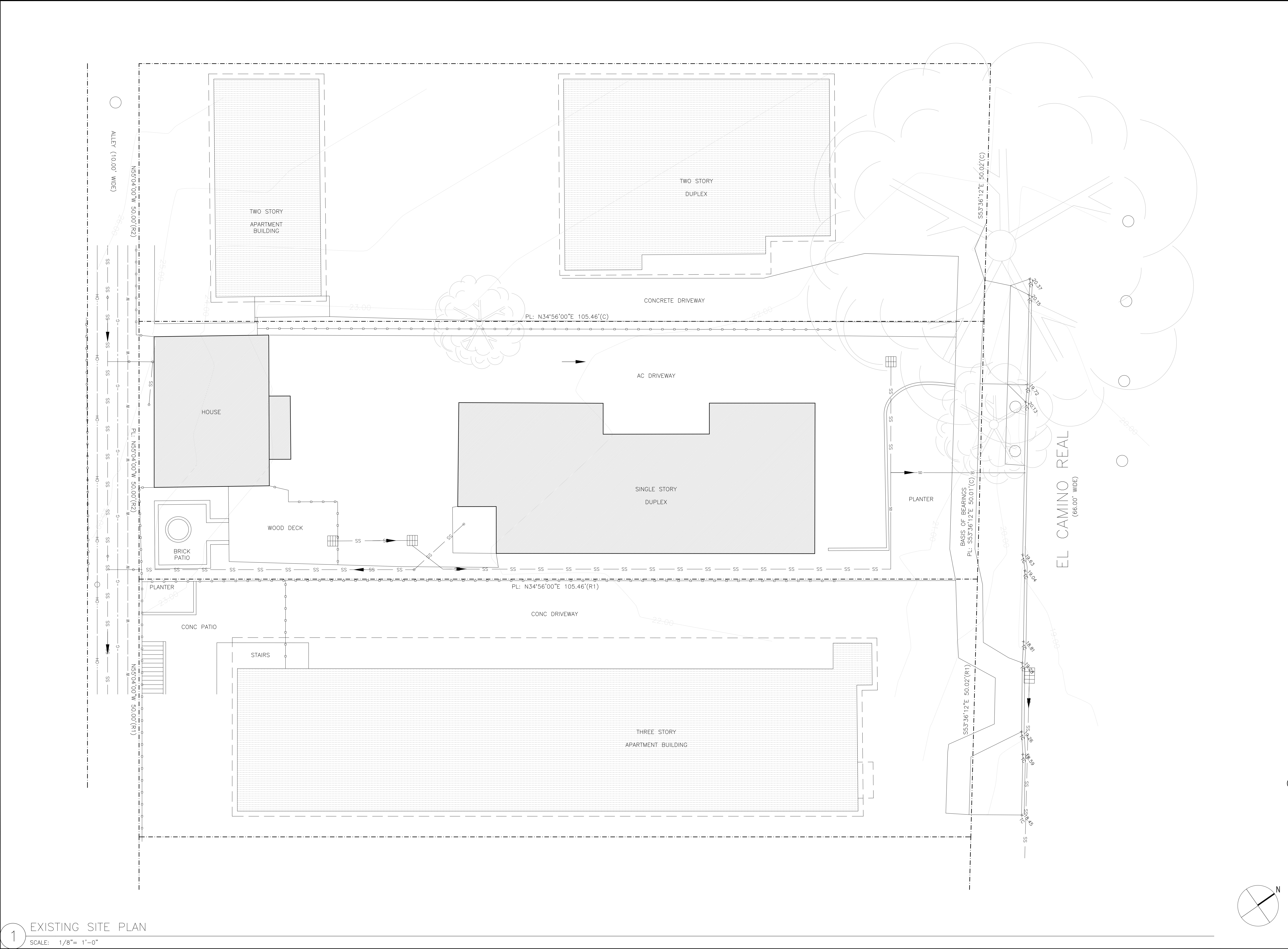
APPROVAL

LICENCED ARCHITECT
TROY KASHANIPOUR
C 27646
REN. 6/30/2019
STATE OF CALIFORNIA

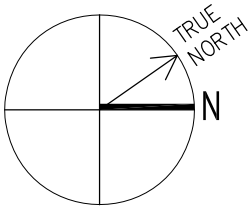
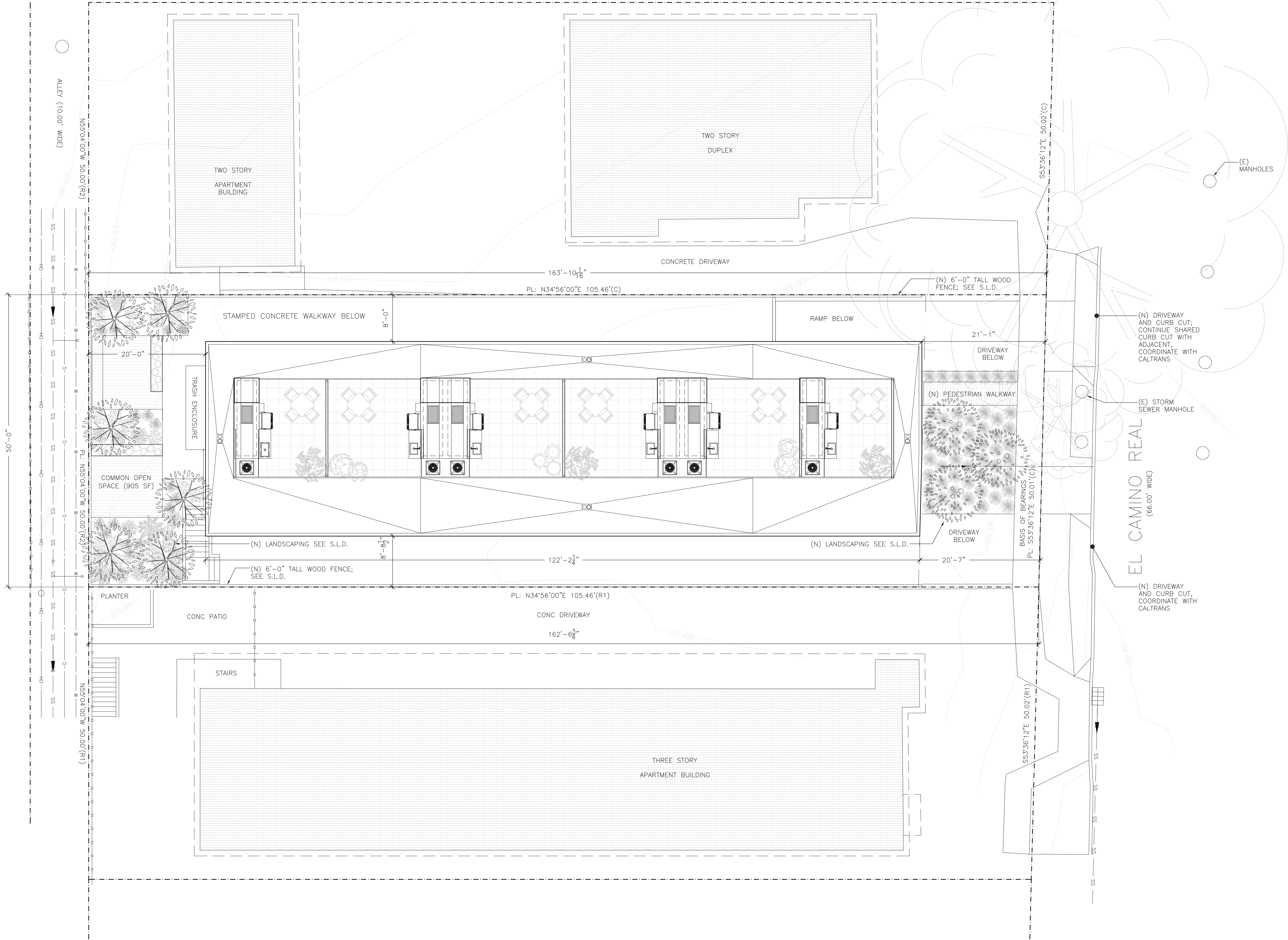
DRAWN:
SC
CHECKED:
TK
SCALE:
1/4"=1'-0"

