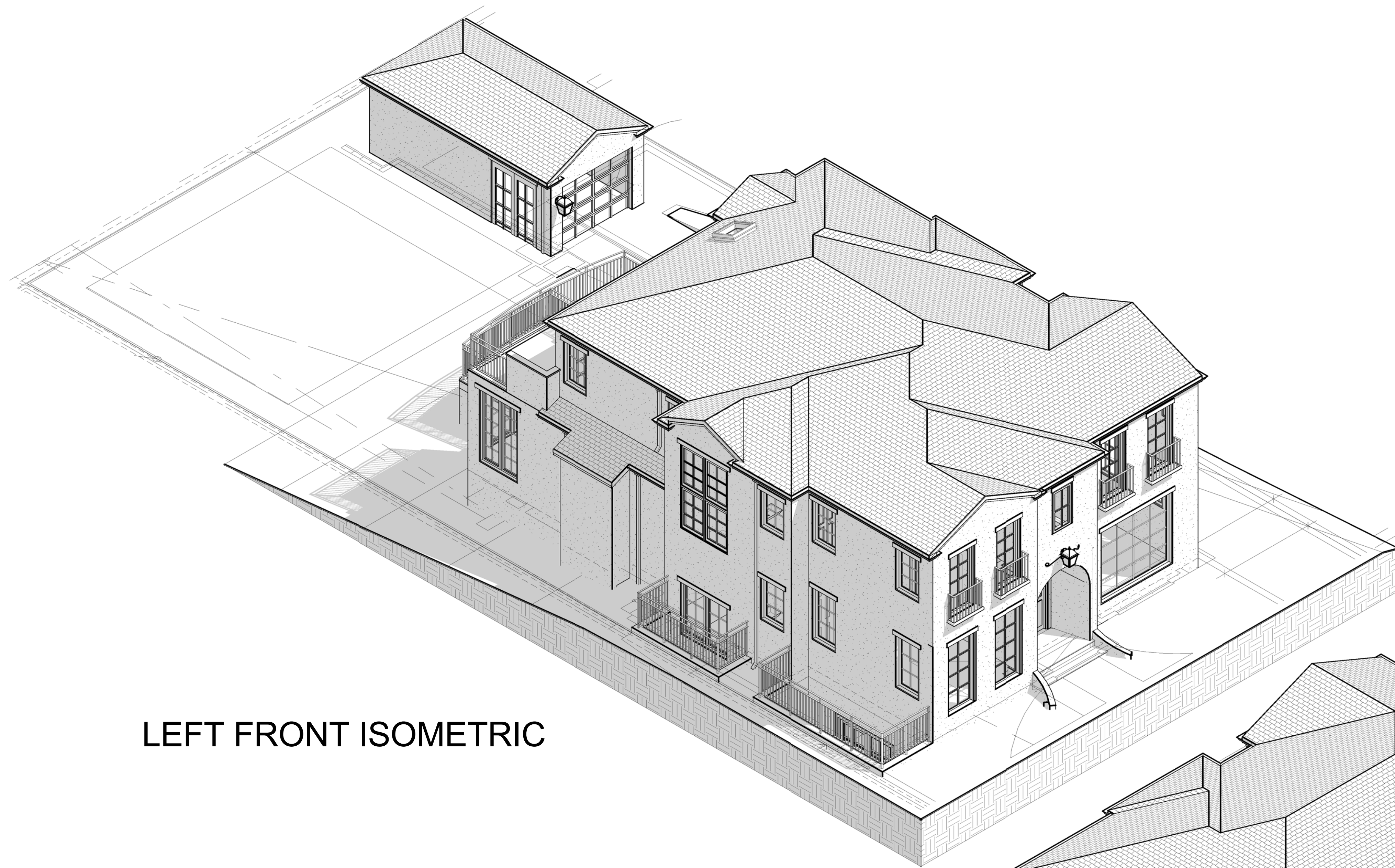
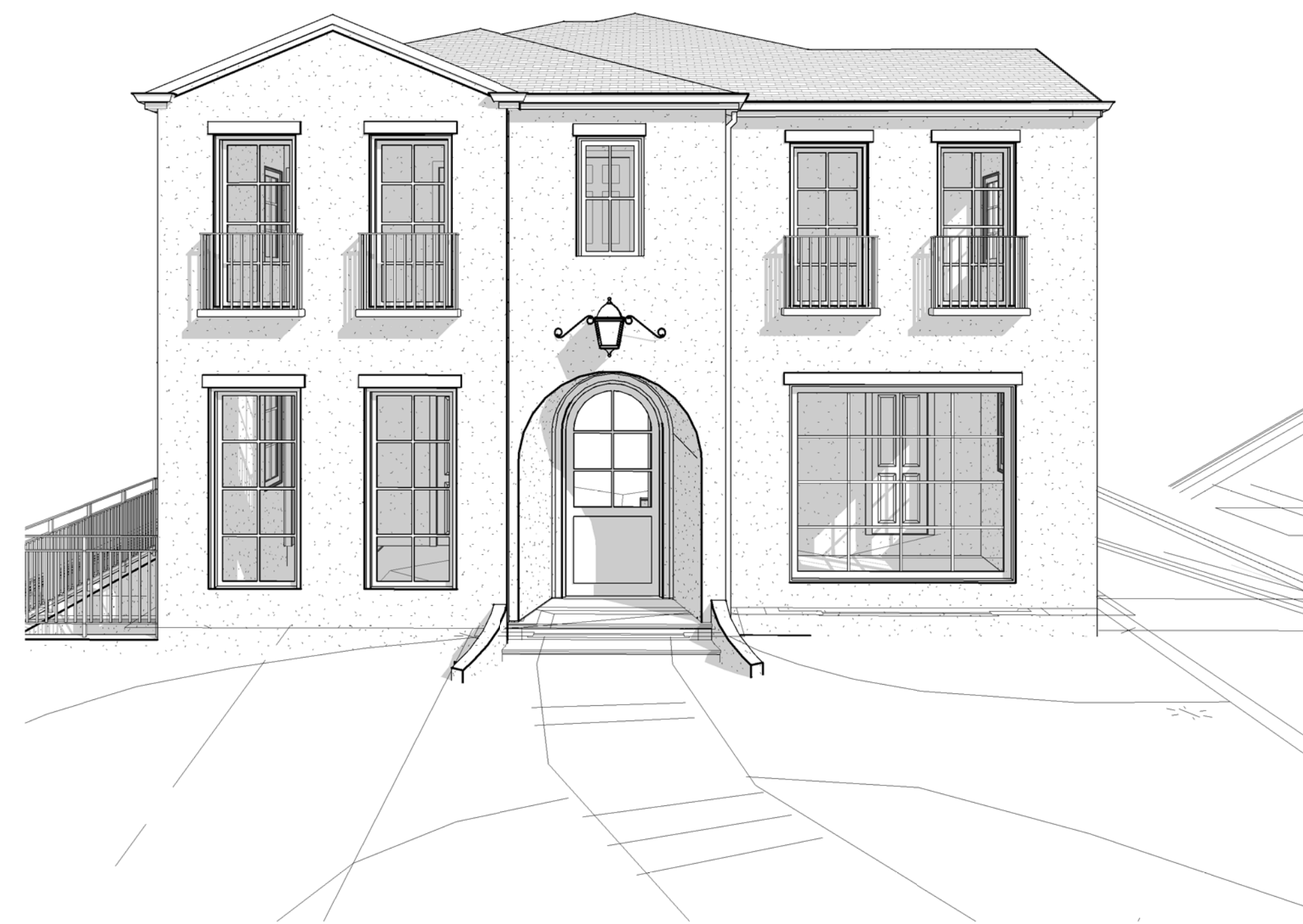




LEFT FRONT ISOMETRIC



STREET LEVEL VEIW



LEFT REAR ISOMETRIC

PRELIMINARY

D
R
S

RESIDENTIAL
DESIGN SOLUTIONS

406 LA JOLLA AVENUE
SAN MATEO, CA 94403
(650) 218-8161
EMAIL RDS@CHRISTIANRUFFAT.COM
WEB CHRISTIANRUFFAT.COM
LIC. # 48803

BLUESTEIN
RESIDENCE
1448 DRAKE AVE.
BURLINGAME, CA.

