

CAL GREEN
MANDATORY MEASURES

- A. PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS (4.406.1).
- B. COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (4.504.1).
- C. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (4.504.2.1). PROVIDE DOCUMENTATION.
- D. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.2.2). PROVIDE DOCUMENTATION AS REQUIRED.
- E. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS (4.504.2.3). CONTRACTOR SHALL PROVIDE VERIFICATION AS REQUIRED.
- F. PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS (4.504.5). PROVIDE DOCUMENTATION.
- G. CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE. WOOD FRAMING SHALL HAVE MOISTURE CONTENT OF 19% MAX. (4.505.3).
- H. MATERIALS DELIVERED TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN OR OTHER SOURCES OF MOISTURE.
- I. 65% OF MIXED DEBRIS MUST BE TRANSPORTED BY REGISTERED HAULER TO A REGISTERED FACILITY AND BE PROCESSED FOR RECYCLING IN COMPLIANCE WITH BURLINGAME CONSTRUCTION & DEMOLITION DEBRIS REQUIREMENTS.
- J. UPON REQUEST, CONTRACTOR SHALL PROVIDE VERIFICATION DOCUMENTS TO SHOW SUBSTANTIAL CONFORMANCE WITH THE 2016 CALIFORNIA GREEN CODE REQUIREMENTS.

PLUMBING GENERAL NOTES

1. PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR SITE VERIFICATION OF EXISTING CONDITIONS AND PROPER ENGINEERING OF PLUMBING INSTALLATION.
2. ALL NEW PLUMBING FXTURES AND FITTINGS TO BE INSTALLED ACCORDING TO MAUFACTURERS' RECOMMENDATIONS.
3. PROVIDE AN R-6 INSULATION JACKET AT ALL WATER HEATERS. PRESSURE RELIEVE VALVES MUST BE PROVIDED PRIOR TO INSTALLATION OF THE JACKET. A MINIMUM OF THE FIRST 5' OF BOTH HOT AND COLD WATER PIPES SHALL BE INSULATED (1" THICK).

MECHANICAL GENERAL NOTES

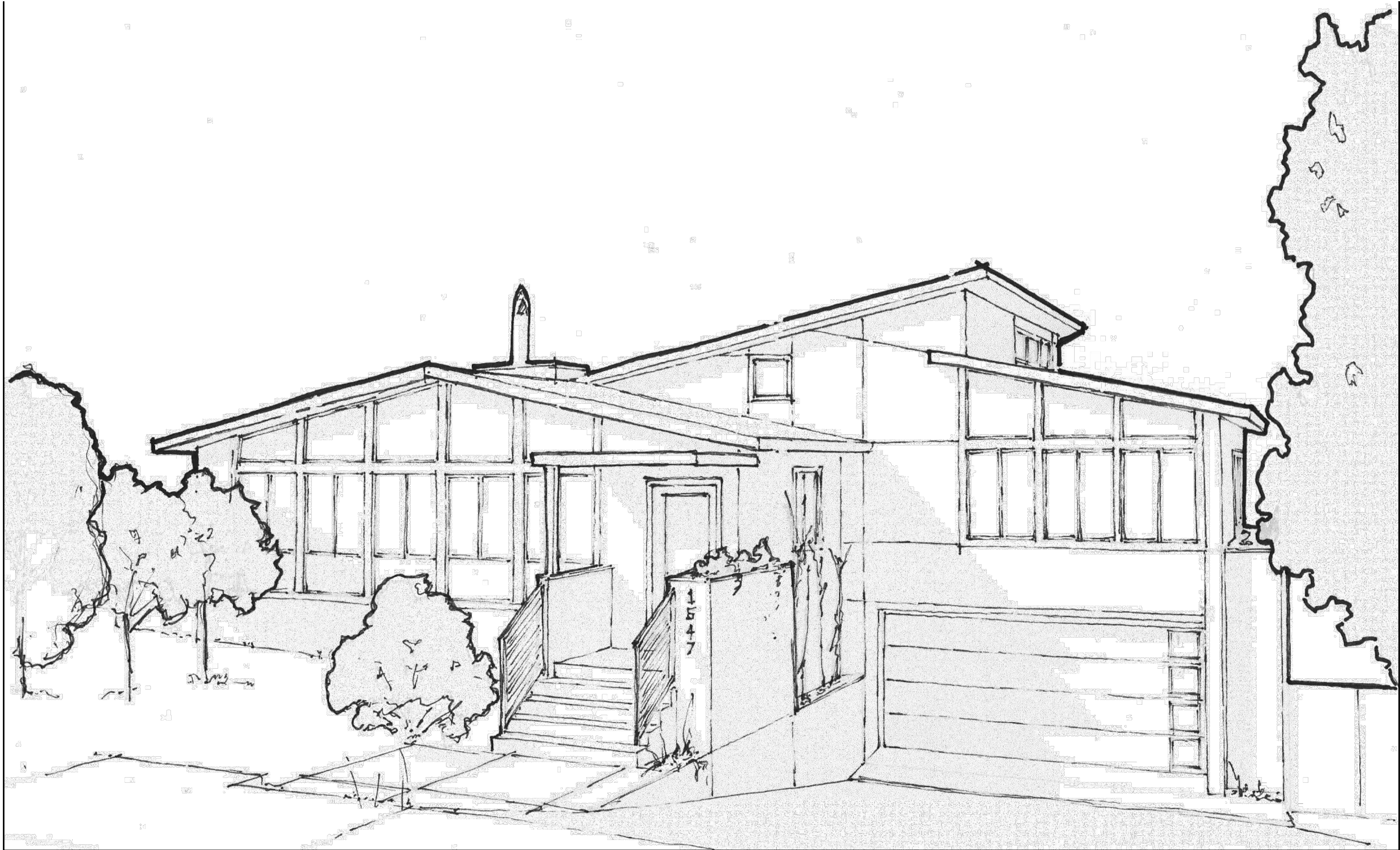
1. HVAC CONTRACTOR SHALL BE RESPONSIBLE FOR SITE VERIFICATION AND PROPER ENGINEERING OF HVAC INSTALLATION.
2. ALL NEW HVAC EQUIPMENT AND APPLIANCES TO BE INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS.
3. HVAC SYSTEM TO PROVIDE CONSTANT, EVEN TEMPERATURE THROUGHOUT UNIT, CAPABLE OF MAINTAINING 70° F AT 36" A.F.F. DAMPERS TO BE ACCESSIBLE FOR NECESSARY ADJUSTMENTS. BALANCING OF SYSTEM TO BE PROVIDED AND COORDINATED WITH REGISTER PLACEMENT.
4. LOCATION OF THERMOSTATS AS NECESSARY TO BE COORDINATED WITH OWNER.

CONSTRUCTION
GENERAL NOTES

1. ALL WORK IN PUBLIC RIGHT OF WAY SHALL BE PER THE CURRENT CITY STANDARDS AND SPECIFICATIONS.
2. STORAGE OF MATERIALS AND EQUIPMENT IN THE PUBLIC RIGHT OF WAY IS NOT ALLOWED.
3. CONTRACTOR SHALL REMOVE ALL DIRT AND DEBRIS FROM PUBLIC RIGHT OF WAY IMMEDIATELY AS A RESULT OF CONSTRUCTION ACTIVITY.
4. CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT PRIOR TO STARTING ANY WORK IN THE PUBLIC RIGHT OF WAY.

