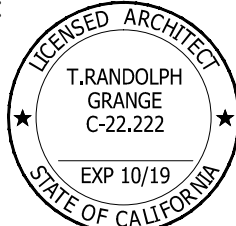


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INTERIOR DESIGN

1014 Howard Avenue  
San Mateo, California 94401  
FAX 650.579.0115  
650.579.5762  
E-Mail: admin@trgarch.com

Architect:



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Consultant(s):

Project:

**McVEIGH  
RESIDENCE**

**New Residence**

**APN: 028-284-040**

**329 Occidental Ave  
Burlingame, CA 94010**

Owner(s):

**JULIA AND JOE McVEIGH**

Sheet Contents:

**EXTERIOR ELEVATIONS**

Scale: AS NOTED

Drawn by:

Checked By: TRG

Job:

Date: PLANNING SUBMITTAL 12-11-18

Status:

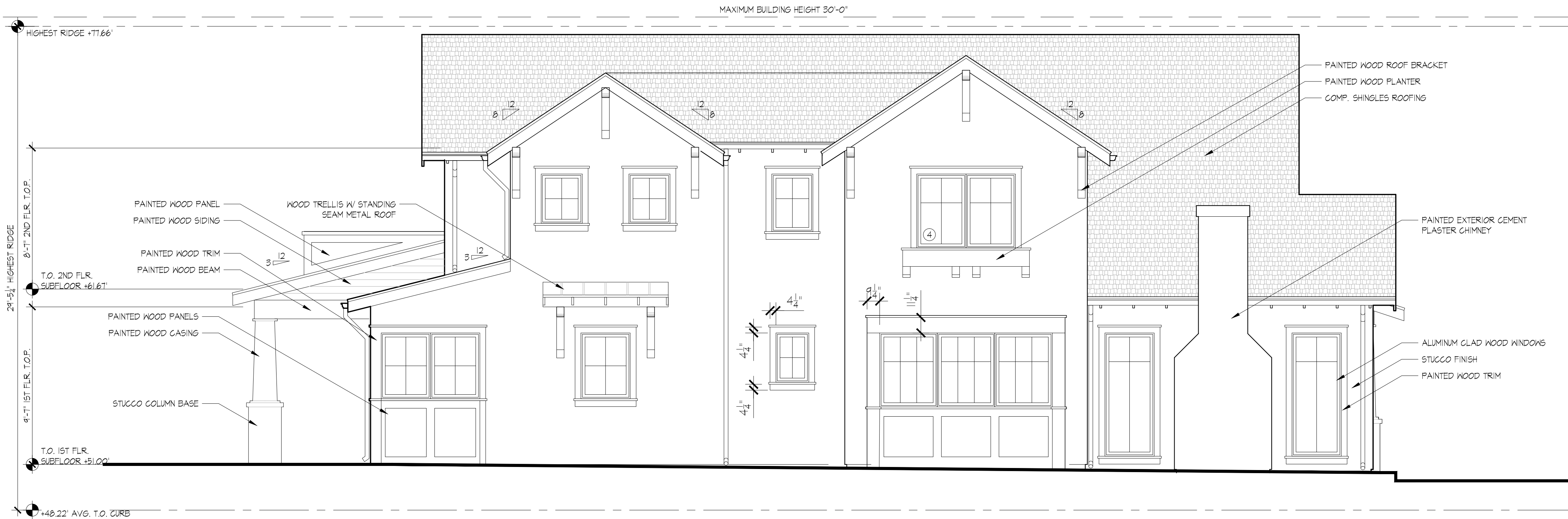
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Of \_\_\_\_\_ Sheets

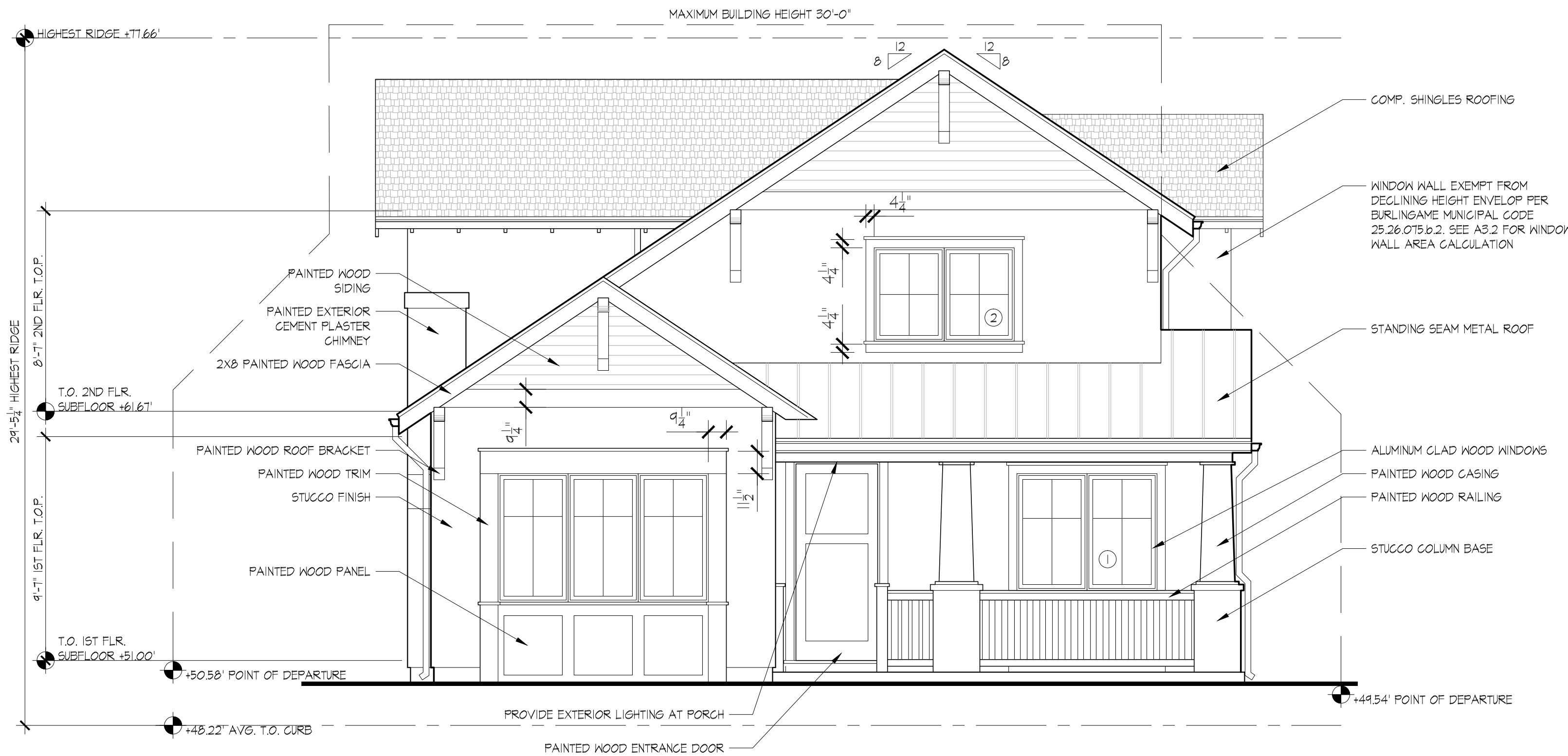


**LEFT ELEVATION**

SCALE: 1/4" = 1'-0"

**2**

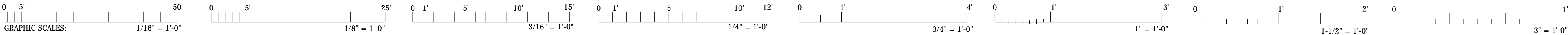
EGRESS WINDOW CHART			
WINDOW	SIZE	NET CLEAR OPENING AREA	SILL HEIGHT
1	36" X 60"	32" X 58" = 12.89 sf	+36" A.F.F.
2	36" X 48"	32" X 44" = 9.78 sf	+36" A.F.F.
3	36" X 84"	34" X 84" = 19.83 sf	SWING DOOR
4	36" X 54"	32" X 52" = 11.55 sf	+30" A.F.F.