REVISIONS	DESCRIPTION	DATE	BY
	1		
	2		
	3		
	4		
	5		

DATE
2/13/19

Drawing Number
A8

Scale

Project Number
BLUS01

D

R

S

RESIDENTIAL
DESIGN SOLUTIONS

406 LA JOLLA AVENUE
SAN MATEO, CA 94403
(650) 218-8161
EMAIL RDS@CHRISTIANRUFFAT.COM
WEB CHRISTIANRUFFAT.COM
LIC. # 48803

BLUESTEIN
RESIDENCE
1448 DRAKE AVE.
BURLINGAME, CA.

REVISIONS	DESCRIPTION	DATE	BY
	1		
	2		
	3		
	4		
	5		

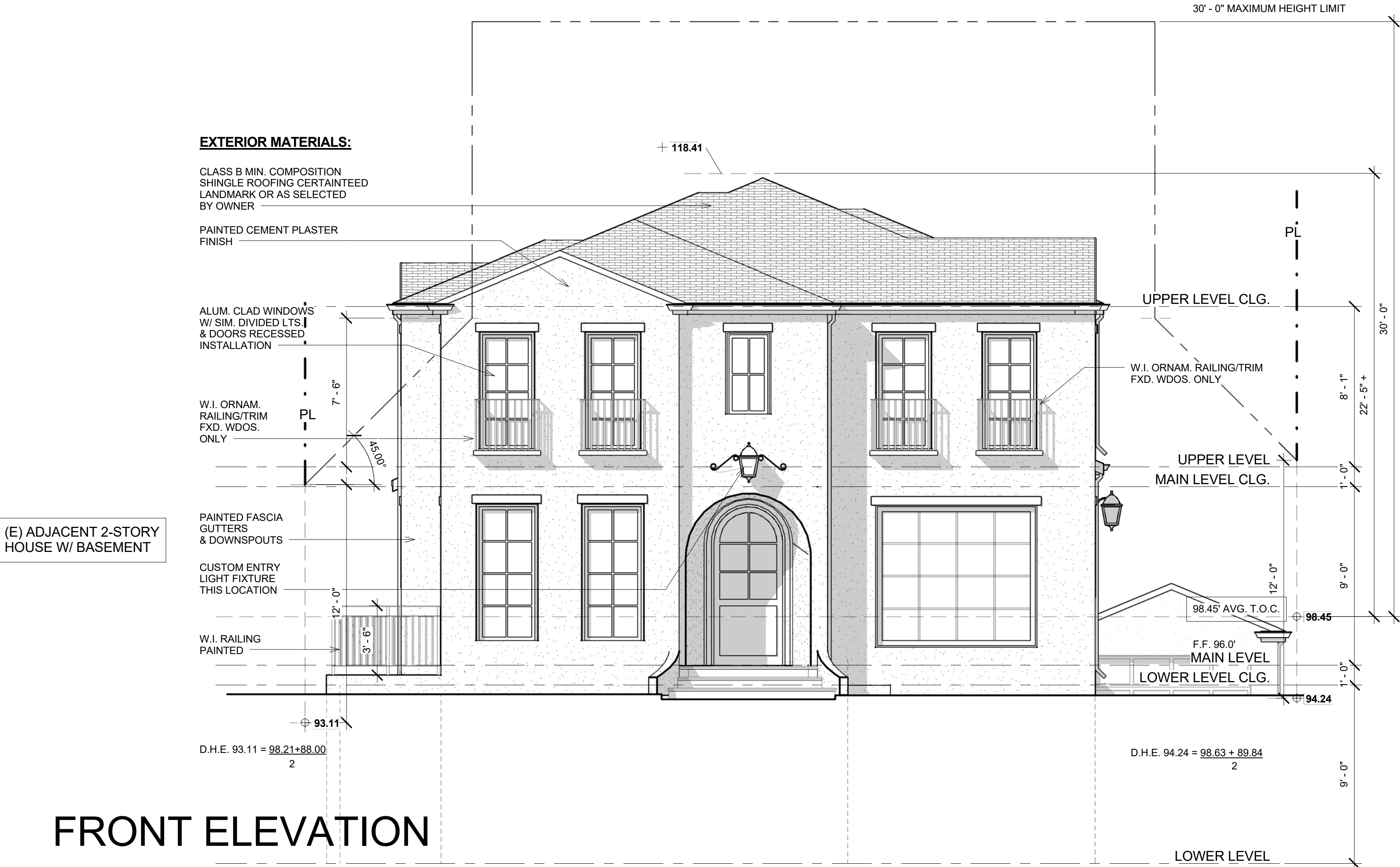
DATE
2/13/19

Drawing Number

A6

Scale
1/4" = 1'-0"

