

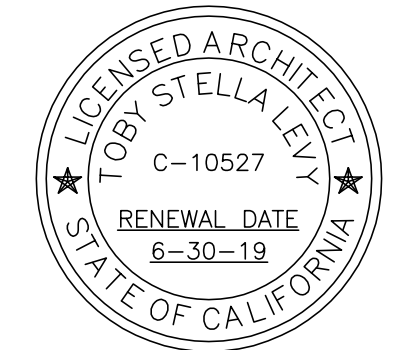


2 3D RENDERING



1 3D RENDERING

1431 EL CAMINO REAL,
BURLINGAME, CA



1431 EL CAMINO REAL
BLOCK/PARCEL/LOT:
APN: 026-013-110
BURLINGAME, CA
PROJECT NO. 2016-03

DATE	SET ISSUE
09-29-2016	PLANNING SUBMISSION
02-10-2016	PLANNING RESPONSE
07-07-2017	PLANNING RESPONSE
12-22-2017	PLANNING COMMISSION RESPONSE

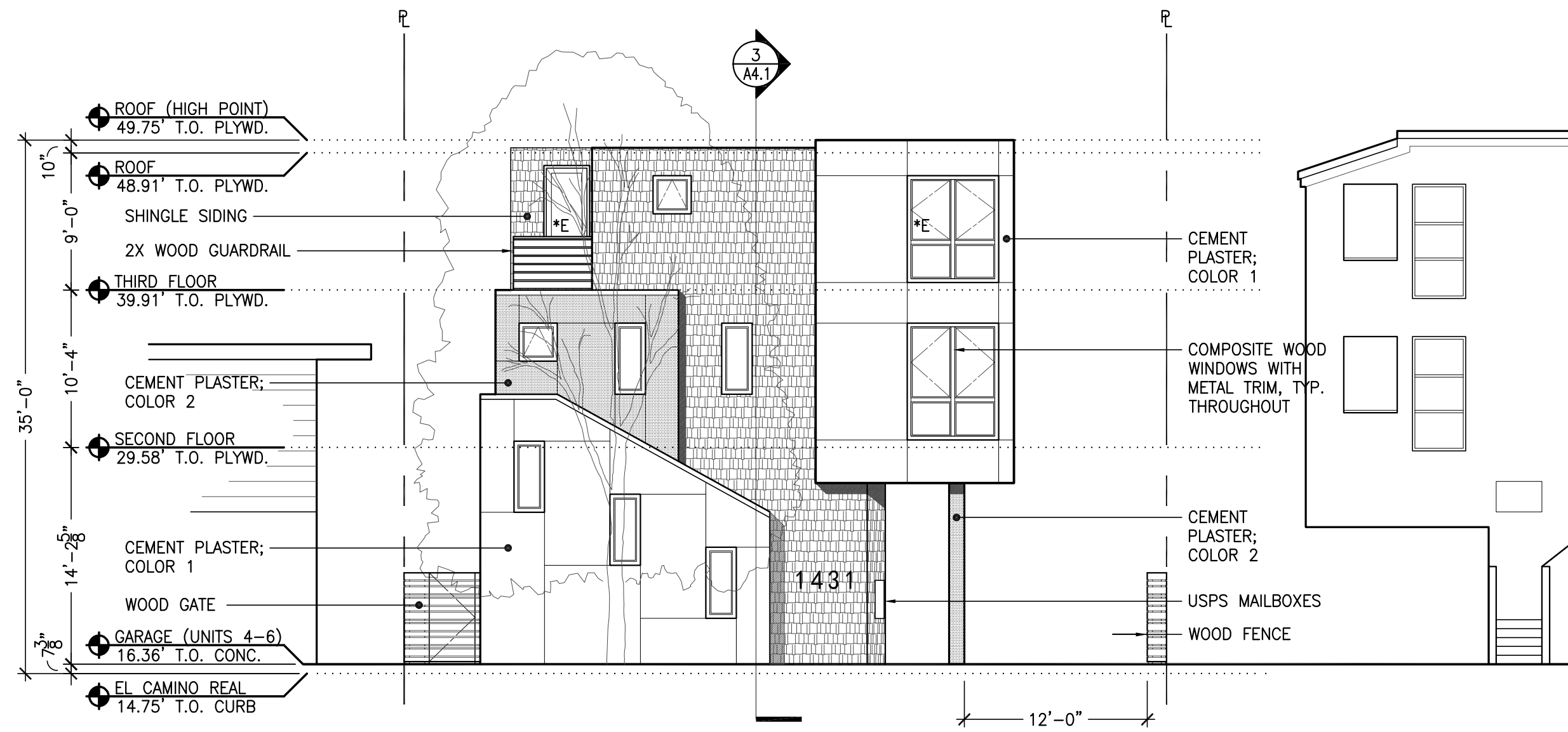
CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

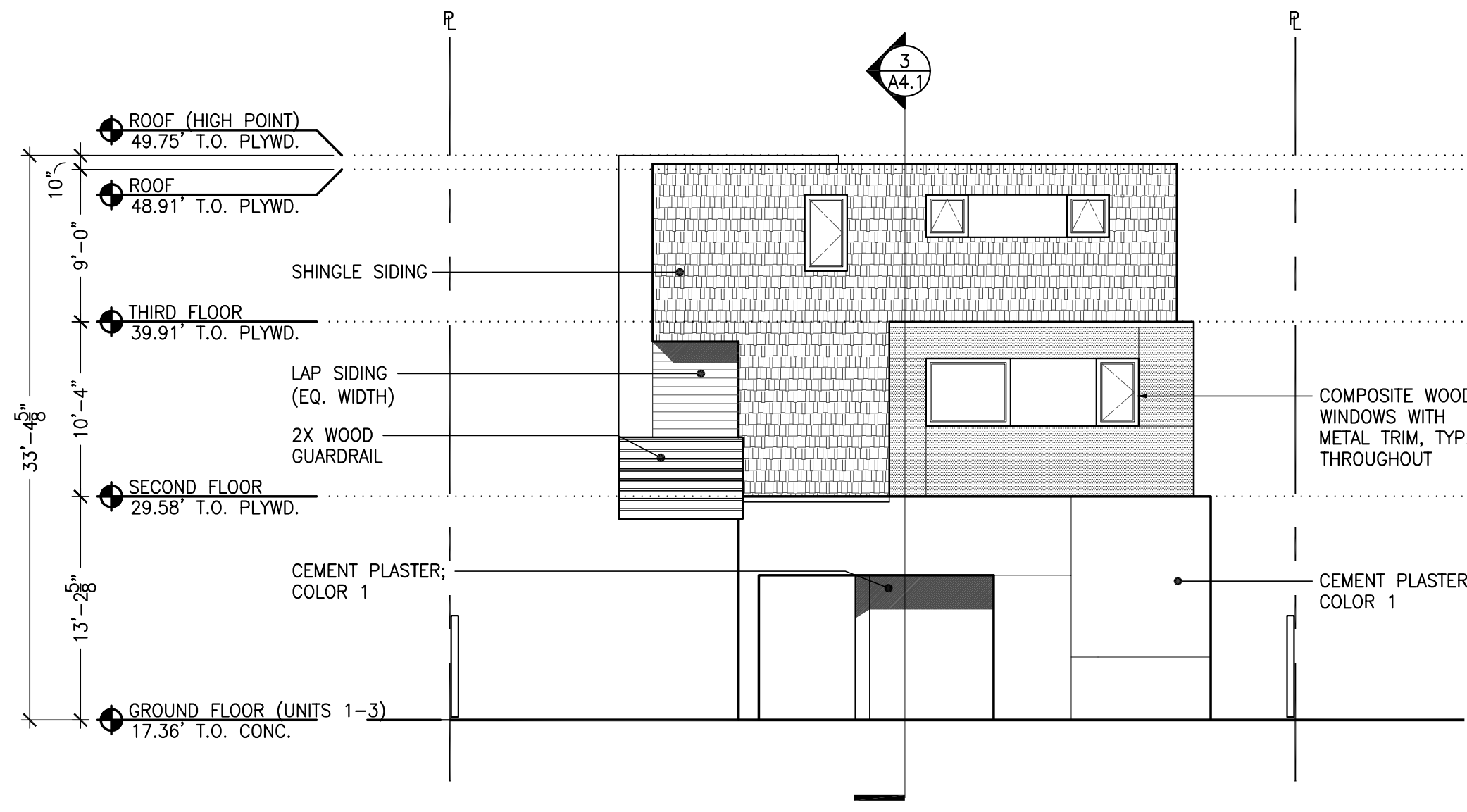
SCALE: AS NOTED

PROJECT
RENDERINGS

A3.0



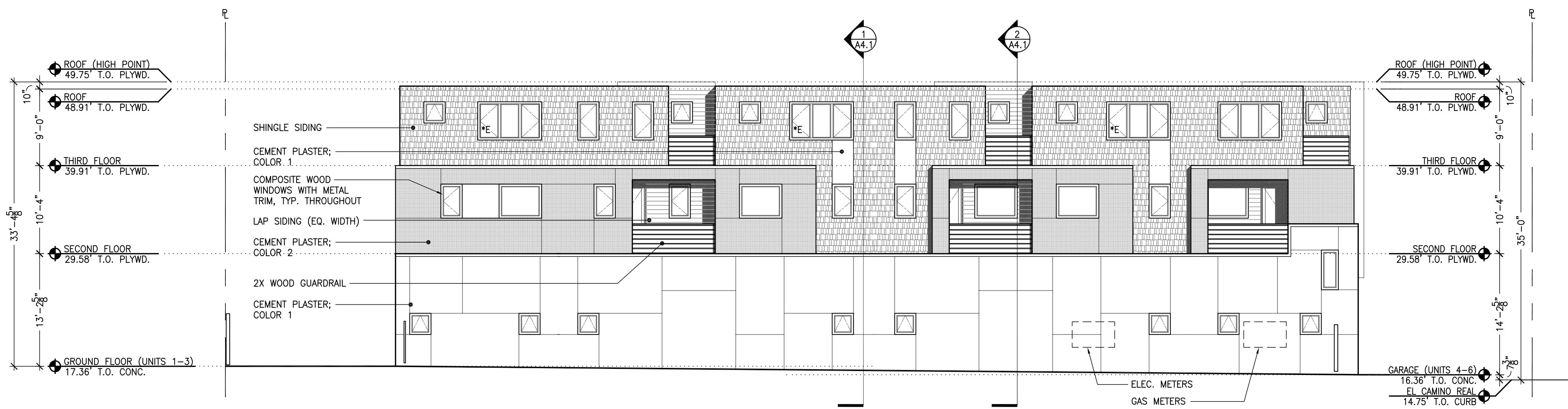
1 EAST ELEVATION (FRONT AT EL CAMINO REAL)
1/8"=1'-0"



2 WEST ELEVATION (REAR YARD)
1/8"=1'-0"



3 NORTH ELEVATION (SIDE YARD)
1/8"=1'-0"



4 SOUTH ELEVATION (SIDE YARD)
1/8"=1'-0"

GENERAL NOTES

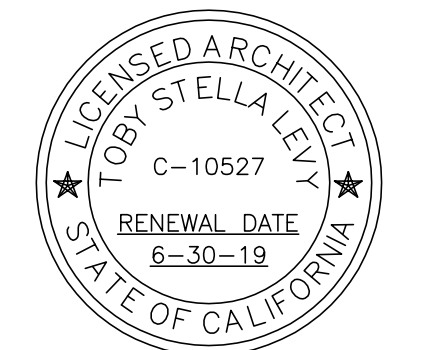
1. *E = EGRESS WINDOW OR DOOR (MIN. ONE PER SLEEPING ROOM)

X = CLR. OPENING HEIGHT (MIN. 24")
Y = CLR. OPENING WIDTH (MIN. 20")
MIN. TOTAL OPENING TO BE 5.7 S.F.
Z = SILL HEIGHT (MAX. 44" A.F.F.)
T.O. FINISH FLOOR



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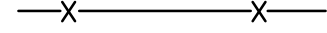
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(415) 777-5117 F

SCALE: AS NOTED

EXTERIOR
ELEVATIONS

A3.1



AC PAVE	PROPERTY LINE
CATV	ASPHALT CONCRETE PAVEMENT
CB	CABLE TELEVISION
CO	CATCH BASIN
CONC	CLEANOUT
ELEC	CONCRETE
EP	ELECTRIC
FF	EDGE OF PAVEMENT
FL	FINISH FLOOR
FL	FLOWLINE
GA 	GUY ANCHOR
GM	GAS METER
GS FF	GARAGE SLAB FINISH FLOOR
INV	INVERT
JP 	JOINT UTILITY POLE
LG	LIP OF GUTTER
LP 	LIGHT POLE
SSMH	SANITARY SEWER MANHOLE
TC	TOP OF CURB
TELE	TELEPHONE
TW	TOP OF WALL
 TREE	TREE W/ SIZE
	FENCE
	GAS LINE
	OVERHEAD LINE
	SANITARY SEWER LINE
	STORM DRAIN LINE
	WATER LINE

LOT AREA:

= 7,722 SQ. FT. ±
= 0.177 ACRES ±

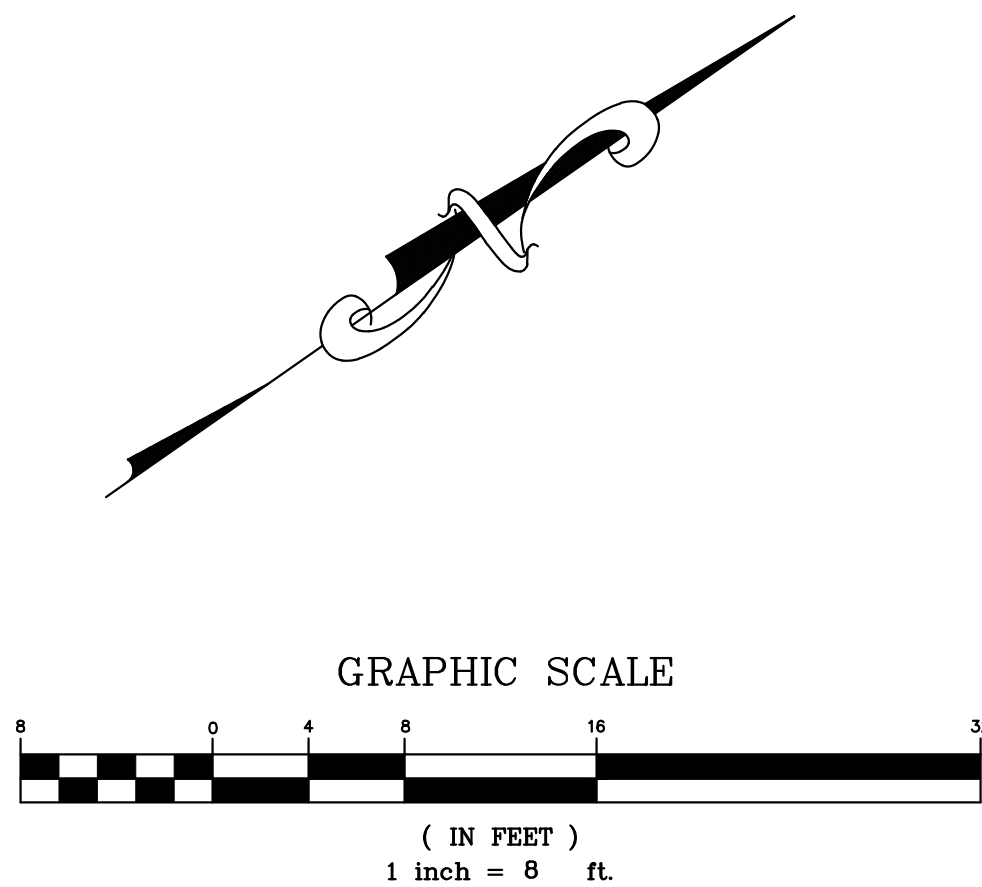
UTILITY NOTE:

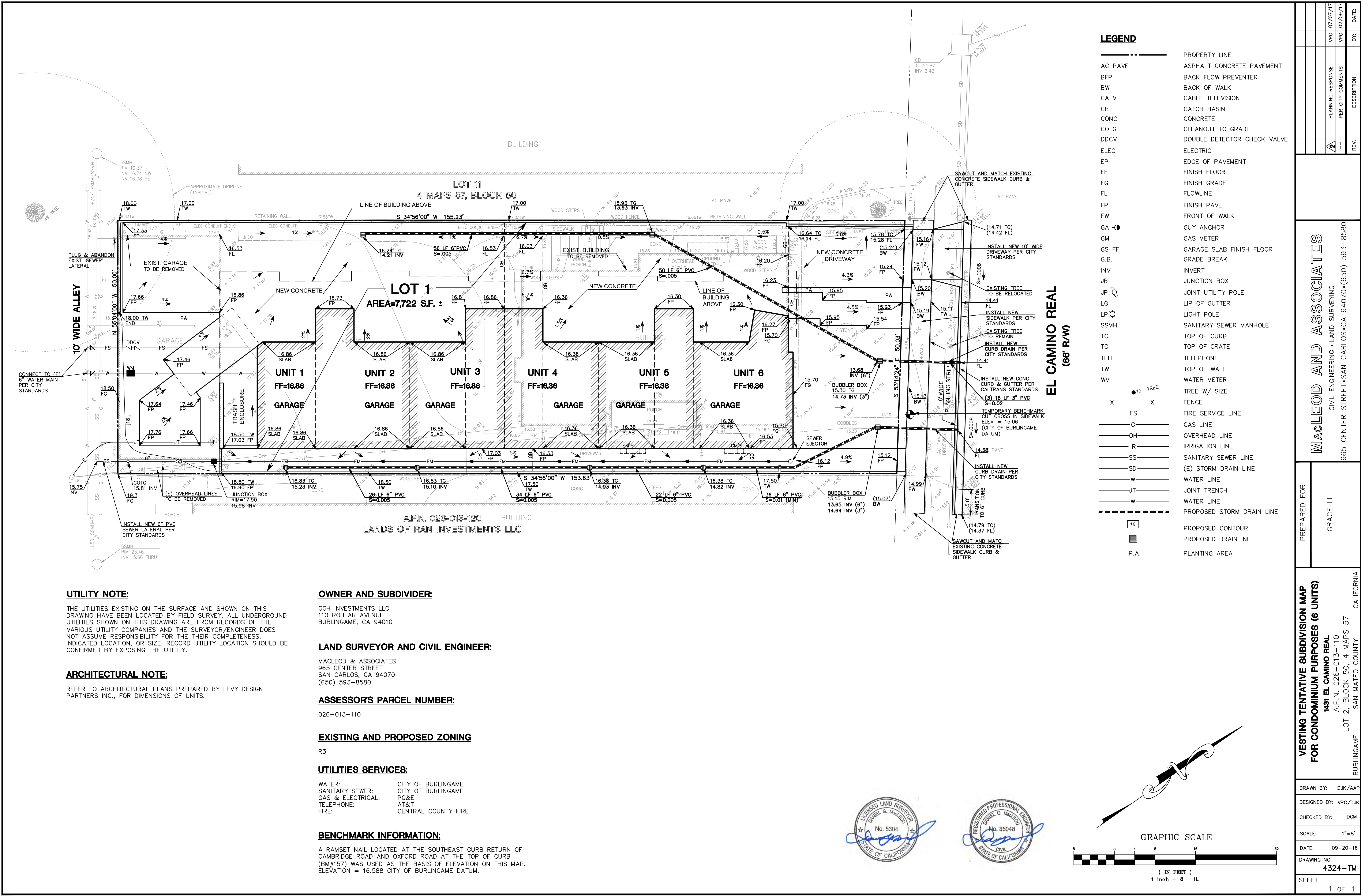
THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR/ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

EASEMENT NOTE:

EASEMENTS, IF ANY, ARE NOT INDICATED HEREON

FRONT SETBACKS ALONG BLOCK	
ADDRESS	SETBACK
# 1405	20.2'
# 1411	19.1'
# 1415	22.4'
# 1421	19.7'
# 1427	20.0'
# 1437	20.2'
# 1439	17.9'
# 1445	18.4'
# 1449	23.2'
# 1453	17.7'
# 1459	28.9'
# 1461	27.5'
# 1469	18.0'
# 1471	18.0'
# 1479	18.0'





UTILITY NOTE:

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR/ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

ARCHITECTURAL NOTE:

REFER TO ARCHITECTURAL PLANS PREPARED BY LEVY DESIGN PARTNERS INC., FOR DIMENSIONS OF UNITS.

OWNER AND SUBDIVIDER:

GGH INVESTMENTS LLC
110 ROBLAR AVENUE
BURLINGAME, CA 94010

LAND SURVEYOR AND CIVIL ENGINEER:

MACLEOD & ASSOCIATES
965 CENTER STREET
SAN CARLOS, CA 94070
(650) 593-8580

ASSESSOR'S PARCEL NUMBER:

026-013-110

EXISTING AND PROPOSED ZONING

R3

UTILITIES SERVICES:

WATER: CITY OF BURLINGAME
SANITARY SEWER: CITY OF BURLINGAME
GAS & ELECTRICAL: PG&E
TELEPHONE: AT&T
FIRE: CENTRAL COUNTY FIRE

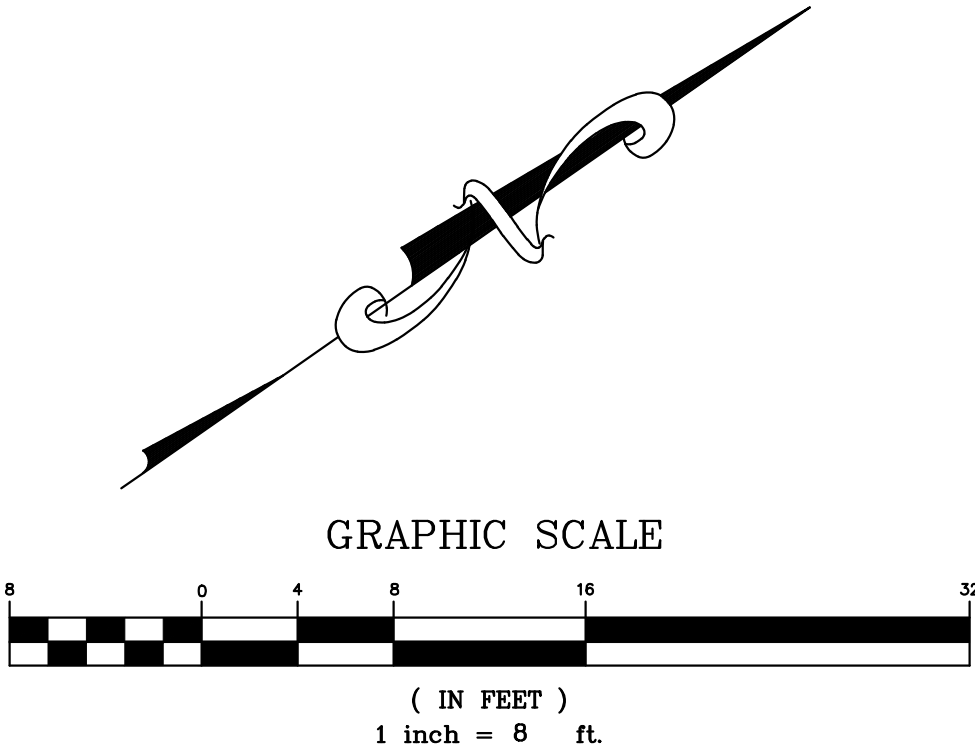
BENCHMARK INFORMATION:

A RAMSET NAIL LOCATED AT THE SOUTHEAST CURB RETURN OF CAMBRIDGE ROAD AND OXFORD ROAD AT THE TOP OF CURB (BM#157) WAS USED AS THE BASIS OF ELEVATION ON THIS MAP. ELEVATION = 16.588 CITY OF BURLINGAME DATUM.

LEGEND

- AC PAVE ASPHALT CONCRETE PAVEMENT
- BFP BACK FLOW PREVENTER
- BW BACK OF WALK
- CATV CABLE TELEVISION
- CB CATCH BASIN
- CONC CONCRETE
- COTG CLEANOUT TO GRADE
- DDCV DOUBLE DETECTOR CHECK VALVE
- ELEC ELECTRIC
- EP EDGE OF PAVEMENT
- FF FINISH FLOOR
- FG FINISH GRADE
- FL FLOWLINE
- FP FINISH PAVE
- FW FRONT OF WALK
- GA GUY ANCHOR
- GM GAS METER
- GS FF GARAGE SLAB FINISH FLOOR
- G.B. GRADE BREAK
- INV INVERT
- JB JUNCTION BOX
- JP JOINT UTILITY POLE
- LG LIP OF GUTTER
- LP LIGHT POLE
- SSMH SANITARY SEWER MANHOLE
- TC TOP OF CURB
- TG TOP OF GRATE
- TELE TELEPHONE
- TW TOP OF WALL
- WM WATER METER
- WM TREE W/ SIZE
- X FENCE
- FS FIRE SERVICE LINE
- G GAS LINE
- OH OVERHEAD LINE
- IR IRRIGATION LINE
- SS SANITARY SEWER LINE
- SD (E) STORM DRAIN LINE
- W WATER LINE
- JT JOINT TRENCH
- W WATER LINE
- PROPOSED STORM DRAIN LINE
- PROPOSED CONTOUR
- PROPOSED DRAIN INLET
- P.A. PLANTING AREA

EL CAMINO REAL
(66' R/W)



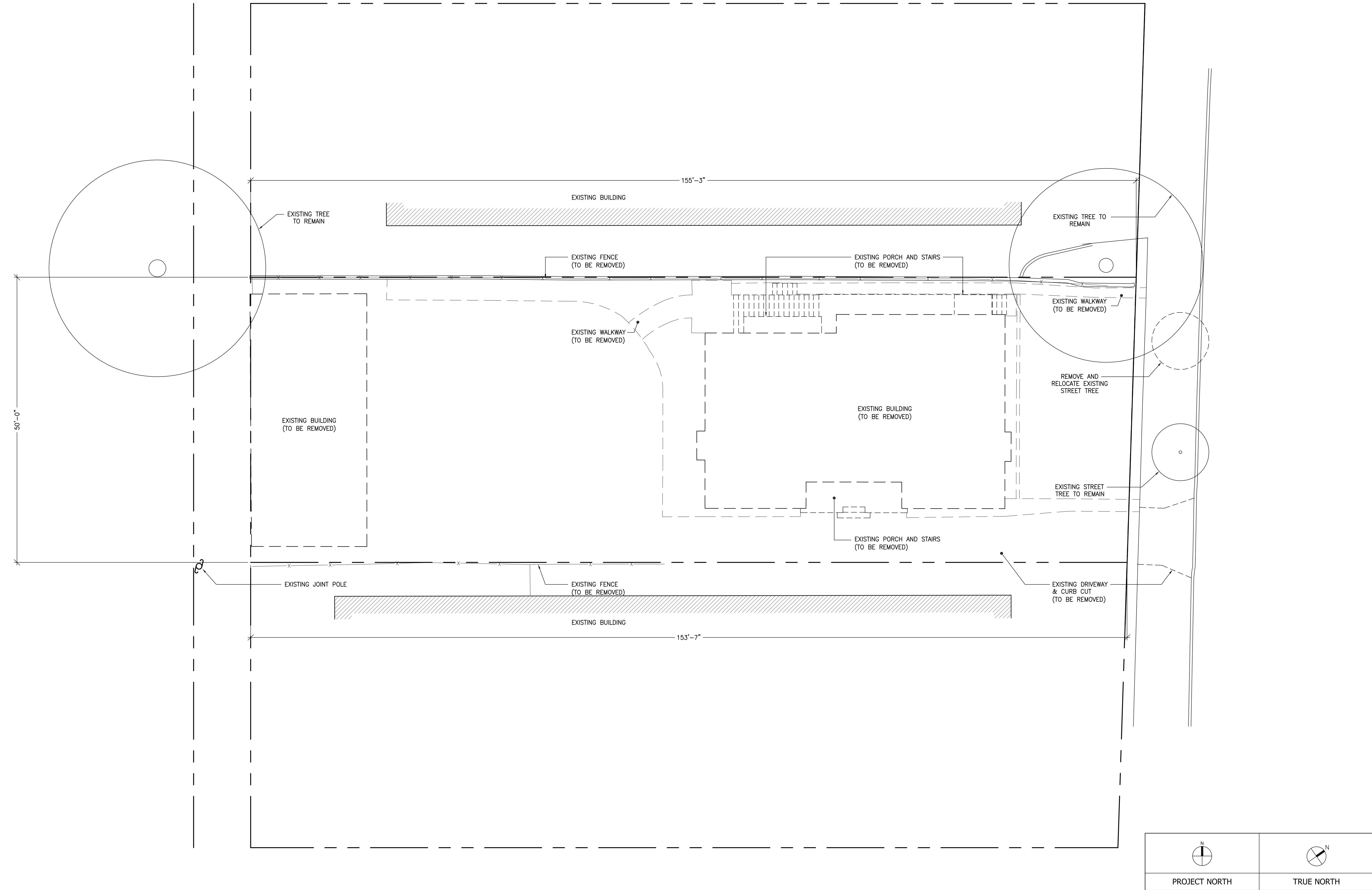
PLANNING RESPONSE	VPG	07/01/17	BY:	
PER CITY COMMENTS			DESCRIPTION	
REV.				
PREPARED FOR: GRACE LI				
VESTING TENTATIVE SUBDIVISION MAP FOR CONDOMINIUM PURPOSES (6 UNITS) 1431 EL CAMINO REAL A.P.N. 026-013-110 LOT 2, BLOCK 50, 4 MAPS 57 BURLINGAME SAN MATEO COUNTY CALIFORNIA				
DRAWN BY: D.J.K./AAP		SCALE: 1"=8'		
DESIGNED BY: VPG/D.J.K.		DATE: 09-20-16		
CHECKED BY: DGM		DRAWING NO. 4324-TM		
		SHEET 1 OF 1		



