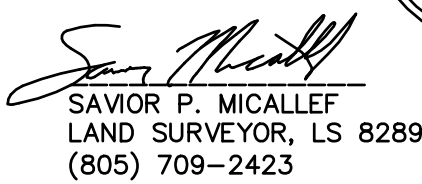




SURVEYOR'S STATEMENT:
THIS TOPOGRAPHIC SURVEY WAS MADE BY ME OR UNDER MY DIRECTION ON THE GROUND AND REPRESENTS MEASUREMENTS MADE JUNE 2016. THE BOUNDARY SHOWN IS A RECORD BOUNDARY ONLY. A TITLE REPORT WAS PROVIDED TO THE SURVEYOR BY THE CLIENT. NO PROPERTY CORNERS WERE FOUND ON THE SUBJECT PROPERTY AND NO WARRANTY IS MADE ABOUT THE BOUNDARY SHOWN. NO EASEMENTS ARE SHOWN. EASEMENTS MAY BE LISTED IN TITLE REPORT.



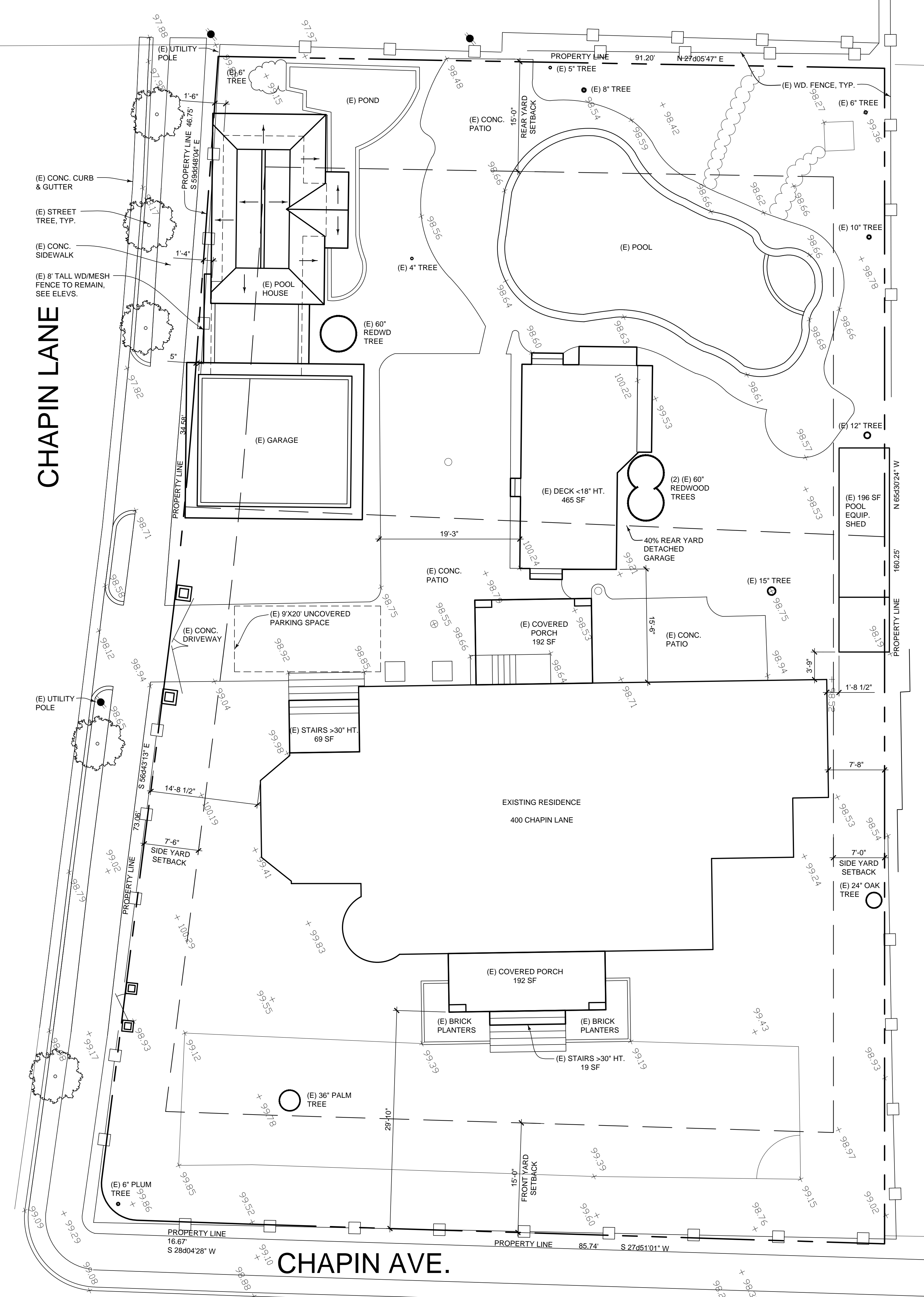
08-22-18
DATE

Drawing Number:

SAVOR P. MICALLEF LAND SURVEYING
421 WILDWOOD DRIVE
SOUTH SAN FRANCISCO, CA 94080
805/709-2423

TOPOGRAPHIC SURVEY OF
400 CHAPIN LANE, BURLINGAME, CA

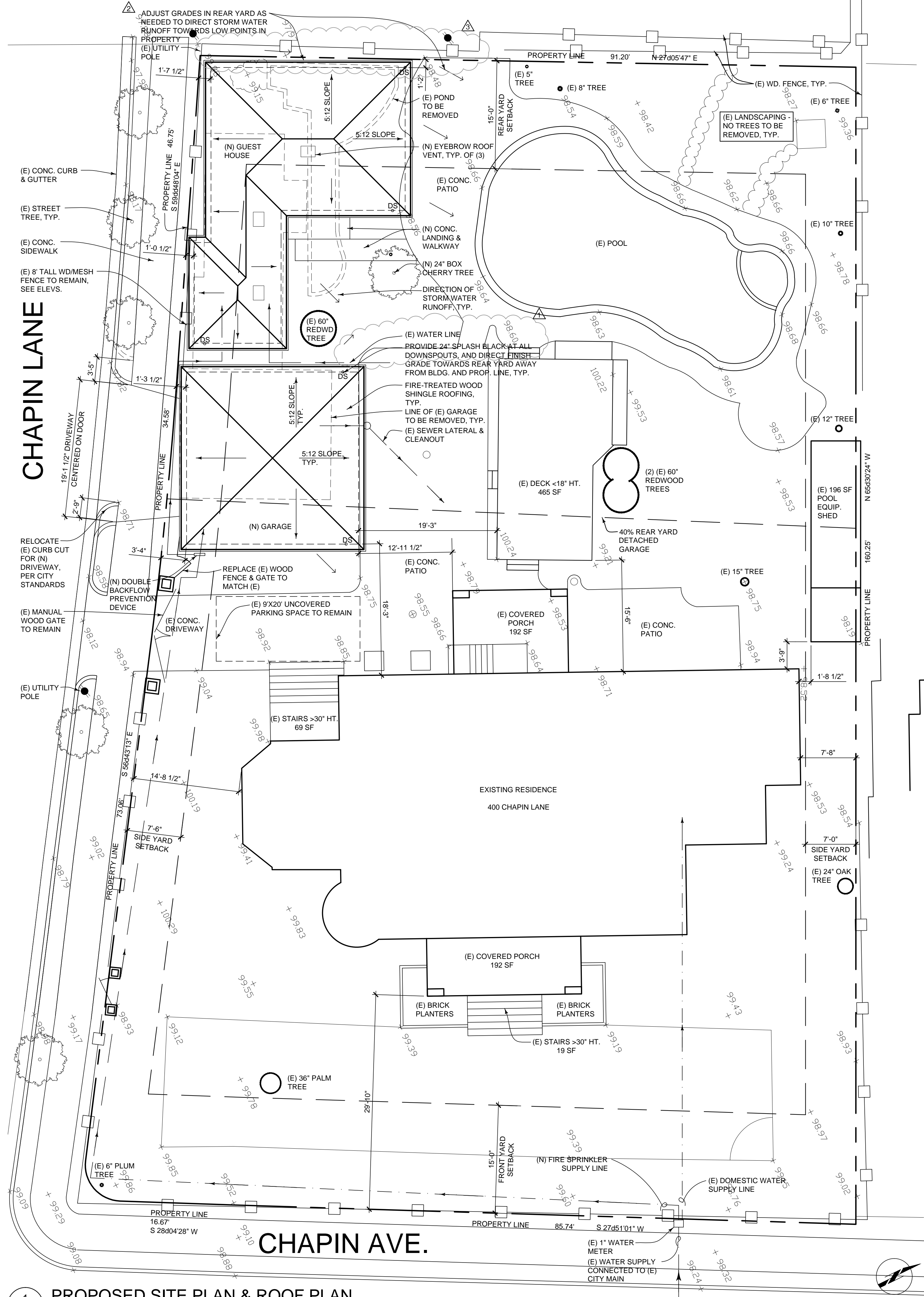
CHAPIN LANE



CHAPIN AVE.