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE 2016 EDITION OF THE STATE OF CALIFORNIA BUILDING CODE AND BURLINGAME AMENDMENTS AND ALL OTHER APPLICABLE CODES. GOVERNING AUTHORITIES AND CODES TAKE PRECEDENCE OVER DRAWINGS AND SPECIFICATIONS. REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
2. MECHANICAL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2016 CMC; PLUMBING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2016 CPC; ELECTRICAL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2016 CALIFORNIA ELECTRICAL CODE AND ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST UNIFORM FIRE CODE. ALL CODES SHALL BE AS AMENDED BY THE STATE OF CALIFORNIA.
3. VERIFY DIMENSIONS, GRADES, ELEVATIONS AND CRITICAL LOCATIONS, SUCH AS STRUCTURAL SUPPORTS, BEFORE COMMENCING WORK AFFECTED BY THEM. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
4. THE CONTRACTOR SHALL THOROUGHLY REVIEW PLANS AND EXISTING SITE CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES, ERRORS OR OMISSIONS PRIOR TO CONSTRUCTION.
5. DURING CONSTRUCTION, REPORT ALL DISCREPANCIES AND/OR CONFLICTS IN THE DRAWINGS TO THE ARCHITECT IMMEDIATELY.
6. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING ALL WORK REQUIRED FOR A COMPLETELY FINISHED PROJECT.
7. INSTALL ALL MATERIALS AND PRODUCTS IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND APPLICABLE ICBO REPORTS, FURNISH AND INSTALL ALL REQUIRED FOR A COMPLETE OPERATING SYSTEM.
8. DIMENSIONS SHALL GOVERN ON WORKING DRAWINGS. DO NOT SCALE DRAWINGS.
9. IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE NOTES, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR CALLED FOR.
10. ALL SHEET METAL FABRICATION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF SMACNA, THE SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION MANUAL.
11. NEITHER THE ARCHITECT, NOR THE OWNER SHALL BE RESPONSIBLE FOR: CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONTRACTOR; SAFETY PRECAUTIONS AND PROGRAMS OF CONTRACTOR; THE ACTS OR OMISSIONS OF CONTRACTOR; OR THE FAILURE OF CONTRACTOR TO CARRY OUT THE WORKING ACCORDANCE WITH THE CONTRACT DOCUMENTS.
12. THE CONTRACTOR SHALL DO ALL WORK IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE BUILDING OFFICIAL. THE APPROVED PLANS AND SPECIFICATIONS SHALL NOT BE CHANGED OR MODIFIED WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL PER SECTION 303 OF THE INTERNATIONAL BUILDING CODE AS AMENDED BY THE CALIFORNIA AMENDMENTS.
13. THE ARCHITECT DOES NOT ASSUME RESPONSIBILITY FOR UNDERGROUND UTILITIES NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS. THE LOCATION OF EXISTING UNDERGROUND UTILITY FACILITIES AS SHOWN ON THE PLANS ARE APPROXIMATE ONLY. THE CONTRACTORS SHALL CONTACT THE RESPECTIVE UTILITY COMPANY & PROVIDE UTILITY LOCATION SERVICES AS REQUIRED TO OBTAIN THE EXACT DEPTH OF BURIAL AND HORIZONTAL LOCATION OF UTILITY LINES, CONDUITS, PIPING, ETC.. PRIOR TO PERFORMING UNDERGROUND CONSTRUCTION, THE CONTRACTORS SHALL MAKE THE NECESSARY PROBES AND EXPLORATION TO IDENTIFY AREAS OF POSSIBLE CONFLICT WITH THE PROPOSED WORK.



DRAWING INDEX

ARCHITECTURAL SHEETS

- | | |
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| A0.1 | TITLE SHEET |
| A1.1 | (APPROVED) AND (REVISED) SITE PLAN |
| A2.1 | (APPROVED) AND (REVISED) FLOOR PLANS |
| A2.2 | (APPROVED) AND (REVISED) FLOOR PLANS |
| A3.1 | (APPROVED) AND (REVISED) ELEVATIONS |
| A3.2 | (APPROVED) AND (REVISED) ELEVATIONS |
| A3.3 | (APPROVED) AND (REVISED) ELEVATIONS |

PROPOSED REVISION TO APPROVED DESIGN:

PROPOSED REVISION REDUCES NEW ROOF OVERLAP AT REAR OF ADDITION ONLY. NO PROPOSED CHANGES TO APPROVED FRONT FACADE OR BUILDING HEIGHT. NO CHANGE IN FLOOR AREA.

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF AN ADDITION TO AN EXISTING TWO-STORY SINGLE FAMILY RESIDENCE. GROUND FLOOR TO CONSIST OF A 2-CAR GARAGE, AND THE SECOND FLOOR TO CONSIST OF A NEW KITCHEN/DINING/FAMILY ROOM. EXISTING KITCHEN TO BE CONVERTED TO A 5TH BEDROOM.

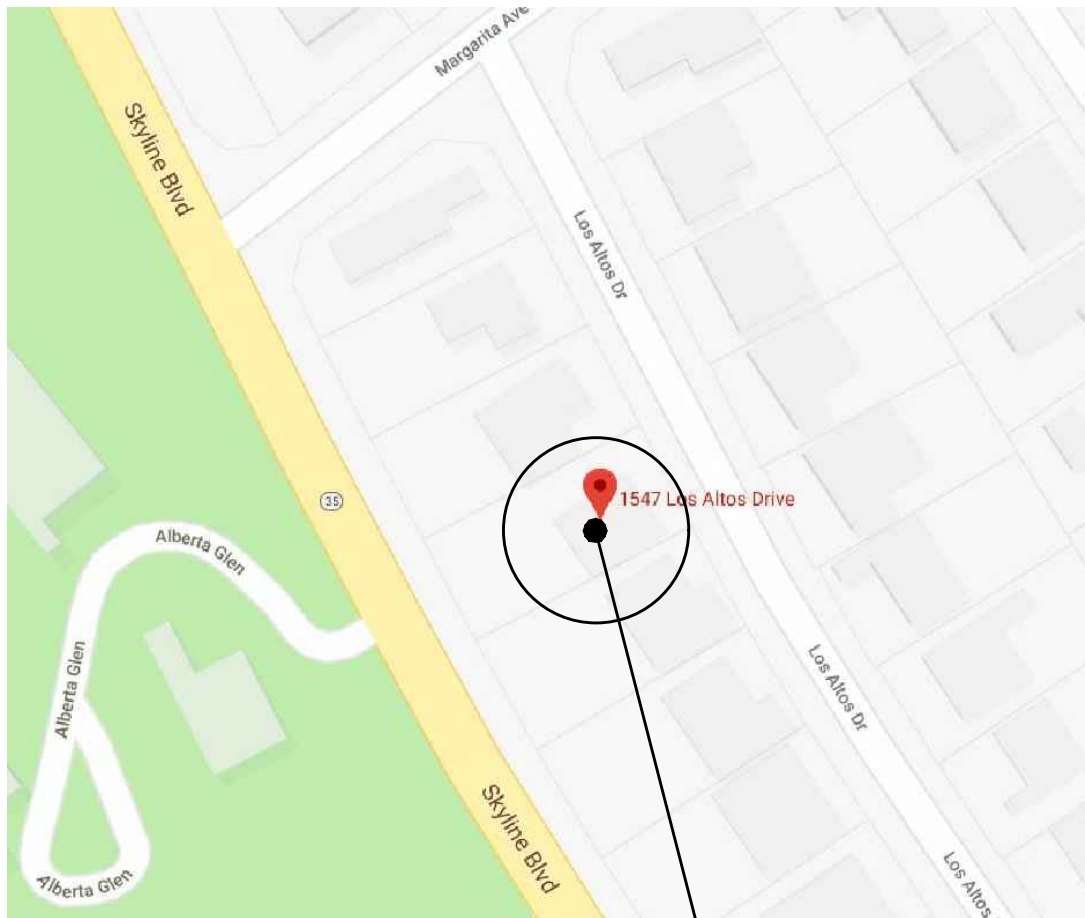
ANY HIDDEN CONDITIONS THAT REQUIRE WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT ISSUED FOR THESE PLANS MAY REQUIRE FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION.

FIRE SPRINKLER SYSTEM WORK IN ACCORDANCE WITH NFPA 13D SHALL BE INSTALLED UNDER SEPARATE PERMIT.

CODE REFERENCES:

ALL DESIGN AND CONSTRUCTION SHALL COMPLY WITH THE 2016 CALIFORNIA CODE OF REGULATIONS TITLE 24: BUILDING CODE (CBC); GREEN BUILDING CODE (GBC); ELECTRICAL CODE (CEC); MECHANICAL CODE (CMC); PLUMBING CODE (CPC); ENERGY CODE [2016 ENERGY STANDARDS] (CNC), WITH BURLINGAME MUNICIPAL CODE AMENDMENTS.

