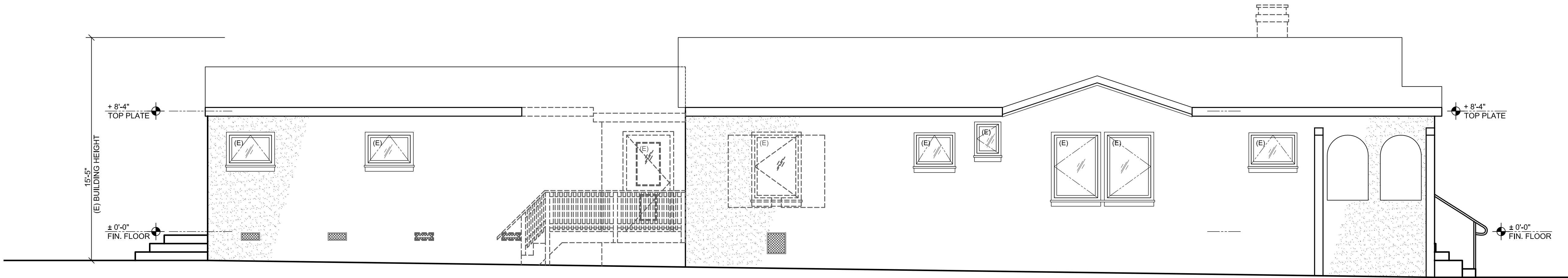
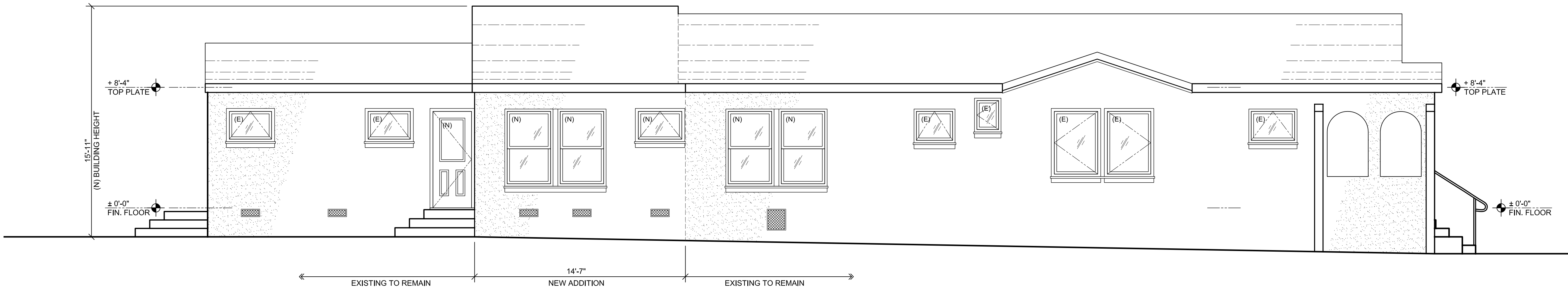


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EXISTING NORTHWEST ELEVATION

SCALE: 1/4" = 1'-0"

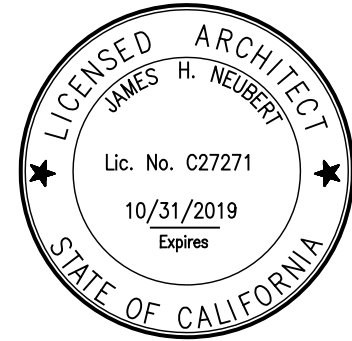


PROPOSED NORTHWEST ELEVATION

SCALE: 1/4" = 1'-0"

EXISTING & PROPOSED ELEVATIONS
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693 Third Avenue
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Tel: 650.357.0408
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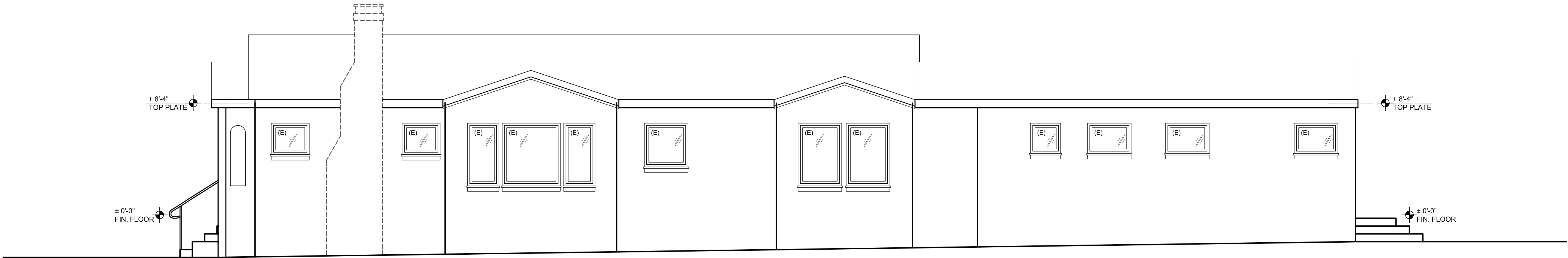


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DATE: 1.22.19

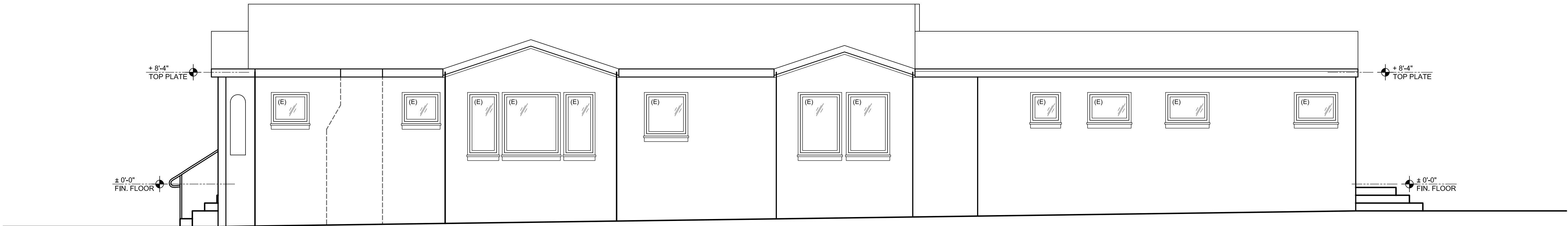
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EXISTING SOUTHEAST ELEVATION

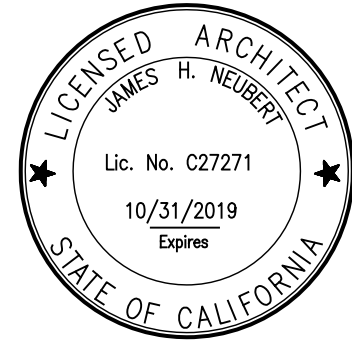
SCALE: 1/4" = 1'-0"



PROPOSED SOUTHEAST ELEVATION

SCALE: 1/4" = 1'-0"