2 EXISTING SITE PLAN & ROOF PLAN
A0.2 1/8"=1'-0"

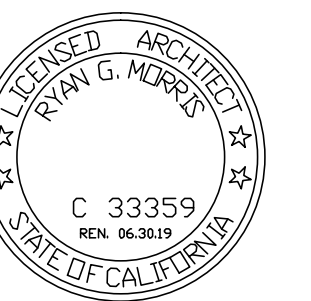
CHAPIN LANE



CHAPIN AVE.

1 PROPOSED SITE PLAN & ROOF PLAN
A0.2 1/8"=1'-0"

JONES RESIDENCE
400 CHAPIN LANE
BURLINGAME, CA 94010



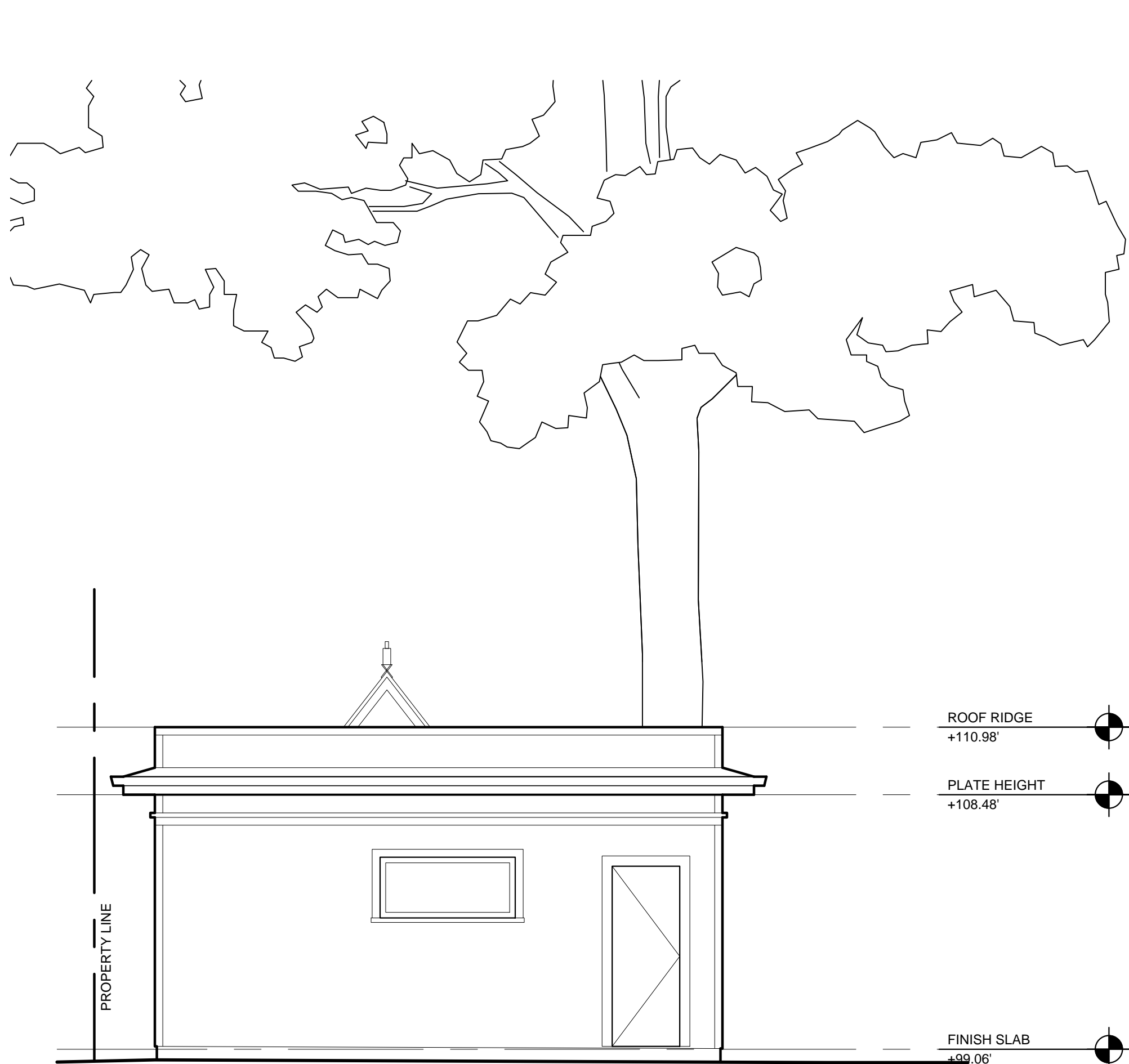
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△ BLDG SUBMITTAL	10.24.17
△ REV 1	03.01.18
△ REV 2	04.12.18
△ REV 3	08.13.18
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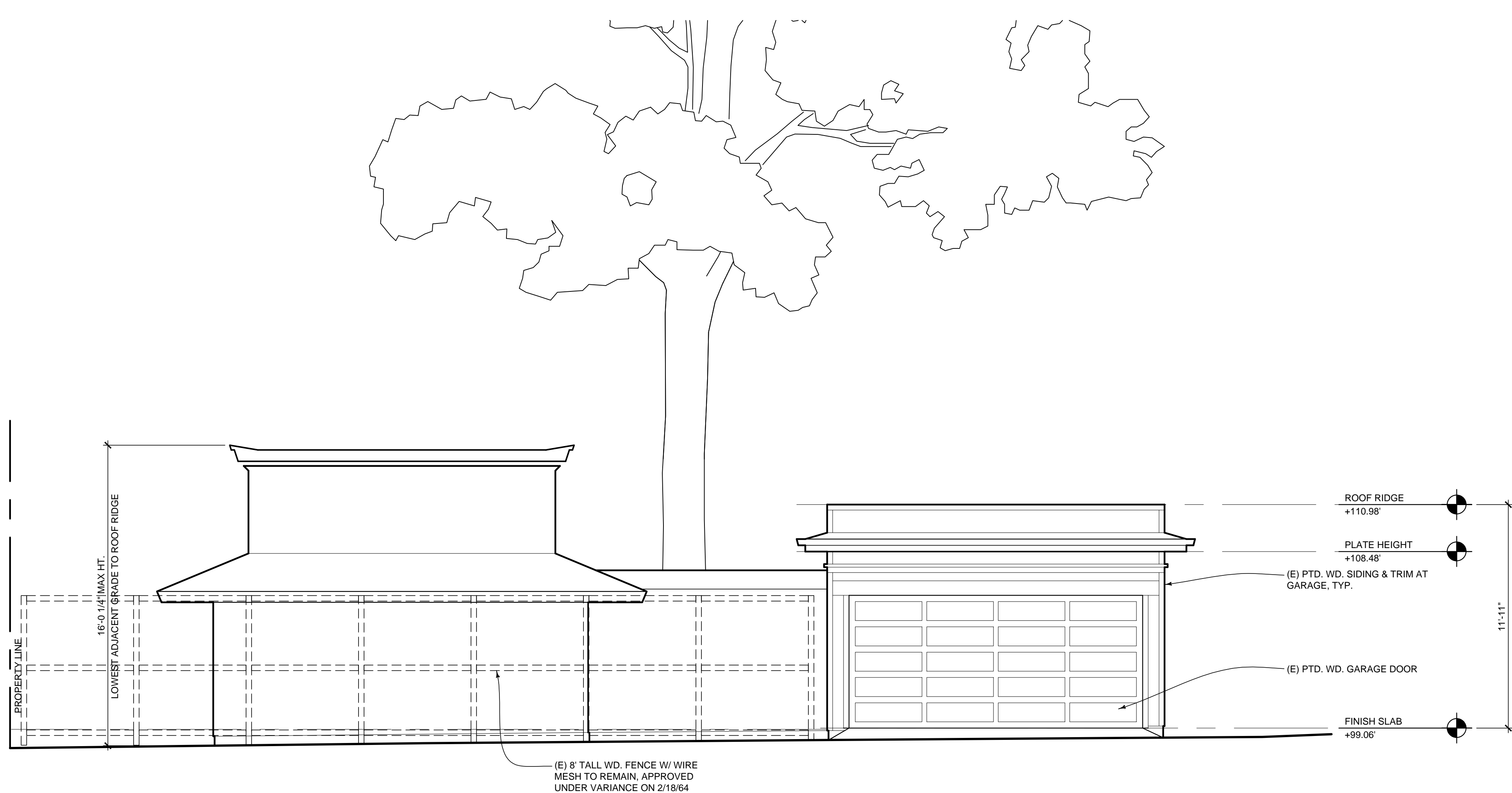
SITE PLANS