PROPOSED ELEVATION
& BUILDING SECTIONS

A3.1



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ISSUE: ISSUED FOR PLANNING REVIEW PLANNING COMMENTS	DATE: 07.13.2018 11.16.2018
CONSULTANT	
APPROVAL	
	DRAWN: SC CHECKED: TK SCALE: 1/4"=1'-0"
EXISTING SITE PLAN	
A1.0	

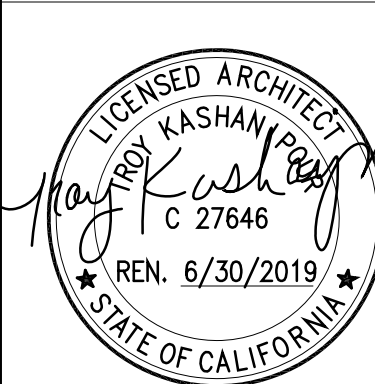


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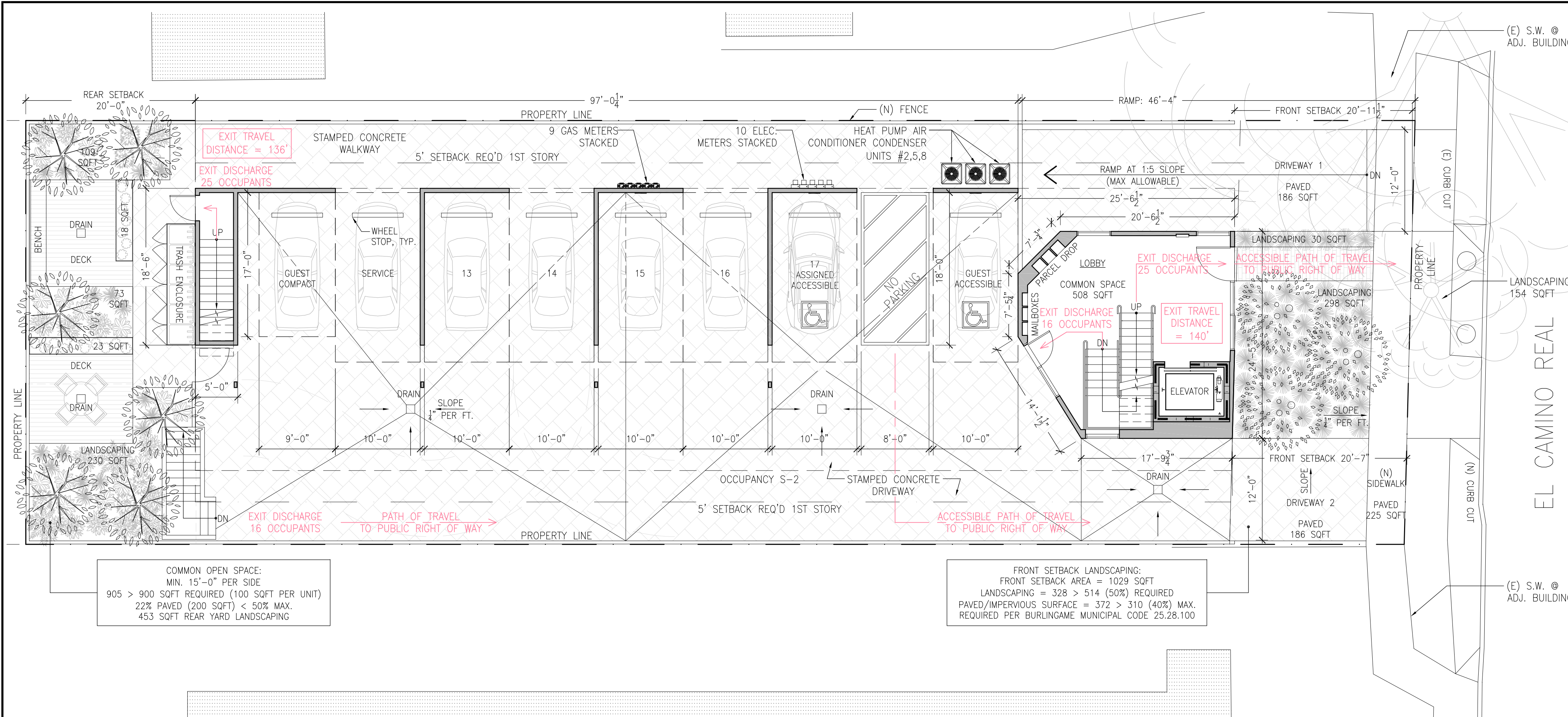
CONSULTANT

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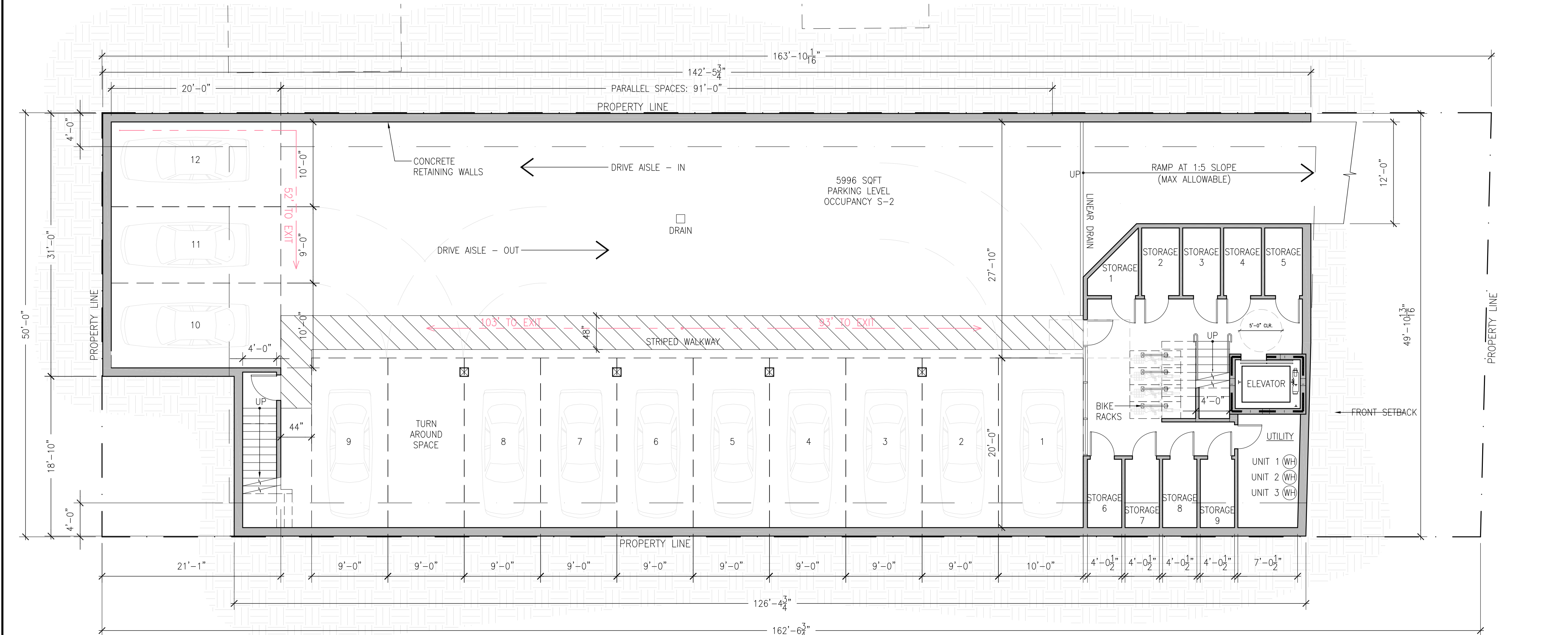