1. **CONTRACTOR SHALL CONTACT UNDERGROUND SERVICES ADMINISTRATION PRIOR TO EXCAVATION AND GRADING.**
2. **ALL PLANTING AREAS SHALL BE CLEARED OF WEEDS AND OTHER DEBRIS.** THE CONTRACTOR SHALL VERIFY WITH THE OWNER WHICH EXISTING PLANTS ARE TO REMAIN. EXISTING PLANTS TO BE REMOVED SHALL BE VERIFIED WITH OWNER PRIOR TO REMOVAL. ALL IVY IN PROJECT AREA SHALL BE REMOVED; IVY SHALL BE SPRAYED WITH HERBICIDE TWO WEEKS PRIOR TO REMOVAL.
3. **REMOVAL OF EXISTING TREES SHALL BE CONFIRMED WITH THE LANDSCAPE ARCHITECT AND OWNER IN THE FIELD PRIOR TO REMOVAL.** EACH TREE TO BE REMOVED SHALL HAVE A RED OR ORANGE TAPE SECURED TO A BRANCH, AND THE TRUNK SHALL BE CLEARLY MARKED WITH THE COLOR OF THE SAME COLOR. THE CONTRACTOR SHALL SUPPLY THE MATERIALS FOR MARKING THE TREES AND COORDINATE WITH THE LANDSCAPE ARCHITECT. THE TREE STUMPS AND ROOTS SHALL ALSO BE REMOVED, AND SURROUNDING SURFACE RE-GRADED AND RESTORED.
4. **SOIL TESTING SHALL BE UNDERTAKEN BY THE CONTRACTOR, AND PERFORMED BY A CERTIFIED LABORATORY.** A COPY OF THE REPORT SHALL BE PROVIDED TO THE OWNER AND LANDSCAPE ARCHITECT. RECOMMENDATIONS FOR AMENDMENTS AND FERTILIZATION SHALL REFLECT THE NUTRIENT REQUIREMENTS OF SPECIFIED PLANT SPECIES
5. **SOIL AMENDMENTS SHALL BE FREE OF DEBRIS** SUCH AS LITTER, BROKEN CLAY POTS, AND OTHER FOREIGN MATERIAL. ROCKS LARGER THAN ONE INCH DIAMETER WILL NOT BE PERMITTED. SOIL AMENDMENTS SHALL HAVE THE FOLLOWING CONTENT: REDWOOD NITRIFIED COMPOST 40%, COARSE SAND 30%, BLACK TOPSOIL 30%.
6. **PLANT HOLES SHALL BE DOUBLE THE SIZE OF THE CONTAINER** (generally). THE WALLS AND BASES OF PLANT HOLES SHALL BE SCARIFIED. HOLES SHALL BE BACKFILLED WITH THE FOLLOWING MIXTURE: 80% TO 20% IMPORTED SOIL TO EXISTING SOIL.
7. **SOIL BERMS SHALL BE FORMED AROUND ALL PLANTS** 1 GALLON SIZE AND LARGER. BASINS SHALL BE MULCHED WITH A 2" LAYER OF BARK CHIPS, MINIMUM OF 1" IN SIZE.
8. **ALL PLANTS SHALL BE FERTILIZED.** FERTILIZER SHALL BE COMMERCIALY AVAILABLE TYPE, AGRIFORM OR EQUIVALENT. APPLICATION SHALL BE ACCORDING TO MANUFACTURER'S INSTRUCTIONS. **RESIDUAL WEED PRE-EMERGENT SHALL BE APPLIED BY THE CONTRACTOR.** APPLICATION SHALL BE ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
9. **TREES SHALL BE STAKED WITH TWO PRESSURE TREATED 2" DIAMETER POLES.** TREE TRUNK SHALL BE SECURED WITH TWO RUBBER TIES OR STRAPS FORMING A FIGURE-EIGHT BETWEEN TRUNK AND STAKE.
11. **ROOT BARRIERS FOR ALL TREES WITHIN EIGHT FEET OF PAVEMENT SHALL BE INSTALLED.** BARRIERS SHALL BE PLASTIC AND EXTEND COMPLETELY AROUND THE ROOT BALL. THE DIAMETER OF THE BARRIER SHALL BE 42". THE BARRIER SHALL EXTEND TO A DEPTH OF 24".
12. **ESPALIER PLANTS SHALL BE FURNISHED WITH A PREMANUFACTURED WOOD TRELLIS.** THE TRELLIS SHALL BE SECURELY FASTENED TO TWO PRESSURE TREATED 2" DIAMETER POLES.
13. **PLANTING AREAS SHALL BE COVERED** WITH A THREE INCH LAYER OF BARK CHIPS.

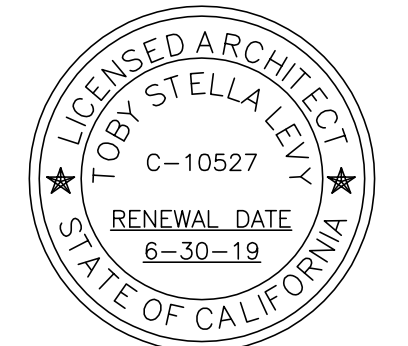
No.	Botanical Name	Common Name	Qty	Size	Remarks
GI BIL	Ginkgo biloba	Maidenhair Tree	2	36" Box	Decid Tree
QUE PAL	Quercus palustris	Pin Oak	1	36" Box	Decid Tree
ABE GRA	Abelia grandiflora	Glossy Abelia	4	5 Gal	Evgn Shrub
	'Edward Goucher'				
BAM OLD	Bambus oldhamii	Oldham Bamboo	1	15 Gal	Clumping Bamboo
ERI KAR	Erigeron karvinskianis	Santa Barbara Daisy	30	1 Gal	Low Shrub
FES OVI	Festruca ovina 'Glaucia'	Blue Fescue	64	1 Gal.	Clump Grass
GRE OCC	Grewia occidentalis	Lavender Starflower	3	15 Gal	Ev Espalier
HEMER	Hemerocallis spp. 'Yellow'	Daylily	13	1 Gal.	Perennial
LIM PER	Limonium perezii	Sea Thrift	9	1 Gal.	Perennial
PEN ADV	Pennisetum x advena	Red Fountain Grass	6	1 Gal	Accent/ Grass
	'Rubrum'				
PIT TEN	Pittosporum tenuifolium	Black Stem	8	15 Gal	Evgn Shrub
		Pittosporum			
PHOR RW	Phormium	Rainbow Flax	4	5 Gal	Evgn Shrub
	'Rainbow Warrior'				
PHOR DW	Phormium 'Dwarf Red'	Miniature Red Flax	8	5 Gal	Evgn Shrub
SOL HET	Sollyia heterophylla	Australian Bluebells	13	1 Gal	Ev Subshrub
STIPA	Stipa tenuissima	Mexican Feather Grass	20	5 Gal	Perennial Grass
TUL VIO	Tulbhagia violacea	Society Garlic	10	1 Gal	Ev Subshrub
HAR VIO	Hardenbergia violacea	Lilac Vine	40	5 Gal	Evgn Vine
Note: Contractor shall verify quantities					





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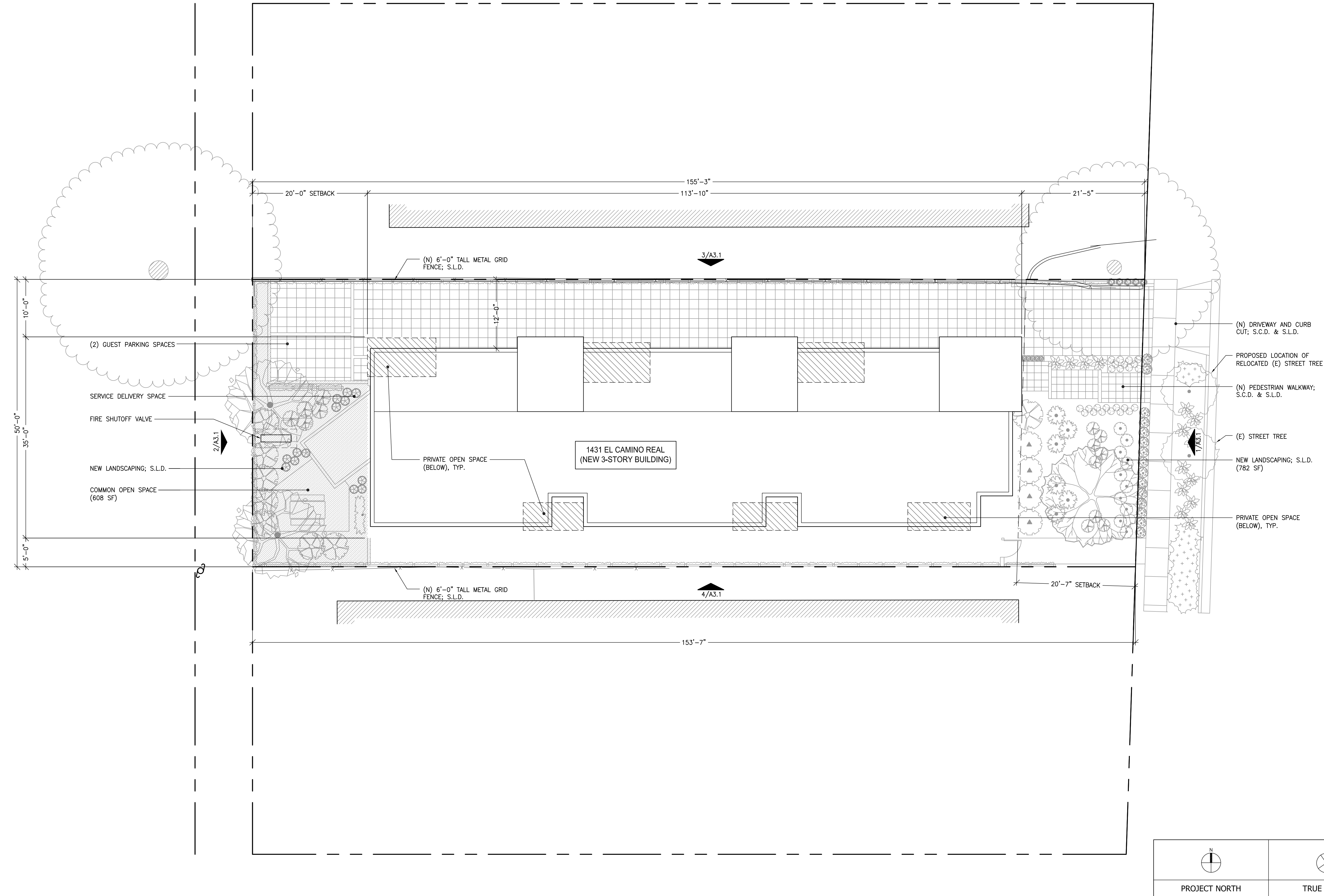
CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE: AS NOTED

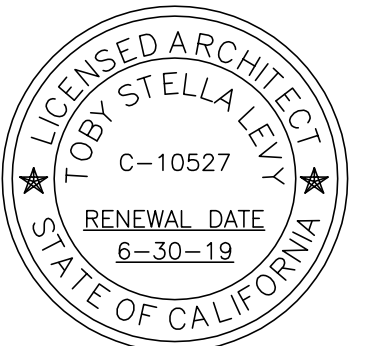
SITE PLAN:
EXISTING &
DEMOLITION

A1.0



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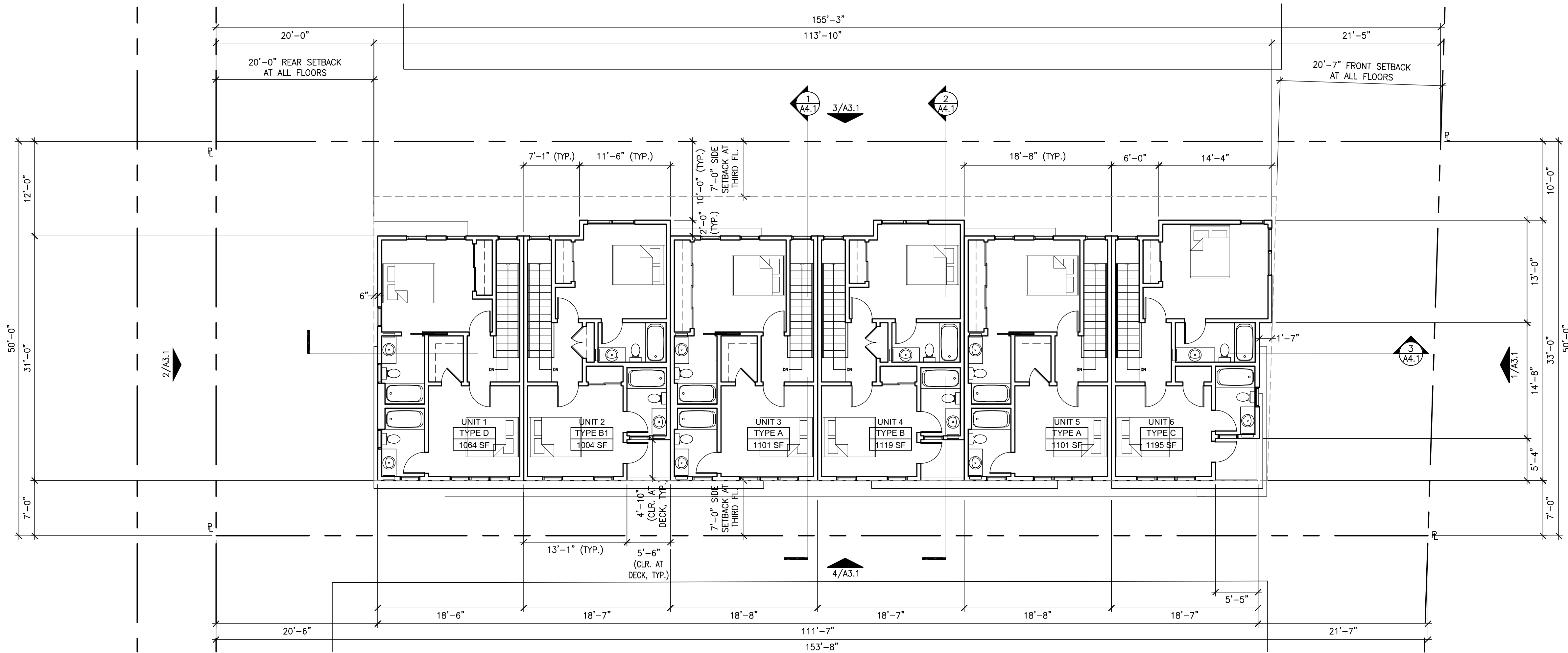
SITE PLAN:
NEW