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

**1**

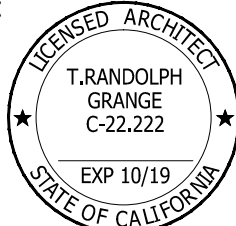


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**EXTERIOR ELEVATIONS**

Scale: AS NOTED

Drawn by:

Checked By: TRG

Job:

Date: PLANNING SUBMITTAL 12-11-18

Status:

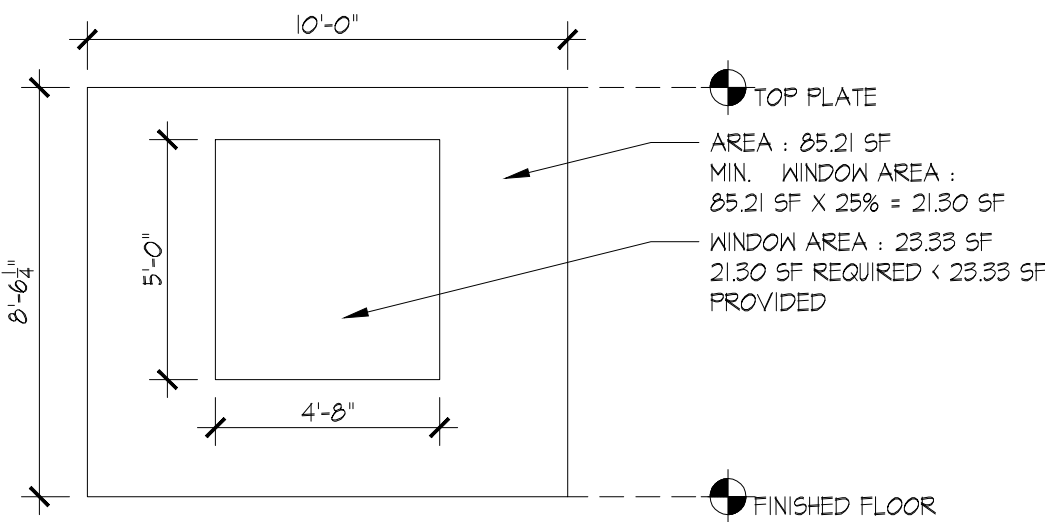
REVISIONS

No.	Revisions	By	Date	Appr.
1	REVISION SET 1	CR	01-16-19	

Sheet:

**A3.2**

Of \_\_\_\_\_ Sheets



**WINDOW WALL AREA CALCULATION**



**RIGHT ELEVATION**

SCALE: 1/4" = 1'-0"

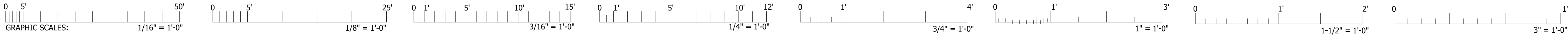
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**REAR ELEVATION**

SCALE: 1/4" = 1'-0"

1



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Architect:

**T. RANDOLPH GRANGE**  
C-22,222  
EXP 10/19  
STATE OF CALIFORNIA

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APN: 028-284-040  
329 Occidental Ave  
Burlingame, CA 94010

Owner(s):

**JULIA AND JOE McVEIGH**

Sheet Contents:

**PROPOSED GARAGE  
FLOOR PLAN &  
ELEVATIONS**

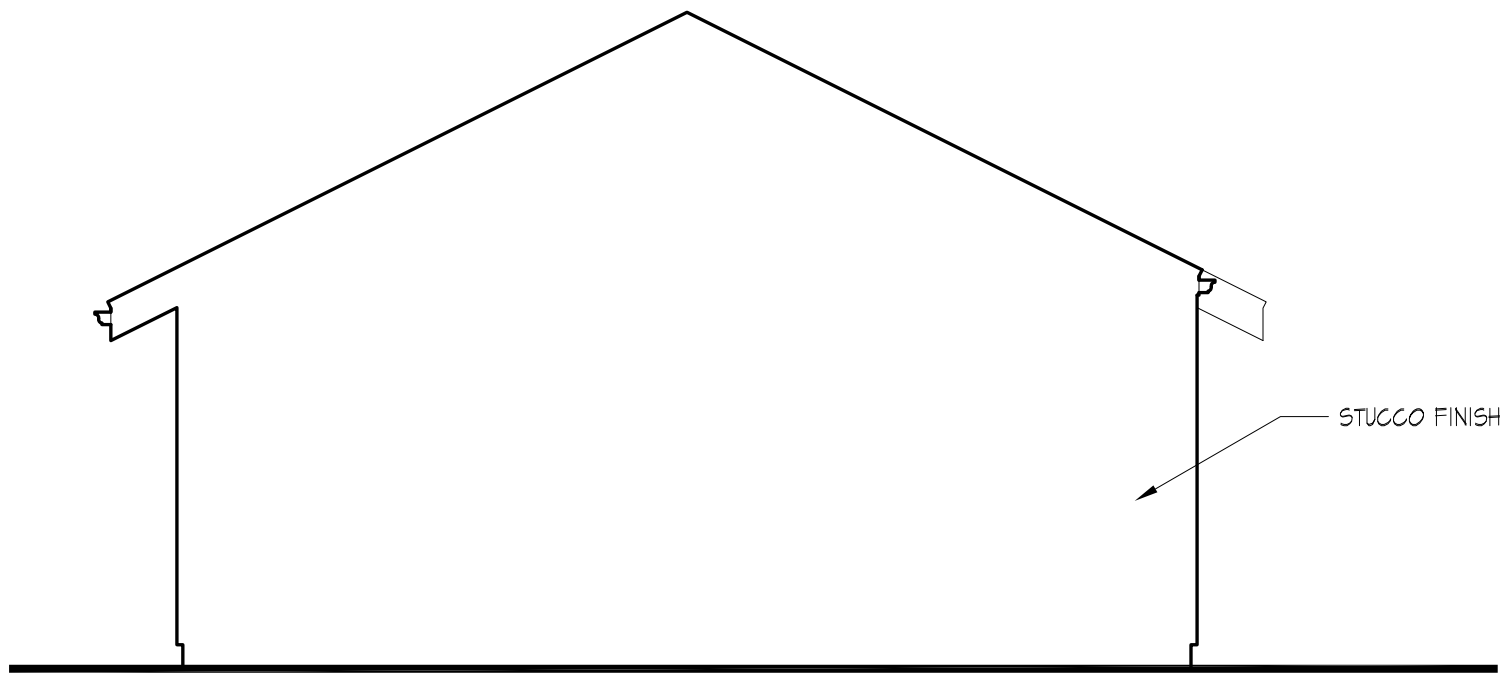
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Status:

REVISIONS				
No.	Revisions	By	Date	Appr.
1	REVISION SET 1	CR	01-16-19	

Sheet:

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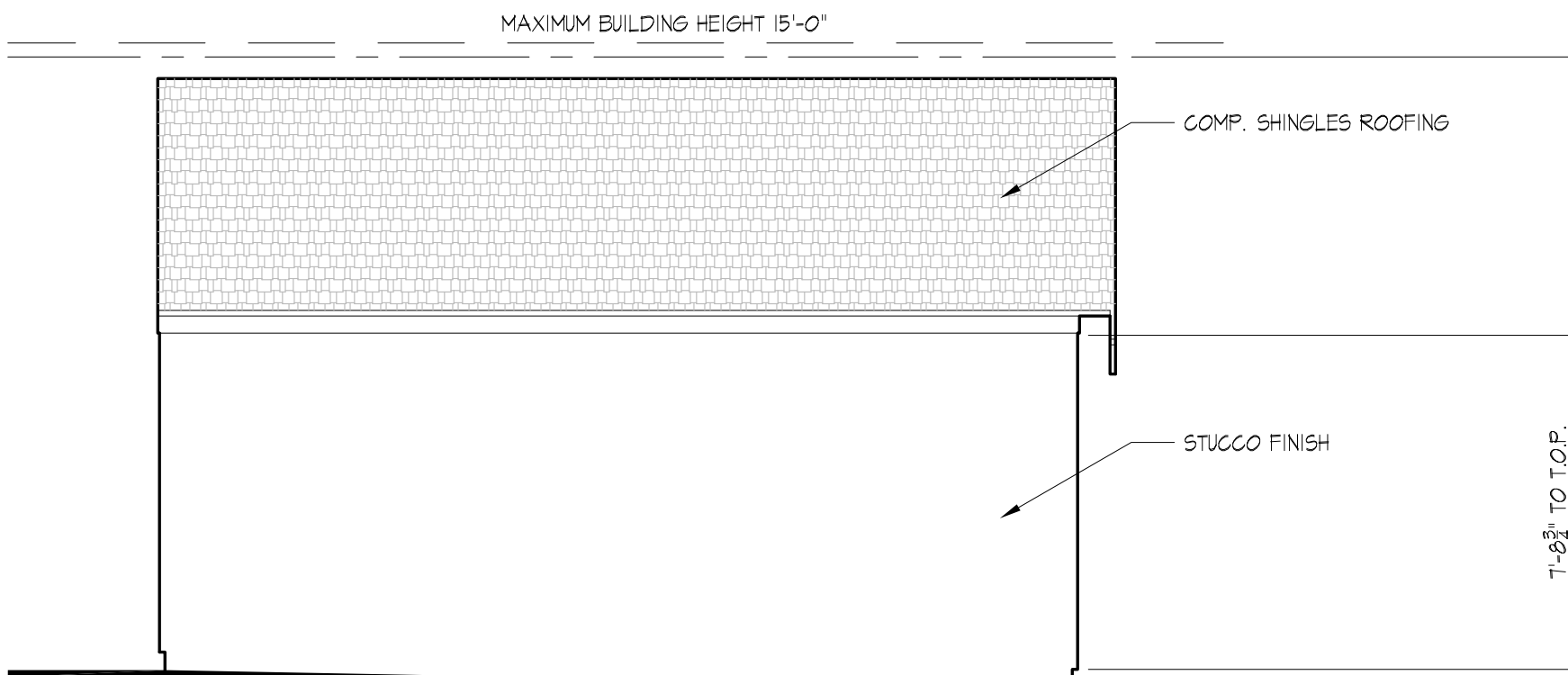
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**PROPOSED GARAGE REAR ELEVATION**

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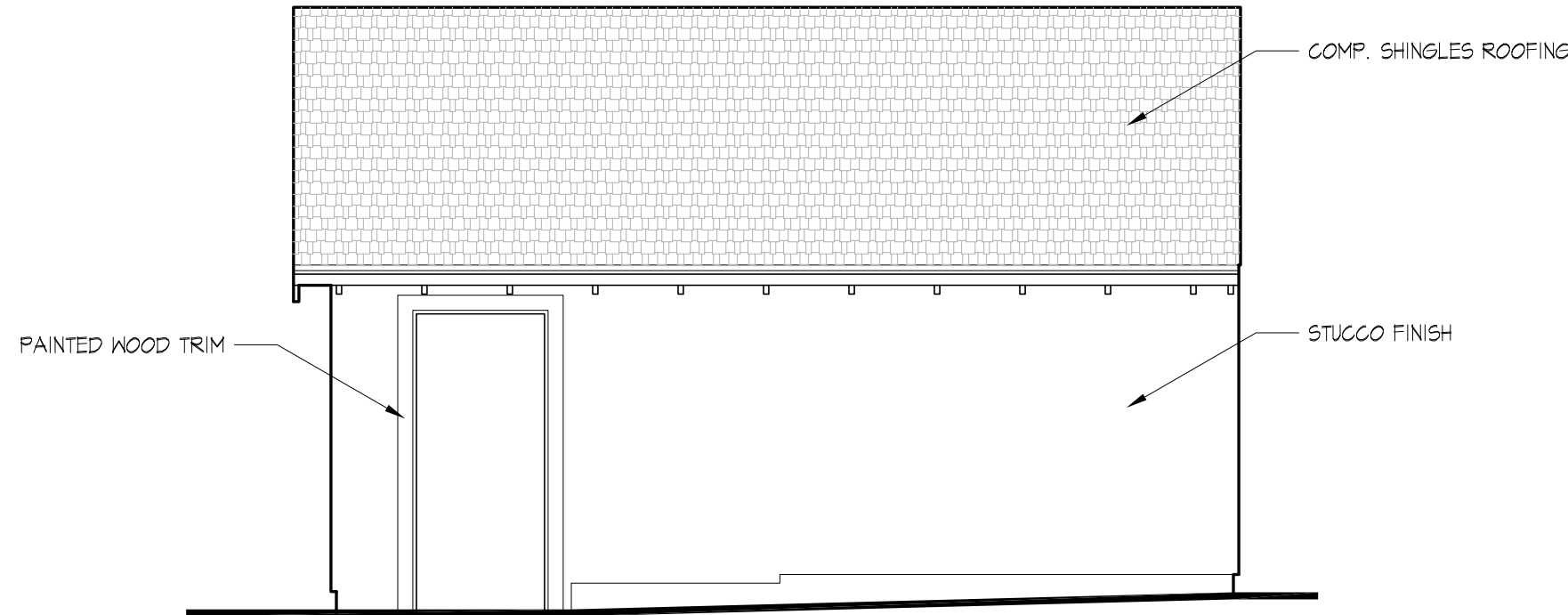
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**PROPOSED GARAGE LEFT ELEVATION**

SCALE: 1/4" = 1'-0"

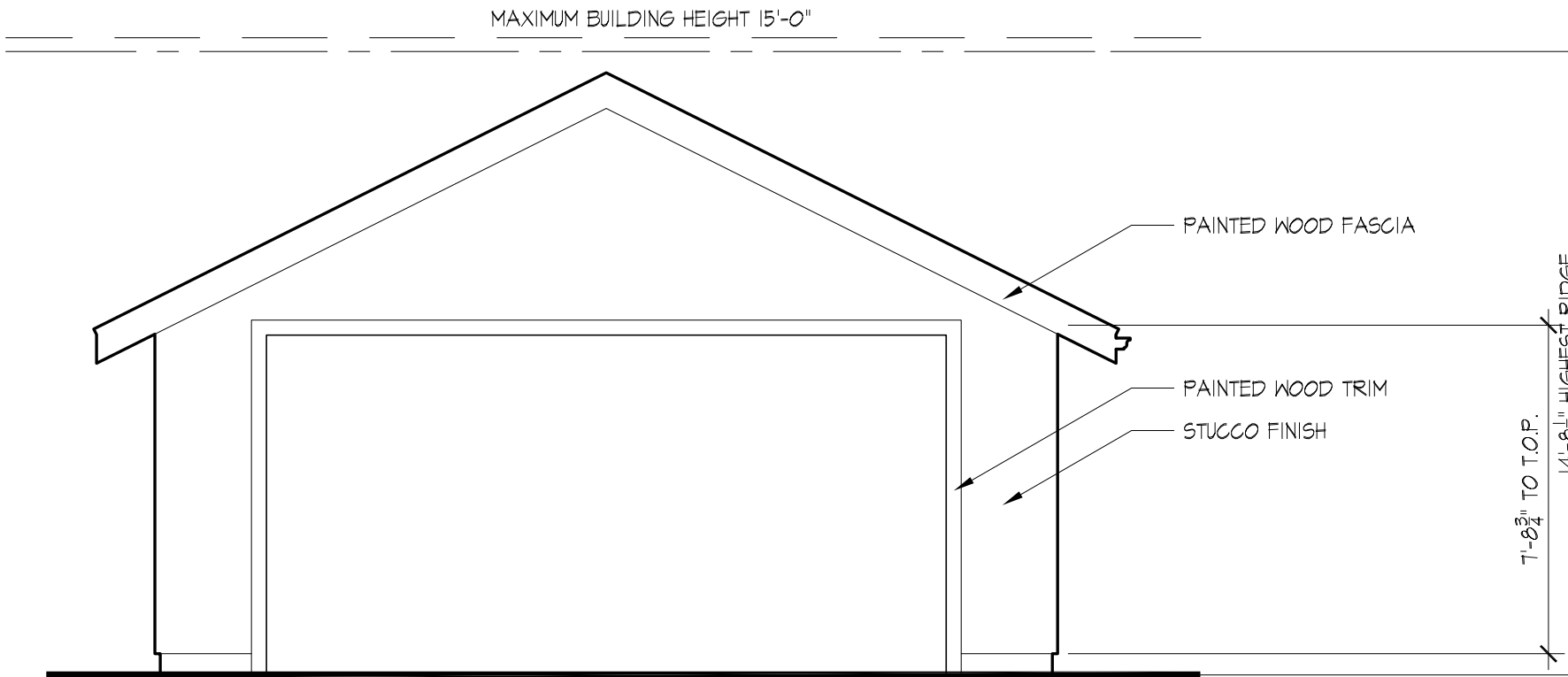
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**PROPOSED GARAGE LEFT ELEVATION**