DRAWN:
SC
CHECKED:
TK
SCALE:
1/4"=1'-0"

PROPOSED SITE PLAN



2 PROPOSED FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 PROPOSED BASEMENT LEVEL
SCALE: 1/8" = 1'-0"

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- PROVIDE MOISTURE RESISTANT GYP BOARD AT BATHROOM WALLS AND SOFFIT, PRIMED AND PAINTED PER OWNER SELECTION. PROVIDE CEMENTITIOUS BACKING BOARD WHERE REQ'D FOR TILE INSTALLATION. ASSEMBLIES PER TILE COUNCIL OF AMERICA STANDARD DETAILS.
- (N) GLASS IN DOORS SHALL BE SAFETY GLAZING PER CBC 2406. WINDOWS WITHIN 24" OF DOOR SHALL BE SAFETY GLAZING PER CBC 2406.3
- EXHAUST FAN TO PROVIDE MIN. 5 AIR CHANGES PER HOUR AND PER REQUIREMENTS OF TABLE 403.7 AND SOURCE OF MAKE-UP AIR. MECHANICAL CONTRACTOR TO SIZE AND SUBMIT OUTSHEET FOR APPROVAL PRIOR TO INSTALLATION (50 CFM MIN.).
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- WASHER/DRYER. PROVIDE UTILITY CONNECTION BOX WITH 2-125V AND 1-250V OUTLETS. EXHAUST SHALL BE A MIN. OF 4" Ø DUCT, TERMINATE TO THE OUTSIDE OF THE BUILDING 3' FROM ANY OPENING OR PL PER CMC 504.5, SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER, AND MEET THE REQUIREMENTS OF CMC 504.4. PROVIDE 100 SQ.IN. MIN. MAKE-UP AIR OPENING FOR DOMESTIC DRYERS.
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- PROVIDE LIGHTING AT ALL EXTERIOR LANDINGS. 2016 CBC §1008.2 AND 2016 CBC §1205.4 (ORD. 1856 §7, (2010); ORD. 1889 §8, (2013))

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APPROVAL			
DRAWN:	SC	CHECKED:	TK
SCALE:	1/4"=1'-0"		

PROPOSED FLOOR PLAN & EXIT PLAN

A2.0

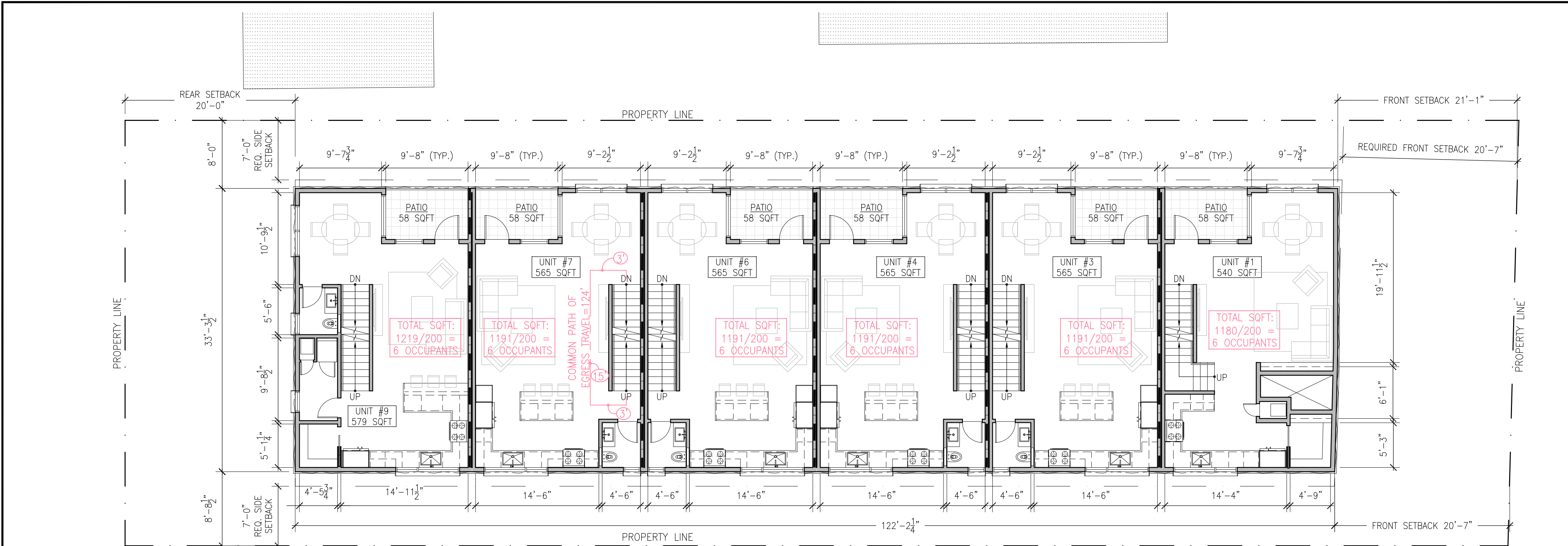
DRAWING LEGEND:

- EXISTING WALLS
- NEW WALL
- 1-HR RATED WALL

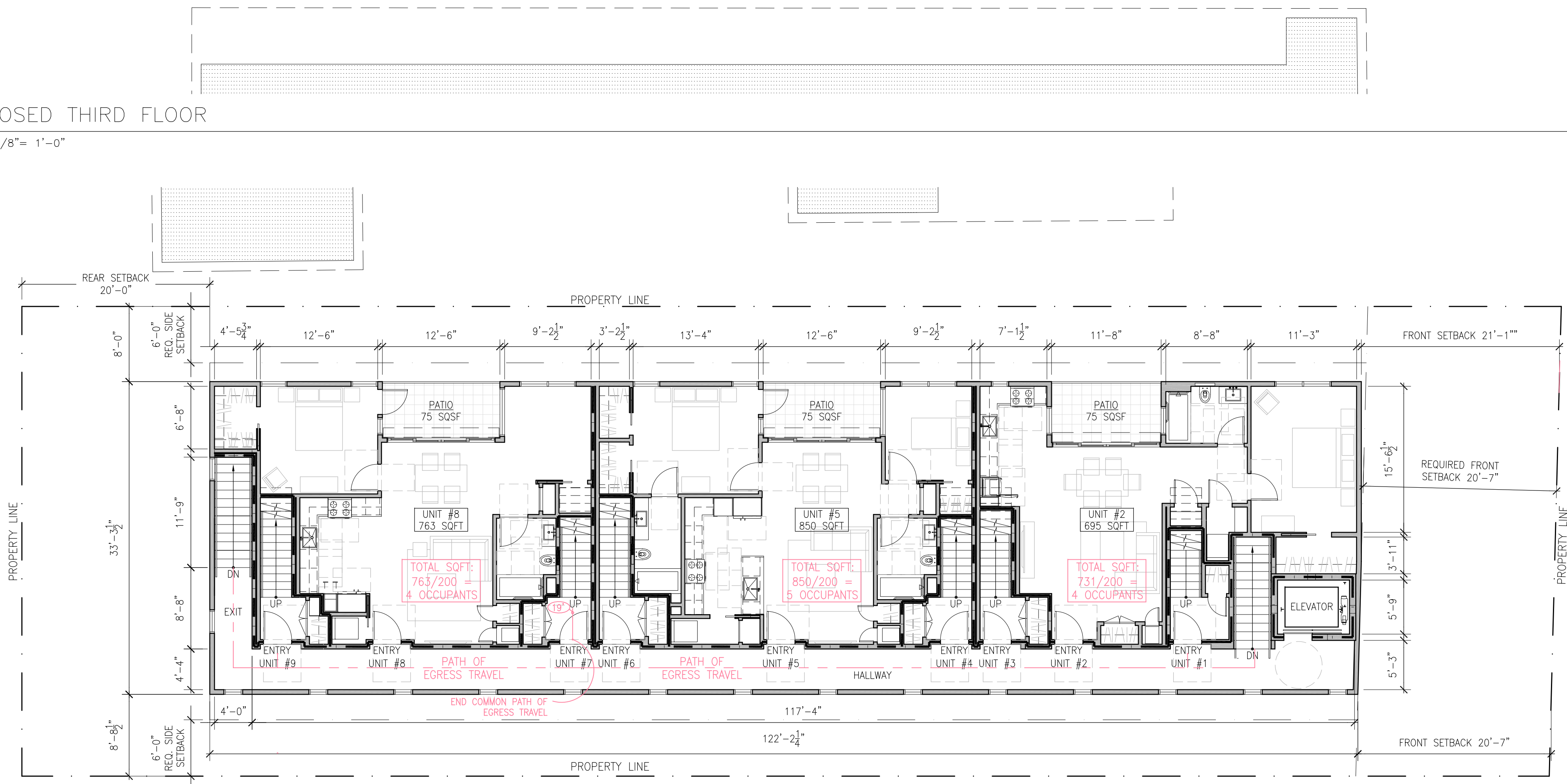
GRAPHIC SCALE

2 5 10

TRUE NORTH



2 PROPOSED THIRD FLOOR
SCALE: 1/8"= 1'-0"



1 PROPOSED SECOND FLOOR
SCALE: 1/8"= 1'-0"

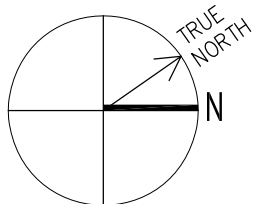
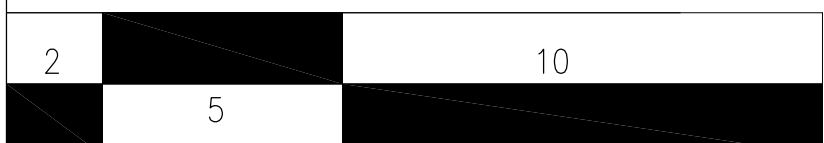
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DRAWING LEGEND:

- EXISTING WALLS
- NEW WALL
- 1-HR RATED WALL

GRAPHIC SCALE



TROY KASHANIPUR ARCHITECTURE 2325 3RD STREET SUITE 401, SF CA 94107. PHONE/FAX 415.431.0869

1457 EL CAMINO REAL

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CONSULTANT

APPROVAL

LICENCED ARCHITECT
Troy Kashanipur
C 27646
REN. 6/30/2019
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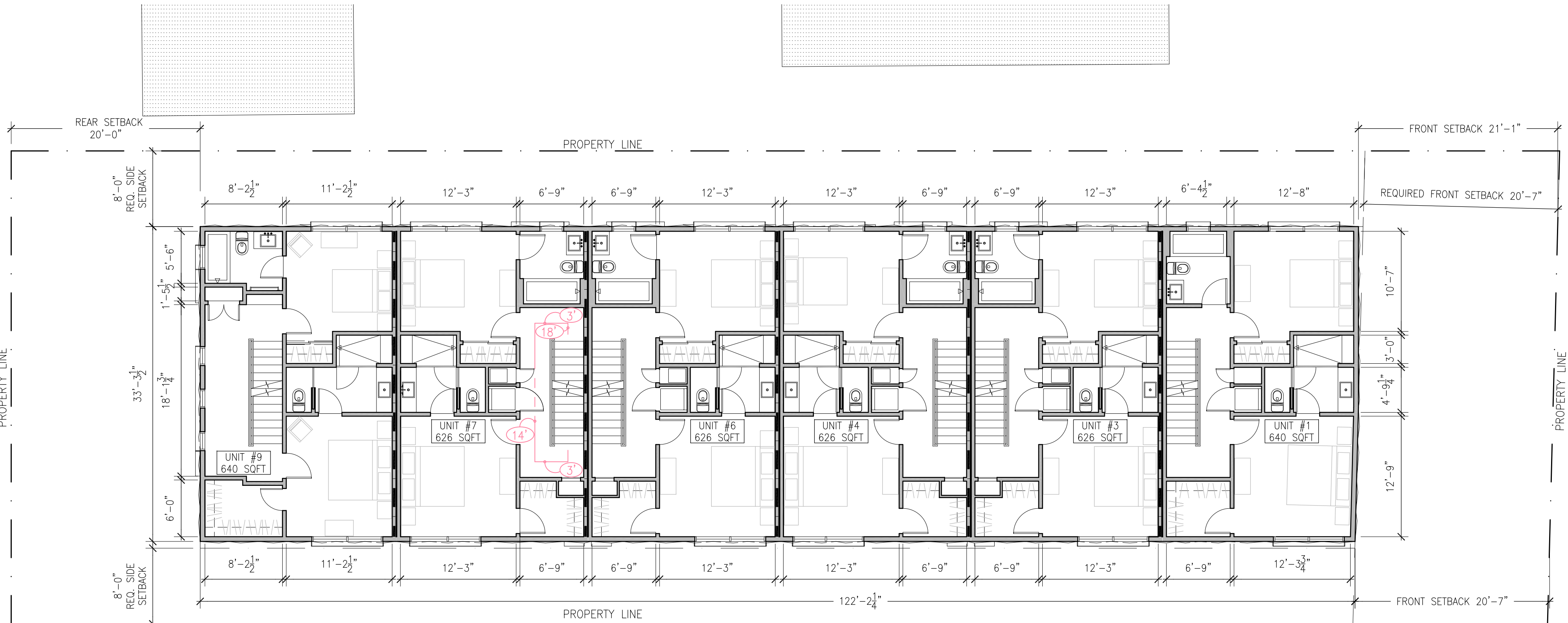
DRAWN:
SC
CHECKED:
TK
SCALE:
1/4"=1'-0"