A1.1

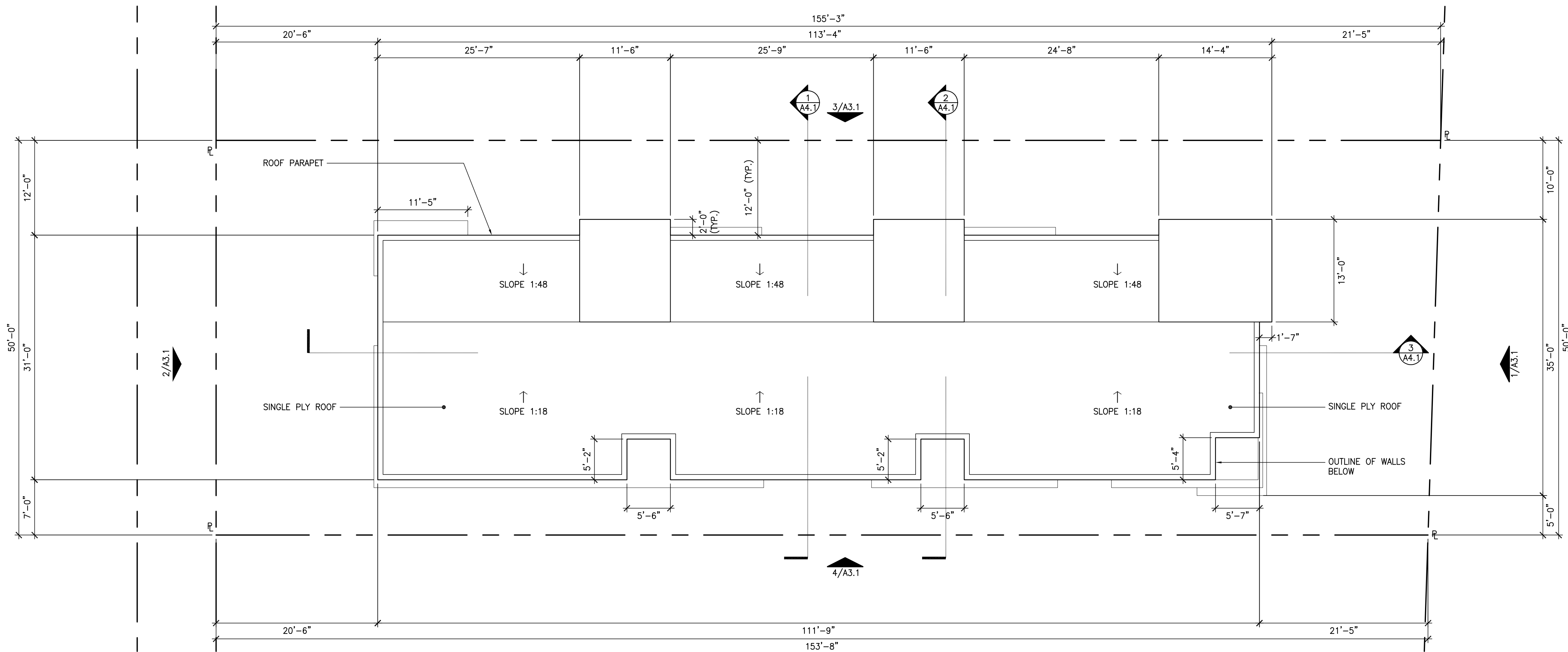


A2.1





1 THIRD FLOOR PLAN
1/8"=1'-0"



2 ROOF PLAN
1/8"=1'-0"

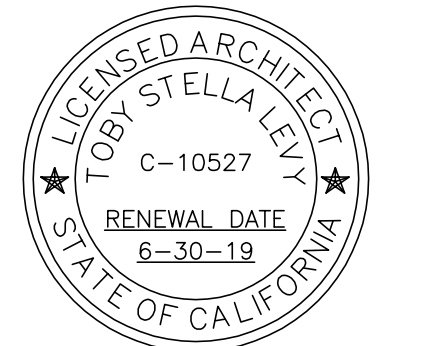
GENERAL NOTES

- CONTRACTOR TO PROVIDE SOLID CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME DIMENSION AS ASSOCIATED FRAMING, SEE A0.4.
- SEE CIVIL & LANDSCAPE DRAWINGS FOR ADDITIONAL SCOPE OF WORK.



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DIMENSION NOTES

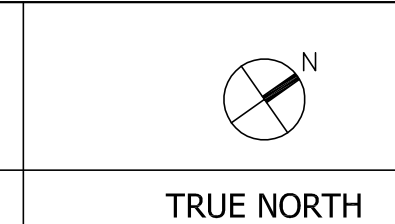
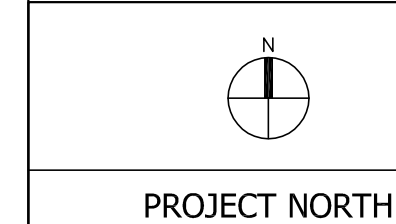
- ALL DIMENSIONS ARE TO FACE OF FINISH, U.O.N.
- SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.

PLANNING NOTES

- FOR UNIT AREAS AND CALCULATIONS SEE SHEET A0.3 - PLANNING AREA CALCULATIONS
- *DECKS MIN. 10'-0" PER SIDE ON GROUND FLOOR & MIN. 3'-6" PER SIDE ON UPPER FLOORS.

LEGEND

- WALL MOUNTED LIGHT FIXTURE
- DROPPED SOFFIT ABOVE FOR MECHANICAL EQUIPMENT



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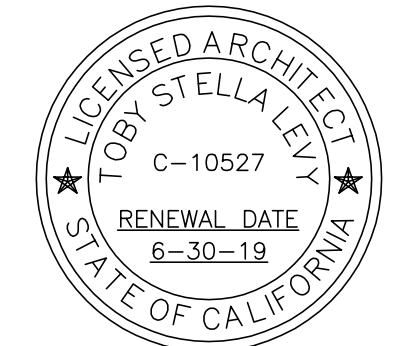
SCALE: AS NOTED

FLOOR PLANS:
THIRD FLOOR &
ROOF

A2.2

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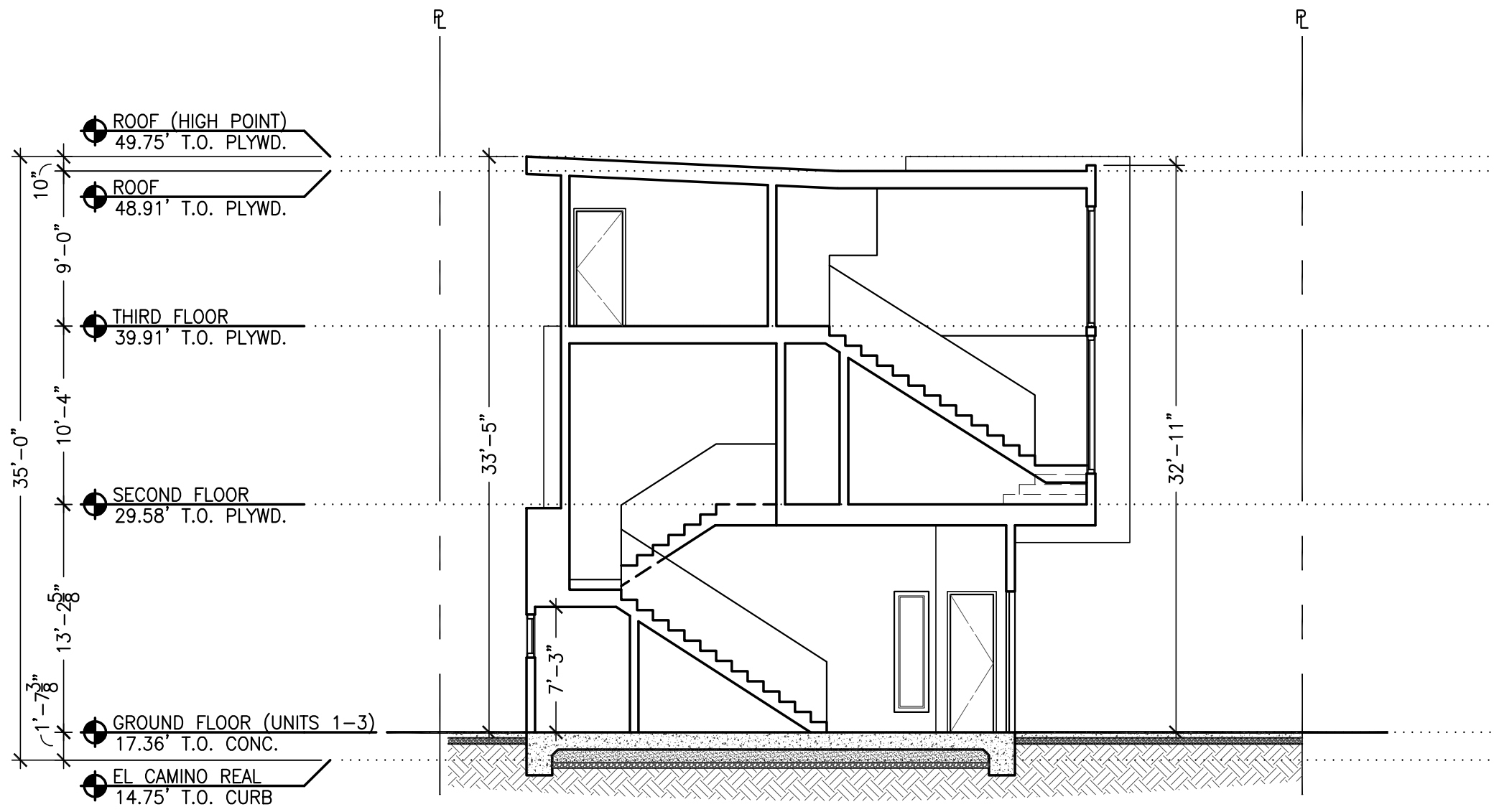
SCALE: AS NOTED

BUILDING
SECTIONS

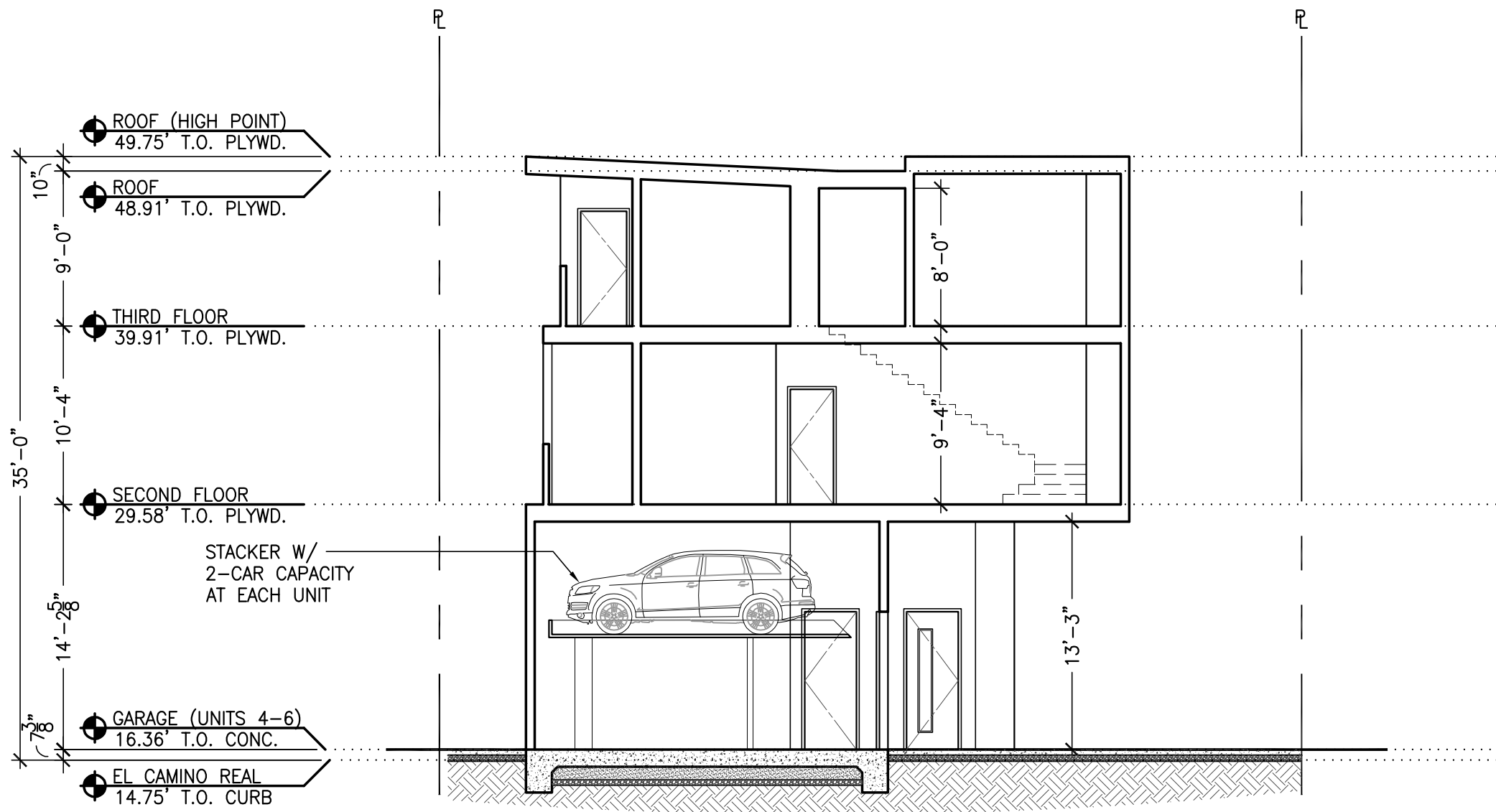
A4.1



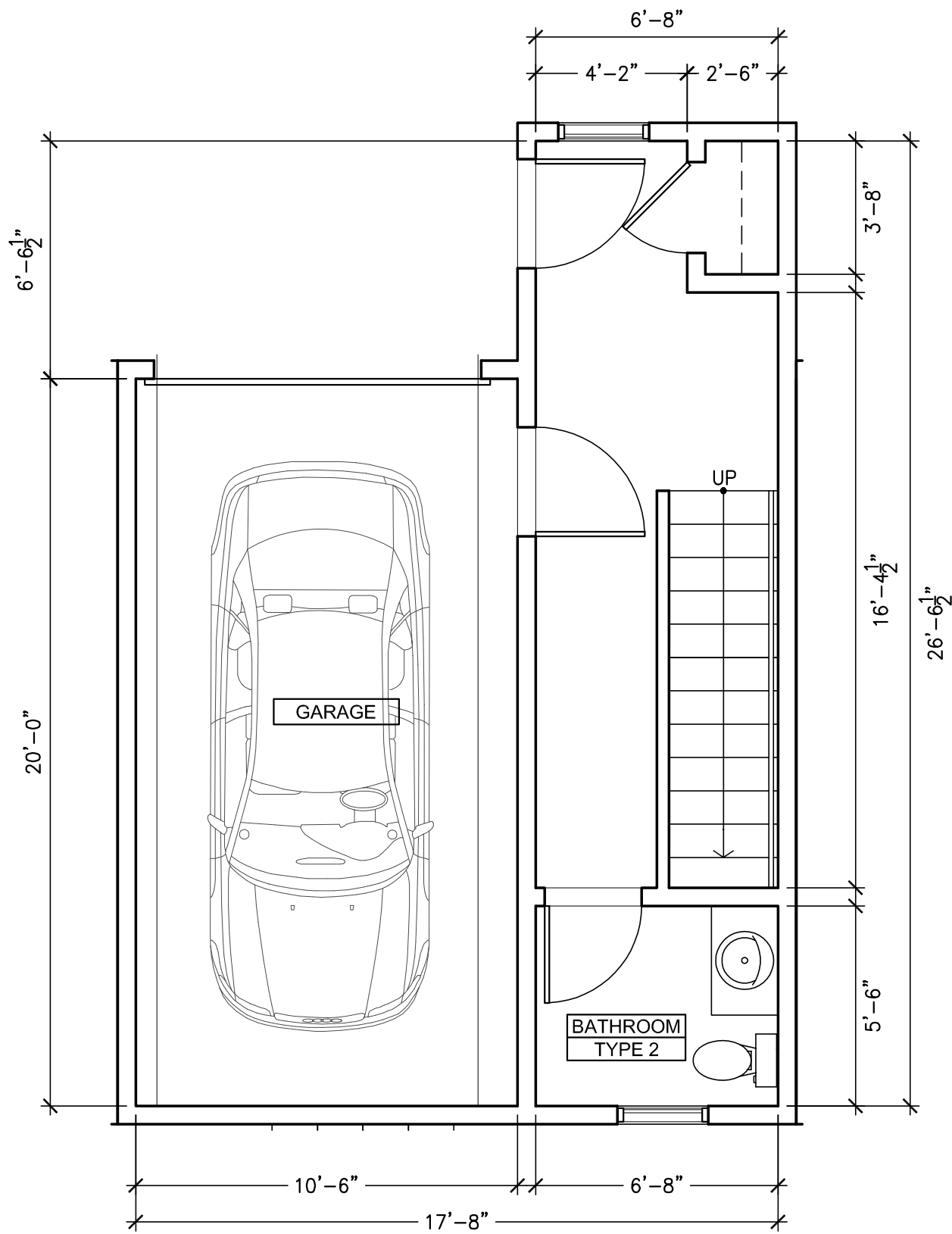
3 BUILDING SECTION
1/8"=1'-0"