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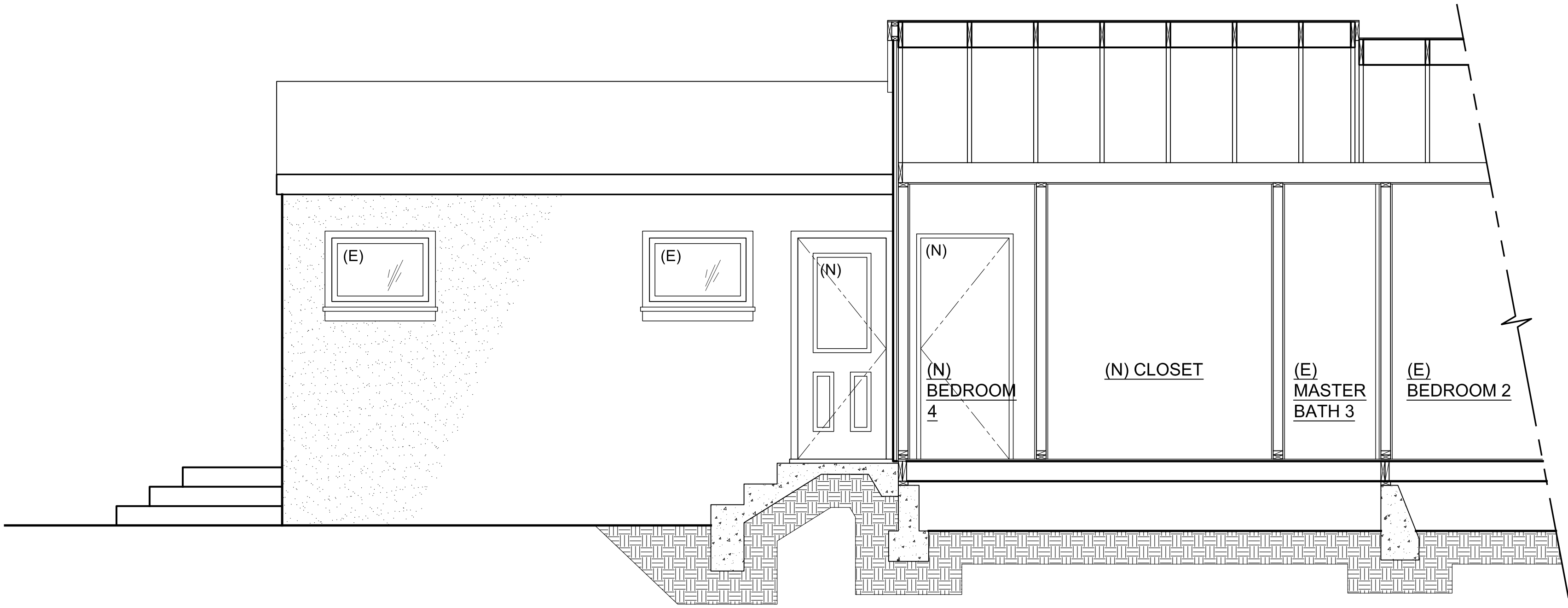
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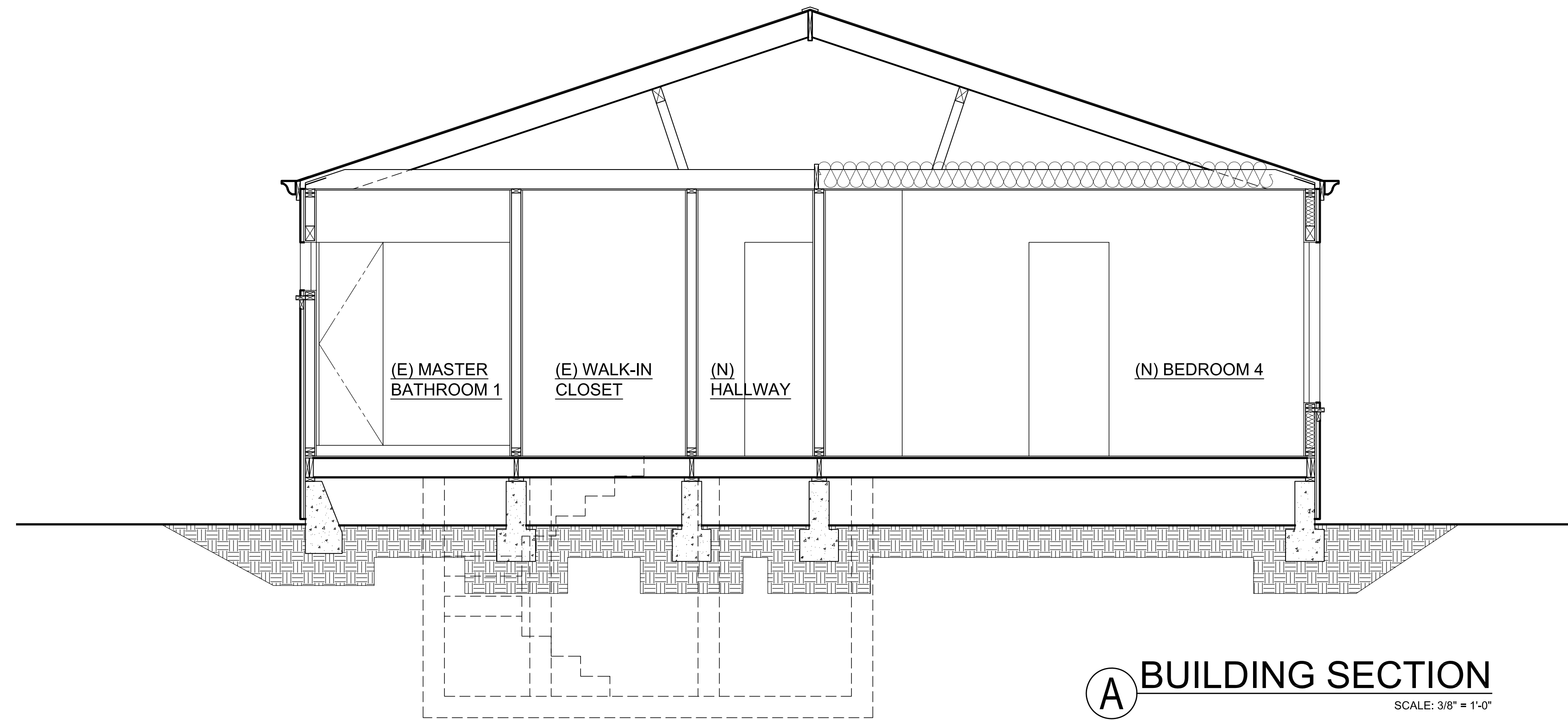
REVISIONS:

EXISTING & PROPOSED ELEVATIONS
ABHYANKAR RESIDENCE
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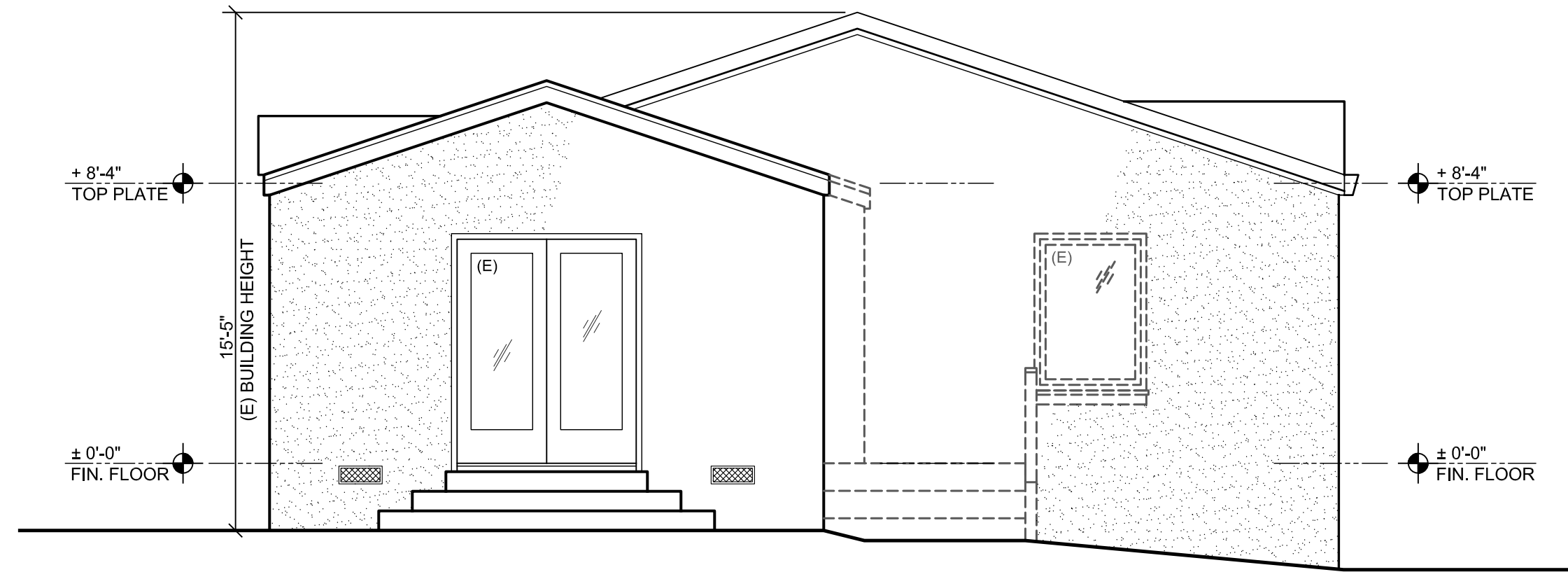
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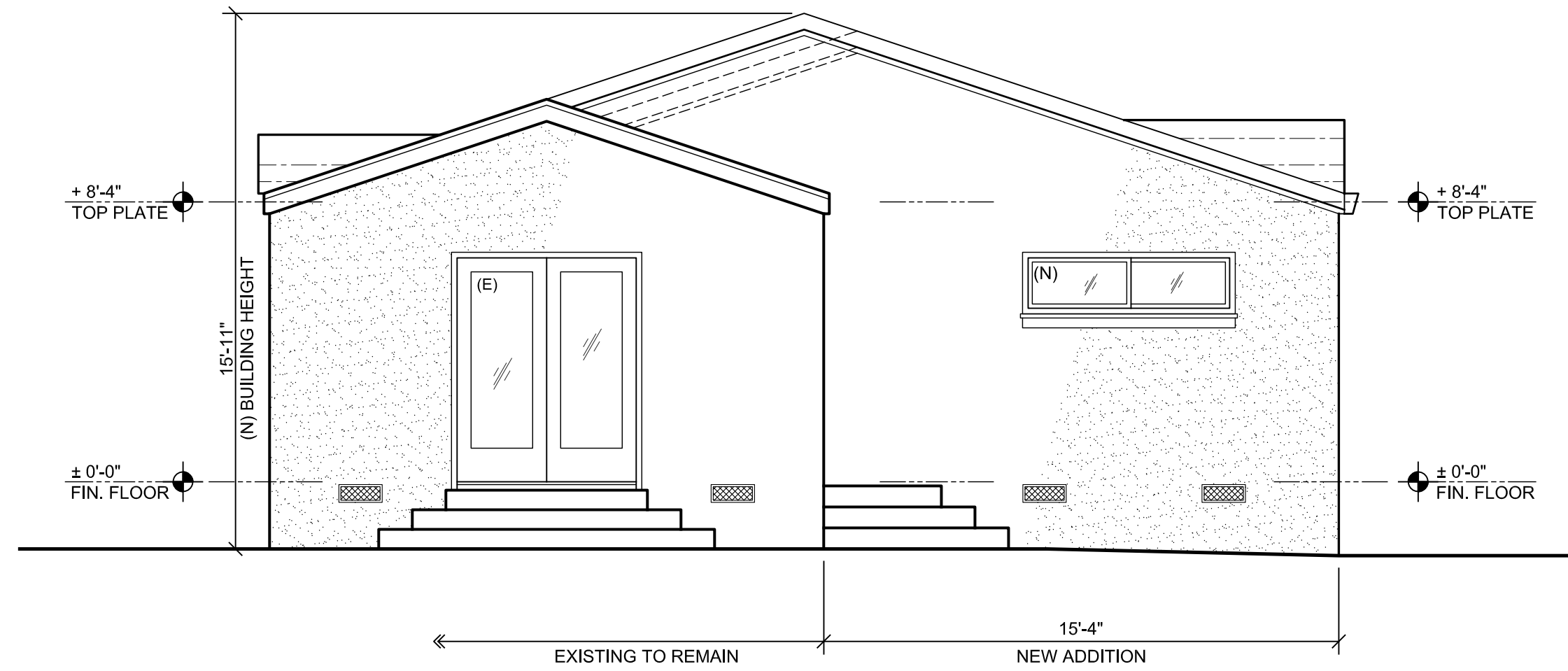
B BUILDING SECTION
SCALE: 3/8" = 1'-0"