JOB #: 1604

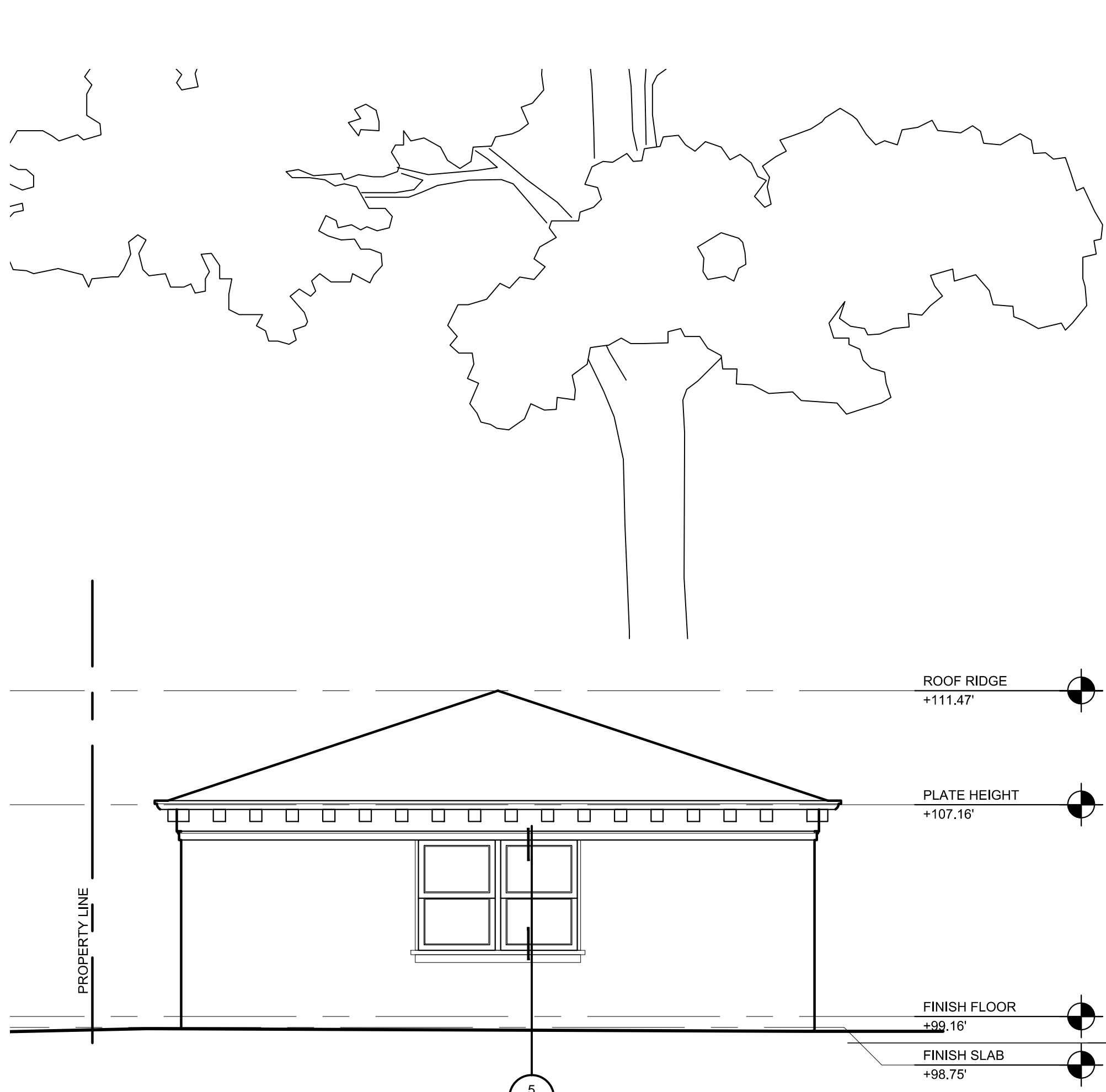
A0.2



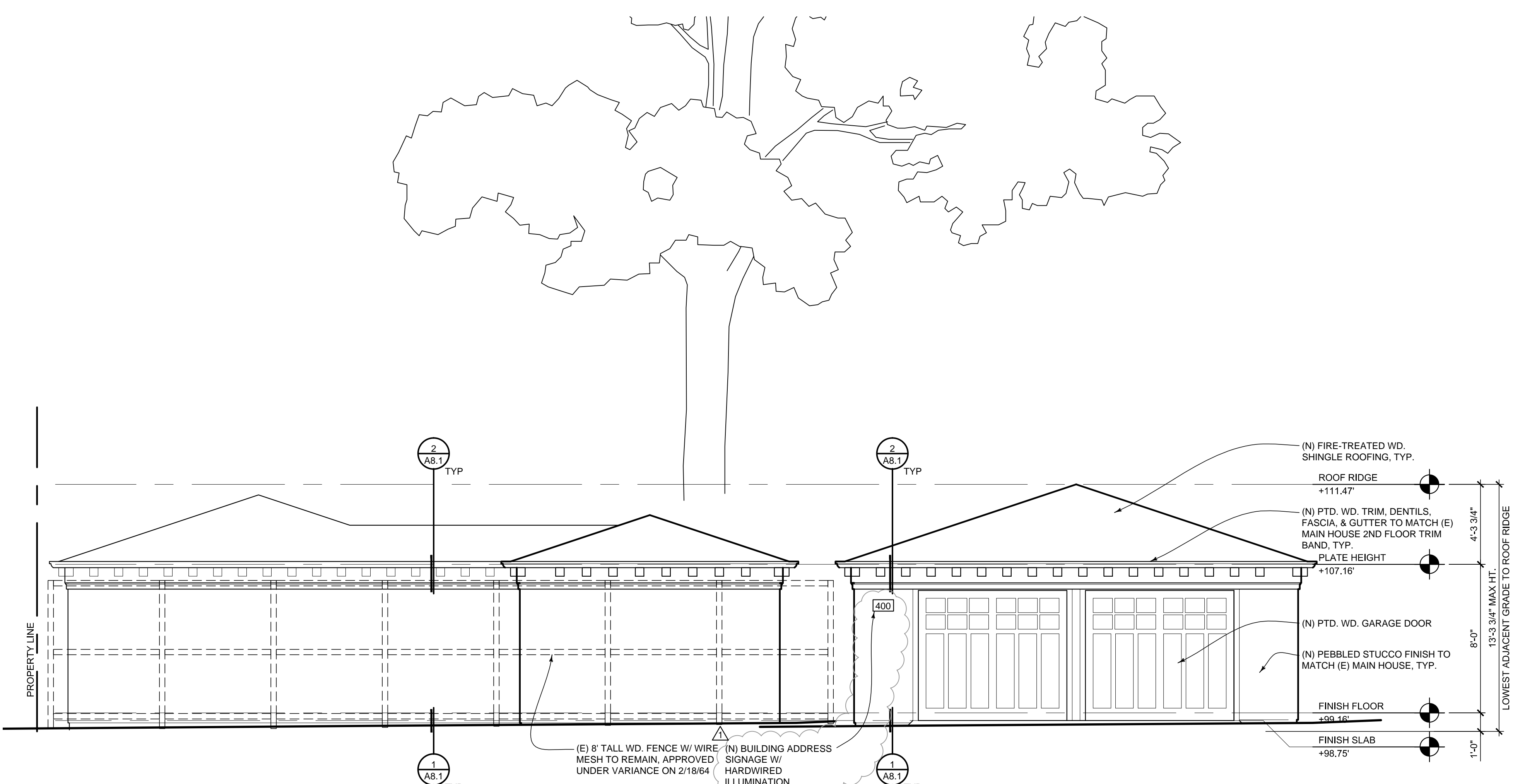
4 EXISTING EAST ELEVATION
A3.1 1/4"=1'-0"