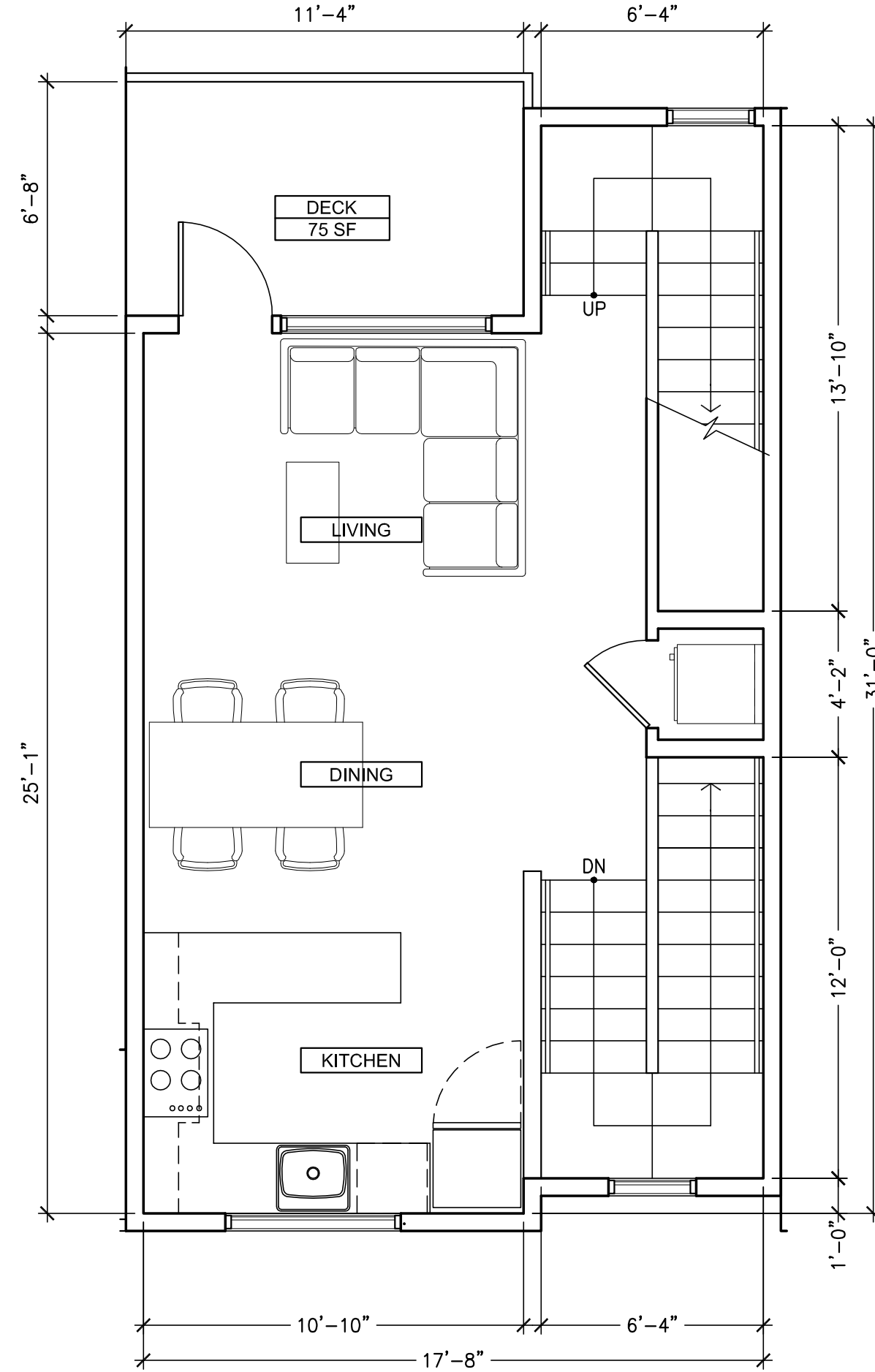
2 BUILDING SECTION
1/8"=1'-0"



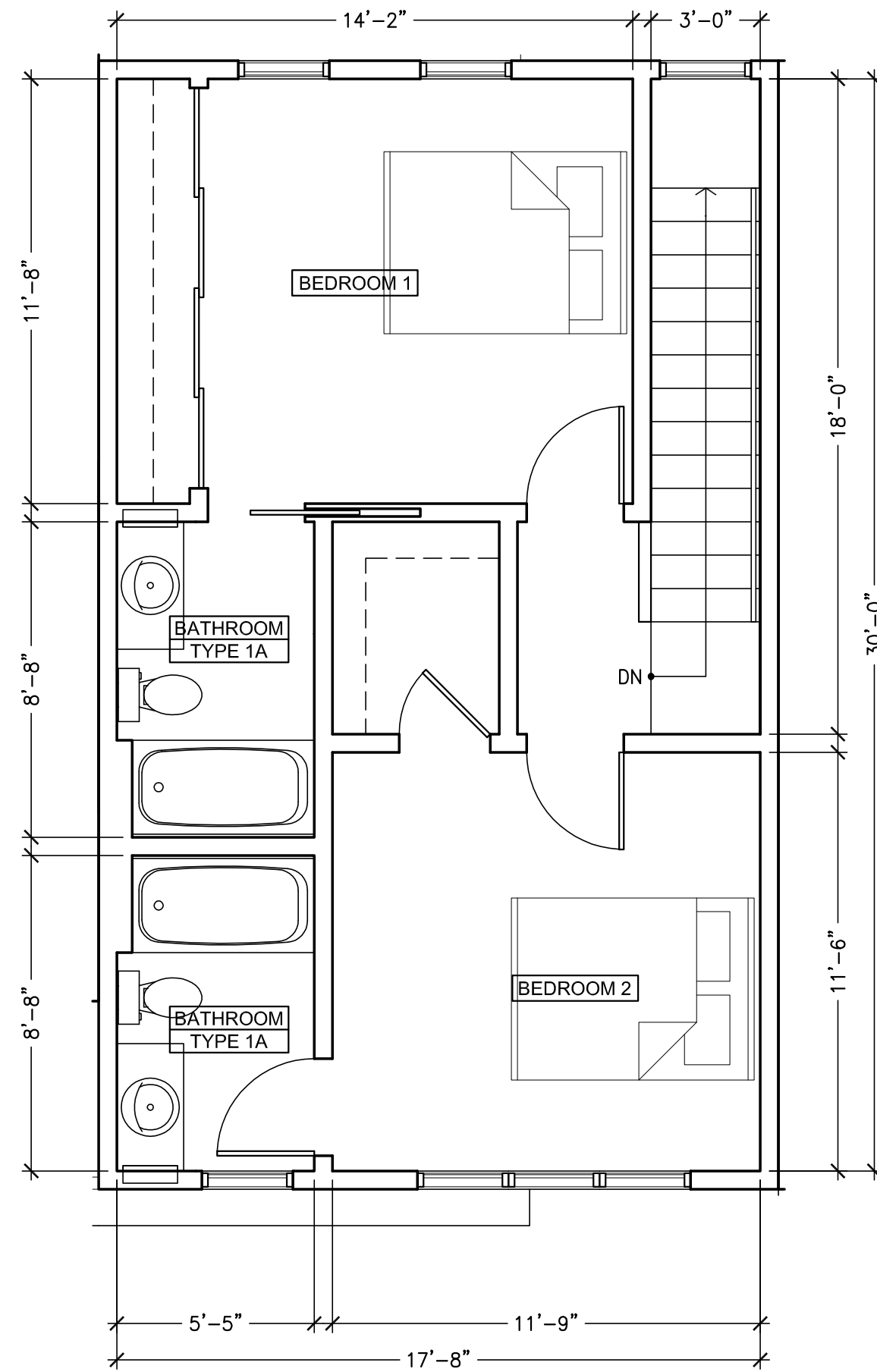
1 BUILDING SECTION
1/8"=1'-0"



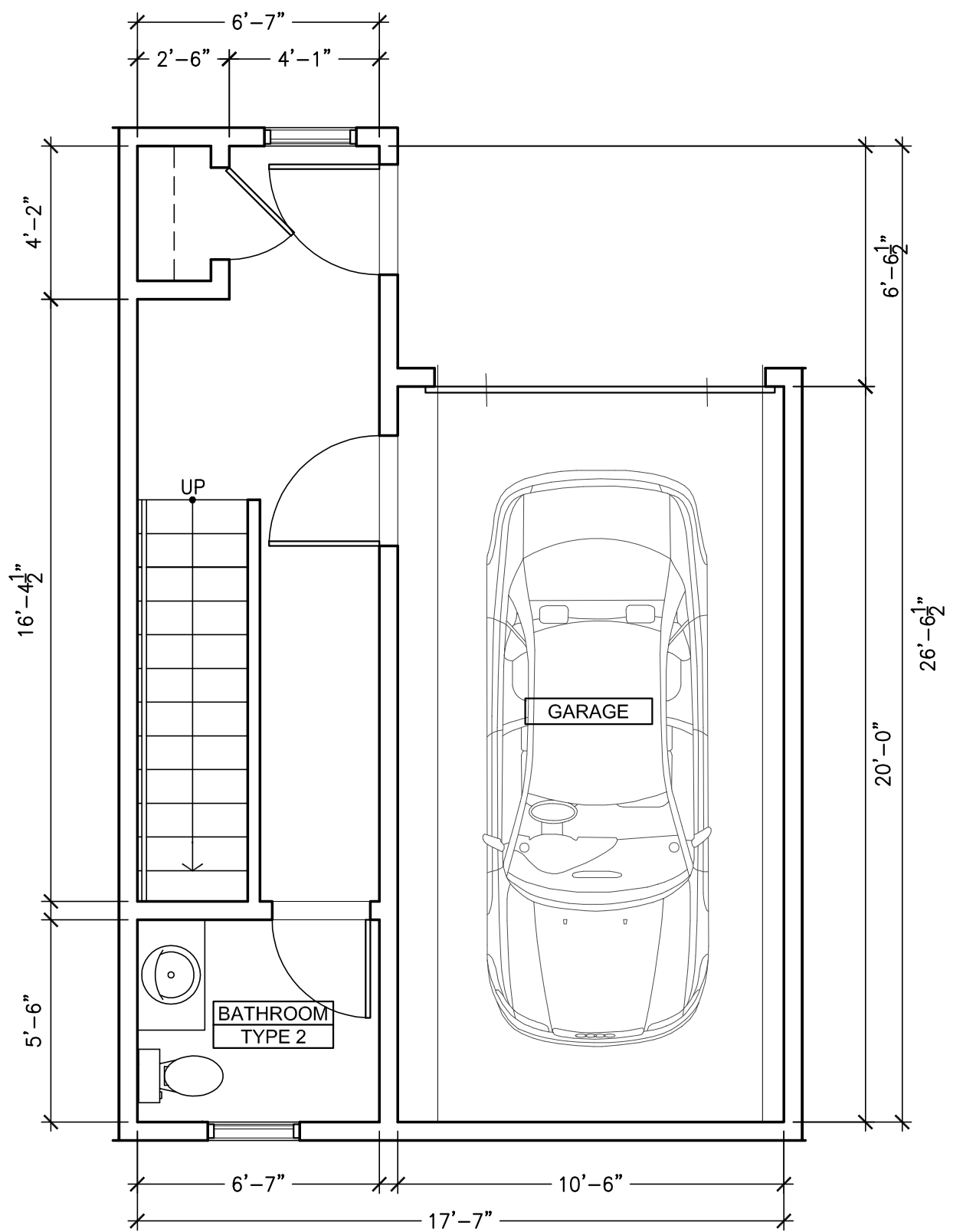
1 ENLARGED PLAN: UNIT A - GROUND FLOOR
1/4" = 1'-0"



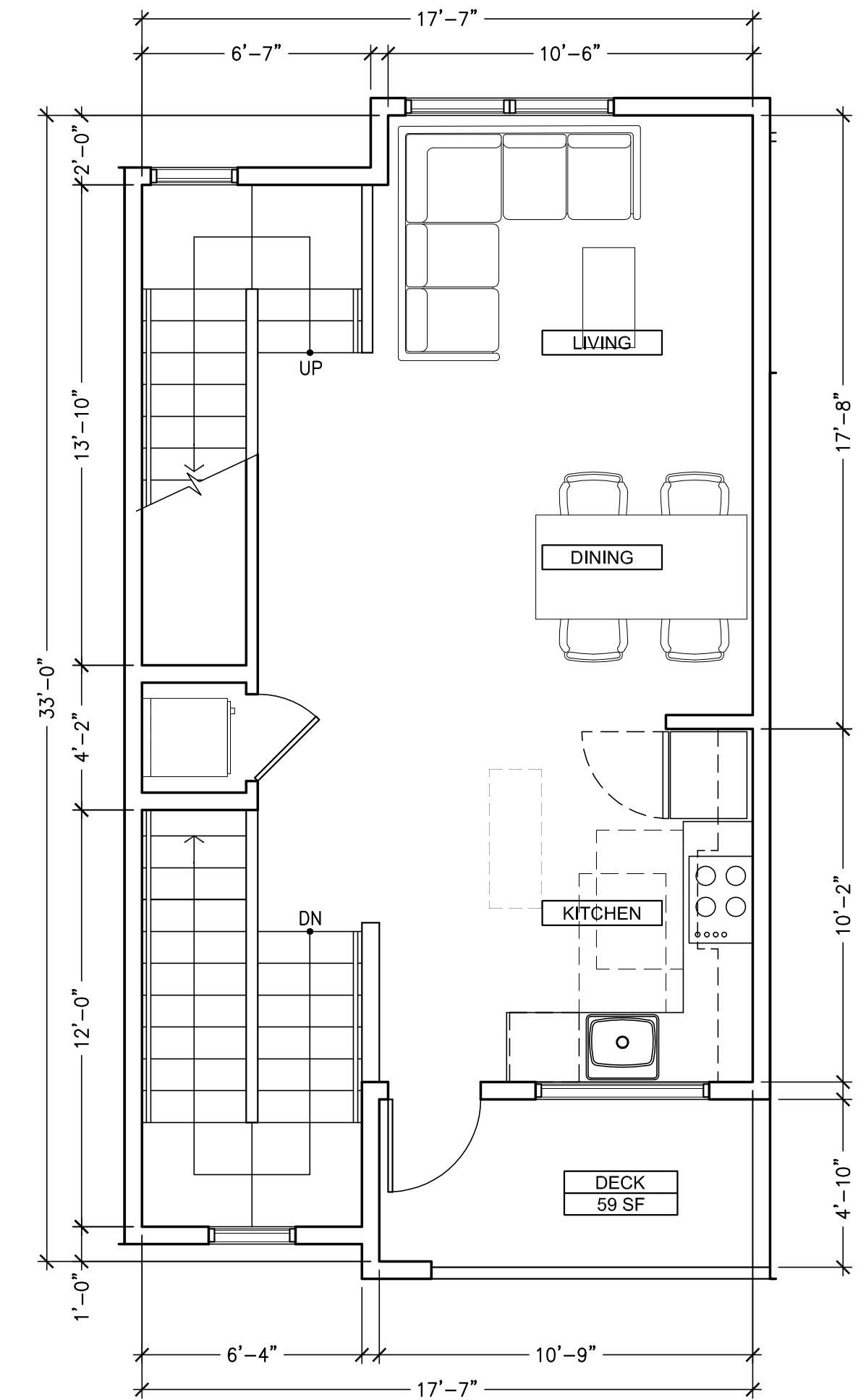
2 ENLARGED PLAN: UNIT A - SECOND FLOOR
1/4" = 1'-0"