VICINITY MAP



PROJECT SITE

PROJECT DATA

ZONING	R-1
APN	027012040
OCCUPANCY	R3 - SINGLE FAMILY
REQUIRED SETBACKS	15' FRONT, 15' BACK, 7' SIDES
LOT AREA	9,034 SF
LOT COVERAGE	9,034 SF x 40% = 3,613 SF (ALLOWED) 2,188 SF (EXISTING) 3,119 SF (PROPOSED)
FLOOR AREA RATIO	(9,034 SF x 0.32) + 1,100 SF = 3,990 SF (ALLOWED) 2,942 SF (EXISTING) 3,683 SF (PROPOSED)
PARKING	1x COVERED + 1x UNCOVERED (EXISTING) 2x COVERED + 1x UNCOVERED (PROPOSED)
AREA	EXISTINGADDITION
SECOND FLOOR	± 1,508 SF564 SF
FIRST FLOOR	± 754 SF592 SF
(E) DECK (DEMO)	± 422 SF(- 422 SF)
(N) DECK	109 SF
	±3,527 SF (TOTAL FLOOR AREA)

ARCHITECT: JARED KUYKENDALL, LEED AP BD+C
STUDIO 797
1618 SULLIVAN AVENUE #486
DALY CITY, CA 94015
415.871.9976

DESIGN REVISION | FYI SUBMITTAL - APRIL 1, 2019

TITLE SHEET

REVISIONS

ISSUE DATE
APRIL 1, 2019

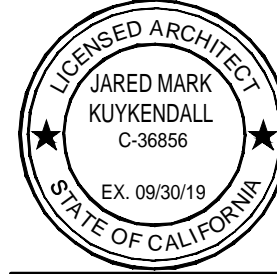
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JMK

JOB NUMBER
BG-1547.2R

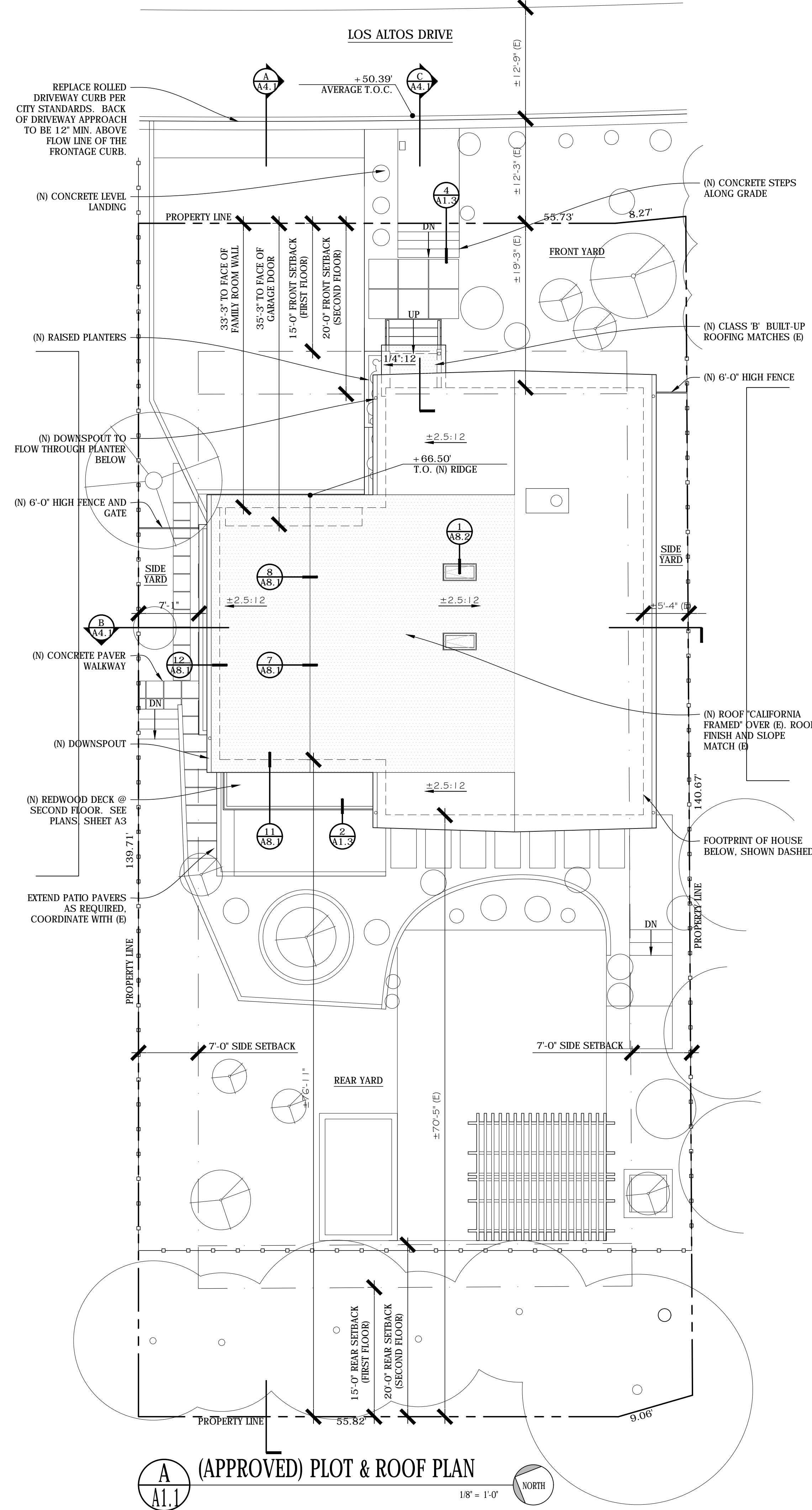
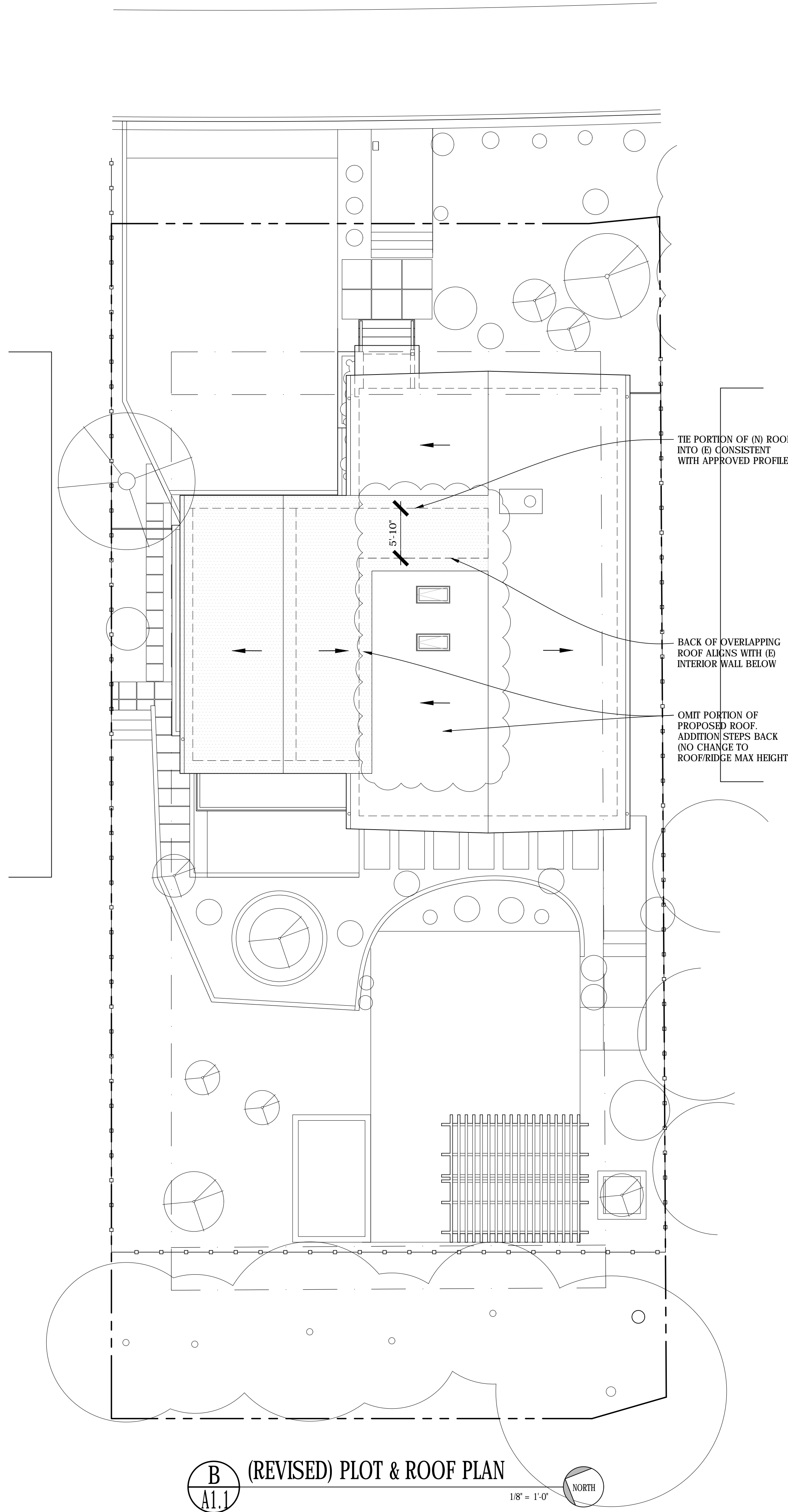
REMODEL AND ADDITION:
1547 LOS ALTOS DRIVE
BURLINGAME, CA
APN # 027012040