2 EXISTING SOUTH ELEVATION
A3.1 1/4"=1'-0"

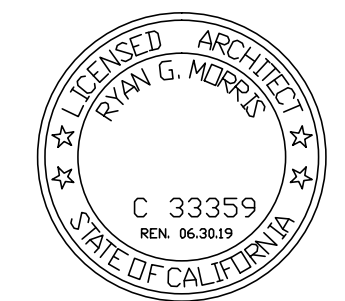


3 PROPOSED EAST ELEVATION (GARAGE)
A3.1 1/4"=1'-0"



1 PROPOSED SOUTH ELEVATION
A3.1 1/4"=1'-0"

JONES RESIDENCE
400 CHAPIN LANE
BURLINGAME, CA 94010



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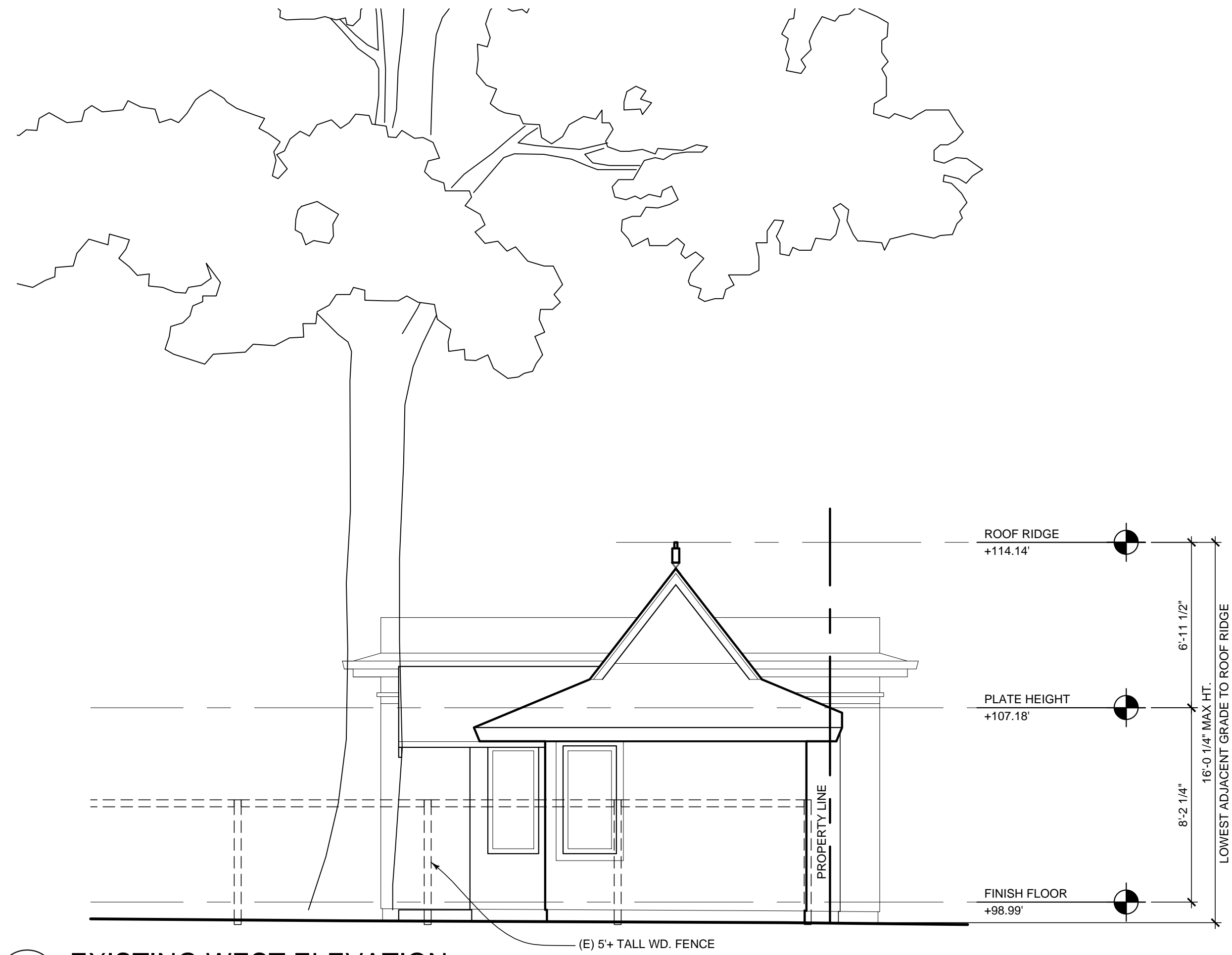
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EXTERIOR
ELEVATIONS