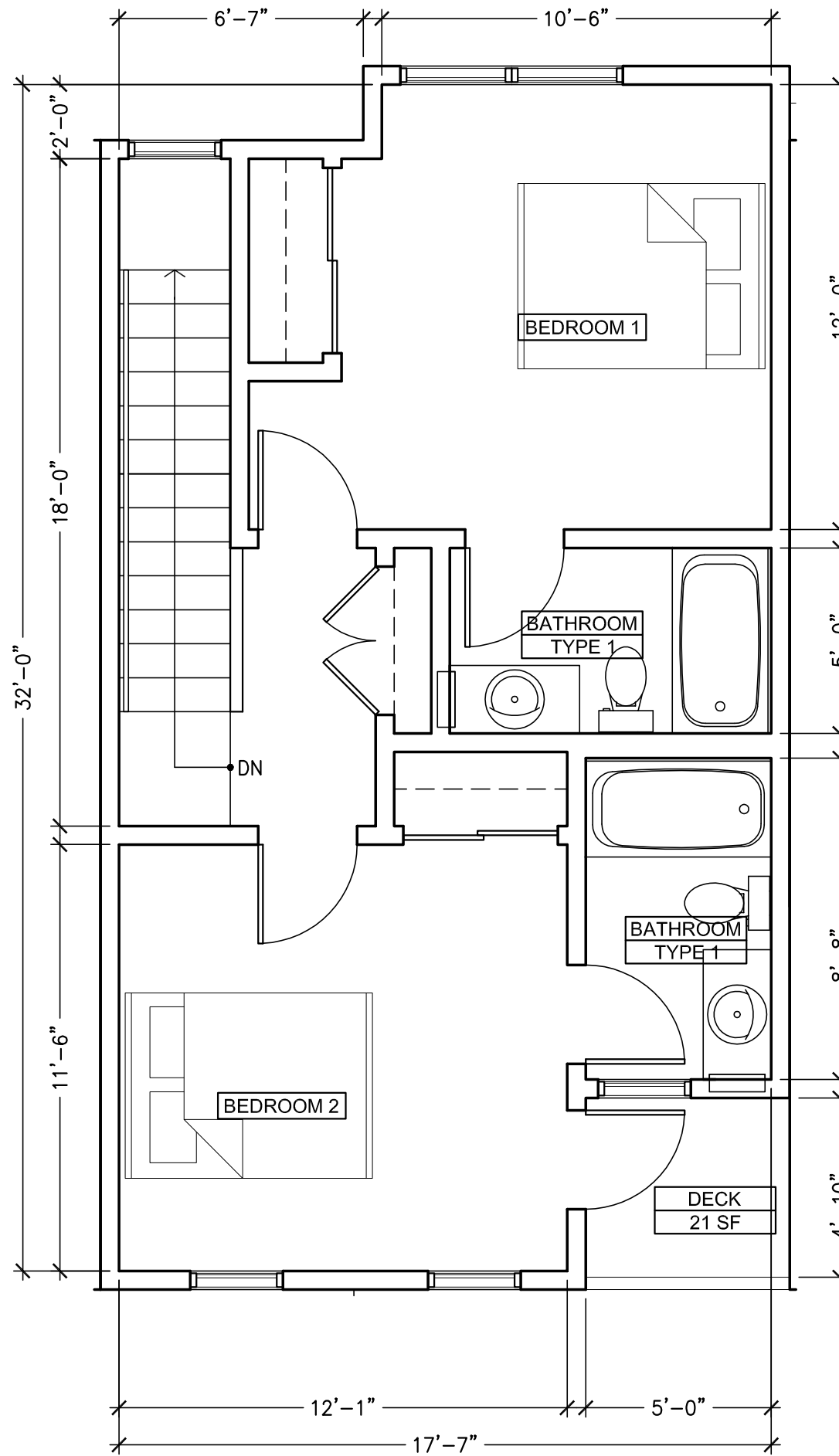
3 ENLARGED PLAN: UNIT A - THIRD FLOOR
1/4" = 1'-0"



4 ENLARGED PLAN: UNIT B - GROUND FLOOR
1/4" = 1'-0"



5 ENLARGED PLAN: UNIT B - SECOND FLOOR
1/4" = 1'-0"



6 ENLARGED PLAN: UNIT B - THIRD FLOOR
1/4" = 1'-0"

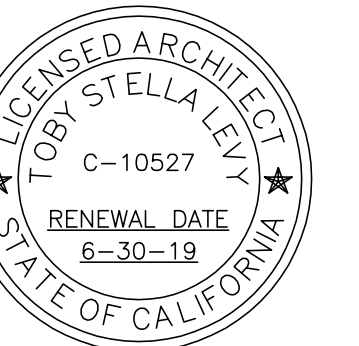
GENERAL NOTES

1. CONTRACTOR TO PROVIDE SOLID CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME DIMENSION AS ASSOCIATED FRAMING, SEE A0.4.



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SCALE: AS NOTED

ENLARGED
UNIT PLANS:
A & B

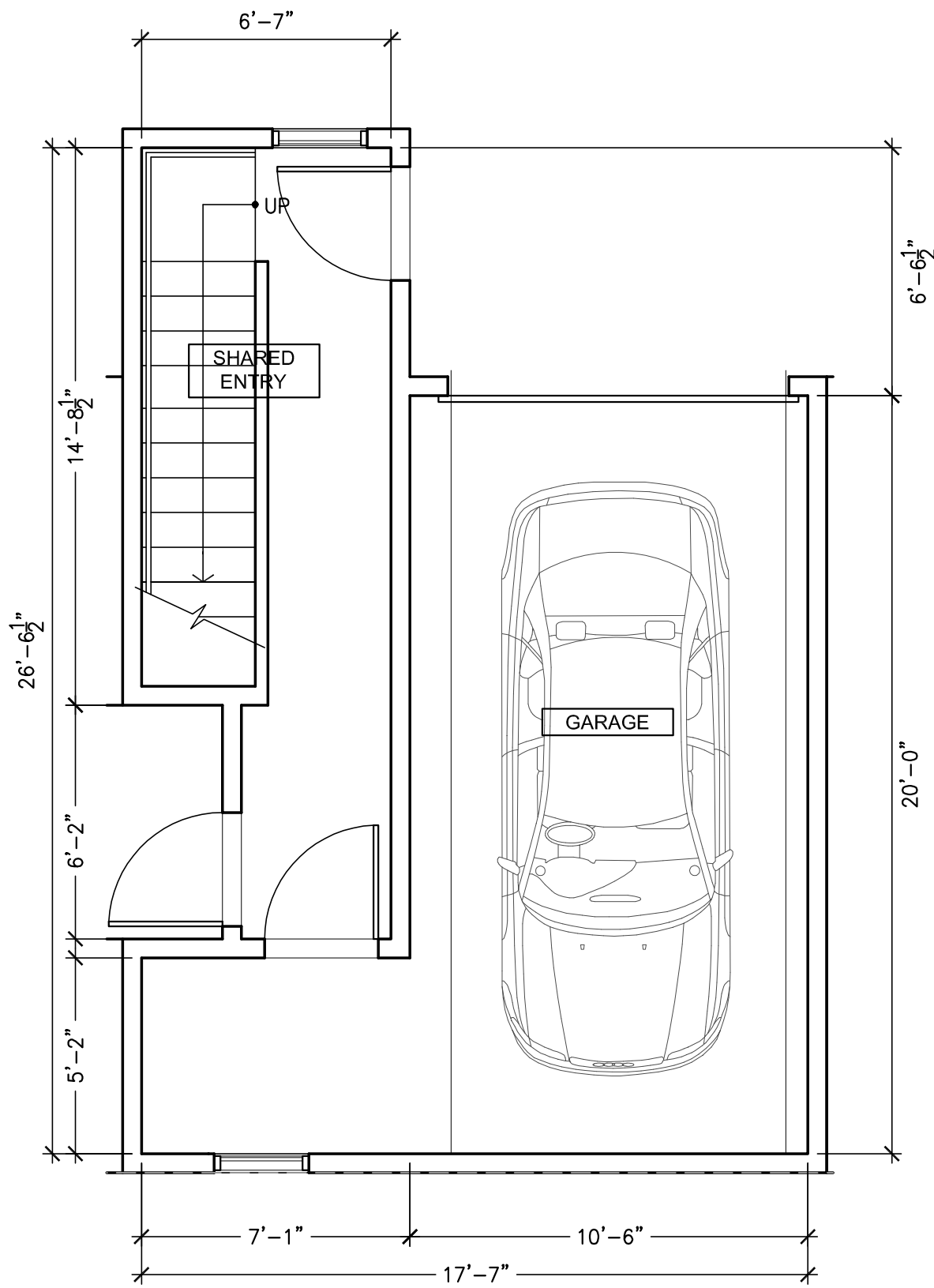
A5.1

DIMENSION NOTES

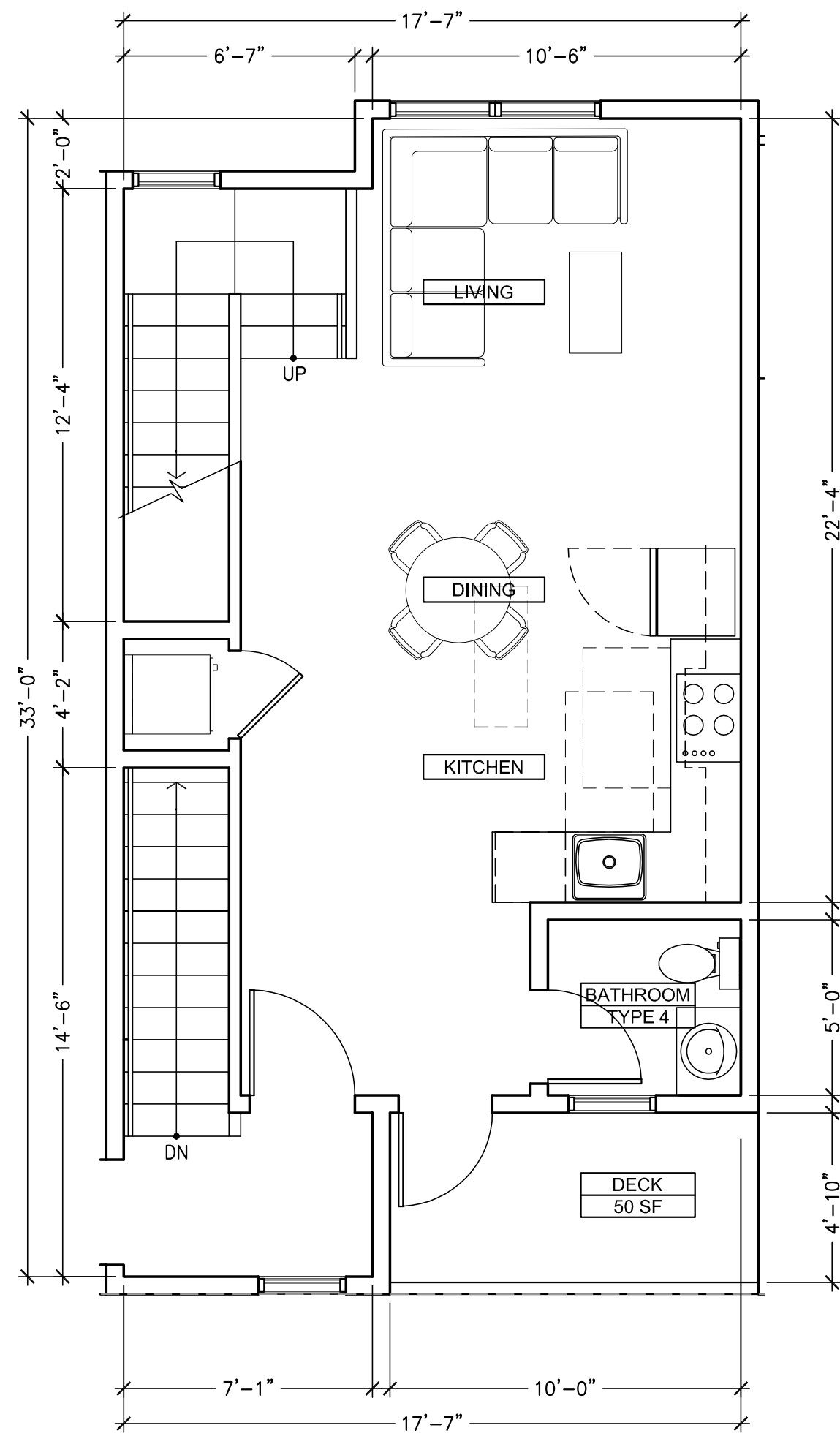
1. ALL DIMENSIONS ARE TO FACE OF FINISH, U.O.N.
2. SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.