Project Number
BLUS01



PRELIMINARY

PRELIMINARY

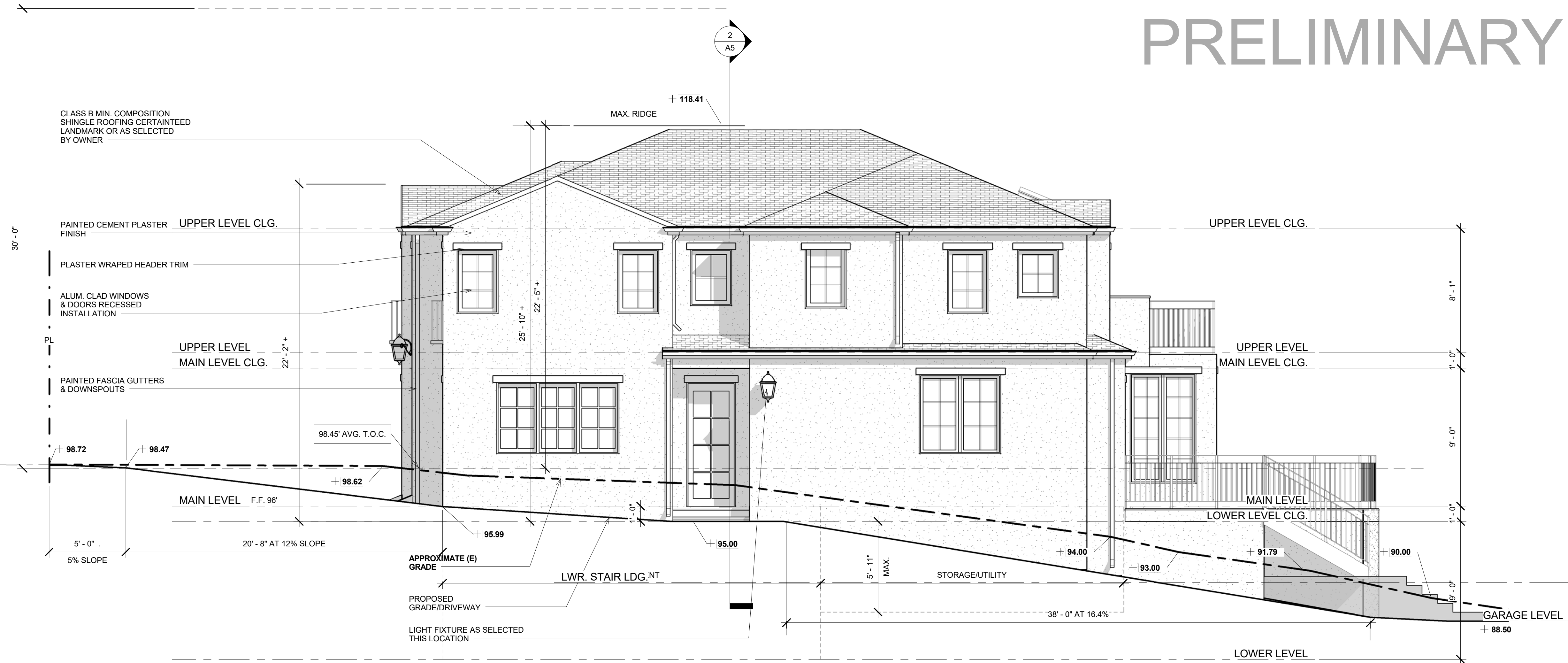
D
R
S

RESIDENTIAL
DESIGN SOLUTIONS

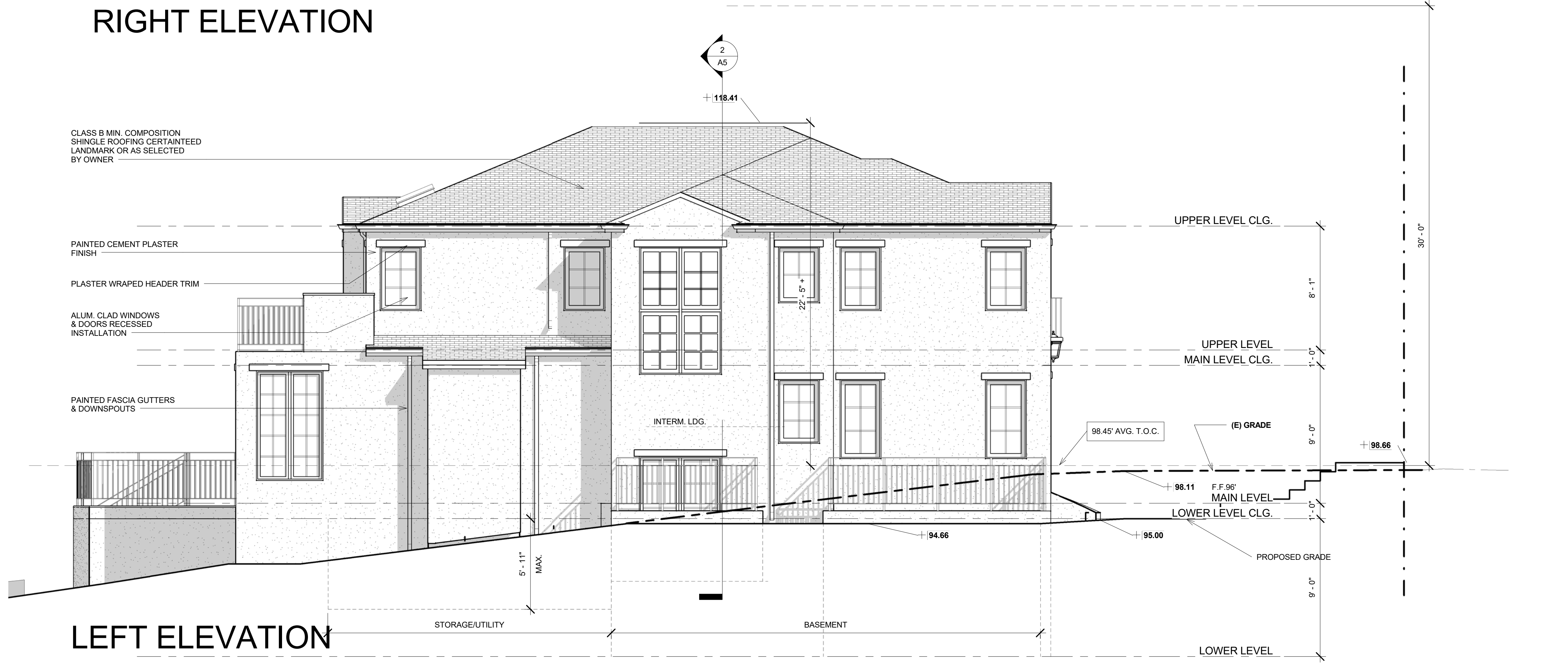
406 LA JOLLA AVENUE
SAN MATEO, CA 94403
(650) 218-8161
EMAIL RDS@CHRISTIANRUFFAT.COM
WEB CHRISTIANRUFFAT.COM
LIC. # 48803

BLUESTEIN
RESIDENCE
1448 DRAKE AVE.
BURLINGAME, CA.