SCALE: 1/4" = 1'-0"

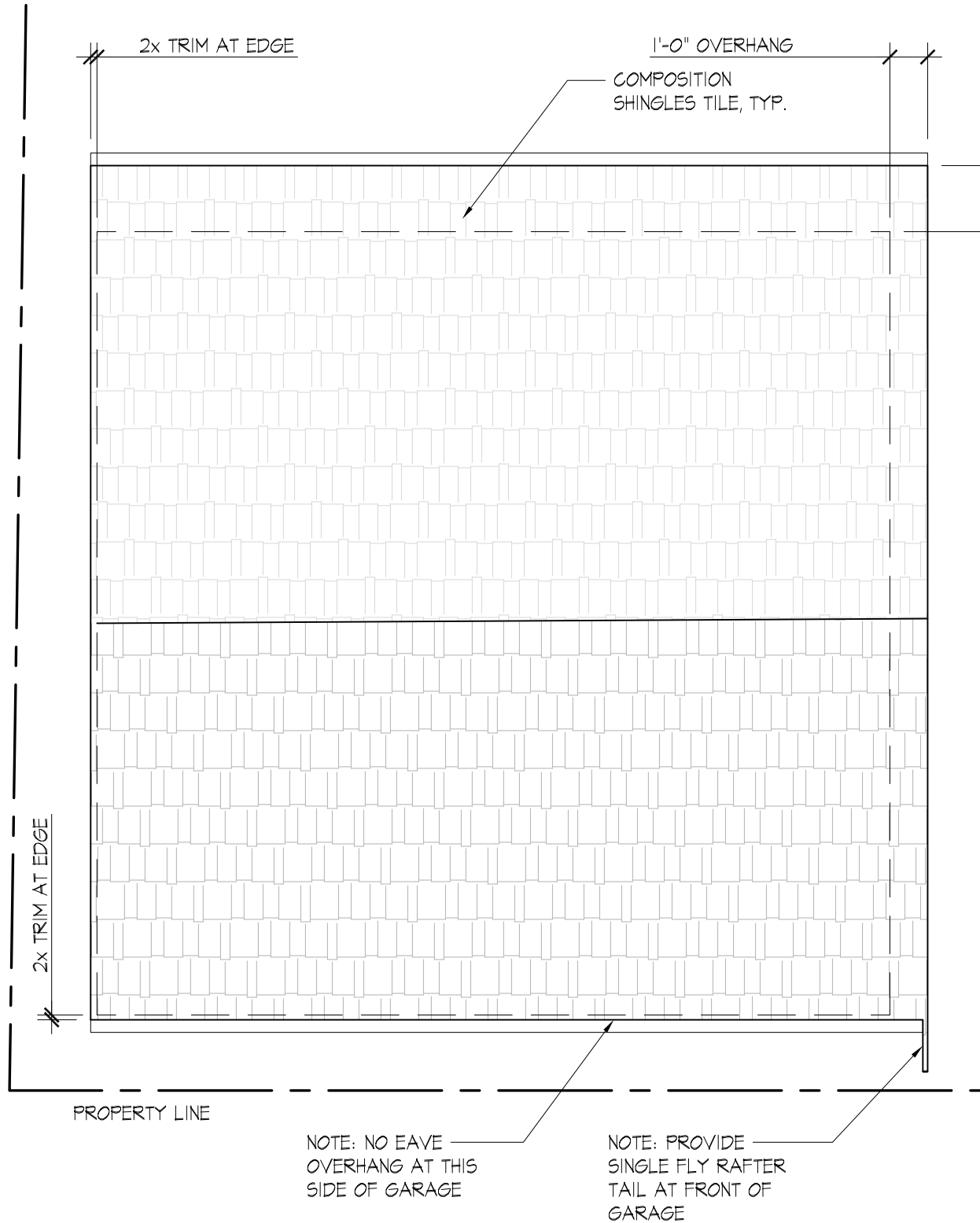
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**PROPOSED GARAGE FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

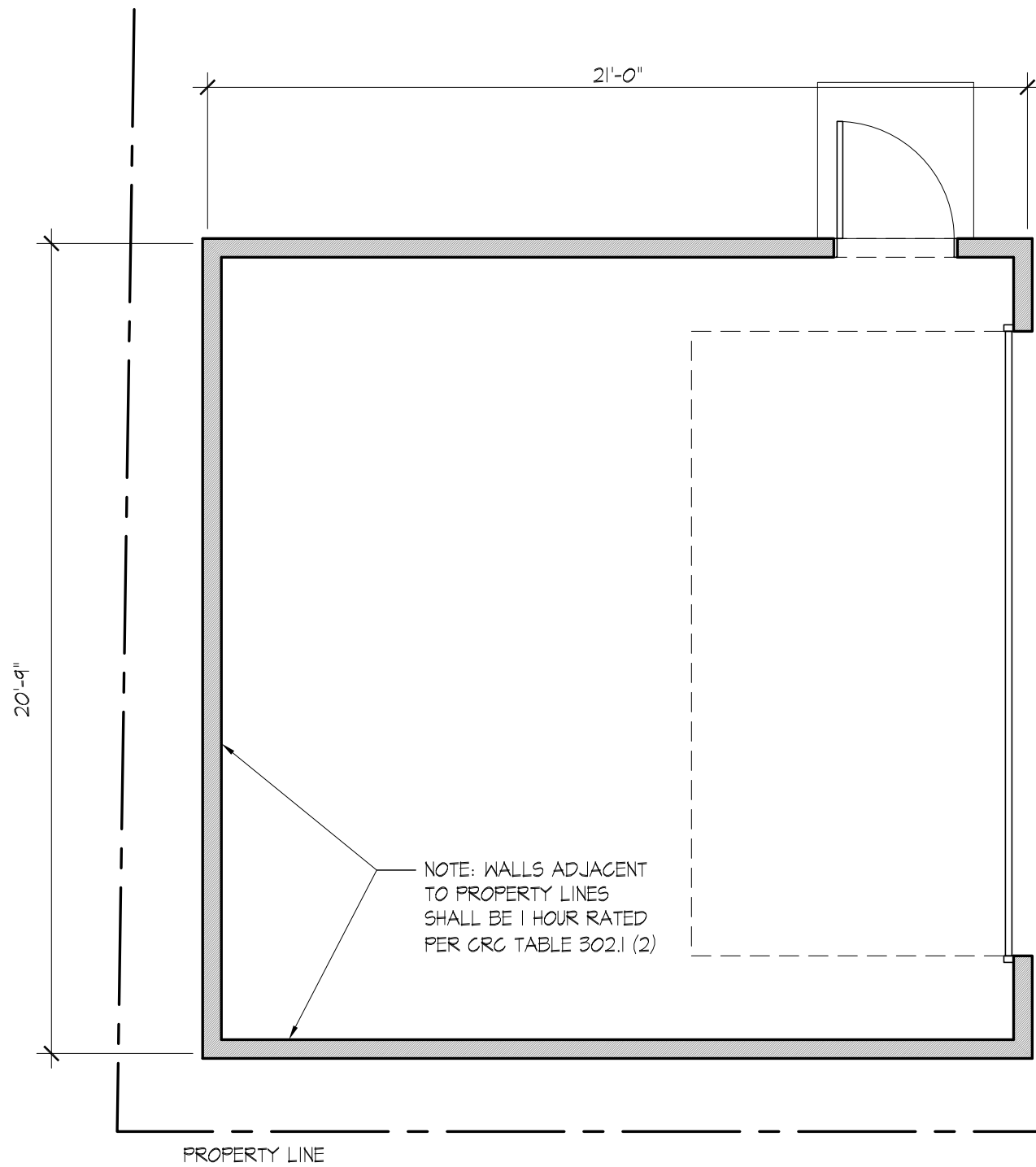
3



**PROPOSED GARAGE ROOF PLAN**

SCALE: 1/4" = 1'-0"

2



**PROPOSED GARAGE FLOOR PLAN**

SCALE: 1/4" = 1'-0"

1

## GENERAL NOTES

### CODE COMPLIANCE:

CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES:

-2016 CALIFORNIA BUILDING CODE  
-2016 CALIFORNIA RESIDENTIAL CODE  
-2016 CALIFORNIA ELECTRICAL CODE  
-2016 CALIFORNIA MECHANICAL CODE  
-2016 CALIFORNIA PLUMBING CODE  
-2016 CALIFORNIA ENERGY CODE  
-2016 CALIFORNIA FIRE CODE  
-2016 CALIFORNIA GREEN BUILDING STANDARDS CODE

-INCLUDING ALL AMENDMENTS AS ADOPTED IN ORDINANCE 1856-2010, 1884-2016

PLANS SHALL COMPLY WITH THE 2016 CALIFORNIA ENERGY EFFICIENCY STANDARDS (CEES).