PLANNING NOTES

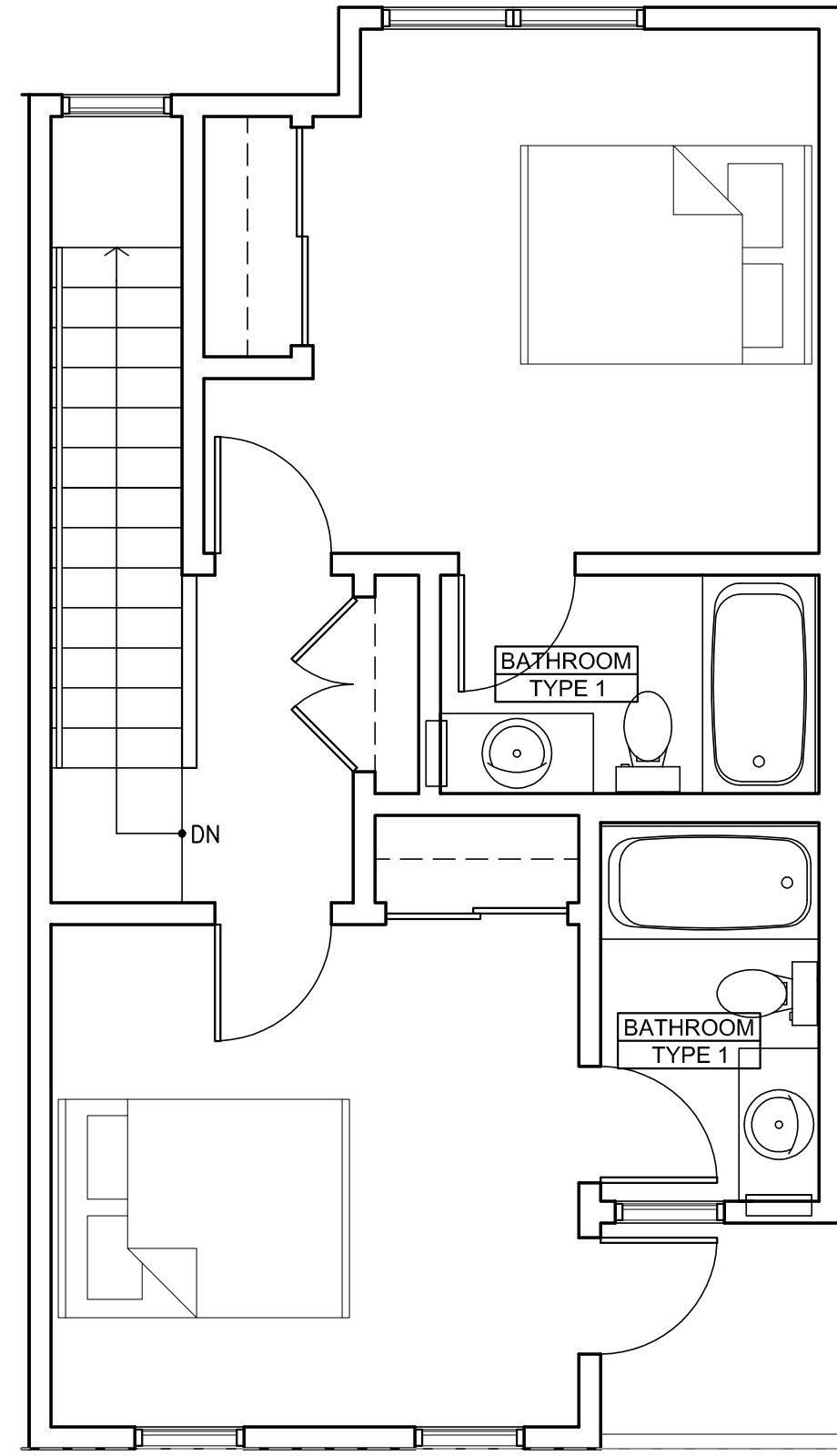
1. FOR UNIT AREAS AND CALCULATIONS SEE SHEET A0.3 - PLANNING AREA CALCULATIONS
2. *DECKS MIN. 10'-0" PER SIDE ON GROUND FLOOR & MIN. 3'-6" PER SIDE ON UPPER FLOORS.



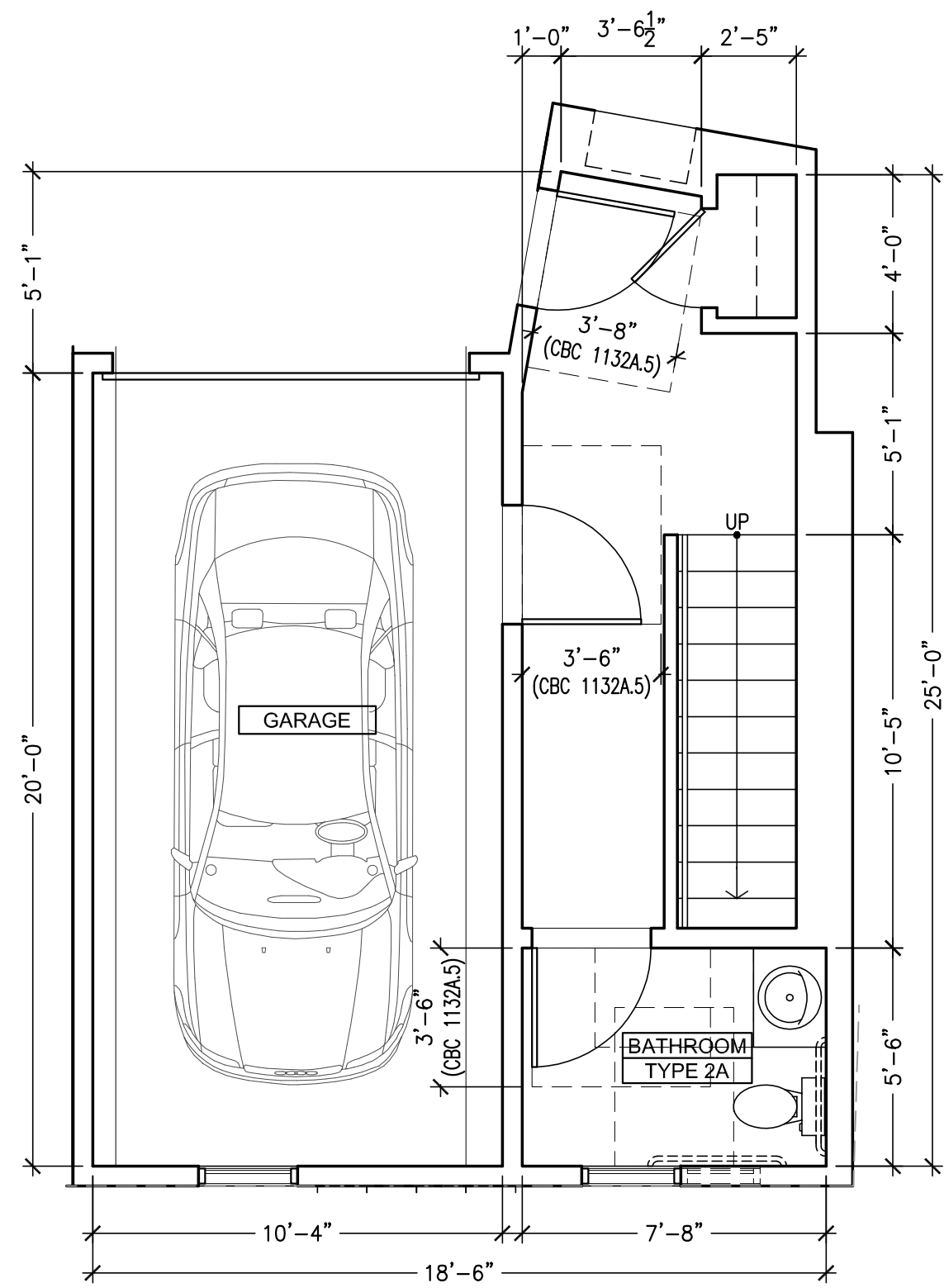
1 ENLARGED PLAN: UNIT B1 - GROUND FLOOR
1/4" = 1'-0"



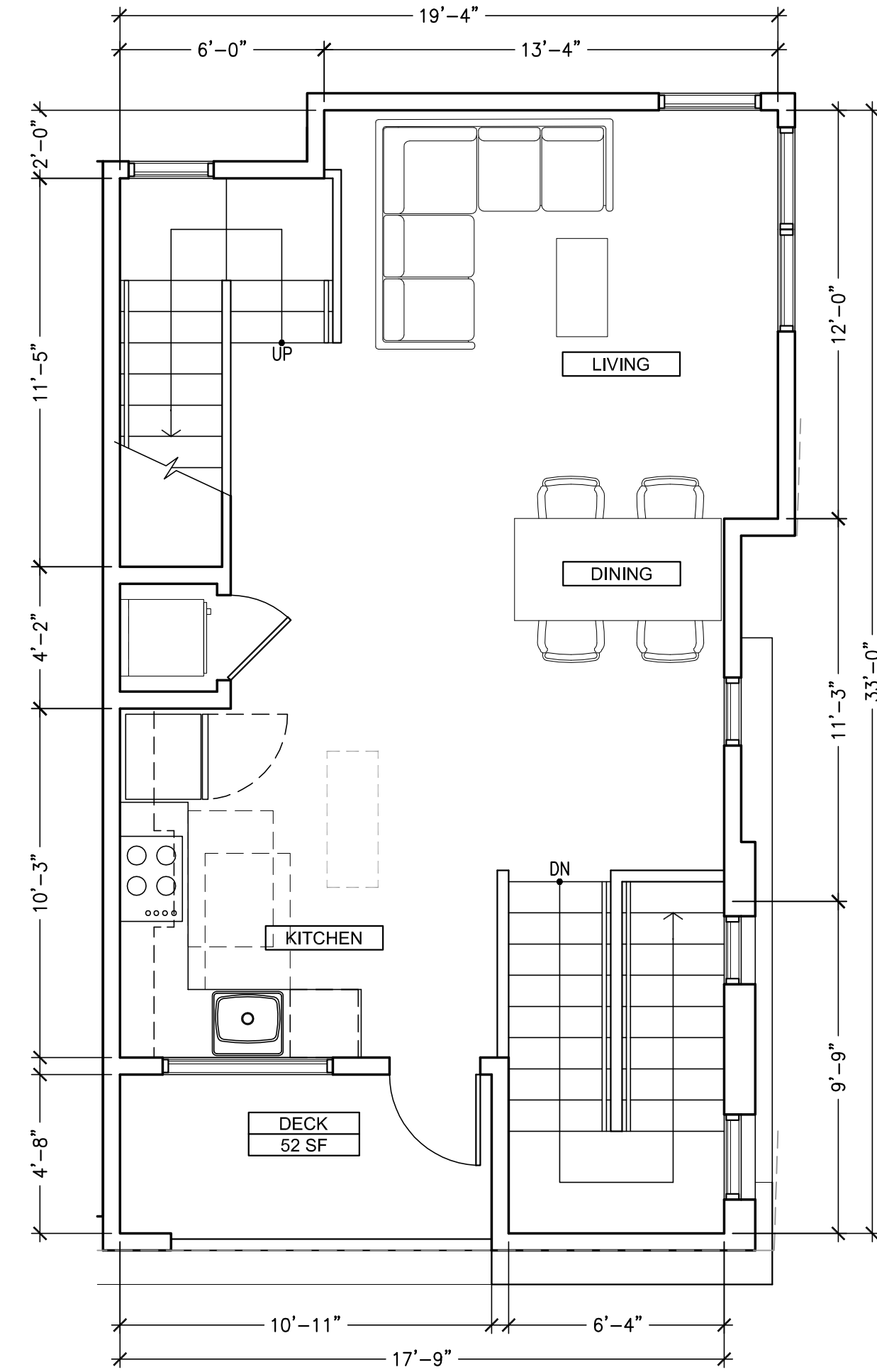
2 ENLARGED PLAN: UNIT B1 - SECOND FLOOR
1/4" = 1'-0"



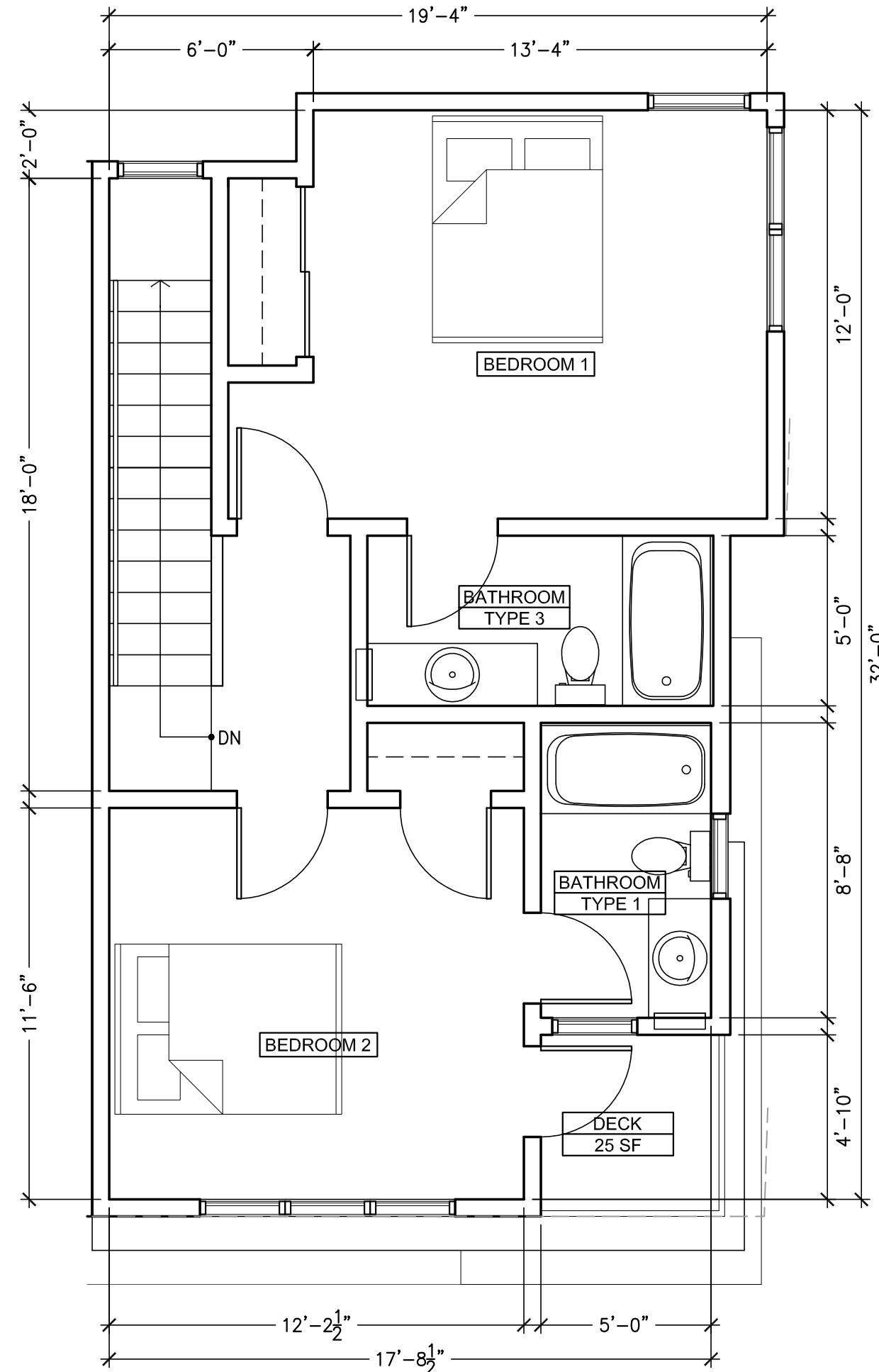
3 ENLARGED PLAN: UNIT B1 - THIRD FLOOR
1/4" = 1'-0" SAME AS UNIT B



4 ENLARGED PLAN: UNIT C - GROUND FLOOR
1/4" = 1'-0"



5 ENLARGED PLAN: UNIT C - SECOND FLOOR
1/4" = 1'-0"



6 ENLARGED PLAN: UNIT C - THIRD FLOOR
1/4" = 1'-0"

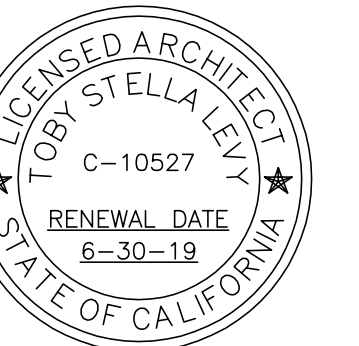
GENERAL NOTES

1. CONTRACTOR TO PROVIDE SOLID CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME DIMENSION AS ASSOCIATED FRAMING, SEE A0.4.