PROPOSED FLOOR PLAN
& EXIT PLAN

A2.1

2 PROPOSED ROOF PLAN

SCALE: 1/8"= 1'-0"



1 PROPOSED FOURTH FLOOR

SCALE: 1/8"= 1'-0"

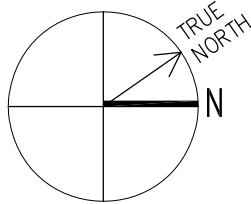
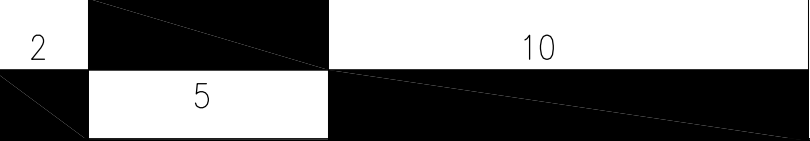
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DRAWING LEGEND:

- EXISTING WALLS
- NEW WALL
- 1-HR RATED WALL

GRAPHIC SCALE



PROPOSED FLOOR PLANS

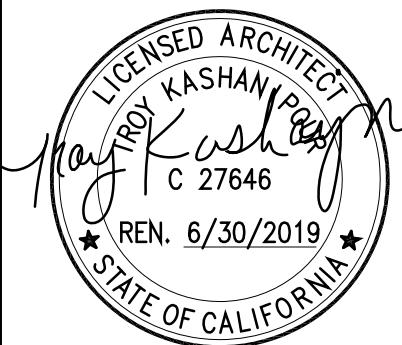
A2.2

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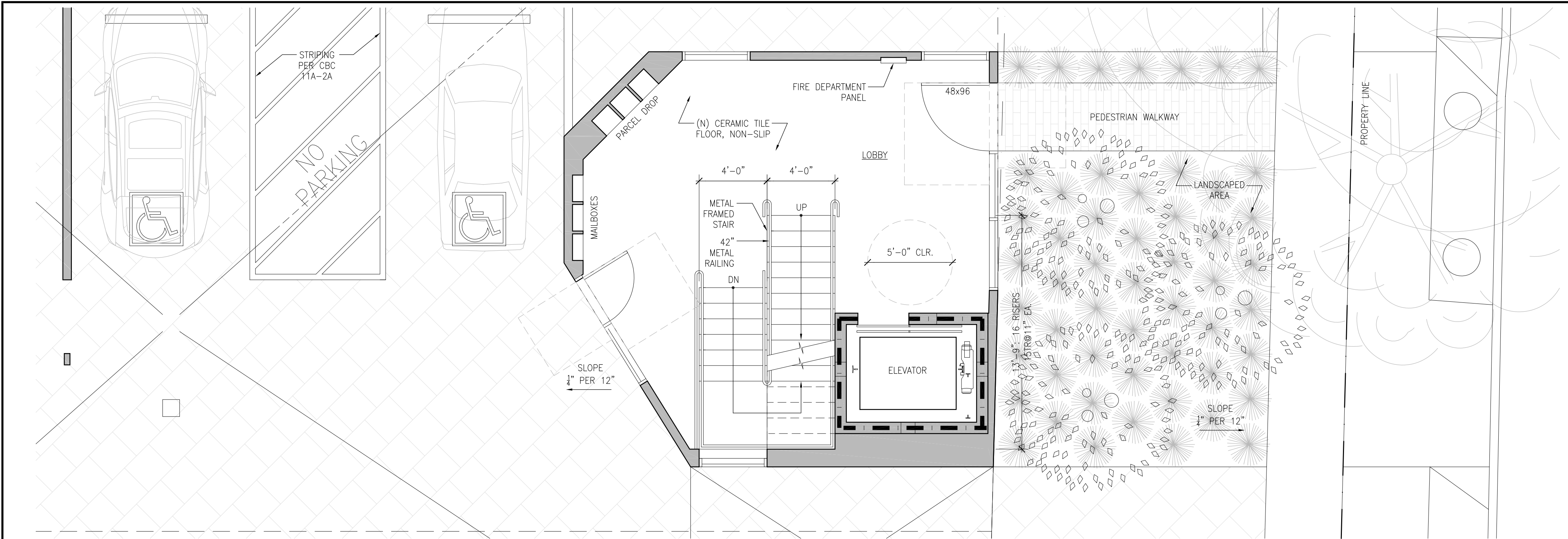
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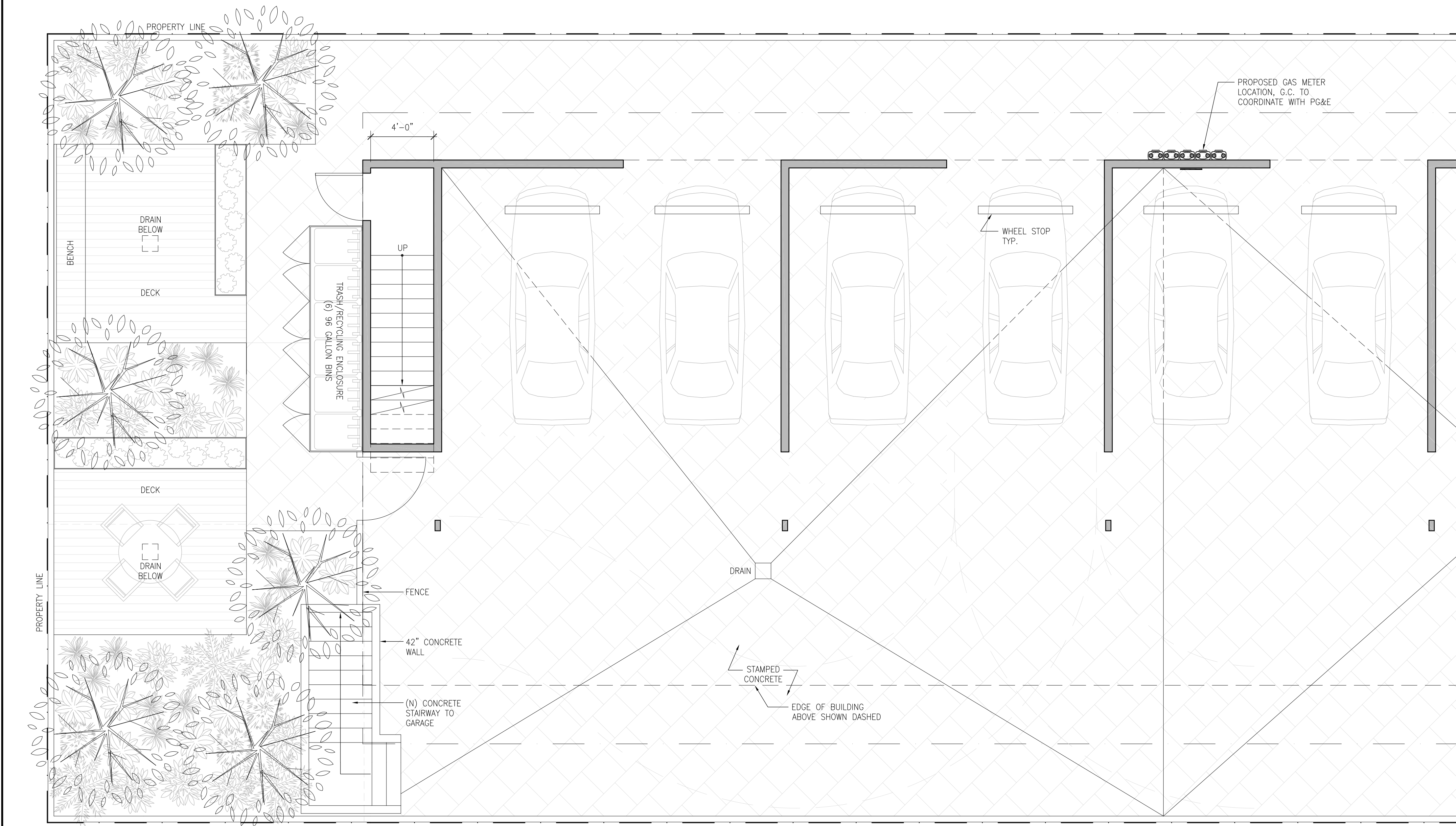
DRAWN: SC
CHECKED: TK
SCALE: 1/4"=1'-0"