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jared kuykendall / 415.871.9976

OWNER:
FLORA LEE & JONATHAN WAN
650.200.8498



A0.1R



DESIGN REVISION | FYI SUBMITTAL - APRIL 1, 2019

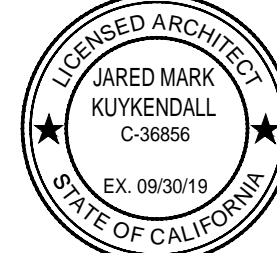
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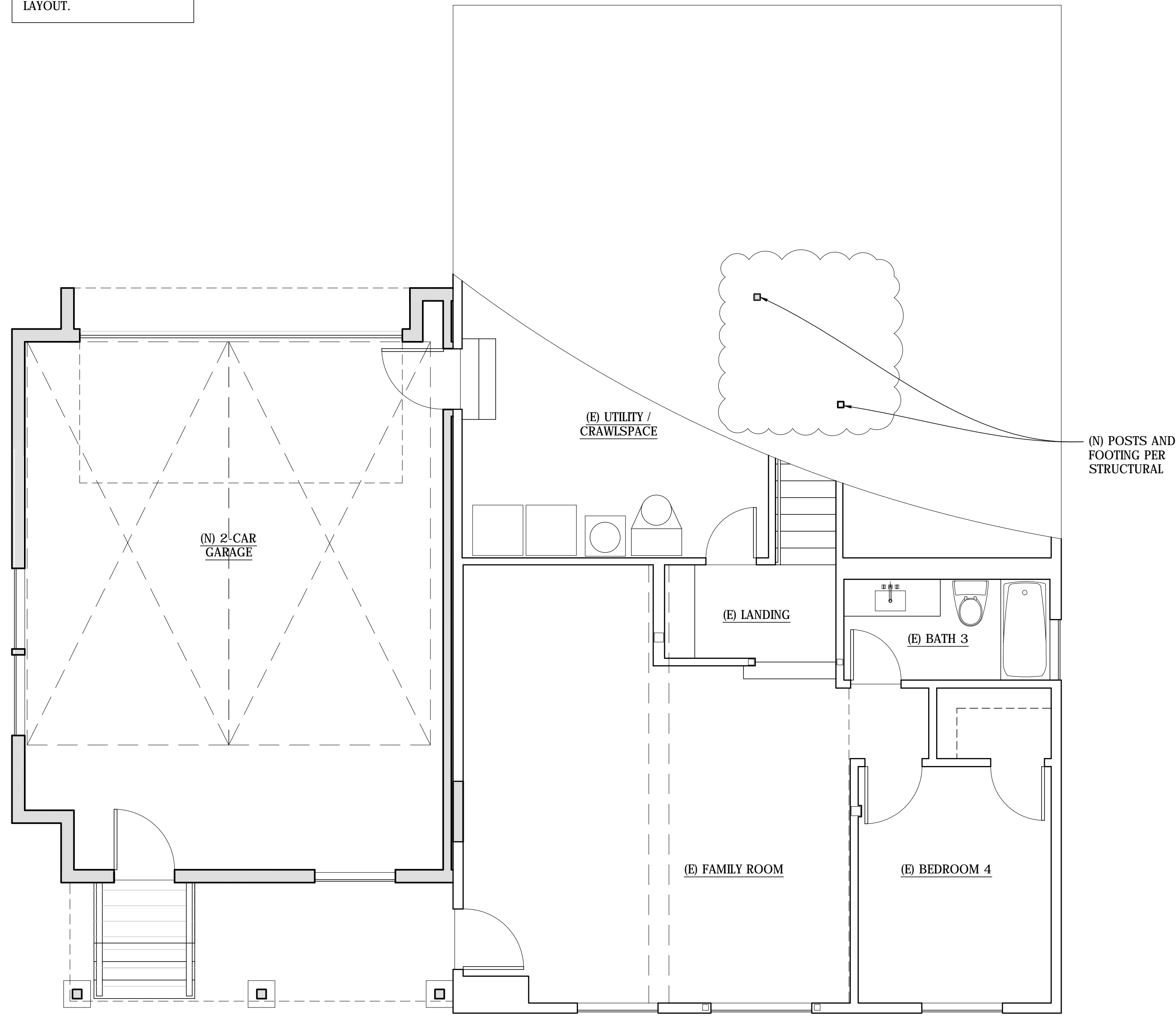


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**EXISTING/DEMO & PROPOSED
PLOT AND ROOF PLAN**

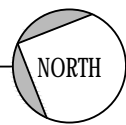
A1.1R

PROPOSED REVISION
REDUCES ATTIC AREA AND
MINIMIZES STRUCTURAL
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CHANGE TO FLOOR PLAN
LAYOUT.



B
A2.1 (REVISED) FIRST FLOOR PLAN

1/4" = 1'-0"



FLOOR PLAN GENERAL NOTES

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN ALL PARTITION LOCATIONS SHALL BE AS SHOWN ON FLOOR PLAN. IN CASE OF CONFLICT NOTIFY ARCHITECT. FLOOR PLAN BY ARCHITECT TAKES PRECEDENCE OVER ALL OTHER PLANS. ALL WALLS/PARTITIONS ARE DIMENSIONED FROM STUD TO STUD. DIMENSIONS NOTED "CLEAR" OR "CLR" MUST BE ACCURATELY MAINTAINED. AND SHALL NOT VARY MORE THAN 1/8" WITHOUT WRITTEN INSTRUCTION FROM ARCHITECT. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE. "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITION NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS. VERIFY FIELD DIMENSIONS EXCEEDING TOLERANCE WITH THE ARCHITECT. SECURE ARCHITECT'S APPROVAL.
- ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS OR LINES. ALL SCREWS OR OTHER ATTACHMENT DEVICES SHALL BE PATCHED

- AND NOT VISIBLE. PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHERE REQUIRED. ADJUST PARTITION THICKNESS AND CAVITY FOR INTERNAL INCLUSIONS. SUCH AS PLUMBING AND FOR CORRECT INSTALLATION OF FIXTURES, PANELS, BOXES, ETC. ALL EXPOSED GYPSUM BOARD EDGES TO HAVE METAL EDGE TRIM. ALIGNMENT ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, AND TRUE, AND IN PROPER AUGMENT.
- USE NON-ABSORBENT FINISH MATERIALS BELOW 72" IN BATHROOMS. INSTALLED PER MANUFACTURERS INSTRUCTIONS.
 - USE 4X10 DF/1 HEADERS IN ALL OPENINGS, WINDOWS & DOORS, U.O.N.
 - ALL WINDOW AND EXTERIOR DOORS SHALL BE DBL. GLAZED. WEATHER-STRIPPED AND FLASHED.

- NEW AND RETROFIT WINDOWS SHALL BE MAXIMUM 0.32 U-FACTOR. NFRC TEMPORARY LABELING SHALL NOT BE REMOVED UNTIL AFTER INSPECTION. SEE ALSO SHEET T24.1 & T24.2.
- NEW TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL.
- WATER HEATER SHALL BE SEISMICALLY ANCHORED TO INCLUDE ANCHORS OR STRAPS AT POINTS WITHIN THE UPPER AND LOWER 1/3 OF ITS VERTICAL DIMENSION. THE LOWER STRAPS/ANCHORED LOCATED TO MAINTAIN A MIN. DISTANCE OF 4" ABOVE THE CONTROLS.
- WATER HEATER MUST BE PROVIDED WITH A TEMPERATURE AND PRESSURE RELIEF VALVE HAVING A FULL SIZED DRAIN OF GALVANIZED STEEL OR HAND DRAWN COPPER TO THE OUTSIDE OF THE BLDG. WITH THE END OF THE PIPE NOT MORE THAN (2) TWO FT. OR LESS SIX INCHES ABOVE THE GRADE. POINTING DOWNWARD. THE TERMINAL AND BEING UNTHREADED.