PLANS SHALL COMPLY WITH THE 2010 UNIFORM FIRE CODE AS AMENDED BY THE CITY OF BURLINGAME.

### CONSTRUCTION HOURS:

NO PERSON SHALL ERECT (INCLUDING EXCAVATE AND GRADING), DEMOLISH, ALTER OR REPAIR ANY BUILDING OR STRUCTURE OTHER THAN BETWEEN THE FOLLOWING HOURS STATED BELOW. HOLIDAYS ARE THE FIRST DAY OF JANUARY, THE THIRD MONDAY IN JANUARY, THE THIRD MONDAY OF FEBRUARY, THE LAST MONDAY OF MAY, JULY 4, THE FIRST MONDAY OF SEPTEMBER, THE SECOND MONDAY IN OCTOBER, NOVEMBER 11, THE FOURTH THURSDAY OF NOVEMBER AND THE TWENTY-FIFTH DAY OF DECEMBER. WHENEVER A HOLIDAY FALLS ON A SUNDAY, THE MONDAY FOLLOWING IS ALSO A HOLIDAY. WHENEVER A HOLIDAY DEFINED ABOVE FALLS ON A SATURDAY, THE FRIDAY PRECEDING IS ALSO A HOLIDAY. THE FOLLOWING MONDAY IS A HOLIDAY.

CONSTRUCTION HOURS SHALL BE AS NOTED PER BURLINGAME MUNICIPAL CODE, SECTION 13.04.100.

WEEKDAYS: 8:00AM - 7:00PM  
SATURDAYS: 9:00AM - 6:00PM  
SUNDAYS AND HOLIDAYS: NO WORK ALLOWED

(SEE CITY OF BURLINGAME MUNICIPAL CODE, SECTION 13.04.100 FOR DETAILS)  
CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT-OF-WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00 A.M. AND 5:00 P.M.

### GENERAL NOTES:

GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS PRIOR TO COMMENCEMENT OF WORK.

DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS IN FIELD. REPORT ANY DISCREPANCIES TO ARCHITECT AND STRUCTURAL ENGINEER BEFORE PROCEEDING W/ WORK.

ALL DIMENSIONS ARE TO FACE OF CONCRETE FOOTING OR STUD, UNO. SEE LEGEND.

PRIOR TO COMMENCEMENT OF WORK, THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL REVIEW THE PLANS, VERIFY DIMENSIONS AND CONDITIONS IN THE FIELD AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES WHICH MIGHT AFFECT THE WORK TO BE DONE.

CONTRACTOR SHALL PROTECT ALL MATERIALS AND CONSTRUCTION FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION DEMOLITION DUST, WATER, ETC. AND SHALL LEAVE THE PREMISES CLEAN AND IN AN ORDERLY MANNER. CONTRACTOR IS RESPONSIBLE FOR MAKING ALL WORK PLUMB, LEVEL, OF SOUND CONSTRUCTION, AND IN COMPLIANCE WITH ALL LOCAL BUILDING CODES. CONTRACTOR TO VERIFY ALL CONDITIONS PRIOR TO THE EXECUTION OF THE WORK, AND NOTIFY THE ARCHITECT OF ANY INCONSISTENCIES WHICH MAY AFFECT THE WORK TO BE DONE.

REFER TO LEGEND BELOW & NOTES ON DEMO PLAN FOR STRUCTURAL ELEMENTS TO BE ALTERED OR REMOVED. REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

PRIOR TO DEMOLITION, VERIFY W/ OWNER & ARCHITECT ALL MECH. EQUIP. PLUMBING FIXTURES, ELECTRICAL EQUIP., LIGHTING, CABINETRY, WINDOWS, DOORS OR OTHER INTERIOR ELEMENTS TO BE REMOVED, REUSED, RECYCLED OR DISCARDED.

GENERAL CONTRACTOR TO VERIFY EXISTING STRUCTURAL & LOAD TRANSFER CONDITIONS PRIOR TO DEMOLITION & INSURE ADEQUATE TEMPORARY SHORING IS PROVIDED AS NEEDED DURING CONSTRUCTION.

ANY REMOVAL OF ASBESTOS SHALL COMPLY W/ ALL APPLICABLE LAWS AND ORDINANCES.

### PROJECT NOTES:

THIS PROJECT SHALL COMPLY WITH THE CITY'S NPDES PERMIT REQUIREMENT TO PREVENT STORM WATER POLLUTION. A COPY OF THE CITY'S METHODS OF PREVENTING STORM WATER POLLUTION WILL BE ATTACHED TO THE CONSTRUCTION DOCUMENTS WHEN SUBMITTED TO THE BUILDING DEPT.

ANY HIDDEN CONDITIONS THAT REQUIRE WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT ISSUED FOR THESE PLANS MAY REQUIRE FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION. THE BUILDING OWNER, PROJECT DESIGNER AND/OR CONTRACTOR MUST SUBMIT A REVISION TO THE CITY FOR ANY WORK NOT GRAPHICALLY ILLUSTRATED IN THESE PLANS PRIOR TO PERFORMING THIS WORK.

### PROJECT NOTES (CONTINUED):

THE PROJECT SHALL DESIGN AND CONSTRUCT FRONTAGE PUBLIC IMPROVEMENTS INCLUDING CURB, GUTTER, SIDEWALK AND OTHER NECESSARY APPURTENANT WORK PER CITY'S STANDARDS.

ALL INTERIOR WALLS & CEILINGS TO BE 5/8" GYPSUM BOARD UNO.

### EXTERIOR LIGHTING:

EXTERIOR LIGHTING SHALL BE DESIGNED AND LOCATED SO THAT THE CONE OF LIGHT AND/OR GLARE FROM THE LIGHTING ELEMENT IS KEPT ENTIRELY ON THE PROPERTY OR BELOW THE TOP OF ANY FENCE, EDGE OR WALL (BURLINGAME MUNICIPAL CODE 18.16.030).

EXTERIOR LIGHTING OUTLETS AND FIXTURES SHALL NOT BE LOCATED MORE THAN 9' ABOVE ADJACENT GRADE OR REQUIRED LANDING; WALLS OR PORTIONS OF WALLS SHALL NOT BE FLOODLIT; ONLY SHIELDED LIGHT FIXTURES WHICH FOCUS LIGHT DOWNWARD SHALL BE ALLOWED, EXCEPT FOR ILLUMINATED STREET NUMBER REQUIRED BY THE FIRE DEPARTMENT.

LIGHTING SHALL BE PROVIDED AT ALL EXTERIOR LANDINGS.