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1431 EL CAMINO REAL,
BURLINGAME, CA



1431 EL CAMINO REAL
BLOCK/PARCEL/LOT:
APN: 026-013-110
BURLINGAME, CA
PROJECT NO. 2016-03

DATE	SET ISSUE
09-29-2016	PLANNING SUBMISSION
02-10-2016	PLANNING RESPONSE
07-07-2017	PLANNING RESPONSE
12-22-2017	PLANNING COMMISSION RESPONSE

CONTACT: TOBY LEVY

(415) 777-0561 P
(415) 777-5117 F

SCALE: AS NOTED

ENLARGED
UNIT PLANS:
B1 & C

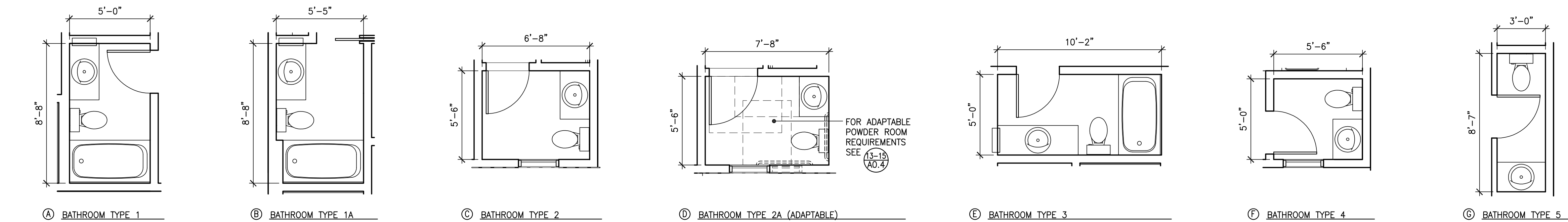
A5.2

DIMENSION NOTES

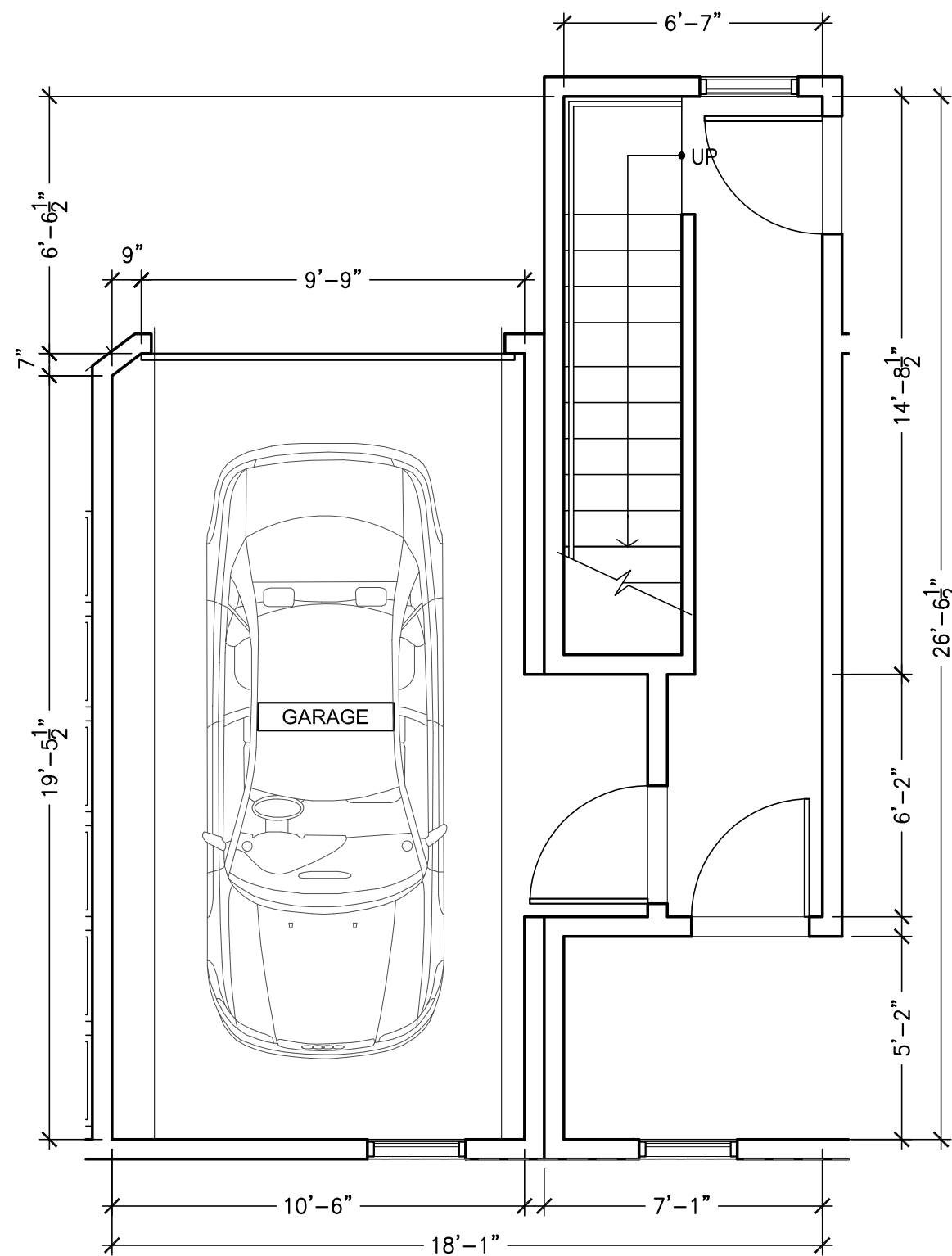
1. ALL DIMENSIONS ARE TO FACE OF FINISH, U.O.N.
2. SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.

PLANNING NOTES

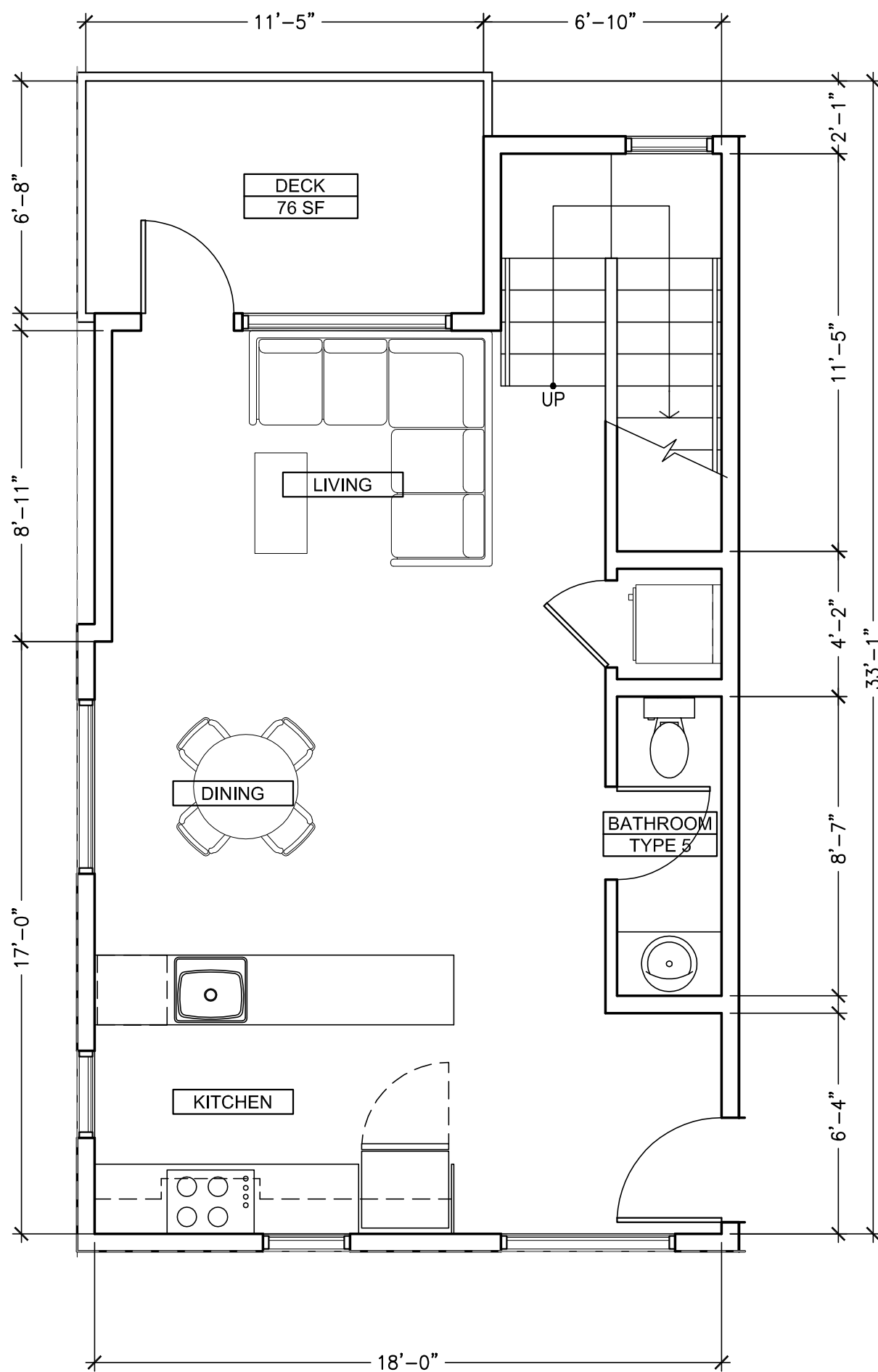
1. FOR UNIT AREAS AND CALCULATIONS SEE SHEET A0.3 - PLANNING AREA CALCULATIONS
2. *DECKS MIN. 10'-0" PER SIDE ON GROUND FLOOR & MIN. 3'-6" PER SIDE ON UPPER FLOORS.



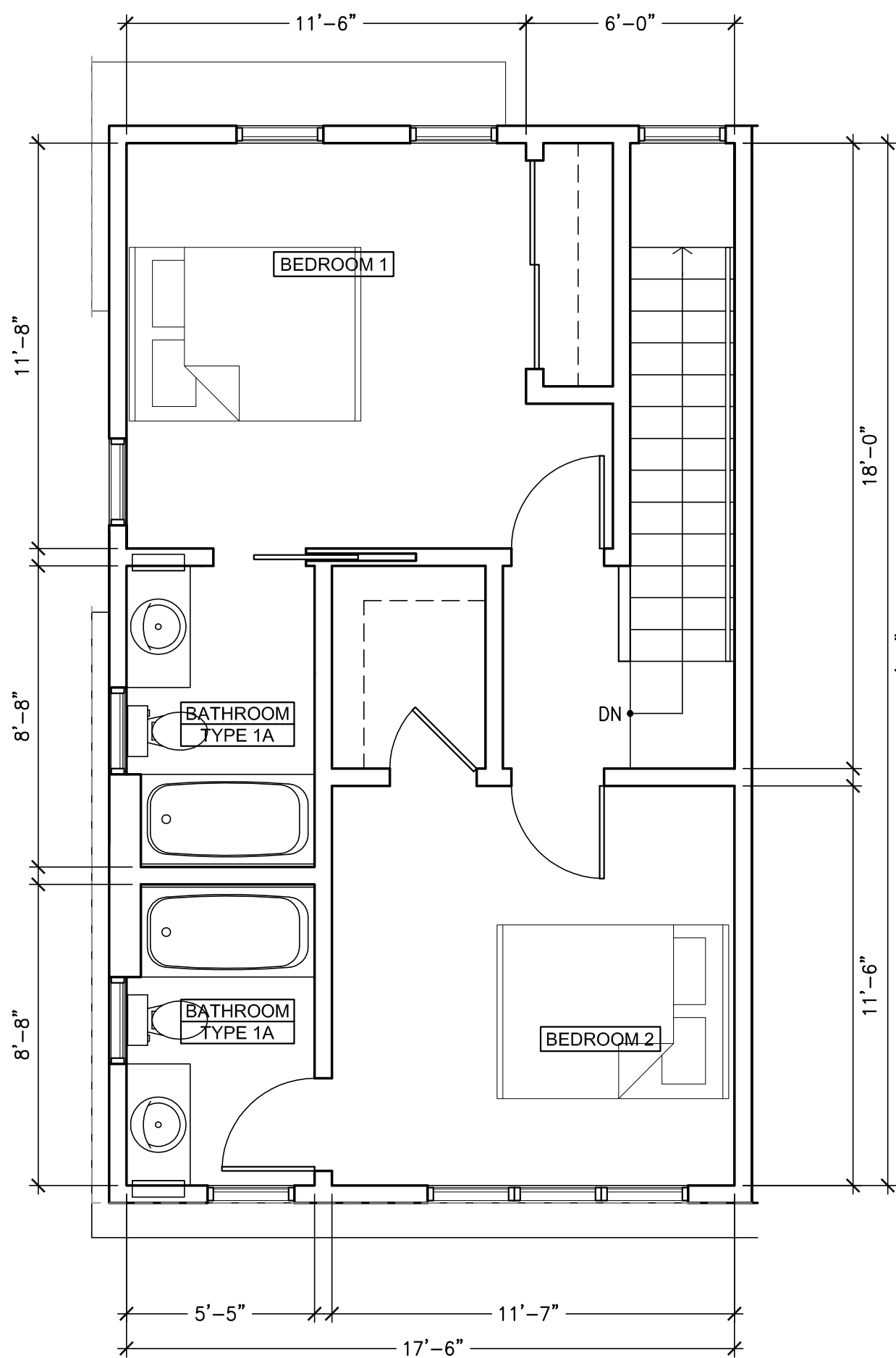
4 ENLARGED BATHROOM PLANS
1/4" = 1'-0"



1 ENLARGED PLAN: UNIT D - GROUND FLOOR
1/4" = 1'-0"



2 ENLARGED PLAN: UNIT D - SECOND FLOOR
1/4" = 1'-0"



3 ENLARGED PLAN: UNIT D - THIRD FLOOR
1/4" = 1'-0"

GENERAL NOTES

1. CONTRACTOR TO PROVIDE SOLID CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME DIMENSION AS ASSOCIATED FRAMING, SEE A0.4.

DIMENSION NOTES

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- SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.

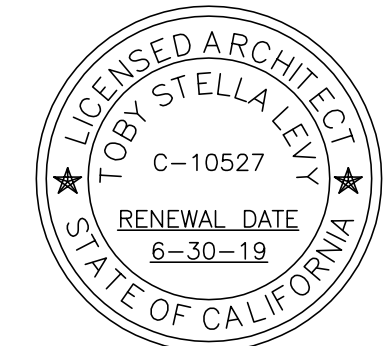
PLANNING NOTES

- FOR UNIT AREAS AND CALCULATIONS SEE SHEET A0.3 - PLANNING AREA CALCULATIONS
- *DECKS MIN. 10'-0" PER SIDE ON GROUND FLOOR & MIN. 3'-6" PER SIDE ON UPPER FLOORS.



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SCALE: AS NOTED

ENLARGED
UNIT PLANS:
UNIT D

A5.3