- WHERE A FORCE AIR FURNACE SHALL BE LOCATED IN ATTIC. PROVIDE A 30"x30" MIN. ACCESS TO ACCESS THE FURNACE. CONSTRUCT A 24" WIDE PLATFORM PATH FORM ACCESS OPENING TO FAU AND SPECIFY AN ELECTRICAL RECEPTACLE AT THE FAU AND A LIGHT SWITCHED AT THE ACCESS OPENING.
- MAX FLOOR LEVEL CHANGE AT DOOR IS 1.5" EXCEPT IF STAIRS ARE USED AND DOOR(S) DO NOT SWING OVER THE TOP STEP.
- GLASS DOORS AND WINDOWS ARE SUBJECT TO HUMAN IMPACT MUST HAVE SAFETY GLAZING. OR PROTECTIVE GRILL OR PUSH BAR.
- NFRC TEMPORARY LABELING ON NEW WINDOWS OR DOORS SHALL NOT BE REMOVED UNTIL INSPECTED BY THE ENFORCEMENT AGENCY.

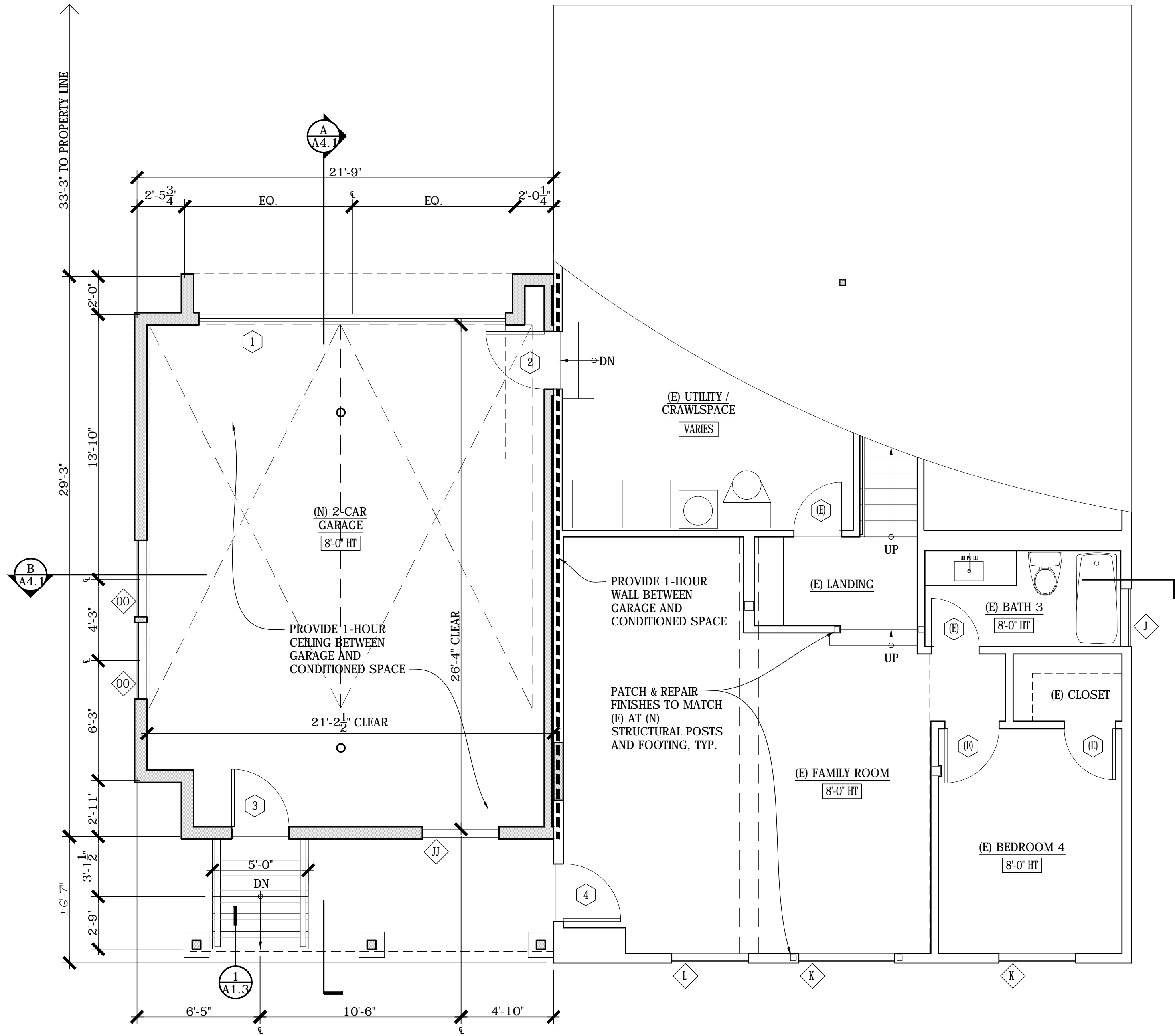
- EMERGENCY ESCAPE WINDOWS FOR SLEEPING ROOMS MUST:
 - MIN. NET CLEAR OPERABLE AREA 5.7 SF.
 - MIN. NET CLEAR OPERABLE WIDTH 20 INCHES.
 - MIN. NET CLEAR OPERABLE HEIGHT 24 INCHES.
 - MAX. SILL HEIGHT ABOVE FLOOR 44 INCHES.
- HEIGHT OF COMBUSTIBLE MATERIAL ABOVE KITCHEN RANGE SHALL BE 30" (UNPROTECTED) 24" (PROTECTED).
- TOP OF FOUNDATION MUST BE 8" MIN. ABOVE THE GRADE.
- UNDER FLOOR ACCESS SHALL BE 18"x24" CLR. WITHOUT PIPE OR INTERFERENCE PER CBC. CLEARANCE FOR UNTREATED WOOD MIN. OF 18" FOR JOIST AND 12" FOR GIRDER. UNDER FLOOR AREA SHALL BE VENTILATED BY OPENINGS OF A NET AREA OF NOT LESS 1/150 OF THE UNDER FLOOR AREA. OPENING SHALL BE PROTECTED BY METAL MESH WITH 1/4" MAX. OPENING.

- NEW BATHROOM FINISH MATERIALS SHALL HAVE SMOOTH, HARD NON-ABSORBENT SURFACE FOR CERAMIC TILE, A HEIGHT NOT LESS THAN 72 INCHES ABOVE THE DRAIN INLET.
- MINIMUM HANDRAIL HEIGHT AT STAIRS OF 34 TO 38 INCHES ABOVE TREAD NOSING (CRC R311.7).
- HANDRAILS SHALL RETURN TO THE WALL, GUARD OR WALKING SURFACE.
- THE VENTILATION FAN FOR BATHROOMS SHALL DISCHARGE OUTSIDE THE BUILDING AT LEAST 3 FEET FROM ANY OPENING INTO THE BUILDING.
- ALL NEW FRAMING TO COMPLY WITH CBC 2016 CHAPTER 23.
- PROTECT ANNULAR SPACES AROUND PIPES, CONDUIT, OR OTHER OPENINGS IN BOTTOM PLATE AT EXTERIOR WALLS.

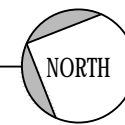
AREA	EXISTING	ADDITION
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FIRST FLOOR	± 754 SF	592 SF
(E) DECK (DEMO)	± 422 SF	(- 422 SF)
(N) DECK		109 SF
		± 3,527 SF
		(TOTAL FLOOR AREA)

LEGEND

- EXISTING WALL TO REMAIN
- DEMO EXISTING WALL
- NEW WALL [MATCH (E), DETAIL 1/A8.1 & 3/A8.1] INTERIOR: 5/8" GYP. BD. EACH SIDE OF 2x FRAMING TO MATCH (E). EXTERIOR: SIDING OVER GRADE 'D' BUILDING PAPER OVER PLYWOOD SHEATHING OVER 2x FRAMING AND R-13 INSULATION (MIN.). 5/8" GYP. BD. @ INTERIOR.
- EXISTING / NEW 1-HOUR INTERIOR WALL [DETAIL 2/A8.1] 5/8" TYPE 'X' GYP. BD. EACH SIDE OF 2x FRAMING.
- FOR DOOR SIZE AND REQUIREMENTS. SEE DOOR SCHEDULE, SHEET A0.2.
- FOR WINDOW SIZE AND REQUIREMENTS. SEE WINDOW SCHEDULE, SHEET A0.2.