A BUILDING SECTION
SCALE: 3/8" = 1'-0"

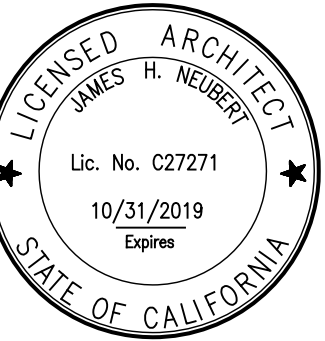


EXISTING NORTHEAST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED NORTHEAST ELEVATION
SCALE: 1/4" = 1'-0"

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SCALE: AS NOTED

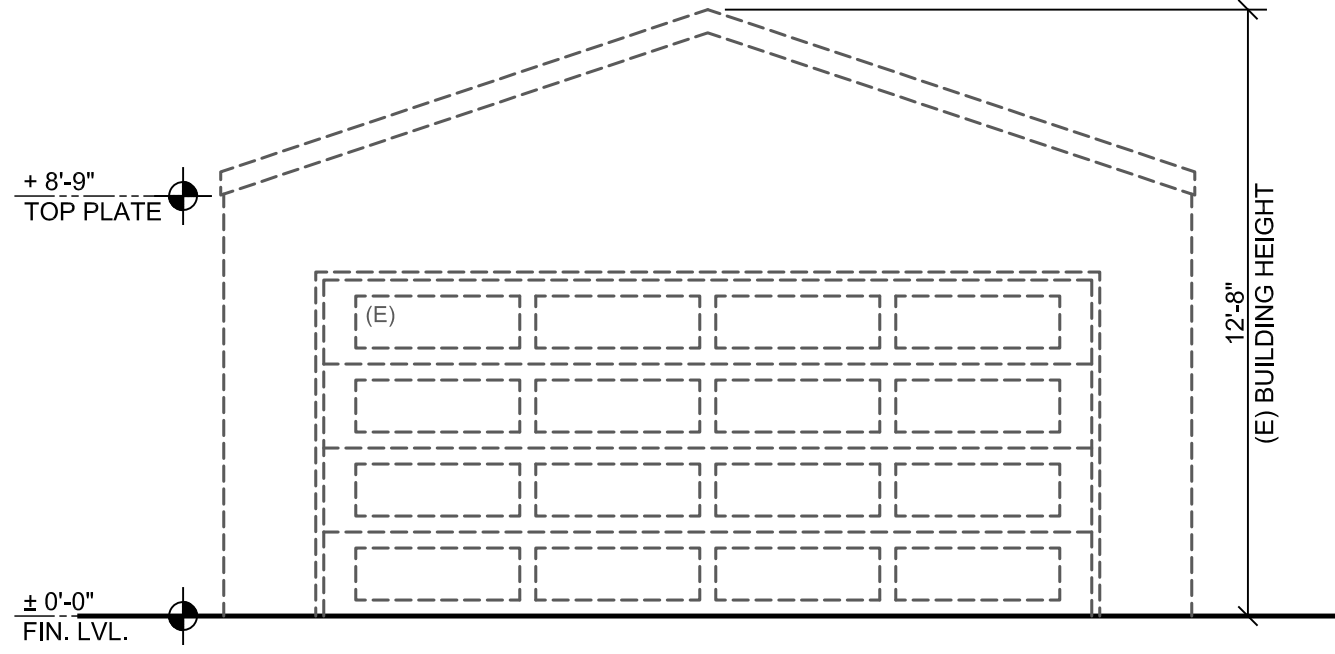
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REVISIONS:

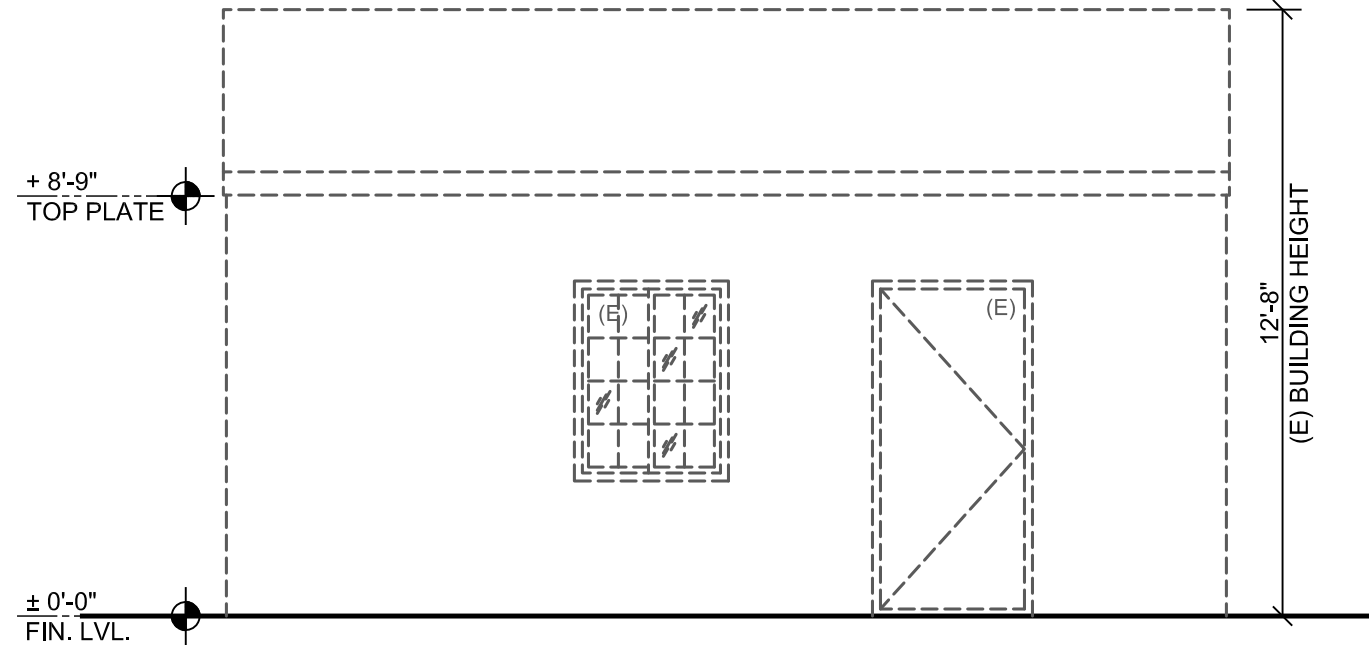
BUILDING SECTIONS
ABHYANKAR RESIDENCE
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A9