### RESIDENTIAL FIRE SPRINKLER SYSTEM REQUIRED:

- A RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE PROVIDED THROUGHOUT THE BUILDING. FIRE SPRINKLER PLANS SHALL BE SUBMITTED UNDER SEPARATE PERMIT THROUGH THE FIRE DEPARTMENT FOR APPROVAL PRIOR TO INSTALLATION.
- PROVIDE BACKFLOW PREVENTION DEVICE; USE APPROVED DOUBLE CHECK VALVE ASSEMBLY. GC SHALL ENSURE THE DOUBLE CHECK VALVE SHALL BE TESTED AND APPROVED BY A SAN MATEO COUNTY ENVIRONMENTAL HEALTH APPROVED CONTRACTOR PRIOR TO WATER DEP. FINAL INSPECTION.
- MIN. ONE INCH WATER METER REQUIRED.
- FIRE FLOW SHALL MEET REQUIREMENTS OF CFG APPENDIX B. FIRE FLOW FOR RESIDENTIAL BUILDINGS LESS THAN 5600sf SHALL BE PROVIDED AT 1000 gpm UNLESS PROTECTED BY AND AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM, THEN IT MAY BE REDUCED BY 50%. CONTACT BURLINGAME ENGINEERING DEPT.

### DEFERRED SUBMITTALS:

PROVIDE DEFERRED SUBMITTALS FOR THE FOLLOWING ITEMS:

- FIRE SPRINKLER SYSTEM
- TRUSS DESIGN PACKAGE - CONTRACTOR SHALL SUBMIT FINAL TRUSS DESIGN PACKAGE TO ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO PLACEMENT OF ORDER.

ALL DEFERRED SUBMITTALS (SHOP DRAWINGS ALONG WITH CALCULATIONS NOTED TO BE SIGNED BY A REGISTERED CALIFORNIA ENGINEER) AS REQUIRED FOR THIS PROJECT SHALL FIRST BE SUBMITTED TO THE PROJECT ARCHITECT AND/OR ENGINEER OF RECORD FOR REVIEW AND COORDINATION. FOLLOWING THE COMPLETION OF THE REVIEW AND COORDINATION BY THE ENGINEER OF RECORD, A SUBMITTAL MAY THEN BE MADE TO THE CITY BUILDING DEPARTMENT FOR REVIEW AND APPROVAL, WHICH SHALL INCLUDE A LETTER STATING: "THIS REVIEW AND COORDINATION HAS BEEN PERFORMED AND COMPLETED. PLANS AND CALCULATIONS FOR THE DEFERRED ITEMS ARE FOUND TO BE ACCEPTABLE (E.G. WITH REGARD TO GEOMETRY, LOAD CONDITIONS, ETC.) WITH NO EXCEPTIONS."