A
A2.1 (APPROVED) FIRST FLOOR PLAN



DESIGN REVISION | FYI SUBMITTAL - APRIL 1, 2019

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**EXISTING / DEMO AND PROPOSED
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REVISIONS

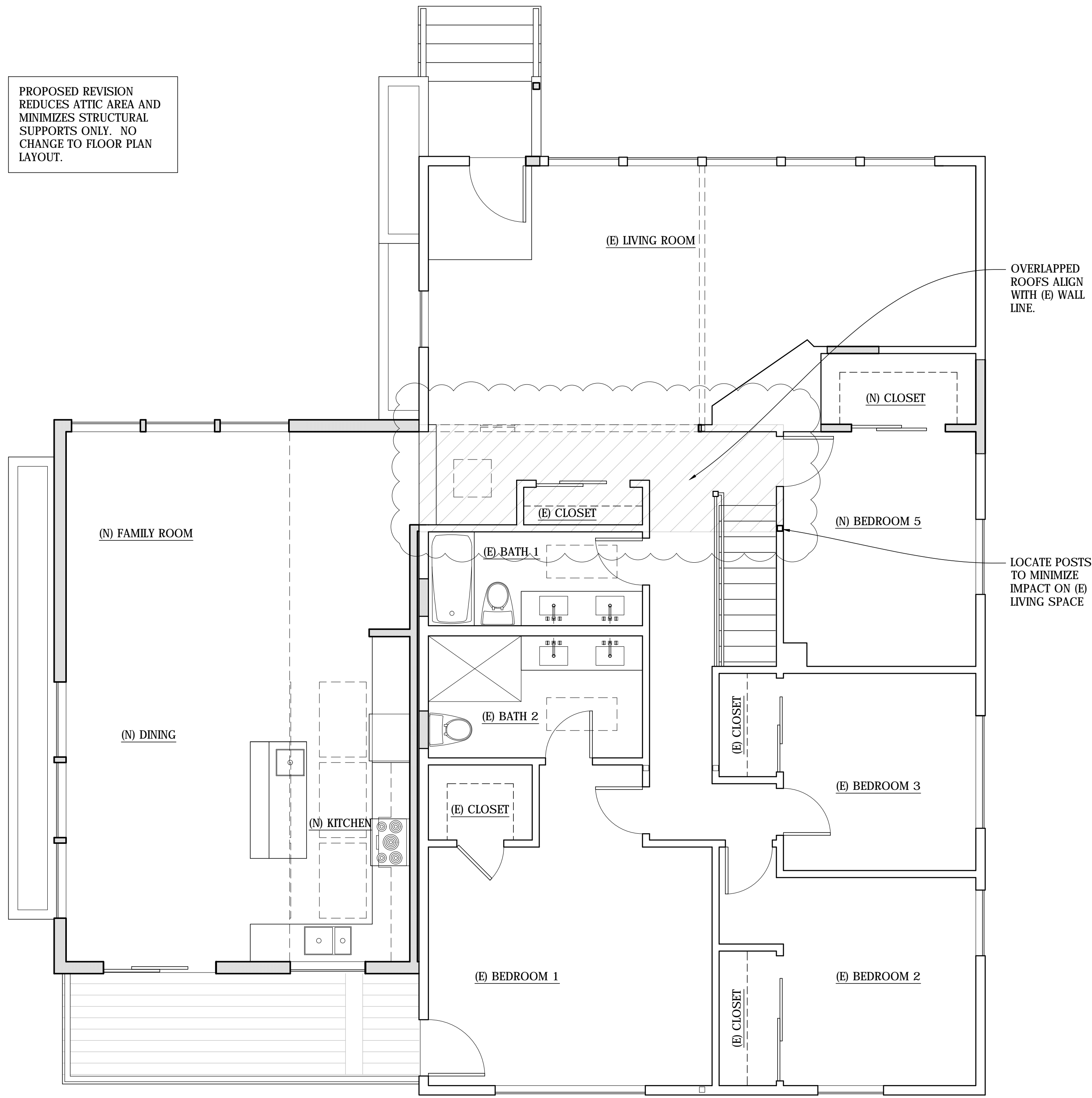
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A2.1R

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REDUCES ATTIC AREA AND
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B
A2.2 (REVISED) GROUND FLOOR PLAN
1/4" = 1'-0" NORTH

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- ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS OR LINES. ALL SCREWS OR OTHER ATTACHMENT DEVICES SHALL BE PATCHED

- AND NOT VISIBLE. PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHERE REQUIRED. ADJUST PARTITION THICKNESS AND CAVITY FOR INTERNAL INCLUSIONS. SUCH AS PLUMBING AND FOR CORRECT INSTALLATION OF FIXTURES, PANELS, BOXES, ETC. ALL EXPOSED GYPSUM BOARD EDGES TO HAVE METAL EDGE TRIM. ALIGNMENT ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, AND TRUE, AND IN PROPER AUGMENT.
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 - USE 4X10 DF/1 HEADERS IN ALL OPENINGS, WINDOWS & DOORS, U.O.N.
 - ALL WINDOW AND EXTERIOR DOORS SHALL BE DBL. GLAZED. WEATHER-STRIPPED AND FLASHED.

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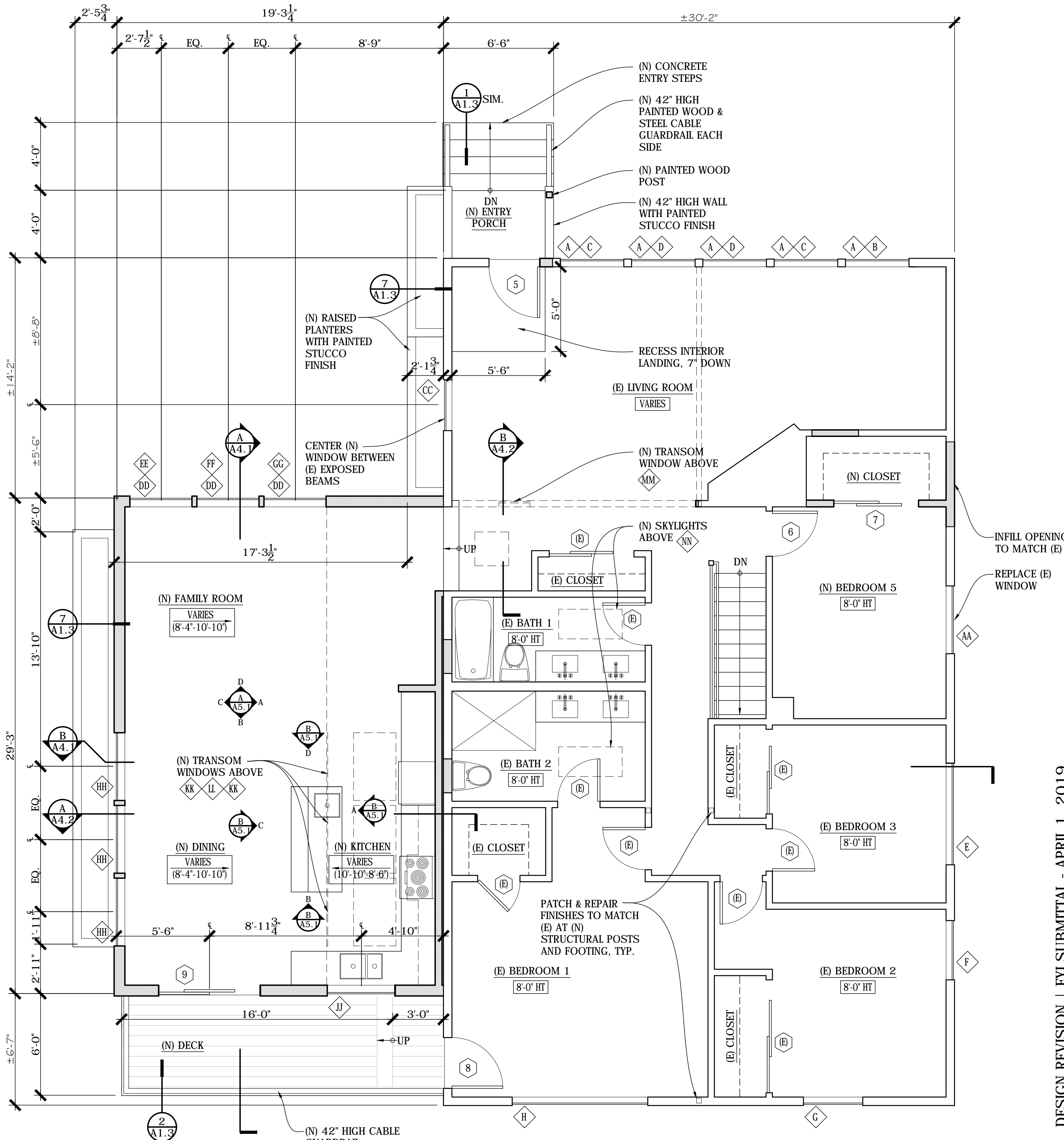
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- THE VENTILATION FAN FOR BATHROOMS SHALL DISCHARGE OUTSIDE THE BUILDING AT LEAST 3 FEET FROM ANY OPENING INTO THE BUILDING.
- ALL NEW FRAMING TO COMPLY WITH CBC 2016 CHAPTER 23.
- PROTECT ANNULAR SPACES AROUND PIPES, CONDUIT, OR OTHER OPENINGS IN BOTTOM PLATE AT EXTERIOR WALLS.