RIGHT ELEVATION



LEFT ELEVATION



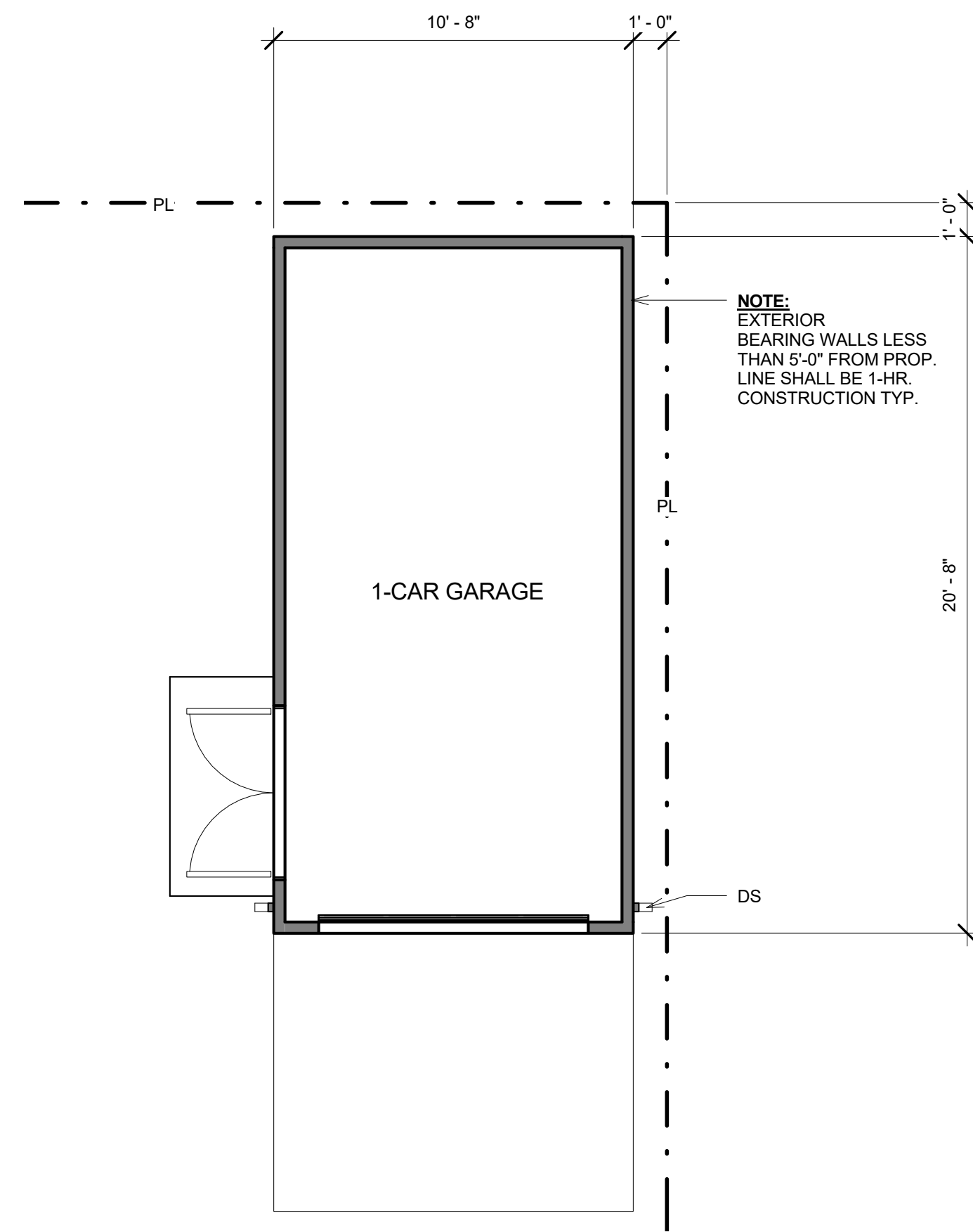
REVISIONS	DESCRIPTION	DATE	BY
	1		
	2		
	3		
	4		
	5		

DATE
2/13/19

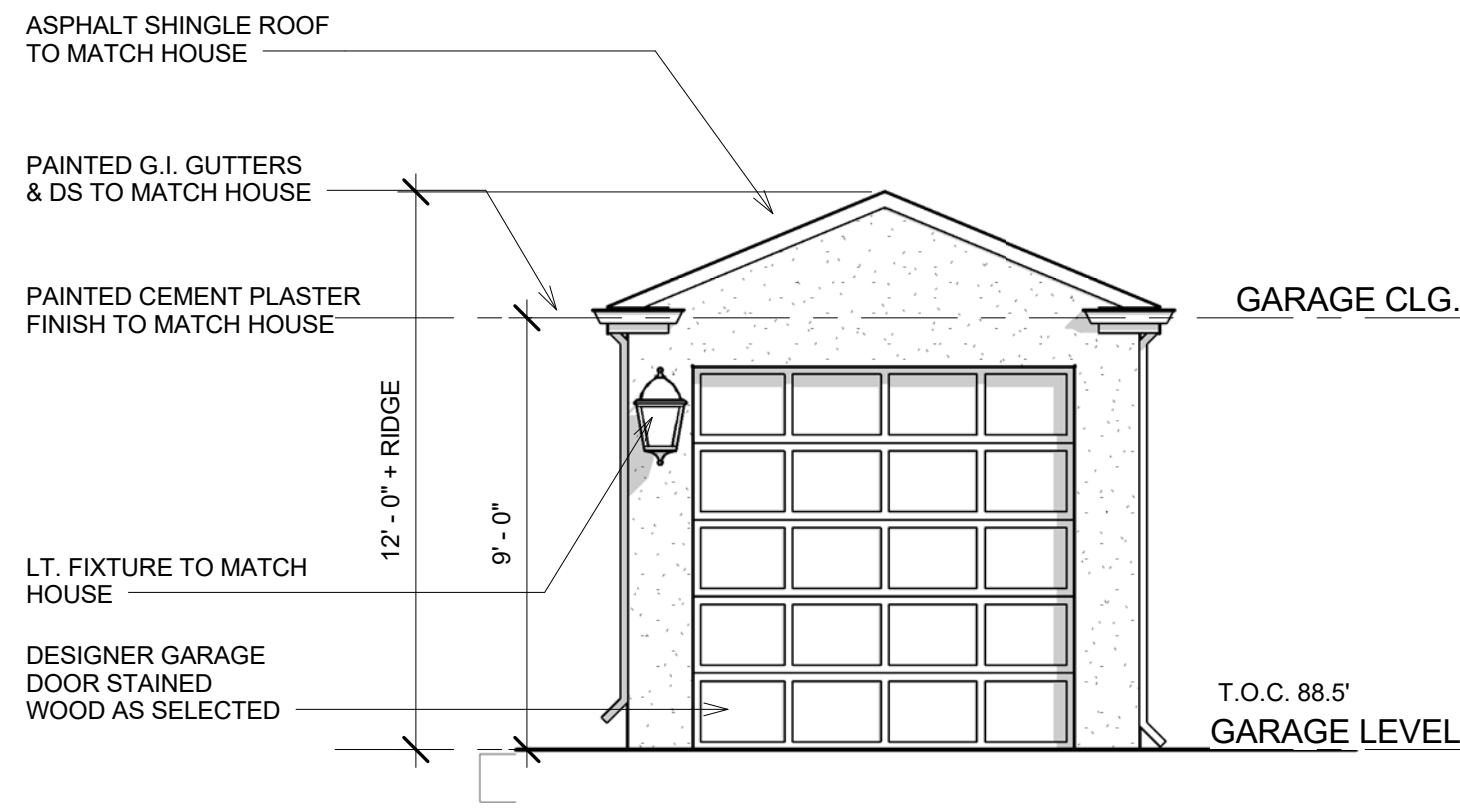
Drawing Number
A7

Scale
1/4" = 1'-0"