JOB #: 1604



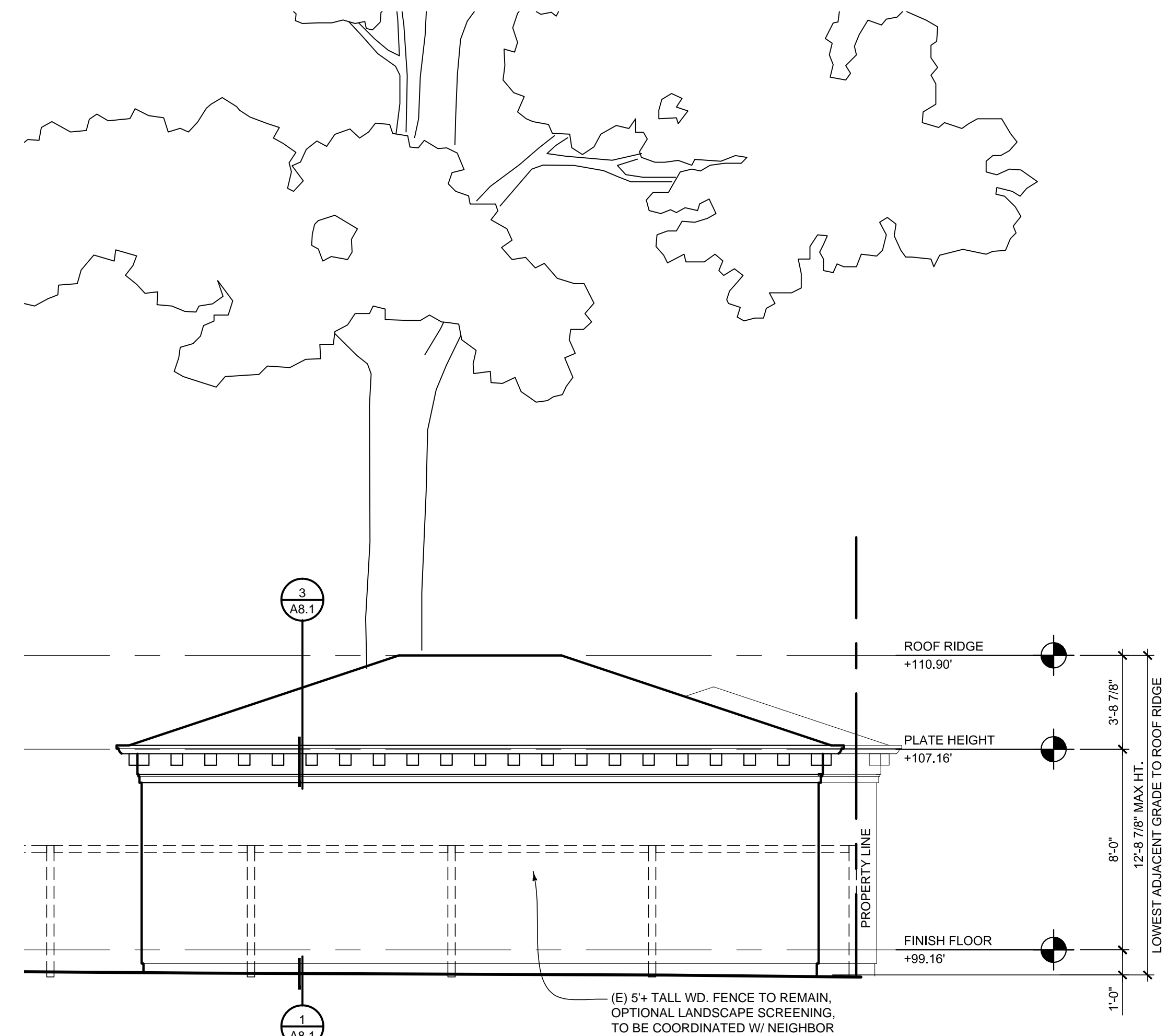
4 EXISTING NORTH ELEVATION
A3.2 1/4"=1'-0"



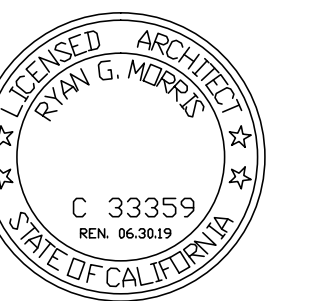
2 EXISTING WEST ELEVATION
A3.2 1/4"=1'-0"