TROY KASHANPOUR ARCHITECTURE 2325 3RD STREET SUITE 401, SF CA 94107. PHONE/FAX 415.431.0869

1 4 5 7 EL CAMINO REAL



1 ENLARGED PLAN: FIRST FLOOR LOBBY
SCALE: 1/4" = 1'-0"



2 ENLARGED PLAN: COMMON OPEN SPACE AT REAR YARD
SCALE: 1/4" = 1'-0"

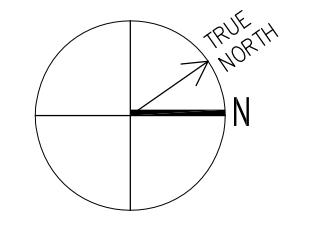
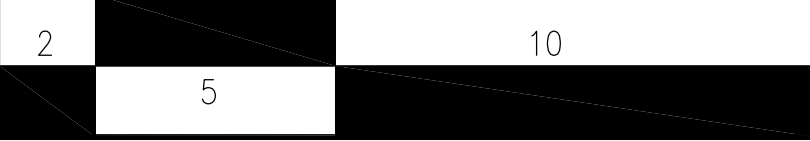
KEYNOTES:

- ENVIRONMENTAL AIR DUCTS (TOILET, LAUNDRY, AND KITCHEN EXHAUST) SHALL TERMINATE 3'-0" MIN. FROM PROPERTY LINES AND BUILDING OPENINGS PER CMC 502.2.1 AND PROVIDE WITH BACK-DRAFT DAMPERS PER CMC 504.1.1 EXHAUST SHALL NOT DISCHARGE ONTO A PUBLIC WALKWAY, WHERE REQ'D FOR TILE INSTALLATION. ASSEMBLIES PER TILE COUNCIL OF AMERICA STANDARD DETAILS.
- MAINTAIN RATED SEPARATION BETWEEN DWELLING UNITS PER CBC 420.3 (HORIZONTAL) AND CBC 420.2 (SEPARATION WALLS). PENETRATIONS THROUGH HORIZONTAL ASSEMBLIES SHALL COMPLY WITH CBC 717.6.
- (N) WINDOW, MINIMUM U-VALUE PER TITLE 24 REQUIREMENTS TABLE 116A AND S.H.G.C. PER TABLE 116B, U MAX=0.32 AND REQUIREMENTS OF TITLE 24 CALCULATIONS.
- WINDOW TO MEET REQUIREMENTS FOR RESCUE WINDOW: 20" CLEAR WIDTH, 24" CLEAR HEIGHT, 5.7 SQ. FT. MIN. 44" A.F.F.
- PROVIDE A MIN. 200 SQUARE INCH VENTILATION OUTLET IN THE GARAGE WALLS OR EXTERIOR DOORS PER SFCB 406.3.7.
- PROVIDE MOISTURE RESISTANT GYP BOARD AT BATHROOM WALLS AND SOFFIT, PRIMED AND PAINTED PER OWNER SELECTION. PROVIDE CEMENTITIOUS BACKING BOARD WHERE REQ'D FOR TILE INSTALLATION. ASSEMBLIES PER TILE COUNCIL OF AMERICA STANDARD DETAILS.
- (N) GLASS IN DOORS SHALL BE SAFETY GLAZING PER CBC 2406. WINDOWS WITHIN 24" OF DOOR SHALL BE SAFETY GLAZING PER CBC 2406.3
- EXHAUST FAN TO PROVIDE MIN. 5 AIR CHANGES PER HOUR AND PER REQUIREMENTS OF TABLE 403.7 AND SOURCE OF MAKE-UP AIR. MECHANICAL CONTRACTOR TO SIZE AND SUBMIT OUTSHEET FOR APPROVAL PRIOR TO INSTALLATION (50 CFM MIN.).
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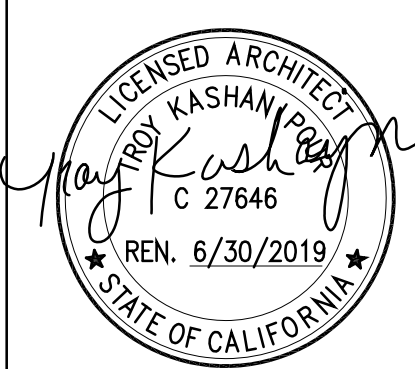