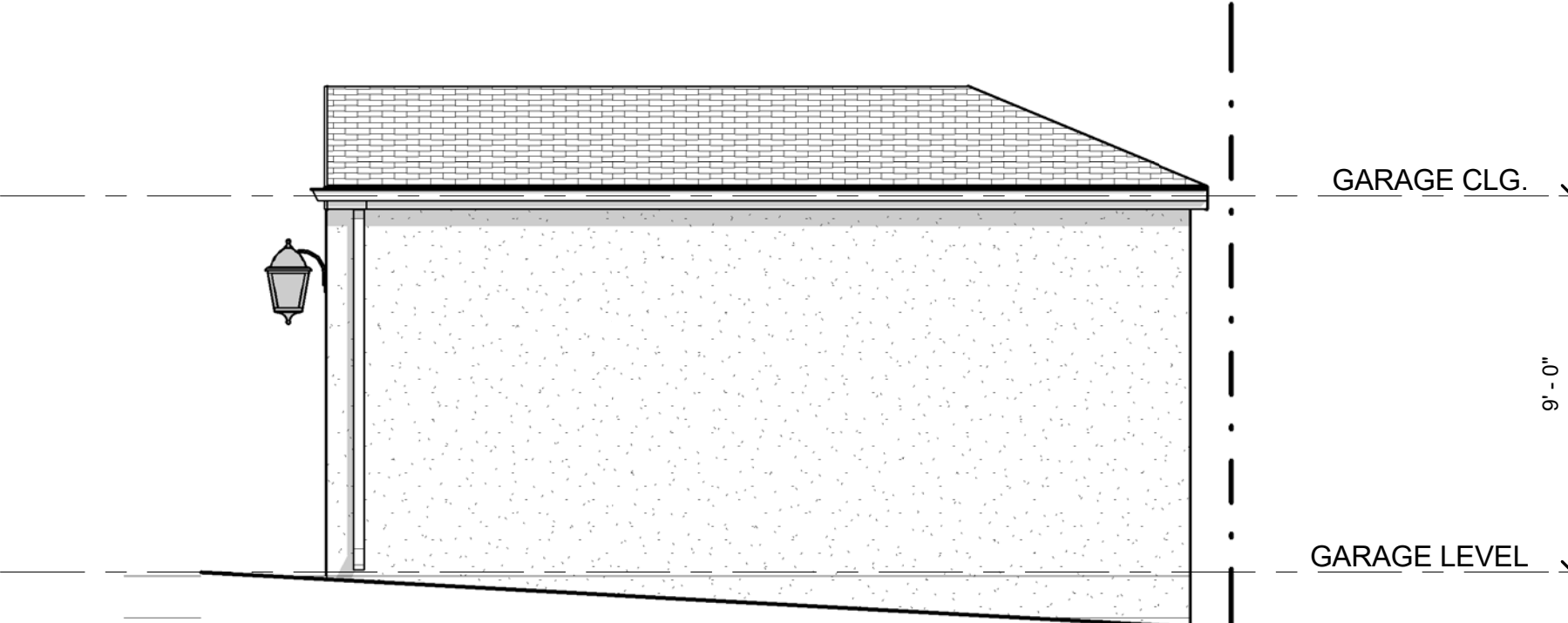
Project Number
BLUS01



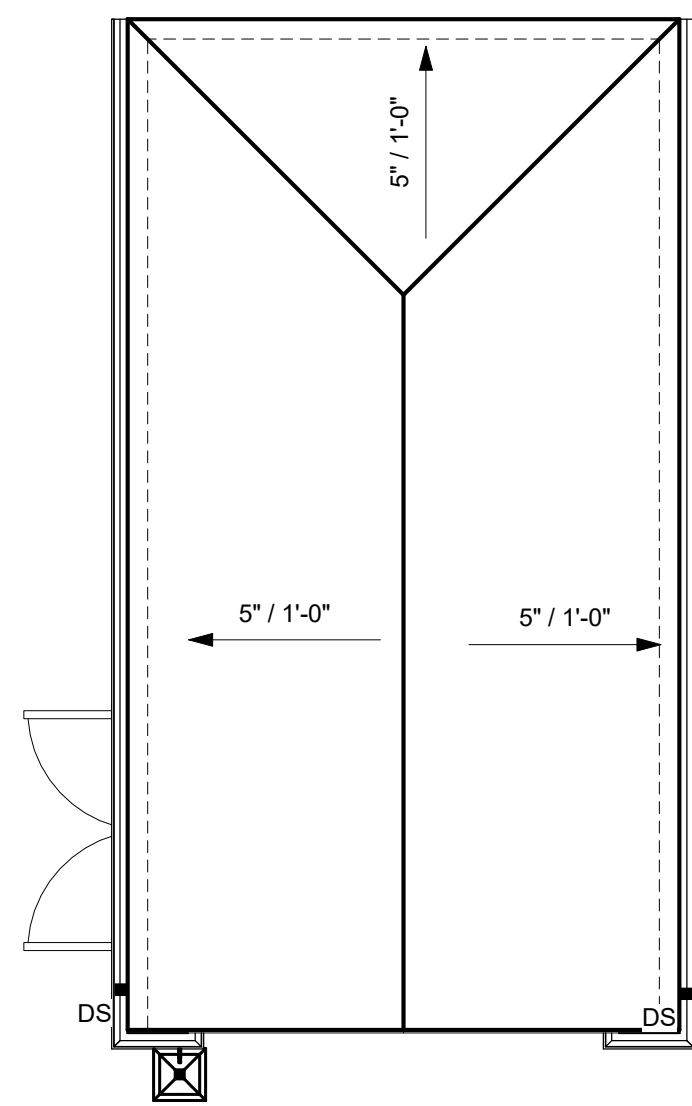
GARAGE - LEVEL



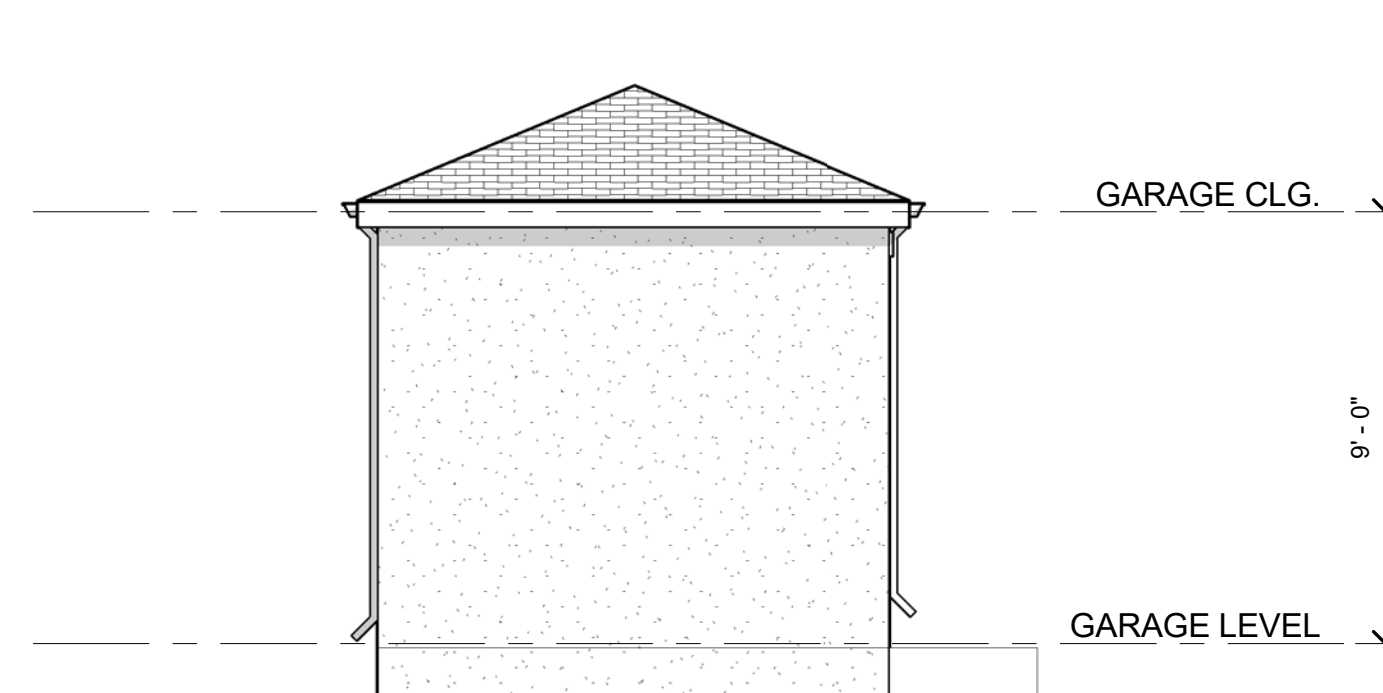
GARAGE-FRONT



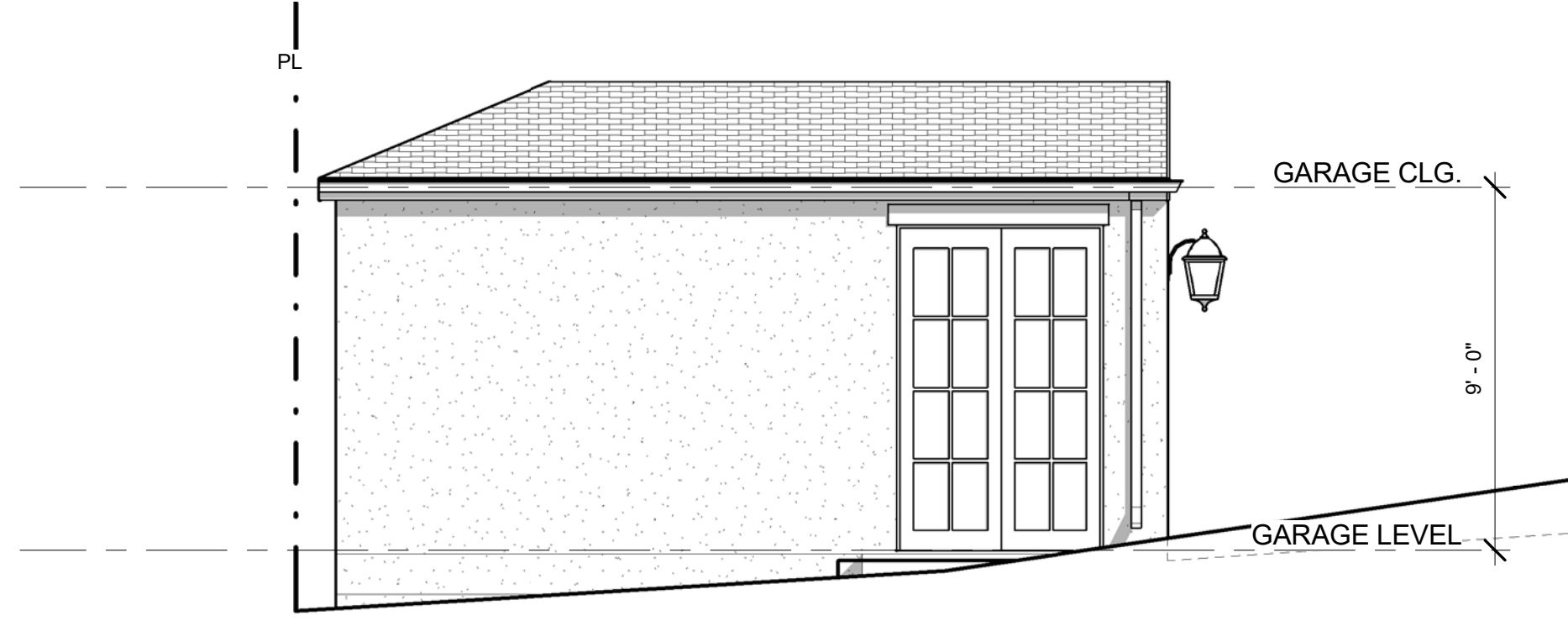
GARAGE-RIGHT



GARAGE- ROOF