## LEGEND

### WALLS

(E) WALL TO REMAIN

WALL OR ITEM TO BE REMOVED

OPENING TO BE INFILLED

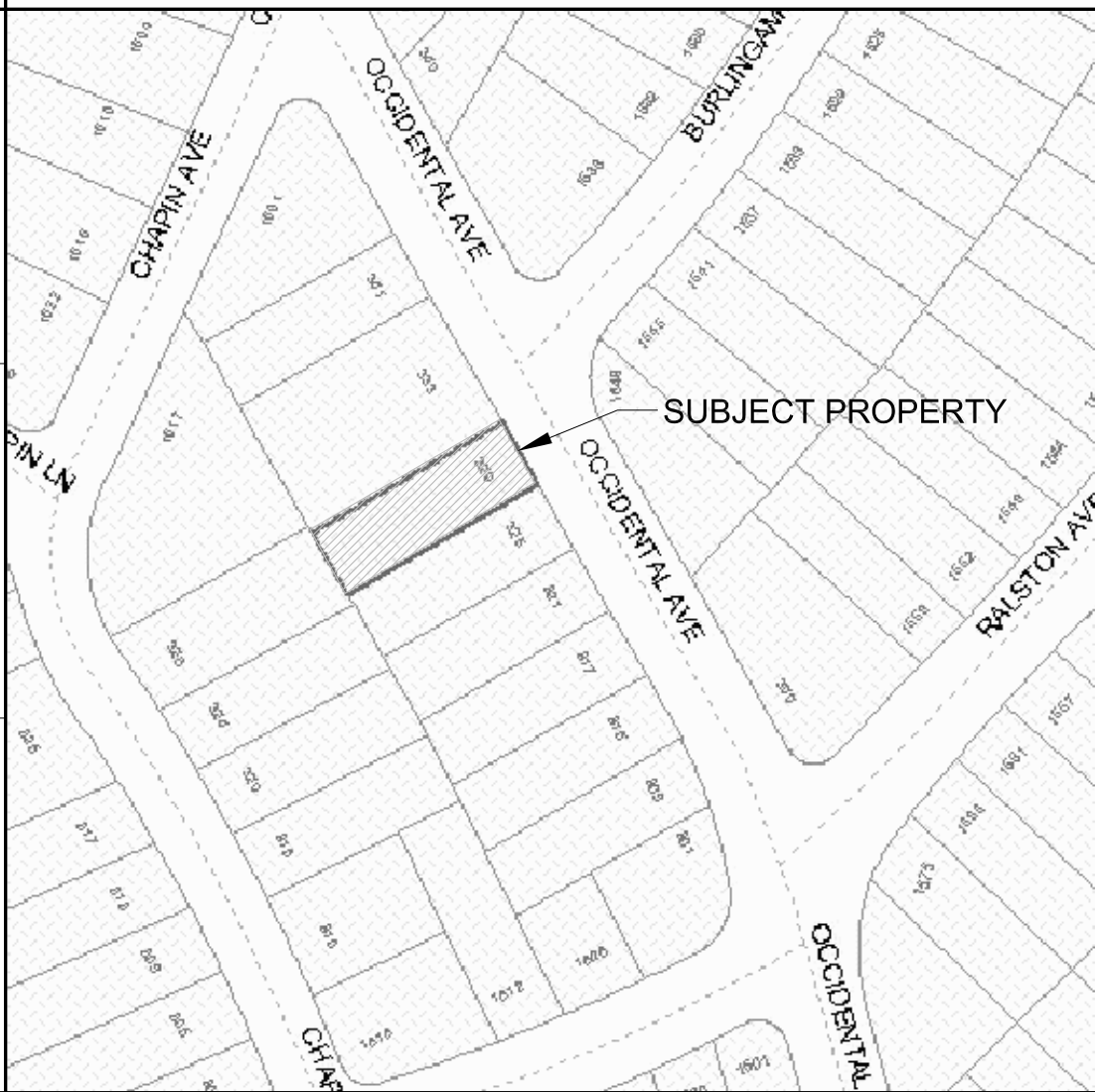
(N) WALL

STUD TO STUD

STUD TO FACE OF FINISH

STUD TO CENTERLINE

## VICINITY MAP



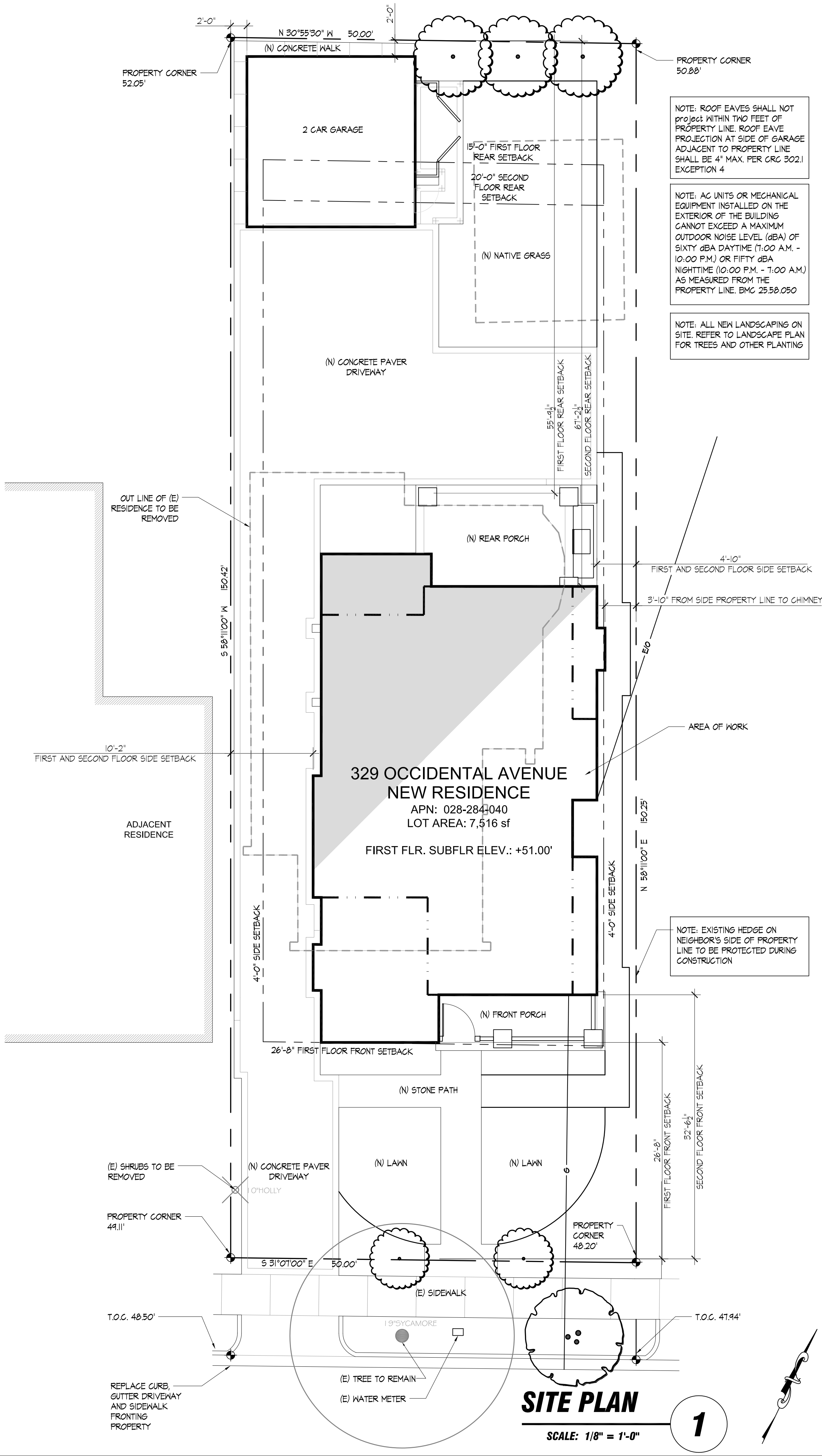
## CONTACTS

### ARCHITECTS

TRG ARCHITECTS, INC.  
1014 HOWARD AVENUE,  
SAN MATEO, CA 94401  
650.579.5762tel  
650.579.0115 fax

### SURVEYOR & CIVIL ENGINEERING

KAVANAGH ENGINEERING  
708 CAROLAN AVE,  
BURLINGAME CA 94010  
650.579-1944 tel



## SITE PLAN

SCALE: 1/8" = 1'-0"

1

## PROJECT DATA

PROJECT ADDRESS: 329 OCCIDENTAL AVE.  
BURLINGAME, CA 94010  
OWNER: JULIA AND JOE McVEIGH  
PARCEL NUMBER: 028-284-040  
LOT AREA: 7,515.6 sf  
MAX. LOT COVER (40%): 3,006.24 sf  
MAX. FLOOR AREA (32% + 1,100sf + 400 sf for detached garage): 3,904.99 sf

PROPOSED FLOOR AREA:  
(N) 1st FLOOR: 2,064 sf  
(N) 2nd FLOOR: 1,403 sf  
(N) GARAGE: 436 sf  
(N) COVERED PORCH: 129 sf  
(200sf exemption) 0 sf

TOTAL FLOOR AREA: 3,903 sf

PROPOSED LOT COVERAGE:  
(N) HOUSE & CHIMNEY: 2,084 sf  
(N) 2nd STORY CANTILEVER: 0 sf  
(N) GARAGE: 436 sf  
(N) COVERED PORCH: 129 sf  
(N) REAR DECK: 0 sf

(N) TOTAL LOT COVERAGE: 2,649 sf

LOT COVERAGE %: 35.25 %

## FRONT SETBACK

HOUSE #	SETBACK
#301 OCCIDENTAL AVE	16.1'
#309 OCCIDENTAL AVE	24.1'
#315 OCCIDENTAL AVE	29.0'
#317 OCCIDENTAL AVE	26.0'
#321 OCCIDENTAL AVE	19.8'
#325 OCCIDENTAL AVE	26.5'
#329 OCCIDENTAL AVE	38.0'
#333 OCCIDENTAL AVE	34.0'
#341 OCCIDENTAL AVE	38.0'
#1601 CHAPIN AVE	15.0'

AVERAGE FRONT SETBACK = 26.65'

## PROJECT SCOPE

REMOVAL OF EXISTING RESIDENCE AND GARAGE.

CONSTRUCTION OF NEW TWO STORY RESIDENCE AND GARAGE.

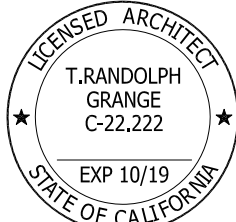
## SHEET INDEX

A0.0	NEIGHBORHOOD PHOTOS
A0.1	COVER SHEET
A2.1	PROPOSED FIRST FLOOR PLAN
A2.2	PROPOSED SECOND FLOOR PLAN
A2.3	PROPOSED ROOF PLAN
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR ELEVATIONS
A3.3	PROPOSED GARAGE FLOOR PLAN & ELEVATIONS
A4.1	BUILDING SECTION
L1.0	LANDSCAPE & IRRIGATION PLAN
T-1	TOPOGRAPHIC MAP & BOUNDARY SURVEY

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**COVER SHEET**

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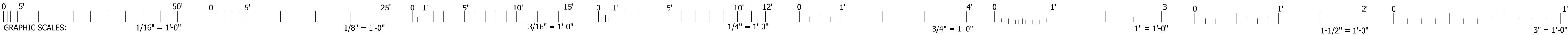
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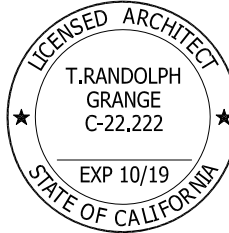


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**PROPOSED ROOF PLAN**

Scale: AS NOTED

Drawn by:

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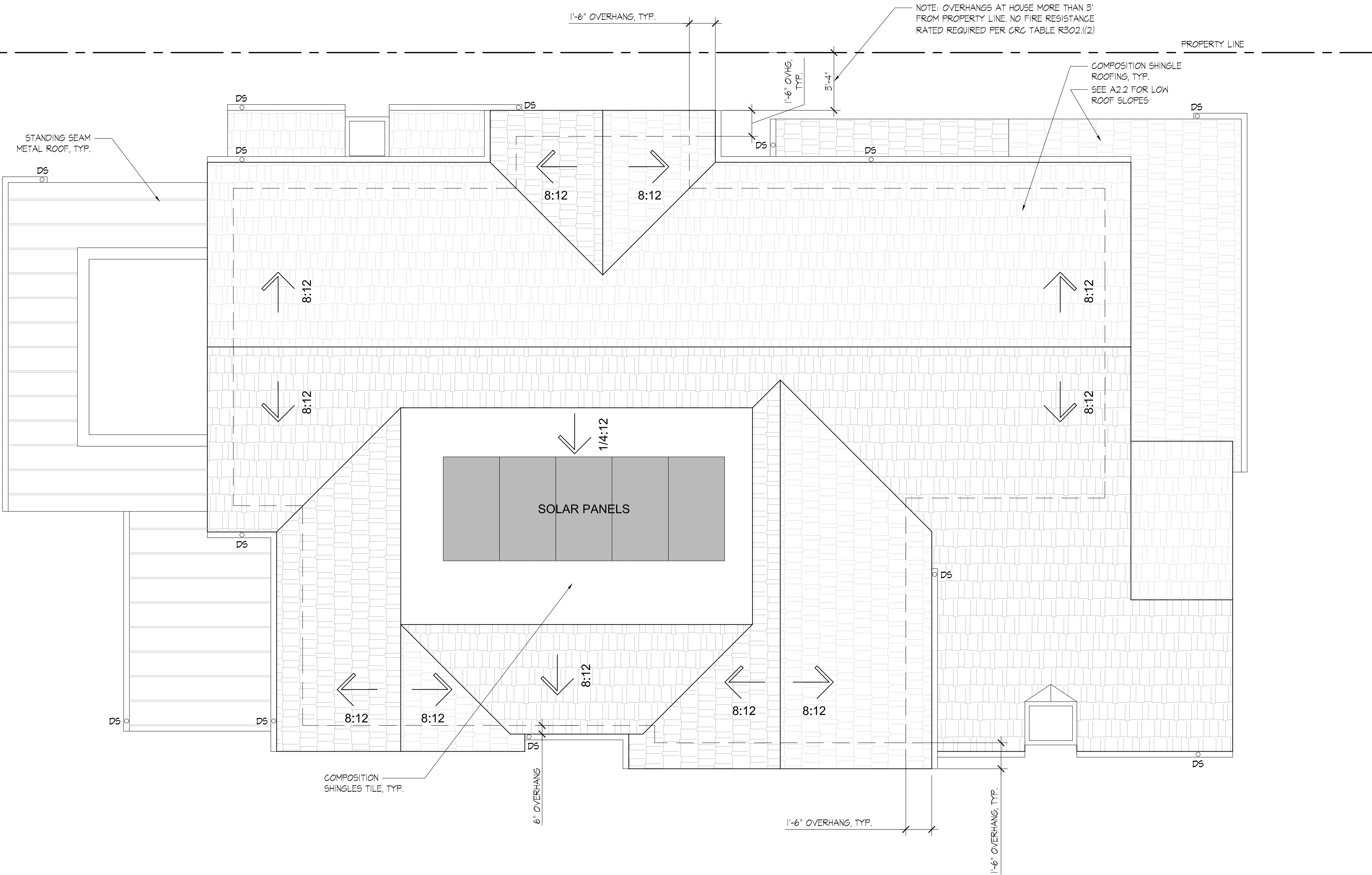
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**A2.3**