3 PROPOSED NORTH ELEVATION
A3.2 1/4"=1'-0"



1 PROPOSED WEST ELEVATION (GUEST HOUSE)
A3.2 1/4"=1'-0"

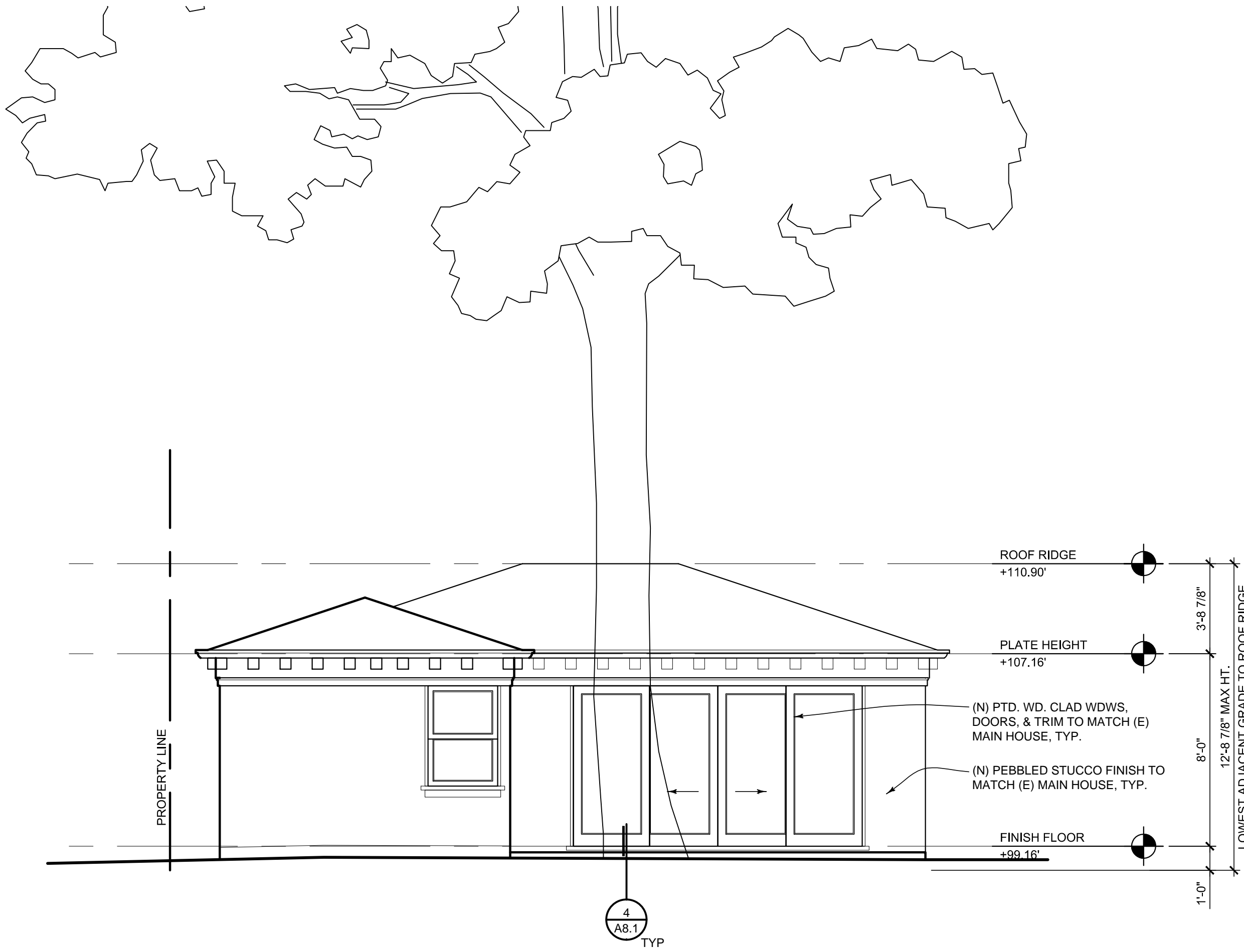


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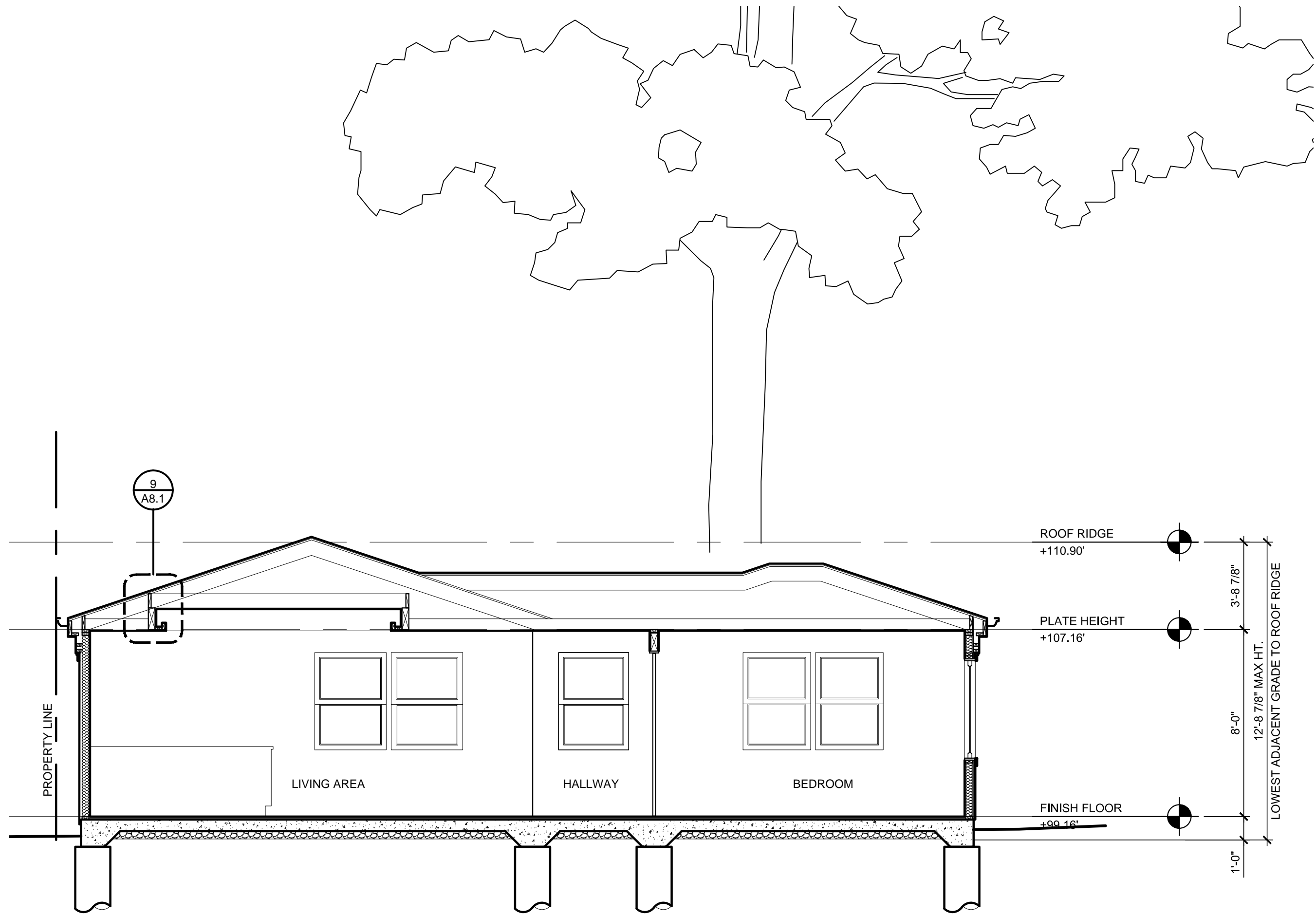
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EXTERIOR
ELEVATIONS