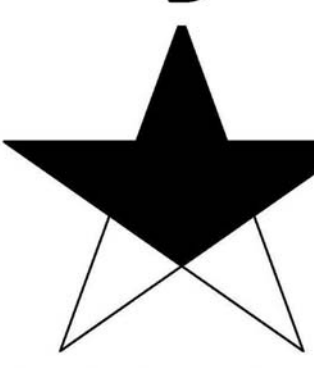


GARAGE REAR



GARAGE-LEFT

PRELIMINARY

D
R  **S**
RESIDENTIAL
DESIGN SOLUTIONS

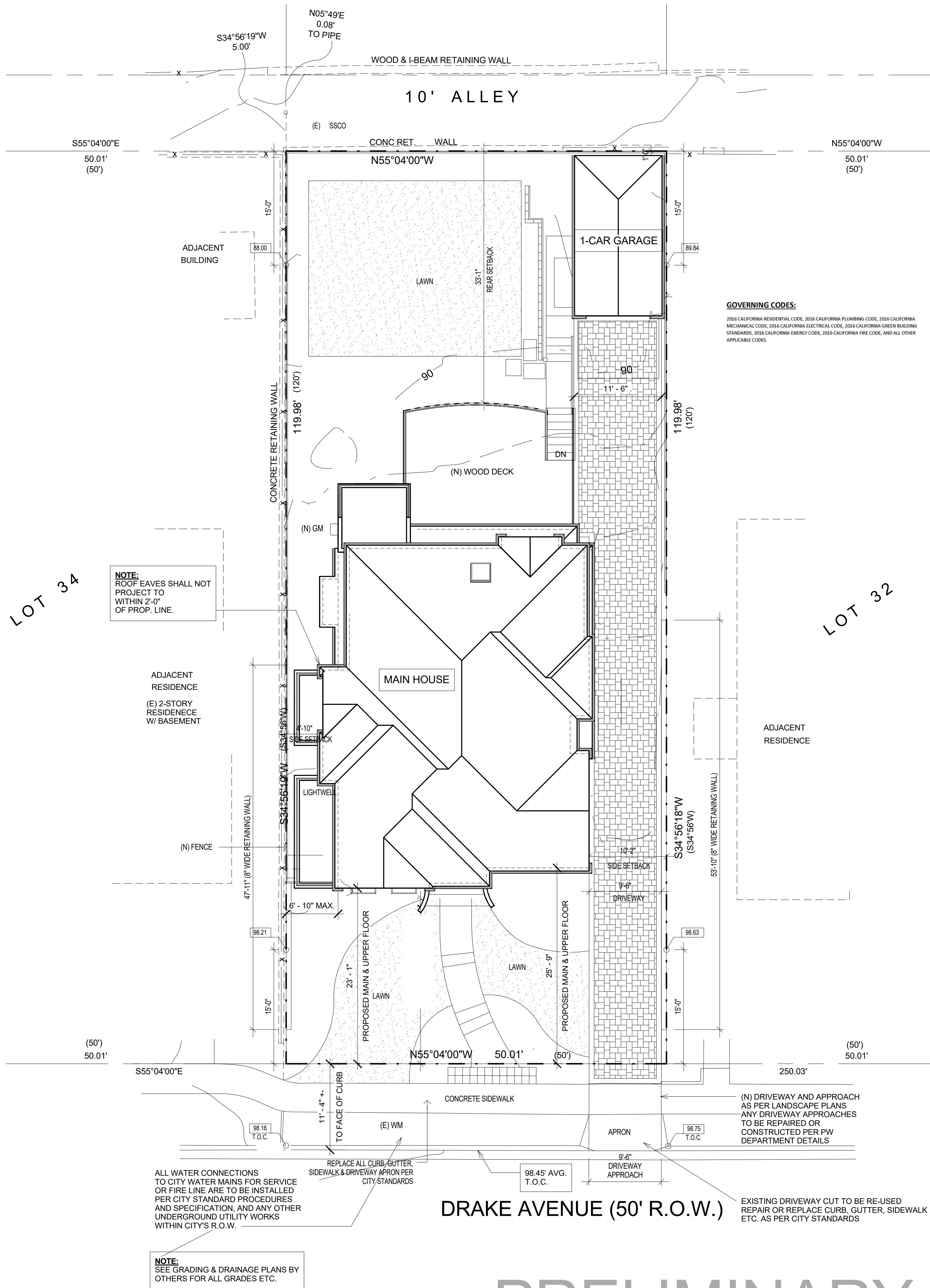
406 LA JOLLA AVENUE
 SAN MATEO, CA 94403
 (650) 218-8161
 EMAIL RDS@CHRISTIANRUFFAT.COM
 WEB CHRISTIANRUFFAT.COM
 LIC. # 48803