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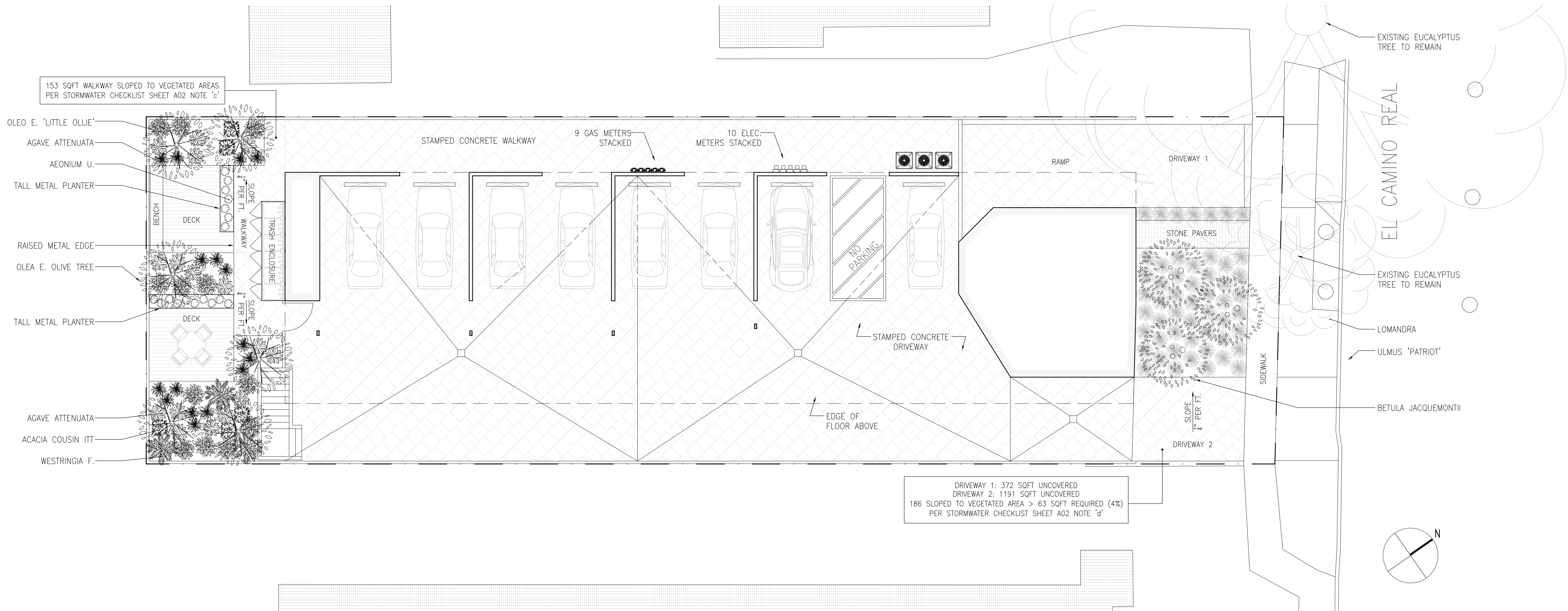
APPROVAL



DRAWN:
SC
CHECKED:
TK
SCALE:
1/4"=1'-0"

ENLARGED PLANS

A4.0



2 FIRST FLOOR LANDSCAPE PLAN (AT GRADE)
SCALE: 1/8" = 1'-0"

PLANTING NOTES

- CONTRACTOR SHALL CONTACT UNDERGROUND SERVICES ADMINISTRATION PRIOR TO EXCAVATION AND GRADING.
- ALL PLANTING AREAS SHALL BE CLEARED OF WEEDS AND OTHER DEBRIS. THE CONTRACTOR SHALL VERIFY WITH THE OWNER WHICH EXISTING PLANTS ARE TO REMAIN. EXISTING PLANTS TO BE REMOVED SHALL BE VERIFIED WITH OWNER PRIOR TO REMOVAL. ALL IVY IN PROJECT AREA SHALL BE REMOVED; IVY SHALL BE SPRAYED WITH HERBICIDE TWO WEEKS PRIOR TO REMOVAL.
- REMOVAL OF EXISTING TREES SHALL BE CONFIRMED WITH THE LANDSCAPE ARCHITECT AND OWNER IN THE FIELD PRIOR TO REMOVAL. EACH TREE TO BE REMOVED SHALL HAVE A RED OR ORANGE TAPE SECURED TO A BRANCH, AND THE TRUNK SHALL BE CLEARLY MARKED WITH PAINT OF THE SAME COLOR. THE CONTRACTOR SHALL SUPPLY THE MATERIALS FOR MARKING THE TREES AND COORDINATE WITH THE LANDSCAPE ARCHITECT. THE TREE STUMPS AND ROOTS SHALL ALSO BE REMOVED, AND SURROUNDING SURFACE RE-GRADED AND RESTORED.
- SOIL TESTING SHALL BE UNDERTAKEN BY THE CONTRACTOR, AND PERFORMED BY A CERTIFIED LABORATORY. A COPY OF THE REPORT SHALL BE PROVIDED TO THE OWNER AND LANDSCAPE ARCHITECT. RECOMMENDATIONS FOR AMENDMENTS AND FERTILIZATION SHALL REFLECT THE NUTRIENT REQUIREMENTS OF SPECIFIED PLANT SPECIES.
- SOIL AMENDMENTS SHALL BE FREE OF DEBRIS SUCH AS LITTER, BROKEN CLAY POTS, AND OTHER FOREIGN MATERIAL. ROCKS LARGER THAN ONE INCH DIAMETER WILL NOT BE PERMITTED. SOIL AMENDMENTS SHALL HAVE THE FOLLOWING CONTENT: REDWOOD NITRIFIED COMPOST 40%, COARSE SAND 30%, BLACK TOPSOIL 30%.
- PLANT HOLES SHALL BE DOUBLE THE SIZE OF THE CONTAINER (generally). THE WALLS AND BASES OF PLANT HOLES SHALL BE SCARIFIED. HOLES SHALL BE BACKFILLED WITH THE FOLLOWING MIXTURE: 80% TO 20% IMPORTED SOIL TO EXISTING SOIL.
- SOIL BERMS SHALL BE FORMED AROUND ALL PLANTS 1 GALLON SIZE AND LARGER. BASINS SHALL BE MULCHED WITH A 2" LAYER OF BARK CHIPS, MINIMUM OF 1" IN SIZE.
- ALL PLANTS SHALL BE FERTILIZED. FERTILIZER SHALL BE COMMERCIALY AVAILABLE TYPE, AGRIFORM OR EQUIVALENT. APPLICATION SHALL BE ACCORDING TO MANUFACTURER'S INSTRUCTIONS. RESIDUAL WEED PRE-EMERGENT SHALL BE APPLIED BY THE CONTRACTOR. APPLICATION SHALL BE ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- TREES SHALL BE STAKED WITH TWO PRESSURE TREATED 2" DIAMETER POLES. TREE TRUNK SHALL BE SECURED WITH TWO RUBBER TIES OR STRAPS FORMING A FIGURE-EIGHT BETWEEN TRUNK AND STAKE.
- ROOT BARRIERS FOR ALL TREES WITHIN EIGHT FEET OF PAVEMENT SHALL BE INSTALLED. BARRIERS SHALL BE PLASTIC AND EXTEND COMPLETELY AROUND THE ROOT BALL. THE DIAMETER OF THE BARRIER SHALL BE 42". THE BARRIER SHALL EXTEND TO A DEPTH OF 24".
- ESPALIER PLANTS SHALL BE FURNISHED WITH A PREMANUFACTURED WOOD TRELLIS. THE TRELLIS SHALL BE SECURELY FASTENED TO TWO PRESSURE TREATED 2" DIAMETER POLES.
- PLANTING AREAS SHALL BE COVERED WITH A TWO INCH LAYER OF BARK CHIPS.