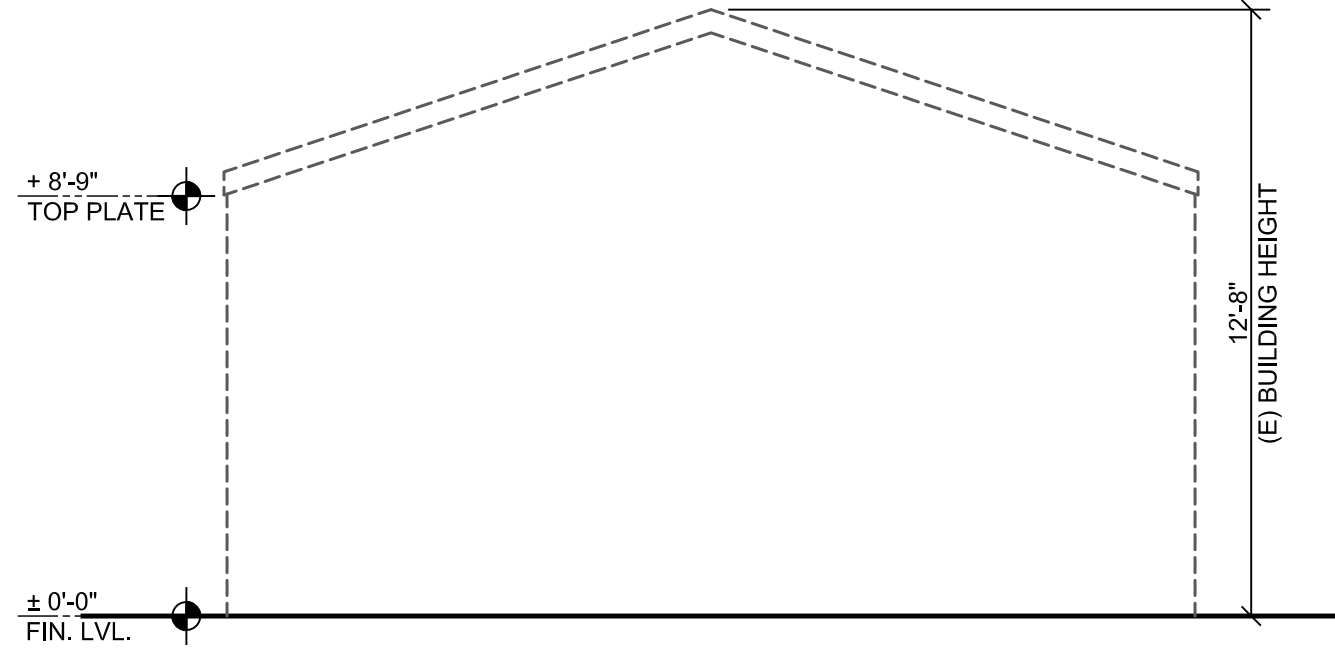
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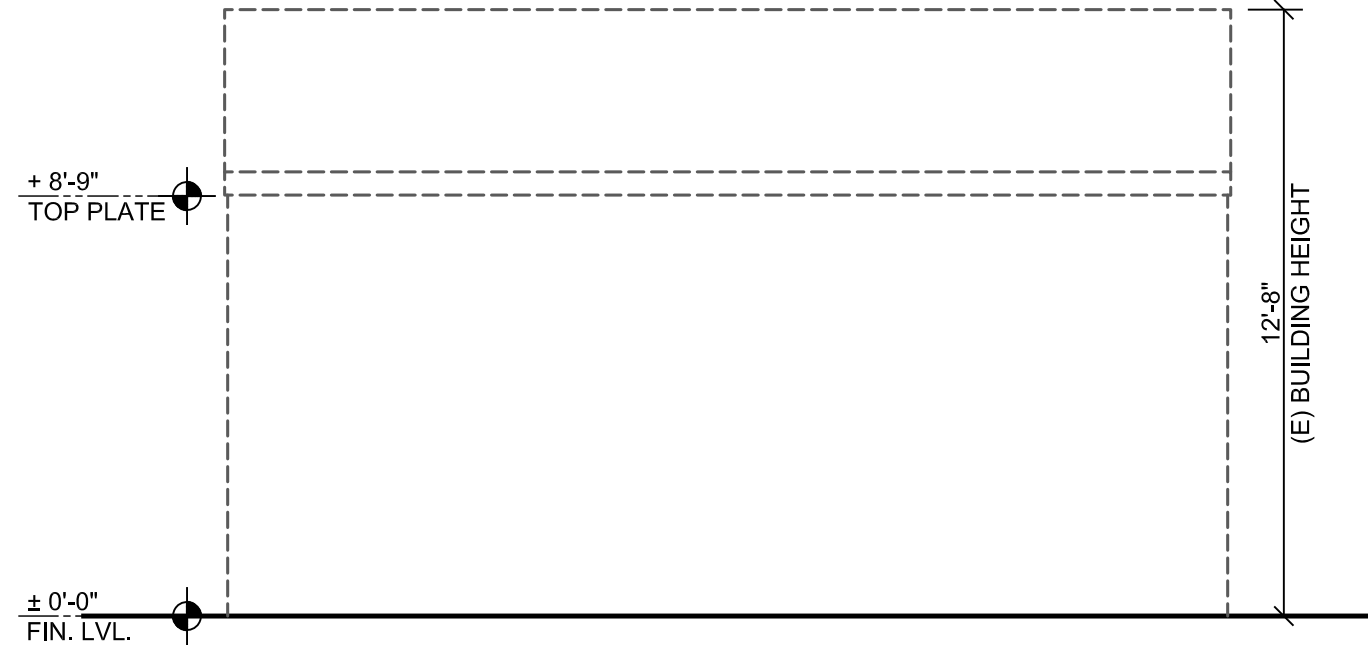
DEMOLITION GARAGE
SOUTHWEST ELEVATION
SCALE: 1/4" = 1'-0"



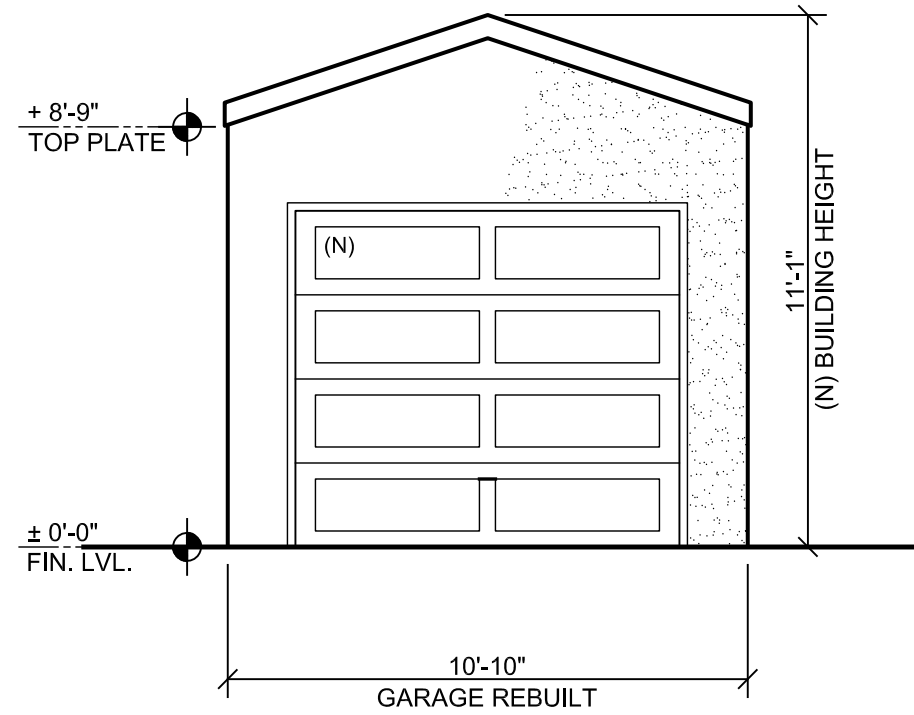
DEMOLITION GARAGE
SOUTHEAST ELEVATION
SCALE: 1/4" = 1'-0"



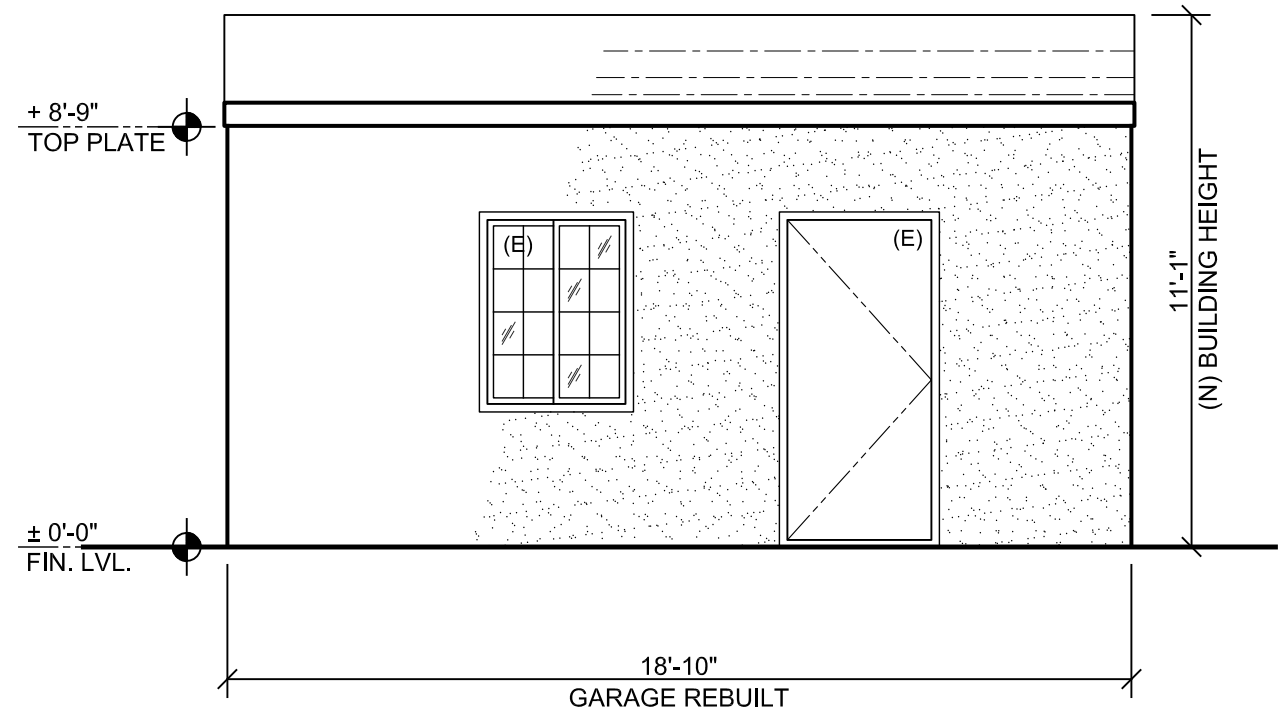
DEMOLITION GARAGE
NORTHEAST ELEVATION
SCALE: 1/4" = 1'-0"