AREA	EXISTING	ADDITION
SECOND FLOOR	± 1,508 SF	564 SF
FIRST FLOOR	± 754 SF	592 SF
(E) DECK (DEMO)	± 422 SF	(- 422 SF)
(N) DECK		109 SF
		± 3,527 SF (TOTAL FLOOR AREA)

LEGEND

- EXISTING WALL TO REMAIN
- DEMO EXISTING WALL
- NEW WALL (MATCH (E), DETAIL 1/A8.1 & 3/A8.1)
INTERIOR: 5/8" GYP. BD. EACH SIDE OF 2x FRAMING TO MATCH (E).
EXTERIOR: SIDING OVER GRADE 'D' BUILDING PAPER OVER PLYWOOD SHEATHING OVER 2x FRAMING AND R-13 INSULATION (MIN.). 5/8" GYP. BD. @ INTERIOR.
- EXISTING / NEW 1-HOUR INTERIOR WALL (DETAIL 2/A8.1)
5/8" TYPE 'X' GYP. BD. EACH SIDE OF 2x FRAMING.
- FOR DOOR SIZE AND REQUIREMENTS. SEE DOOR SCHEDULE, SHEET A0.2
- FOR WINDOW SIZE AND REQUIREMENTS. SEE WINDOW SCHEDULE, SHEET A0.2



A
A2.2 (APPROVED) GROUND FLOOR PLAN
1/4" = 1'-0" NORTH

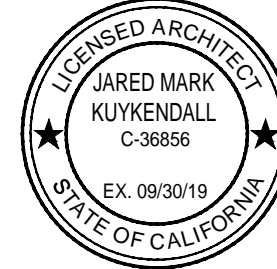
DESIGN REVISION | FYI SUBMITTAL - APRIL 1, 2019

REMODEL AND ADDITION:
1547 LOS ALTOS DRIVE
BURLINGAME, CA
APN # 027012040

EXISTING / DEMO AND
PROPOSED FLOOR PLANS

OWNER:
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REVISIONS

ISSUE DATE
APRIL 1, 2019

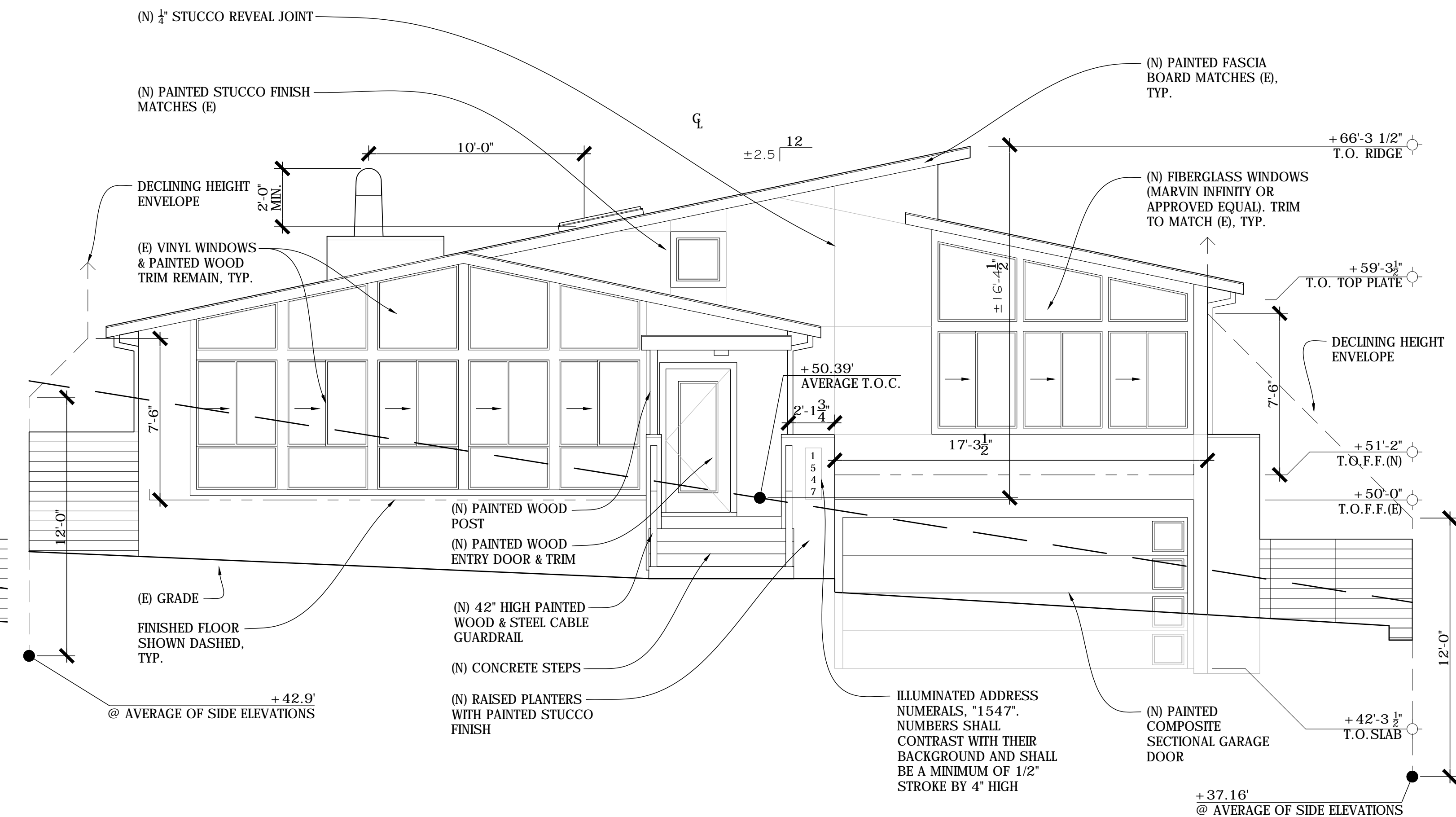
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JMK