BLUESTEIN
RESIDENCE
 1448 DRAKE AVE.
 BURLINGAME, CA.

REVISIONS	DESCRIPTION	DATE	BY
	1		
	2		
	3		
	4		
	5		

DATE 2/13/19	Drawing Number
Scale 1/4" = 1'-0"	A1.3
Project Number BLUS01	



BLOCK AVERAGE SETBACK

ADDRESS	SETBACK +/-
1456	32
1452	32
1448	32
1444	35
1440	34
1460	32
1464	32
1468	34
AVERAGE	263.00
	32.88

TAKEN FROM FACE OF CURB

PLANNING DATA

APN	=	026-042-130
ZONING	=	R1
LOT AREA	=	6000 SF
HEIGHT LIMIT	=	30'
FRONT SETBACK	=	15' MAIN./ 20' 2ND. FLR.
GARAGE SETBACK	=	25' SINGLE/35' 2 CAR
REAR SETBACK	=	15' MAIN./ 20' 2ND. FLR.
SIDE SETBACK	=	4' MIN.
REAR SETBACK	=	15' MAIN./ 20' 2ND. FLR.

PROPOSED FLOOR AREAS:

MAIN FLOOR	+	1580 SF	
UPPER FLOOR	+	1431 SF	
TOTAL LIVING	+	3011 SF	
GARAGE	+	220 SF	
PROPOSED FLOOR AREA	=	3231 SF	
MAXIMUM FLOOR AREA ALLOWED	=	3240 SF	
REAR DECK	+	337 SF	
COVERED FRONT PORCH	+	19 SF	
PROPOSED LOT COVERAGE	=	2145 SF	35.8%

MAX. LOT COVERAGE ALLOWED	=	2400 SF	40%
MAX. COVERED FLOOR AREA ALLOWED	=	3420 SF	57%
PROPOSED FLOOR AREA RATIO	=	0.54 SF	

BLOCK AVG. CALCS

NEW SINGLE FAMILY 2-STORY RESIDENCE WITH DETACHED 1 CAR GARAGE

LOCATION MAP



SCOPE OF WORK

NEW 2-STORY HOUSE WITH A DETACHED 1-CAR GARAGE

SITE PLAN GENERAL NOTES

- SEE CIVIL DRAWINGS (IF APPLICABLE) FOR ANY AND ALL NEW CONTOURS/CONTOUR LINES. VERIFY ALL EXISTING GRADES IN THE FIELD. DRAINAGE SHALL BE AS OUTLINED BY THE CIVIL DRAWINGS. SEE NOTE #4.
- CONTRACTOR SHALL REMOVE EXISTING SITE FEATURES AS NOTED OR AS REQUIRED FOR THE CONSTRUCTION OF THE PROJECT. EXISTING EARTH SHALL BE REMOVED AS REQUIRED FOR FOUNDATIONS REQUIRED UNDERFLOOR AREAS (IF APPLICABLE).
- SEE LANDSCAPE DRAWINGS (IF APPLICABLE) FOR ADDITIONAL INFORMATION.
- ALL IMPERVIOUS SURFACES SHALL BE SLOPE MIN. 2% AWAY FROM ANY BUILDING FOUNDATION/WALL.
- CONTRACTOR SHALL REVIEW AND BECOME FAMILIAR TO ANY PROJECT ARBORIST REPORTS AND FOLLOW ANY OUTLINED RECOMMENDATIONS FOR TREE PROTECTION MEASURES TYPICAL.
- ANY AND ALL UTILITY CONNECTIONS SHALL BE AS OUTLINED BY THE CIVIL DRAWINGS AND OR AS REQUIRED BY LOCAL, STATE AND CURRENT CODES.
- ANY HIDDEN CONDITIONS THAT REQUIRE WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT FOR THESE PLANS MAY REQUIRE FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION. THE BUILDING OWNER, PROJECT DESIGNER AND OR CONTRACTOR MUST OBTAIN A REVISION TO THE CITY FOR ANY WORK NOT GRAPHICALLY ILLUSTRATED ON THE JOB COPY OF THE PLANS PRIOR TO PERFORMING THE WORK.
- NOTE:** WHEN PLANS ARE SUBMITTED TO THE BUILDING DIVISION FOR PLAN REVIEW, A COMPLETED SUPPLEMENTAL DEMOLITION PERMIT APPLICATION WILL BE PROVIDED.
- IF A GRADING PERMIT IS REQUIRED IT SHALL BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS.
- CONSTRUCTION HOURS: WEEKDAYS: 8:00 AM-7:00 PM
SATURDAY: 9:00 AM-6:00 PM
SUNDAYS & HOLIDAYS: NO WORK ALLOWED
CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT OF WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00 AM AND 5:00 PM



406 LA JOLLA AVENUE
SAN MATEO, CA 94403
(650) 218-8161
EMAIL RDS@CHRISTIANRUFFAT.COM
WEB CHRISTIANRUFFAT.COM
LIC. # 48803