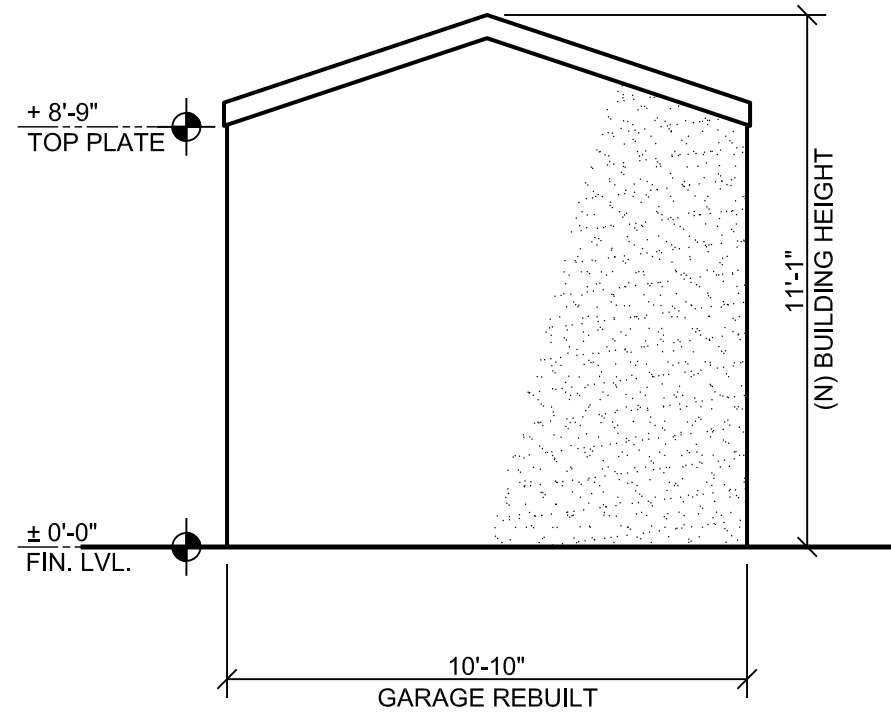
DEMOLITION GARAGE
NORTHWEST ELEVATION
SCALE: 1/4" = 1'-0"



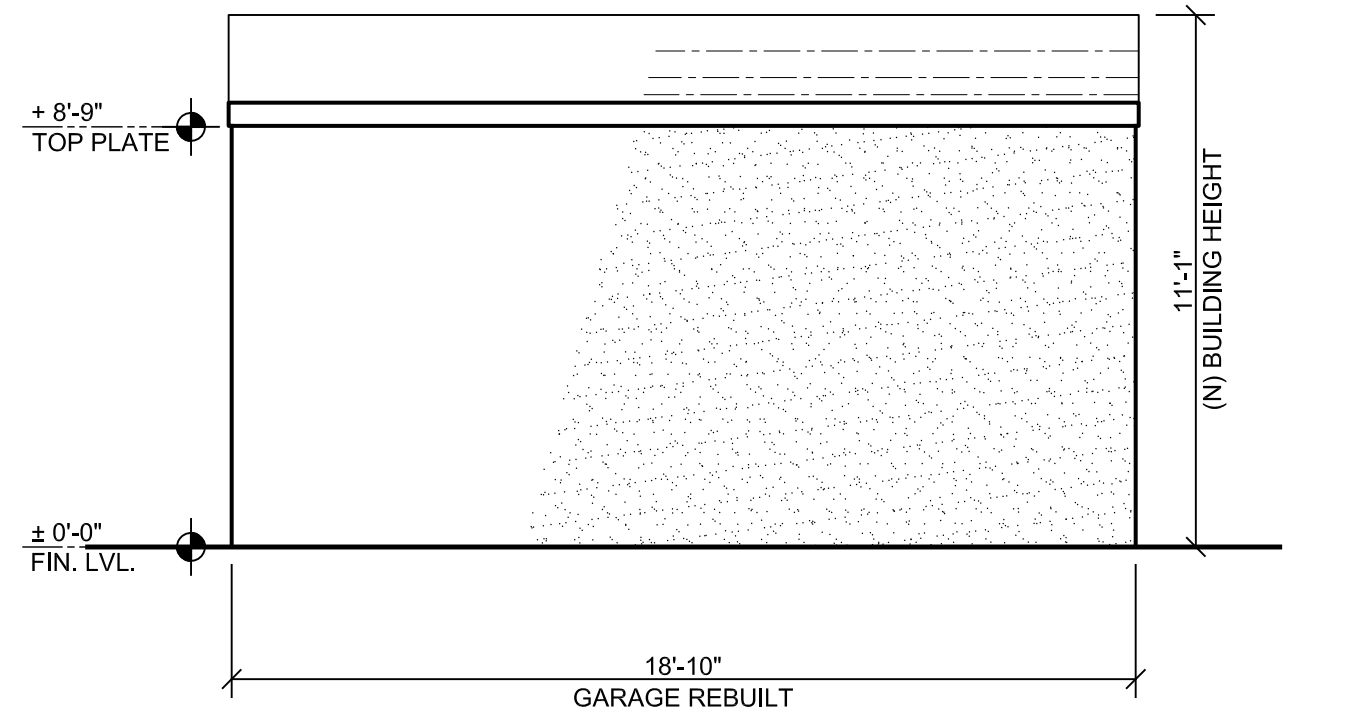
PROPOSED GARAGE
SOUTHWEST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED GARAGE
SOUTHEAST ELEVATION
SCALE: 1/4" = 1'-0"

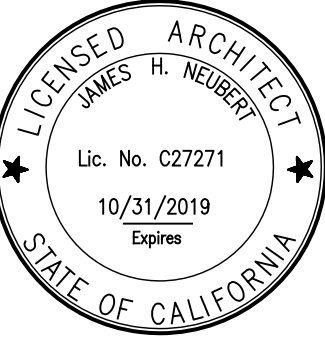


PROPOSED GARAGE
NORTHEAST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED GARAGE
NORTHWEST ELEVATION
SCALE: 1/4" = 1'-0"

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SCALE: 1/4" = 1'-0"

DATE: 1.22.19

REVISIONS:

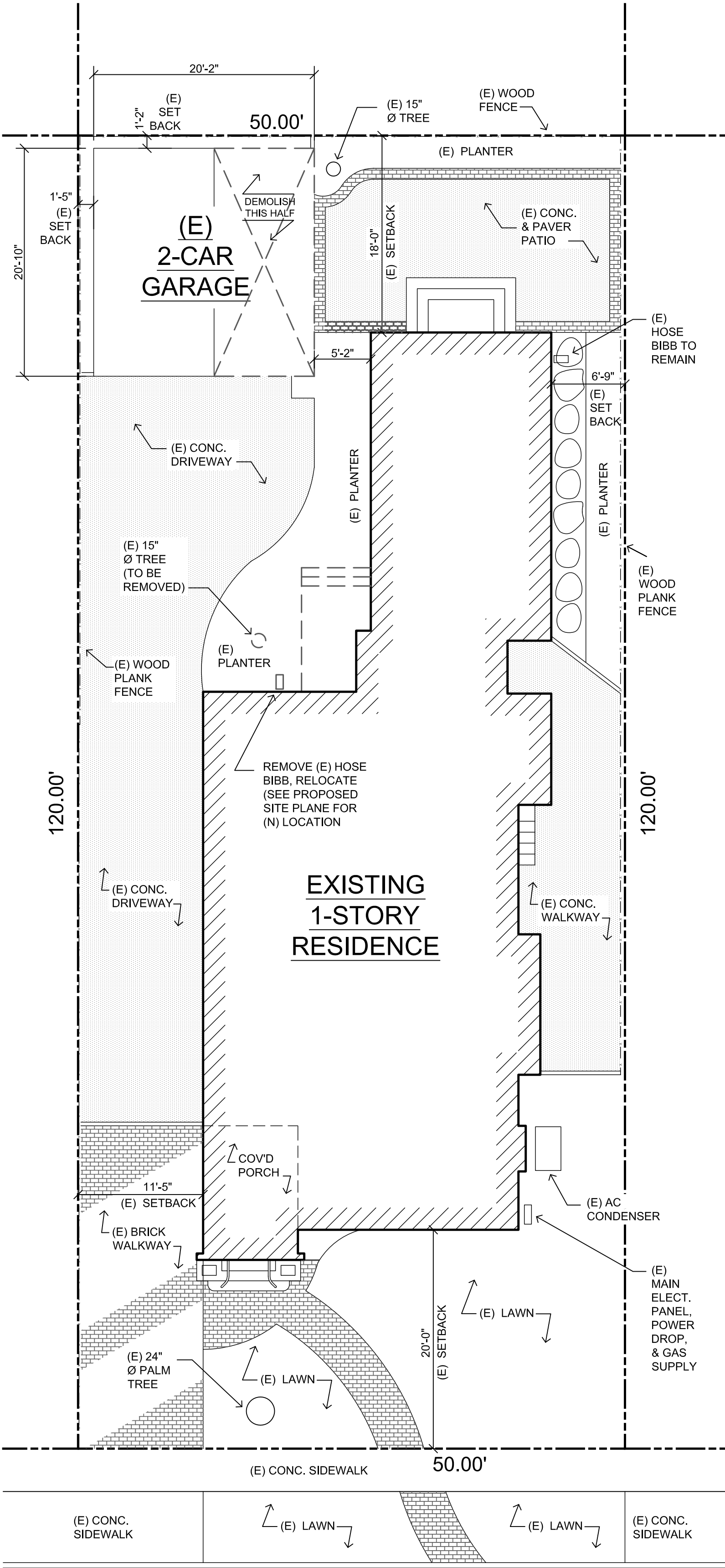
GARAGE EXISTING & PROPOSED
ELEVATIONS AND SECTIONS
ABHYANKAR RESIDENCE
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A10