PLANT LIST: (USDA HARDINESS ZONE 10a)

BOTANICAL NAME	COMMON NAME	QTY	SIZE	REMARKS	WUCOLS FACTOR
AGAVE 'BLUE GLOW'	BLUE GLOW AGAVE	13	5 GAL. @ 24" O.C.	PERENNIAL SHRUB	.2 (LOW)
AGAVE ATTENUATA	FORTAIL AGAVE	16	5 GAL. @ 30" O.C.	PERENNIAL SHRUB	.2 (LOW)
OLEA E. 'LITTLE OLLIE'	LITTLE OLLIE DWARF OLIVE	12	5 GAL. @ 36" O.C.	EVERGREEN SHRUB	.2 (LOW)
WESTRINGIA FRUTICOSA 'SMOKEY'	SMOKEY COAST ROSEMARY	3	5 GAL. @ 48" O.C.	EVERGREEN SHRUB	.2 (LOW)
ACACIA COGNATA 'LIMELIGHT' RIVER WATTLE	COUSIN ITT RIVER WATTLE	5	1 GAL. @ 30" O.C.	EVERGREEN SHRUB	.2 (LOW)
AEONIUM ARBOREUM	TREE AEONIUM	17	1 GAL. @ 15" O.C.	SUCCULENT	.2 (LOW)
OLEA E. 'SWAN HILL'	SWAN HILL OLIVE TREE	6	24" BOX	EVERGREEN TREE	.2 (LOW)
BETULA JACQUEMONTII MULTI STEM	WHITE BARKED HIMALAYAN BIRCH	3	24" BOX	DECIDUOUS TREE	.85 (HIGH)
LOMANDRA LONGIFOLIA	BASKET GRASS	53	1 GAL @ 30" O.C.	DECIDUOUS PERENNIAL	.2 (LOW)

*NOTE: CONTRACTOR TO VERIFY QUANTITIES

AVERAGE WUCOLS FACTOR:
[(125 x .2) + (3 x .85)] / 128 = .2 WUCOLS AVERAGE FOR PROJECT
2 < .3 MAXIMUM ALLOWED

75% OF LANDSCAPE CONSISTS OF PLANTS THAT AVERAGE A WUCOLS PLANT FACTOR OF .3

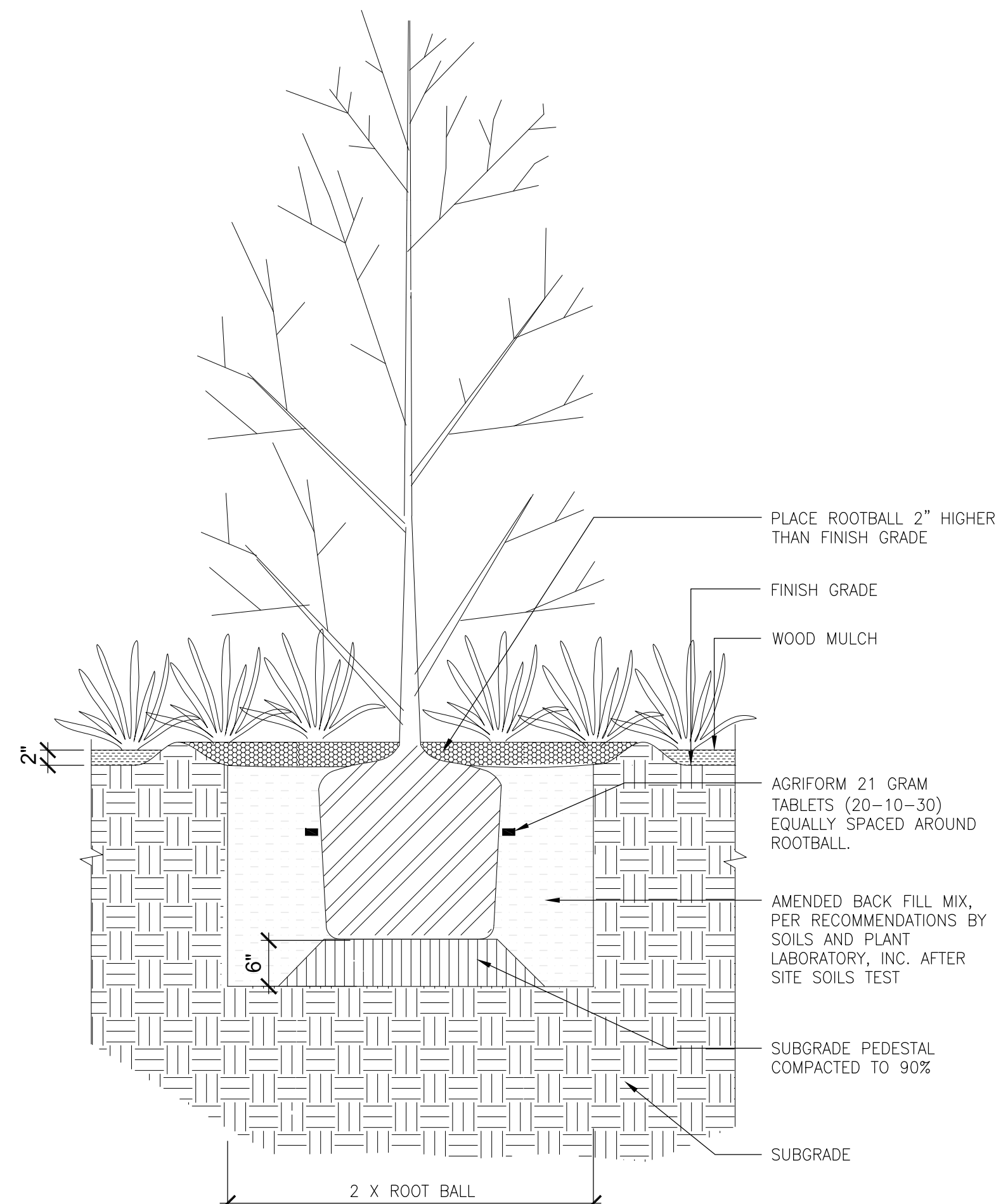
LANDSCAPING & IRRIGATION NOTES:

A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OF ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.

TURF SHALL NOT EXCEED 25% OF THE LANDSCAPE AREA IN RESIDENTIAL AREAS. NO TURF PERMITTED IN NON-RESIDENTIAL AREAS. TURF NOT PERMITTED ON SLOPES GREATER THAN 25%. TURF IS PROHIBITED IN PARKWAYS LESS THAN 10 FEET WIDE.

AUTOMATIC WEATHER-BASED OR SOIL-MOISTURE BASED IRRIGATION CONTROLLERS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM. PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE.

MANUAL-SHUT-OFF VALVES SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY. AREAS LESS THAN 10- FEET IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY. FOR NON-RESIDENTIAL PROJECTS WITH LANDSCAPE AREAS OF 1,000 SQ.FT OR MORE, PRIVATE SUB-METERS(S) TO MEASURE LANDSCAPE WATER USE SHALL BE INSTALLED. AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE. UNLESS CONTRADICTED BY A SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQ. FT OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.



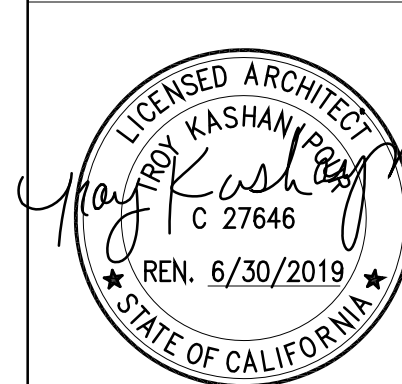
1 TREE PLANTING, TYPICAL
SCALE: 3/4" = 1'-0"

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APPROVAL



DRAWN:
SC
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LANDSCAPE PLAN

L1.0

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