**BLUESTEIN
RESIDENCE**
1448 DRAKE AVE.
BURLINGAME, CA.

	DESCRIPTION	DATE	BY
REVISIONS	1		
	2		
	3		
	4		
	5		

DATE 2/13/19 Drawing Number
Scale 1/8" = 1'-0" A1
Project Number BLUS01



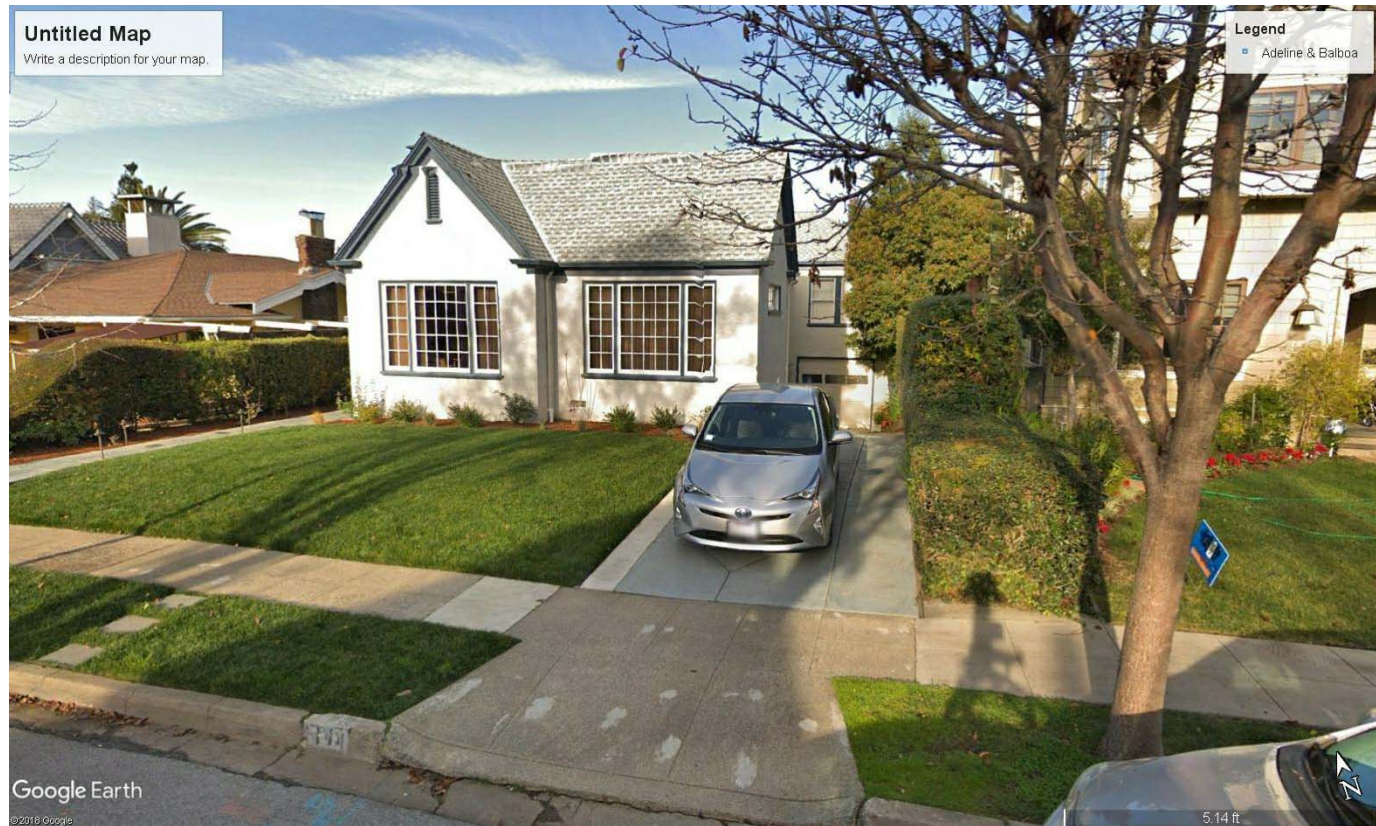
1 - 1456 DRAKE AVE.



2 - 1452 DRAKE AVE.



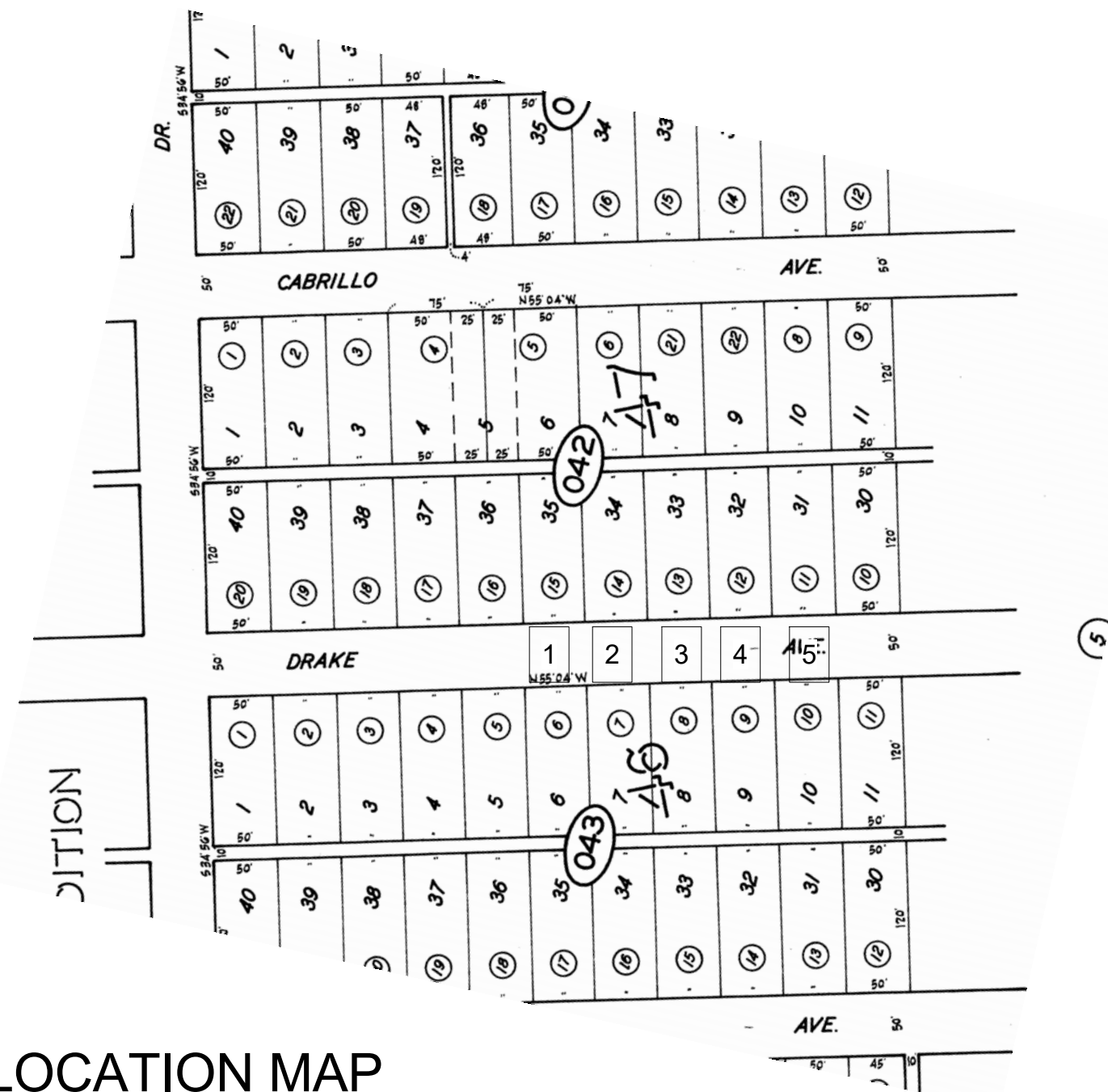
3 - 1448 DRAKE AVE.



4 - 1444 DRAKE AVE.



5 - 1440 DRAKE AVE.



LOCATION MAP

D

R

S

RESIDENTIAL

DESIGN SOLUTIONS

406 LA JOLLA AVENUE

SAN MATEO, CA 94403

(650) 218-8161

EMAIL RDS@CHRISTIANRUFFAT.COM

WEB CHRISTIANRUFFAT.COM

LIC. # 48803

BLUESTEIN
RESIDENCE
1448 DRAKE AVE.
BURLINGAME, CA.

REVISIONS	DESCRIPTION	DATE	BY
	1		
	2		
	3		
	4		
	5		