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ABBREVIATIONS:

&	AND
@	AT
C	CENTERLINE
ACOUS.	ACOUSTICAL
ADJ.	ADJACENT
A.F.F.	ABOVE FINISH FLOOR
A.F.G.	ABOVE FINISH GRADE
AL	ALUMINUM
APPROX.	APPROXIMATE
ARCH.	ARCHITECTURAL
BD.	BOARD
BLDG.	BUILDING
BK.	BLOCK
BLKG.	BLOCKING
BM.	BEAM
B.O.	BOTTOM OF
C.B.	CATCH BASIN
CEM.	CEMENT
CER.	CERAMIC
CL.	CLOSET
CLR.	CLEAR
CLG.	CEILING
COL.	COLUMN
CONC.	CONCRETE
CONN.	CONNECTION
CONST.	CONSTRUCTION
CONT.	CONTINUOUS
CONTR.	CONTRACTOR
CNTR.	COUNTER
CTR.	CENTER
D.F.	DOUGLAS FIR
DBL.	DOUBLE
DEPT.	DEPARTMENT
DET.	DETAIL
DIA.	DIAMETER
DIM.	DIMENSION
DISP.	DISPENSER
DN.	DOWN
D.S.	DOWN SPOUT
DWG.	DRAWING
(E)	EXISTING
EA.	EACH
E.C.	ELECTRICAL CONTRACTOR
EL.	ELEVATION
ELEC.	ELECTRICAL
ELEV.	ELEVATION
EMER.	EMERGENCY
ENCL.	ENCLOSURE
EQ.	EQUAL
EQP.	EQUIPMENT
EXT.	EXTERIOR
PEXT.	EXTERIOR
A.A.	FIRE ALARM
F.D.	FLOOR DRAIN
F.F.	FINISH FACE
F.R.P.	FIBER REINFORCED PANEL
F.T.	FIRE TREATED
FDN.	FOUNDATION
FIN.	FINISH FLOOR
FLUOR.	FLUORESCENT
FP.	FIRE PROOF
FT.	FOOT/ FEET
FTG.	FOOTING
GA.	Gauge
GALV.	GALVANIZED
G.B.	GRAB BAR
G.C.	GENERAL CONTRACTOR
GL.	GLASS
GND.	GROUND
GYP.	GYP-SUM
HOR.	HORIZONTAL
HT.	HEIGHT
HM.	HOLLOW METAL
I.D.	INSIDE DIAMETER
I.G.	INSULATED GLASS
INSUL.	INSULATION
INT.	INTERIOR
LAM.	LAMINATE
LAV.	LAVATORY
LT.	LIGHT
MAX.	MAXIMUM
M.C.	MECHANICAL CONTRACTOR
MECH.	MECHANICAL
MFR.	MANUFACTURER
MGR.	MANAGER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MTD.	MOUNTED
MTL.	METAL
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OP.	OPPOSITE
P.C.	PLUMBING CONTRACTOR
PL.	PLATE
PLAM.	PLASTIC LAMINATE
PLAS.	PLASTER
PLYWD.	PLYWOOD
PR.	PAIR
PRHT.	PARTIAL HEIGHT
P.T.	PRESSURE TREATED
PTD.	PAINTED
R.	RADIUS
R.D.	ROOF DRAIN
REF.	REFRIGERATOR
RM.	ROOM
RWD.	REDWOOD
R.W.L.	RAINWATER LEADER
S.A.	SMOKE ALARM
S.C.	SOLID CORE
SCHED.	SCHEDULE
SECT.	SECTION
SHT.	SHEET
SIM.	SIMILAR
SPEC.	SPECIFICATION
SQ.	SQUARE
S&R	SHIELD AND ROD
S.S.	STAINLESS STEEL
SSD.	SEE STRUCTURAL DRAWINGS
STD.	STANDARD
STL.	STEEL
STR.	STRUCTURE
SUSP.	SUSPENDED
TV.	TELEVISION
T.O.	TOP OF
T.O.P.	TOP OF PARAPET
TRAN.	TRANSOM
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
V.I.F.	VERIFY IN FIELD
VERT.	VERTICAL
W/	WITH
W.C.	WATER CLOSET
WD.	WOOD
W/O	WITHOUT
W.R.	WATER RESISTANT
WT.	WEIGHT
WWM	WELDED WIRE MESH



CAPUCHINO AVE

EXISTING SITE PLAN

SCALE: 1/8" = 1'-0"

LEGEND

SYMBOL	DESCRIPTION
---	(E) FENCE
---	(N) CONCRETE
---	(E) HOUSE
---	(N) ADDITION
---	(N) GARAGE

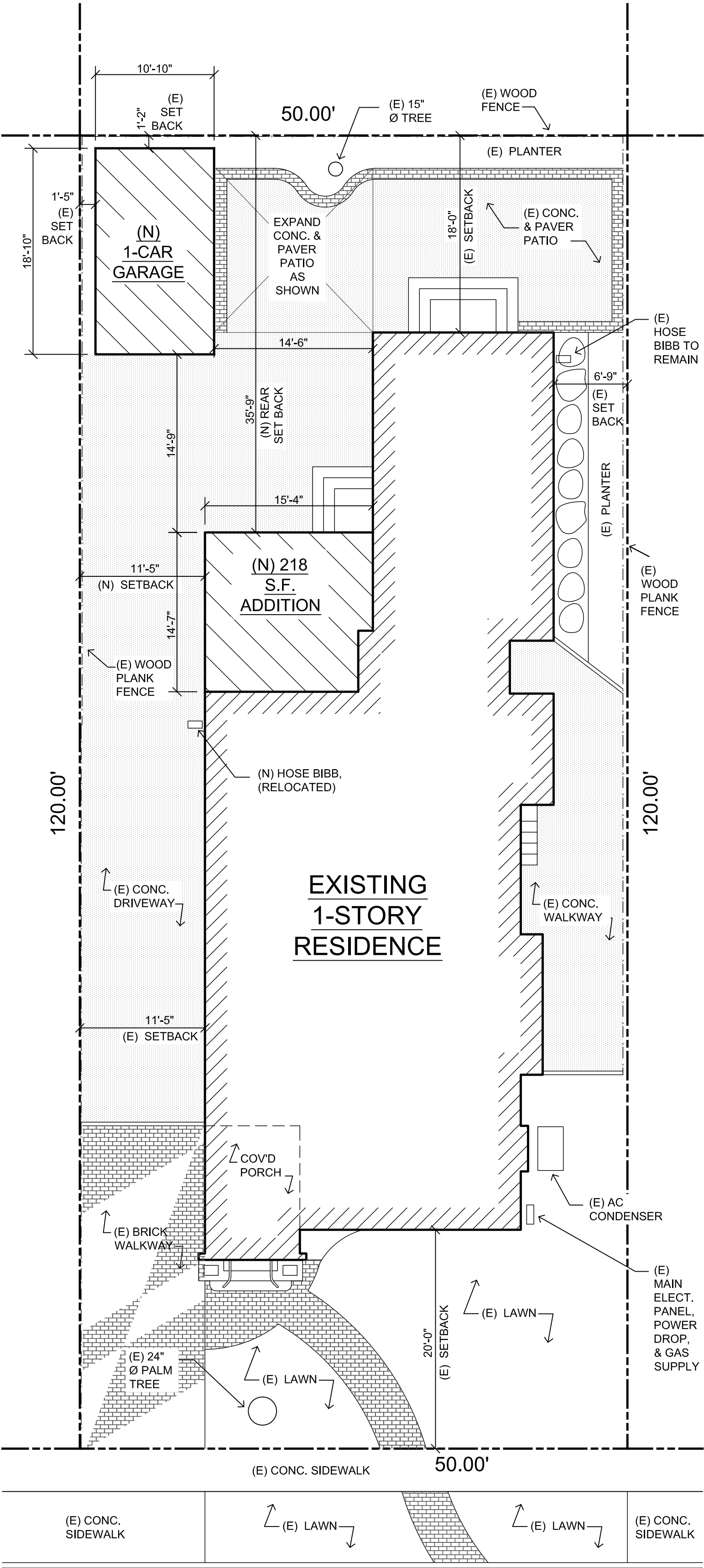
GENERAL NOTES:

- CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS & SETBACKS WITH ARCHITECTURAL PLANS.
- SLOPE PORCHES, LANDINGS, & TERRACES 2% AWAY FROM RESIDENCE.
- PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM THE HOUSE PERIMETER BY SLOPING THE FINISHED GROUND SURFACE AT LEAST 2% AWAY FROM RESIDENCE.
- CONTRACTOR SHALL VISIT THE SITE & FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS OR BEGINNING WORK. THEY SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT/ ENGINEER PRIOR TO PROCEEDING. VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES BEFORE STARTING CONSTRUCTION.
- CONTRACTOR SHALL ADHERE TO "BEST MANAGEMENT PRACTICES" (BMP'S) GUIDELINES DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR STORING, USING, & DISPOSING OF ALL HAZARDOUS MATERIALS, IN ACCORDANCE WITH ALL STATE & LOCAL LAWS.
- CONTRACTOR SHALL ADHERE TO CAL OSHA STANDARDS WHEN GRADING & EXCAVATING.
- STORM WATER RUNOFF GENERATED BY THE NEW DEVELOPMENT SHALL NOT DRAIN ONTO ADJACENT PROPERTIES. THE EXISTING STORM DRAINAGE FROM THE ADJACENT PROPERTIES SHALL NOT BE BLOCKED BY THE NEW DEVELOPMENT.
- NUMBERS & ADDRESS SHALL BE PLACED ON ALL (N) & (E) BLDG. IN SUCH A POSITION AS TO BE PROPERLY VISIBLE & LEGIBLE FROM THE FRONT STREET/ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. SHALL BE A MIN. OF 3" STROKE BY 4" HIGH & SHALL BE INTERNALLY ILLUMINATED. CODE 18.08.015, 2013 CBC 501.2
- WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED, THE DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR WORK.
- ALL VENTS OR DUCTS WHICH PENETRATE ROOF OR EXTERIOR WALLS SHALL BE PROPERLY SLEEVED, FLASHED & COUNTERFLASHED.
- WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED MEASUREMENTS & DETAILS SHALL HAVE PRECEDENCE OVER GENERAL DRAWINGS.
- ALL AREAS OF DEMOLITION: FINISH TO MATCH EXISTING CONDITIONS UNLESS NOTED OTHERWISE.
- ARCHITECT SHALL BEAR NO RESPONSIBILITY FOR METHODS & PROCEDURES OF WORK ESTABLISHED BY CONTRACTOR, JOBSITE CONDITIONS, JOBSITE SAFETY OR CONFORMANCE WITH SAFETY PROCEDURES AND REQUIREMENTS.

THE FOLLOWING APPLICABLE CODES & REGULATIONS GOVERN THE PROJECT:

2016 California Residential Code
2016 California Building Code
2016 California Energy Code
2016 CA Green Building Standards
2016 CA Plumbing Code
2016 CA Mechanical Code
2016 CA Electrical Code
2016 California Fire Code
2016 City of Burlingame Municipal Code

All other state & local ordinances & regulations apply, as well.



CAPUCHINO AVE

PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"

NOTE:

Per Code Section 11.06.090,

One new landscaping tree (non-fruit or nut bearing) is required to be planted on the property, location at Owner discretion.

PROJECT DATA

APN #: 026 - 085 - 210

Building Occupancy Group:	R 3/U
Zoning District:	R-1
Construction Type:	VB
Number of stories:	1 - story
Gross Lot Size:	6,000 S.F.

1) EXISTING HOUSE:

Existing:	
Total Habitable	1917 sf
House footprint	1979 sf
Detached 2 Car Garage	415 sf
(E) Lot Coverage	2394 sf

Max. Allowed: 2400

2) Proposed Addition:

Habitable	218 sf
Detached Garage Reduction	211 sf
Chimney Reduction	2 sf
New Garage (Totally Rebuilt)	204 sf
Gross Total Habitable	2135 sf
(N) Lot Coverage	2399 sf

3) LOT COVERAGE:

Lot Coverage (2399 / 6,000) = .40

4) FLOOR AREA RATIO

(.32 x 6000) + 1100 + 238 = 3,258 sf = max. allowed)
.54 (3,258 / 6,000)
New Floor Area Ratio = 2399
-100 (Lower Floor Exempt.)
-60 (Porch Exempt.)
= 2239 / 6,000 = .37 FAR

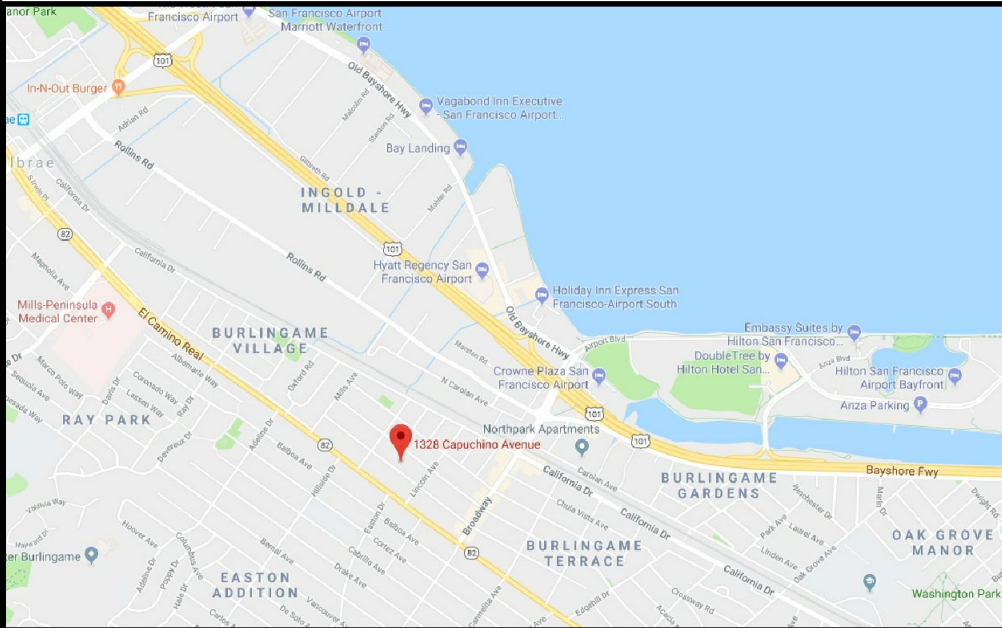
5) BUILDING HEIGHT unchanged

SCOPE OF WORK:

Application for Special Permit to allow reduction of (E) 2-Car Garage to 1-car, while adding 218 s.f. bedroom + bathroom addition for max. lot coverage equation.

INDEX OF DRAWINGS

- A1 SITE PLAN & PROJECT DATA
- A2 SPECIFICATIONS
- A2a CAL GREEN MEASURES
- CONSTRUCTION BEST MANAGEMENT PRACTICES
- A3 DEMOLITION FLOOR PLAN
- A4 PROPOSED FLOOR PLAN
- A5 DEMOLITION ROOF PLAN
- A6 PROPOSED ROOF PLAN
- A7 DEMOLITION & PROPOSED ELEVATION
- A8 DEMOLITION & PROPOSED ELEVATION
- A9 DEMOLITION & PROPOSED ELEVATION AND BUILDING SECTIONS
- A10 GARAGE ELEVATIONS & SECTIONS
- A11 DETAILS
- A12 REFLECTED CEILING PLAN & INTERIORS
- A13 TITLE 24

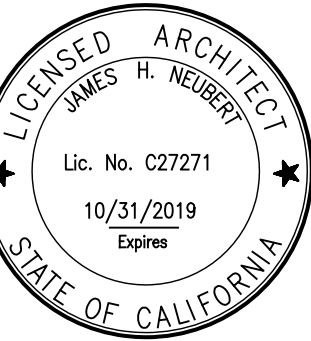


VICINITY MAP

SCALE: N.T.S.