Of \_\_\_\_ Sheets

NOTE: CRC SECTION 18.10.100 APPENDIX C, FIGURE C AMENDED -EXIT  
TERMINALS OF MECHANICAL DRAFT AND DIRECT-VENT VENTING SYSTEMS.  
THE FIGURE IN APPENDIX C OF THE 2016 CALIFORNIA RESIDENTIAL CODE IS  
AMENDED BY ADDING THE FOLLOWING NOTE:  
NOTE: WHERE THE PROPERTY LINE IS LESS THAN TEN (10) FEET FORM TEH  
EXIT TERMINAL OF ANY NEWLY INSTALLED OR REPLACEMENT HIGH  
EFFICIENCY MECHANICAL EQUIPMENT THE PIPE SIZE OF THE FINAL TEN  
(10) FEET OF ANY TERMINAL MUST BE INCREASED TO THREE INCHES (3"),  
OR AS AN ALTERNATIVE, MANUFACTURER APPROVED BAFFLES MUST BE  
INSTALLED (ORD. 1856 SECTION 7 (2010); ORD. 1889 SECTION 8 (2103))

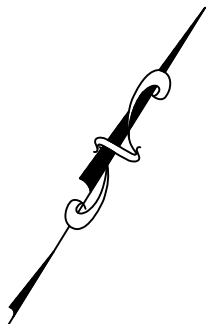
NOTE: MAIN RESIDENCE ROOF EAVES  
SHALL NOT PROJECT WITHIN 2'-0" OF  
PROPERTY LINE

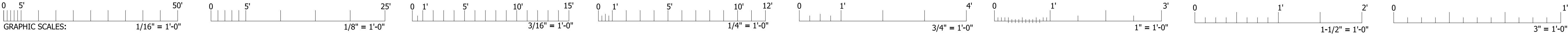


**PROPOSED ROOF PLAN**

SCALE: 1/4" = 1'-0"

1



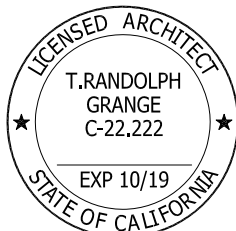


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Architect:



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Consultant(s):

Project:

**McVEIGH  
RESIDENCE**  
**New Residence**  
**APN: 028-284-040**  
**329 Occidental Ave**  
**Burlingame, CA 94010**

Owner(s):

**JULIA AND JOE McVEIGH**

Sheet Contents:

**BUILDING SECTION**

Scale: AS NOTED

Drawn by:

Checked By: TRG

Job:

Date: (DD-MM-YY)

Status:

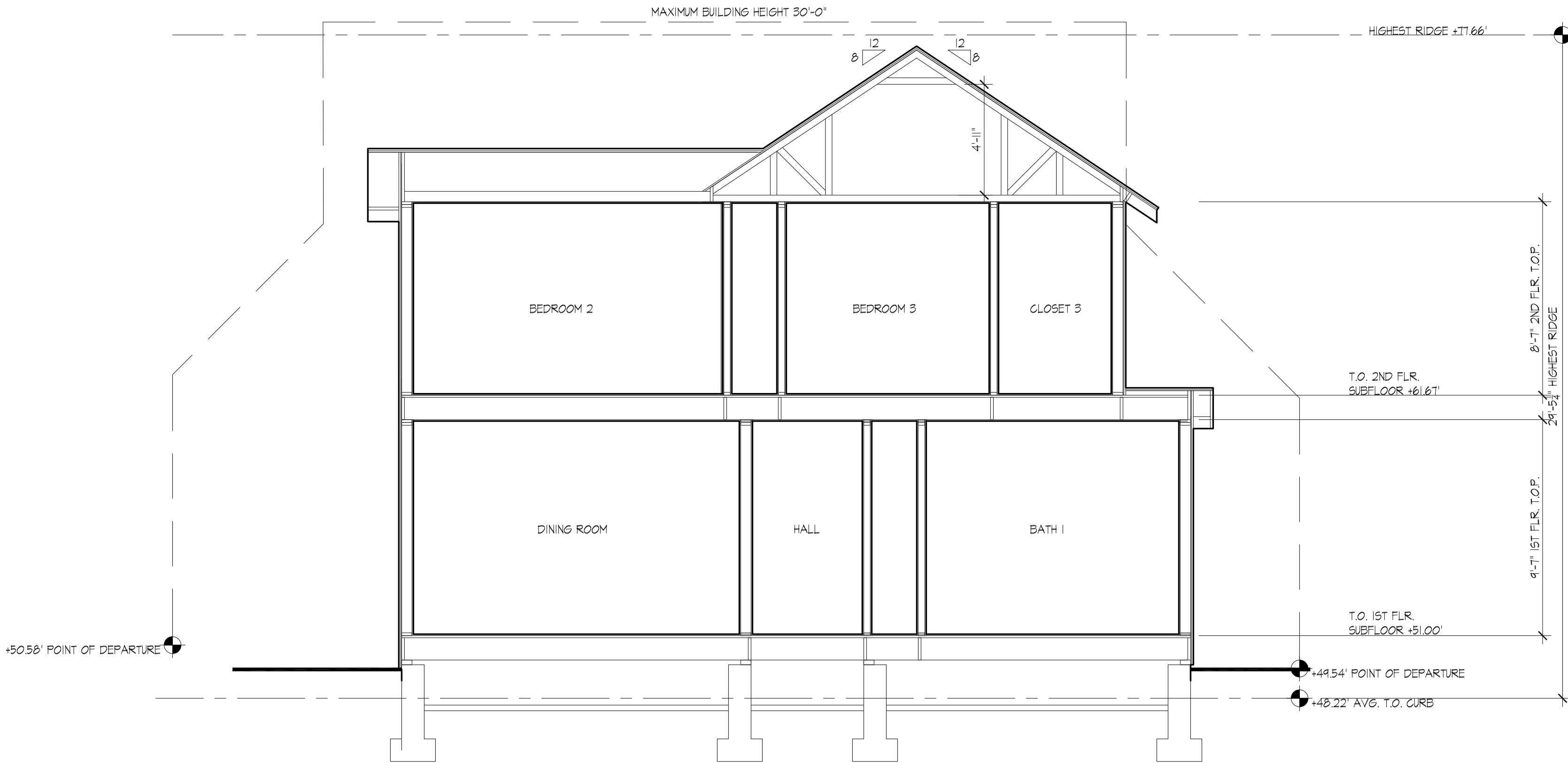
REVISIONS

No.	Revisions	By	Date	Appr.

Sheet:

**A4.1**

OF      Sheets



**BUILDING SECTION**

SCALE: 1/4" = 1'-0"

**1**