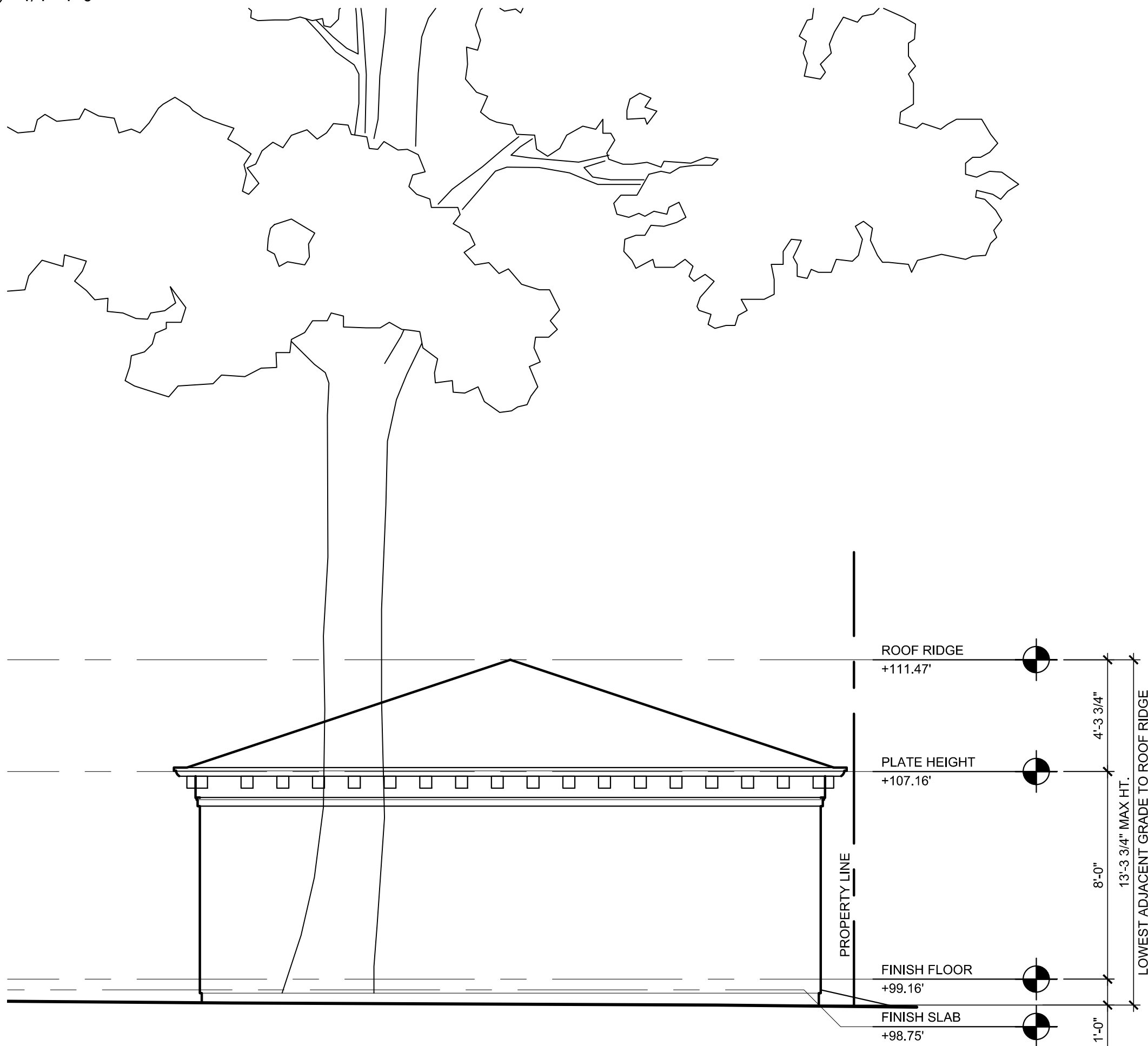
JOB #: 1604



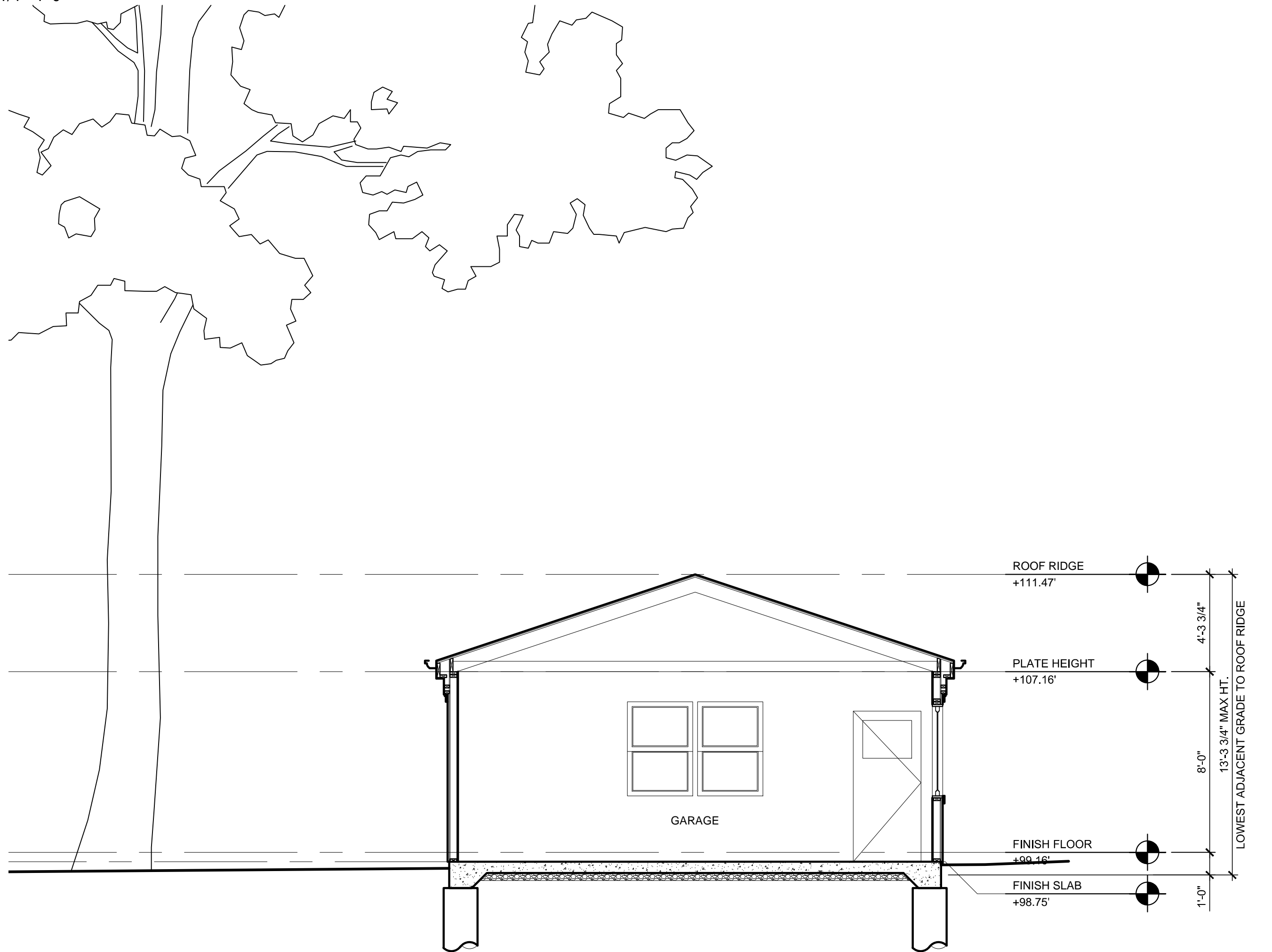
4 PROPOSED EAST ELEVATION (GUEST HOUSE)
A3.3 1/4"=1'-0"



3 BUILDING SECTION BB (GUEST HOUSE)
A3.3 1/4"=1'-0"



2 PROPOSED WEST ELEVATION (GARAGE)
A3.3 1/4"=1'-0"



1 BUILDING SECTION AA (GARAGE)
A3.3 1/4"=1'-0"

△	BLDG SUBMITTAL	10.24.17
△	REV 1	03.01.18
△		
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EXTERIOR ELEVATIONS
BLDG. SECTIONS

JOB #: 1604



The City of Burlingame

PUBLIC WORKS DEPARTMENT
761(850) 598-7232
FAX: (650) 685-9210

CITY HALL: 501 PRIMROSE ROAD
BURLINGAME, CALIFORNIA 94010-3997

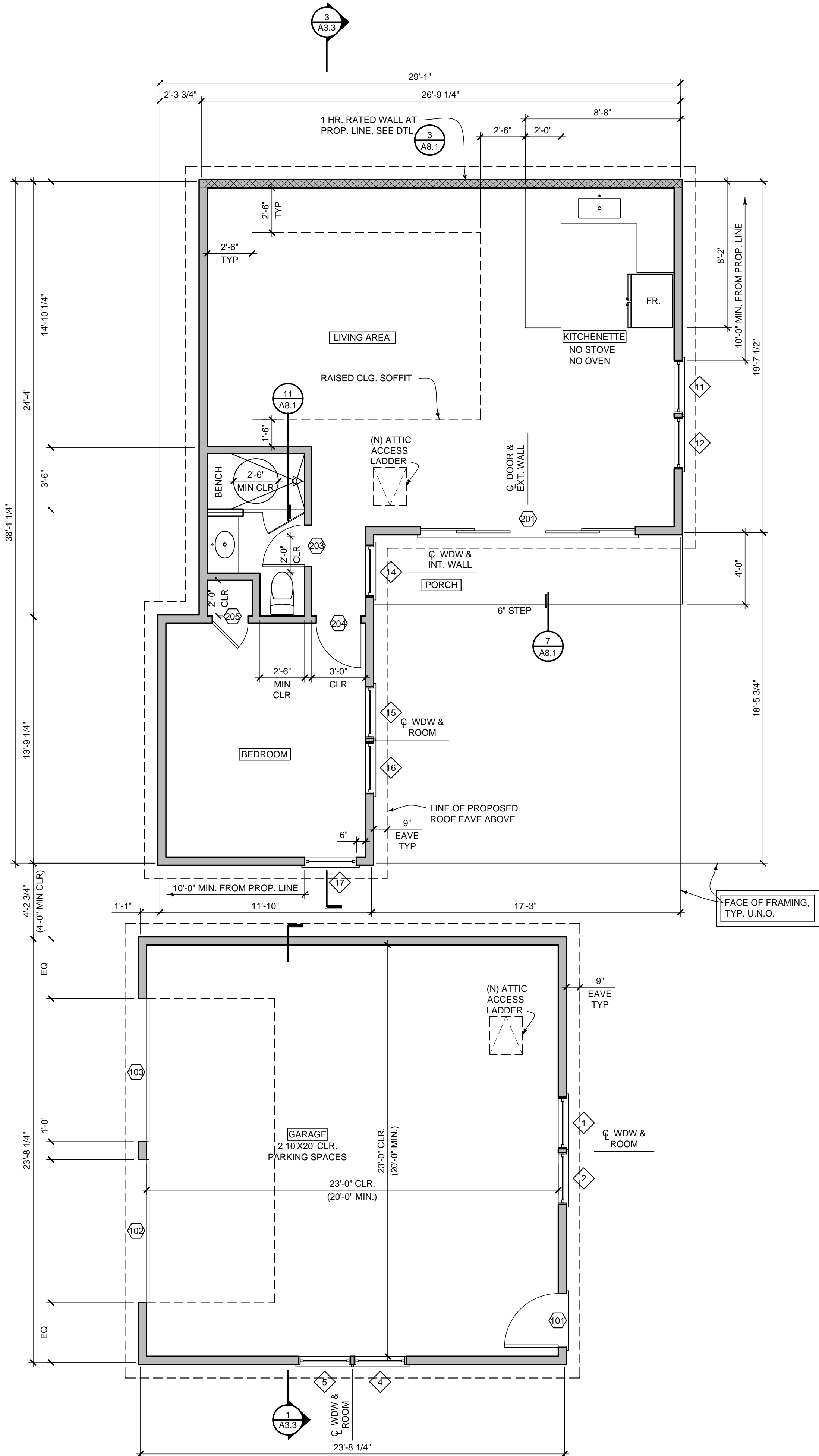
CORPORATION YARD
761(650) 598-7070

ADDITIONAL COMMENTS FOR PUBLIC WORKS ENGINEERING DEPARTMENT PLAN REVIEW
FOR BUILDING PERMIT NO. **B17-0453**

Add the following 'Public Works Notes' to the plans:

PUBLIC WORKS NOTES

- Any work in the City right-of-way, such as street, sidewalk area, public easements, and utility easements, is required to obtain an Encroachment Permit prior to starting work.
- Based on the scope of work, this is a **Type I** project that requires a Stormwater Construction Pollution Prevention Permit. This permit is required prior to issuance of a Building Permit. An initial field inspection is required prior to the start of any construction (on private property or in the public right-of-way).
- All damaged and displaced curb, gutter and/or sidewalk fronting site must be replaced prior to final of Building Permit.
- Construction hours in the City Public right-of-way are limited to weekdays and non-City Holidays between 8:00 a.m. and 5:00 p.m. This includes construction hauling.
- Per Municipal code section 18.08.090, no storm water or underground water draining from any lot, building, or paved area shall be allowed to drain to adjacent properties nor shall this water be connected to the city's sanitary sewer system. Regardless of the slope of the source property, such water shall drain to either artificial or natural storm drainage facilities by gravity or pumping.
- All water lines connections to city water mains for services or fire line protection are to be installed per city standard procedures and material specifications. Contact the city Water department for connection fees. If required, all fire services and services 2" and over will be installed by builder. All underground fire service connections shall be submitted as separate Underground Fire Service permit for review and approval.
- No structure shall be built into City's right-of-way. The property lines on Chapin Lane and Chapin Avenue are approximately nine and eight tenths feet (9.8') measured from face of curb.
- The project shall comply with the City's NPDES permit requirements to prevent storm water pollution.
- All debris/garbage containers location shall be on property. In a situation where that is not possible, an encroachment permit is required from Public Works department for placing debris/garbage containers in public right-of-way. No wet garbage fluid shall enter public right-of-way or the storm drain system.
- It is the responsibility of the owner and/or contractor to notify Underground Service Alert (USA) at least 48 hours before the start of any excavation work.



FOUNDATION & CONCRETE NOTES:

- UNDER FLOOR ACCESS. PROVIDE MIN. OF 18"x24" THRU FLOOR OR 16"x24" THRU WALL ACCESS TO UNDER FLOOR AREAS. CRC R408.4
- UNDER FLOOR ACCESS. FOR AN APPLIANCE IN AN UNDER FLOOR AREA, PROVIDE MIN. 22" X 30" ACCESS OR MIN. REQUIRED BY APPLIANCE. CMC 904.10
- CRAWL SPACE. PROVIDE 18" TALL MIN. ACCESS PATHWAY THROUGH UNDER FLOOR AREA, INCLUDING UNDER DUCTS. CMC 603.1. FLOOR JOISTS OR FLOORS WITHOUT JOISTS WITH LESS THAN 18" CLR. TO EXPOSED GROUND SHALL BE PRESSURE TREATED. GIRDERS WITH LESS THAN 12" CLR. SHALL BE P.T. CBC 2304.11.2.1.
- PRESSURE TREATED. EXTERIOR WOOD FRAMING & SHEATHING RESTING ON FOUNDATIONS AND LESS THAN 8" FROM EARTH OR 2" FROM PAVING SHALL BE P.T. CBC 2304.11.2.2. (SIDING MAY BE 6" FROM EARTH. CBC 2304.11.2.6)
- VERIFICATION. G.C. TO VERIFY ALL CONCRETE ROUGH OPENING SIZES, ELEVATIONS, ETC. PRIOR TO FOUNDATION POUR. G.C. TO COORDINATE ALL LOCATIONS OF HOLDOWNS, CURBS, STEPS, PLUMBING & MECHANICAL SLEEVES, ETC.
- VERIFICATION. PRIOR TO POURING ANY CONCRETE FOR FOUNDATIONS, IT IS RECOMMENDED THAT A LICENSED SURVEYOR CONFIRM THAT THE REQUIRED SETBACKS AS SHOWN ON THE APPROVED PLANS HAVE BEEN MAINTAINED.

FLOOR PLANS NOTES:

- CAL GREEN. SEE SHEET GB.1 FOR CAL GREEN MANDATORY REQUIREMENTS
- UNDERSTAIR SPACES. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDERSTAIR SURFACE, AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYP. BD. CRC 302.7
- DRAFTSTOPS. SHALL BE INSTALLED IN FLOOR/CEILING ASSEMBLIES WHERE THERE IS A USABLE SPACE ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY. DRAFT STOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET AND IS DIVIDED INTO APPROXIMATELY EQUAL AREAS. CRC R302.12
- SHOWERS. SHOWER AND TUB/SHOWER WALLS SHALL HAVE A NONABSORBENT SURFACE MIN. 72" ABOVE THE FLOOR, INSTALLED OVER FIBER-CEMENT BACKER BD. WATER-RESISTANT GYPSUM BACKING BOARD MAY NOT BE USED. CRC R307.2, R702.4
- INTERIOR WATERPROOFING. AT ALL LOCATIONS SUBJECT TO EXPOSURE TO WATER, G.C. TO PROVIDE WATERPROOF MEMBRANE OVER HORIZONTAL AREAS AND UP WALLS 6" MIN ABOVE FINISH. CONCEALED WORK. MAINTAIN RECORD DRAWINGS, SPECIFICATIONS, AND PHOTOS OF CONCEALED WORK.
- FRAMING. ALL NEW EXTERIOR WALLS TO BE 2X4 WD. STUDS AT 16" O.C., TYP. UNLESS OTHERWISE NOTED. ALL NEW INTERIOR WALLS TO BE 2X4 WD. STUDS AT 16" O.C., TYP. UNLESS OTHERWISE NOTED.
- ROUGH OPENINGS. CONTRACTOR TO VERIFY ROUGH OPENINGS SHOWN ON PLAN OR SCHEDULES WITH REQUIREMENTS OF UNITS TO BE INSTALLED PRIOR TO FRAMING OPENINGS.
- ATTIC ACCESS. PROVIDE MIN 22" X 30" ACCESS OPENING TO ATTICS GREATER THAN 30 SF AND WITH 30" MIN HEADROOM. THRU WALL ACCESS OPENING SHALL BE MIN 22" WIDE X 30" TALL.

INSULATION NOTES:

- SEE TITLE 24 ENERGY REPORT FOR REQUIRED INSULATION VALUES.
- INSULATION SHALL CONFORM TO FLAME-SPREAD RATING AND SMOKE DENSITY REQUIREMENTS OF CRC R302.10
- AFTER INSTALLING INSULATION, THE INSTALLER SHALL POST AN INSULATION CERTIFICATE, SIGNED BY THE INSTALLER AND THE BUILDER, IN A CONSPICUOUS LOCATION IN THE BUILDING, STATING THAT THE INSTALLATION CONFORMS WITH THE REQUIREMENTS OF TITLE 24, PART 2, CH. 2-53 OF THE CALIFORNIA ADMINISTRATIVE CODE

WALL LEGEND:

- (E) WALL
- (E) WALL TO BE REMOVED
- (N) 2x4 WALL
- (E)/(N) 1 HR. RATED WALL
- (E)/(N) 2X6 WALL

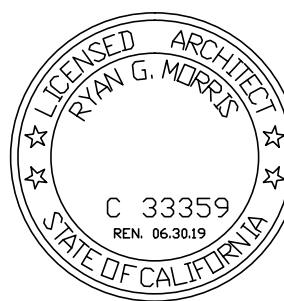
EXTERIOR WALL OPENING PROTECTION (CRC TABLE R302.1(1))		
FIRE SEPARATION DISTANCE	DEGREE OF PROTECTION	ALLOWABLE AREA
< 3 FEET	N/A	NOT ALLOWED
> 3 FEET TO < 5 FEET	0 HOURS	25% MAX OF WALL AREA
> 5 FEET	0 HOURS	UNLIMITED
NOTE: SEE CRC R302 FOR MORE INFO.		
FIRE SEPARATION DISTANCE IS DISTANCE FROM BUILDING FACE TO CLOSEST INTERIOR LOT LINE, OR CENTERLINE OF STREET		

1
A2.1
PROPOSED FIRST FLOOR PLAN
1/4"=1'-0"

MA
MORRIS
ARCHITECTURE

12 COZZOLINO CT | MILLBRAE, CA 94030
650.995.1360 | www.morris-arch.com

JONES RESIDENCE
400 CHAPIN LANE
BURLINGAME, CA 94010



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PROPOSED
FLOOR PLANS

JOB #: 1604

A2.1