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SCALE: 1/8" = 1'-0"

DATE: 1.22.19

REVISIONS:

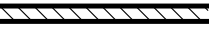
EXISTING & PROPOSED SITE PLANS AND PROJECT DATA

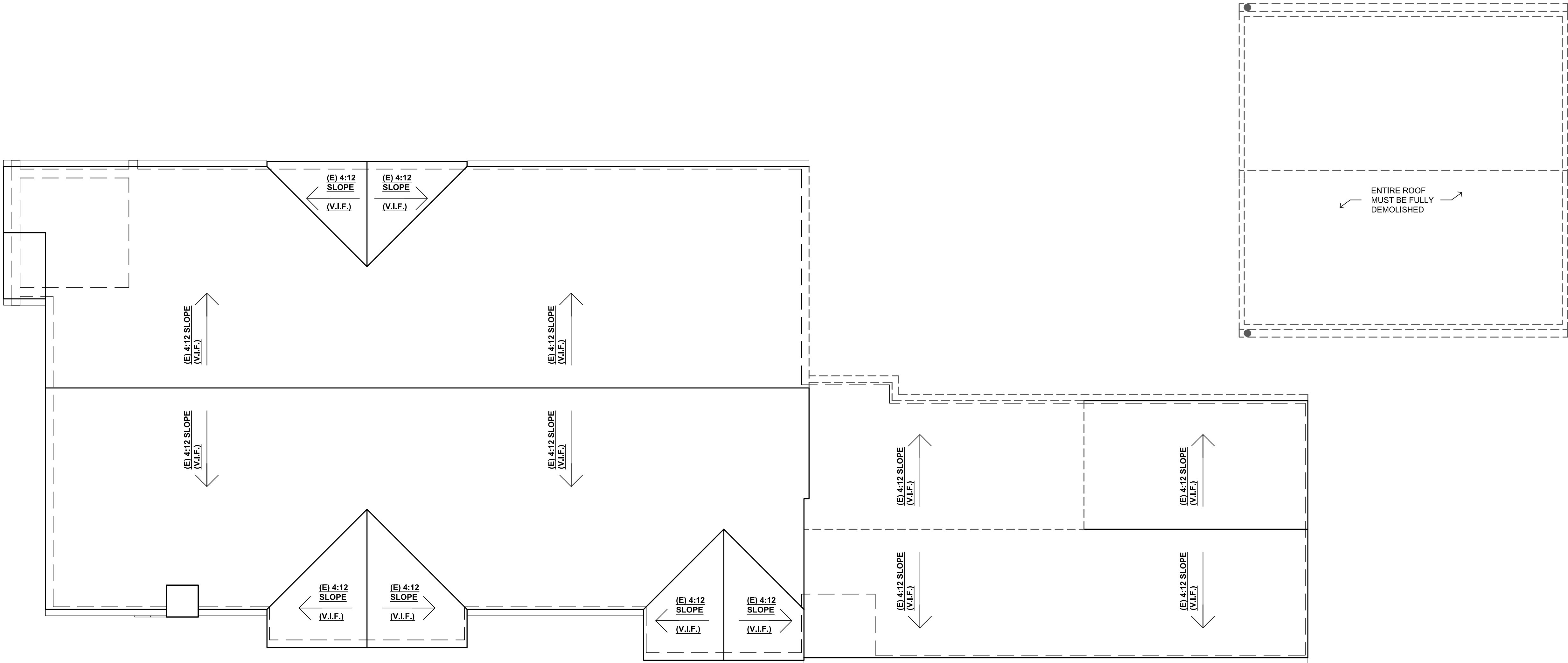
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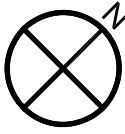
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A1

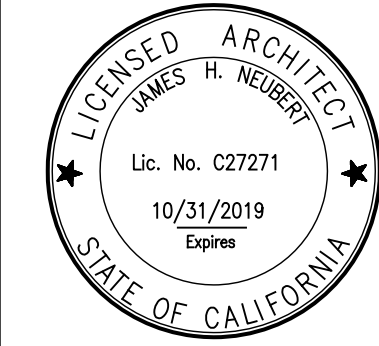
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LEGEND	
SYMBOL	DESCRIPTION
	EXISTING WALL TO REMAIN
	(E) CONC. BLOCK WALL
	WALL TO BE REMOVED
	(N) 2x4 WOOD STUD WALL
	ELEVATION VIEW
	DRAWING NUMBER
	SHEET NUMBER
	DIRECTION OF CUT / VIEW



DEMOLITION ROOF PLAN 

SCALE: 1/4" = 1'-0"

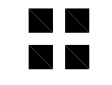


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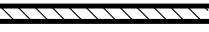
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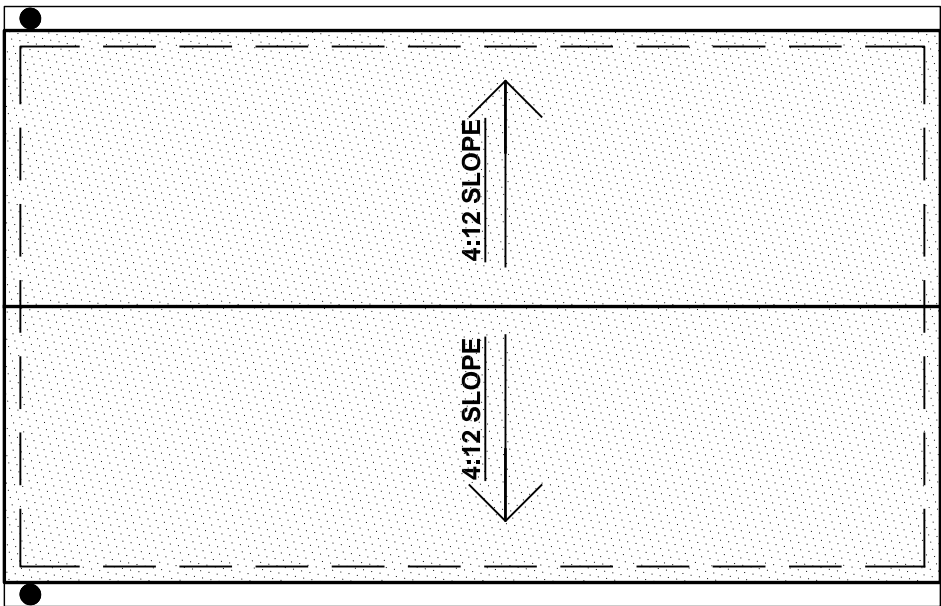
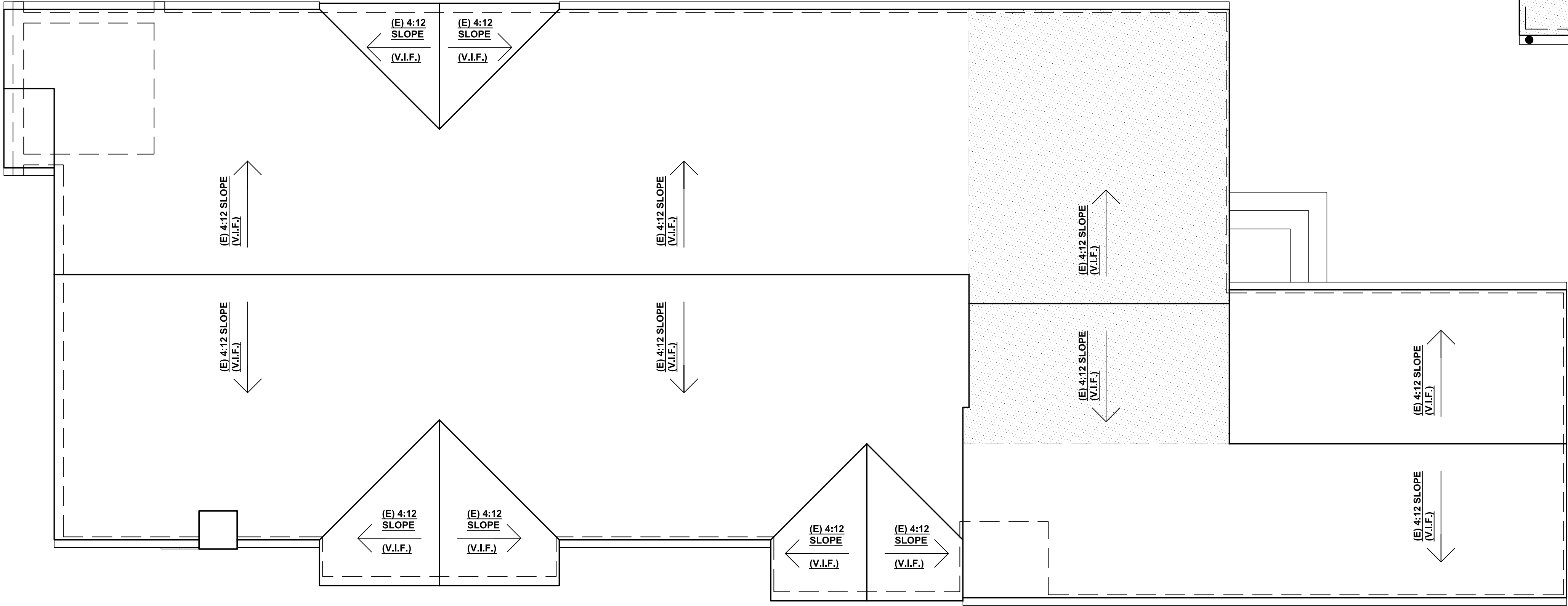
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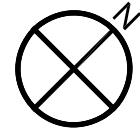
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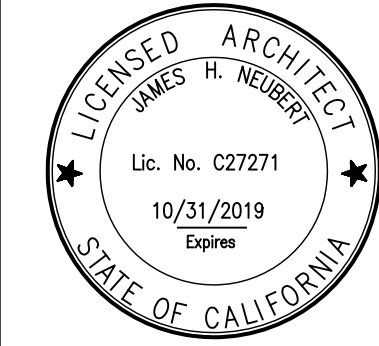
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	DRAWING NUMBER
	SHEET NUMBER
	DIRECTION OF CUT / VIEW



PROPOSED ROOF PLAN 

SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

DATE: 1.22.19

REVISIONS:

PROPOSED ROOF PLAN
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