JOB NUMBER
BG 1547.2R

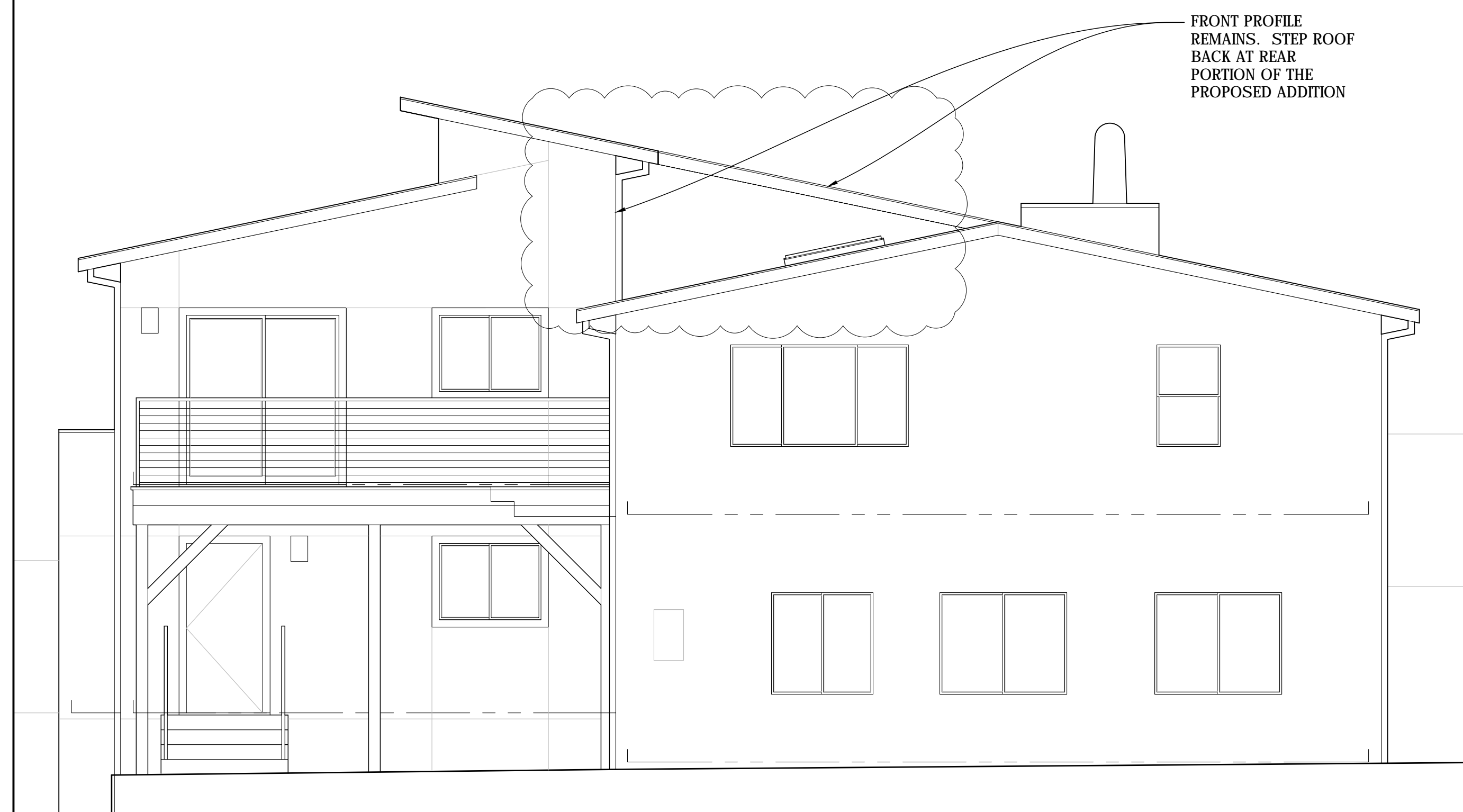
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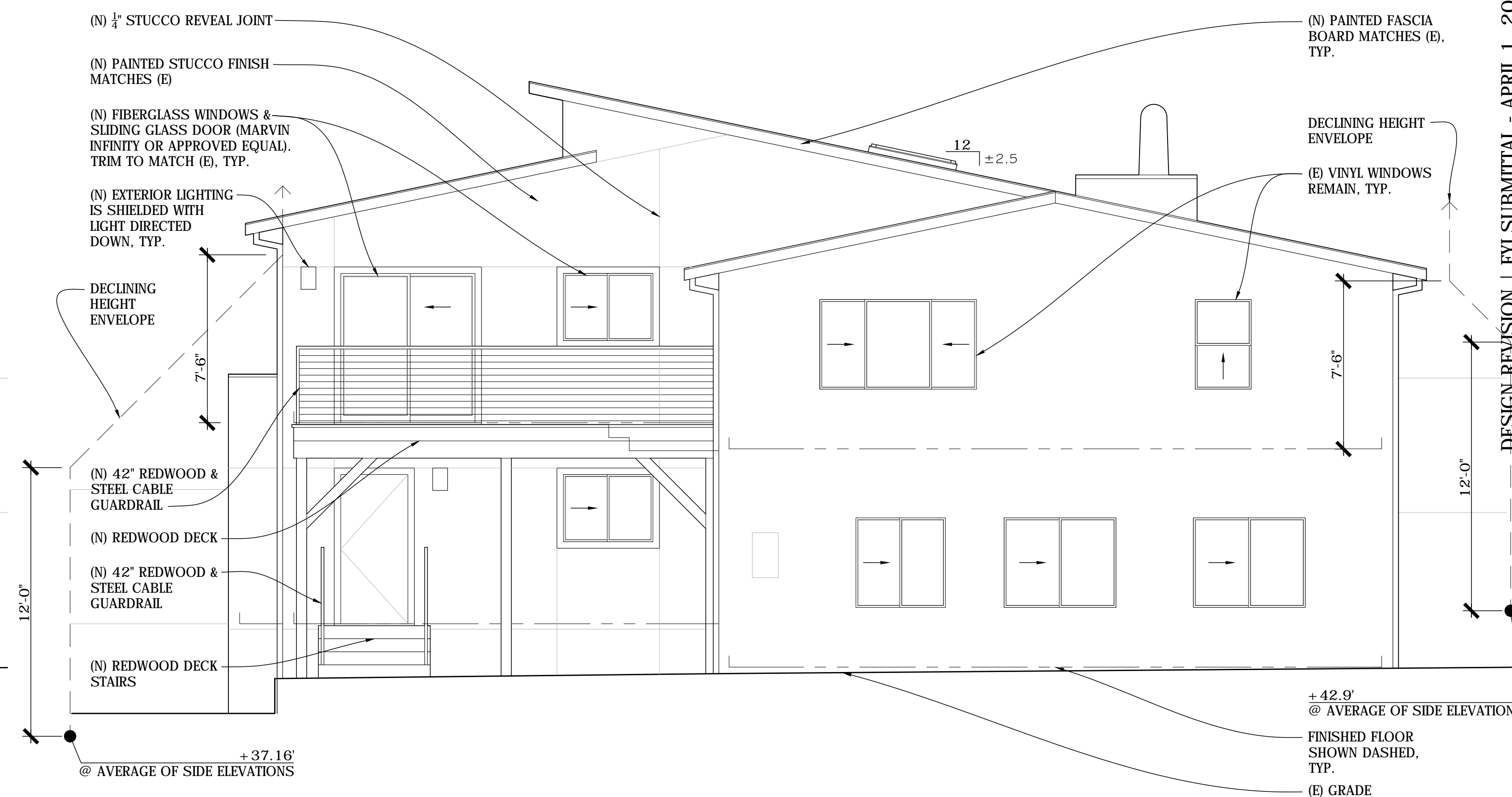
(B) (REVISED) FRONT ELEVATION



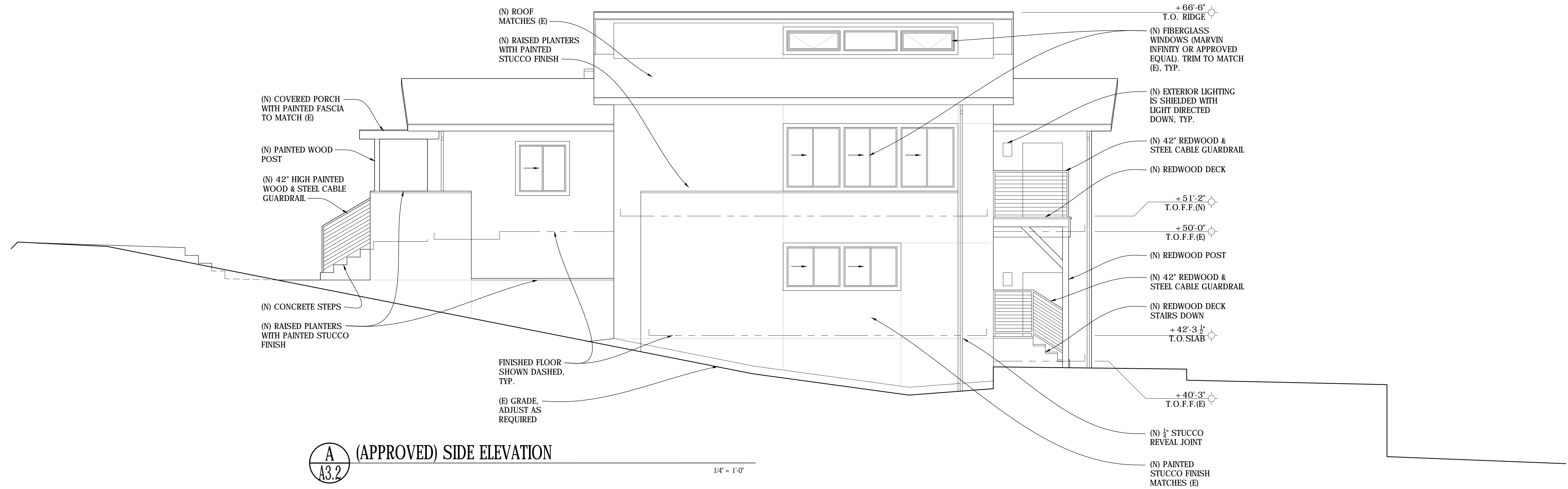
(APPROVED) FRONT ELEVATION



(REVIS) REAR ELEVATION



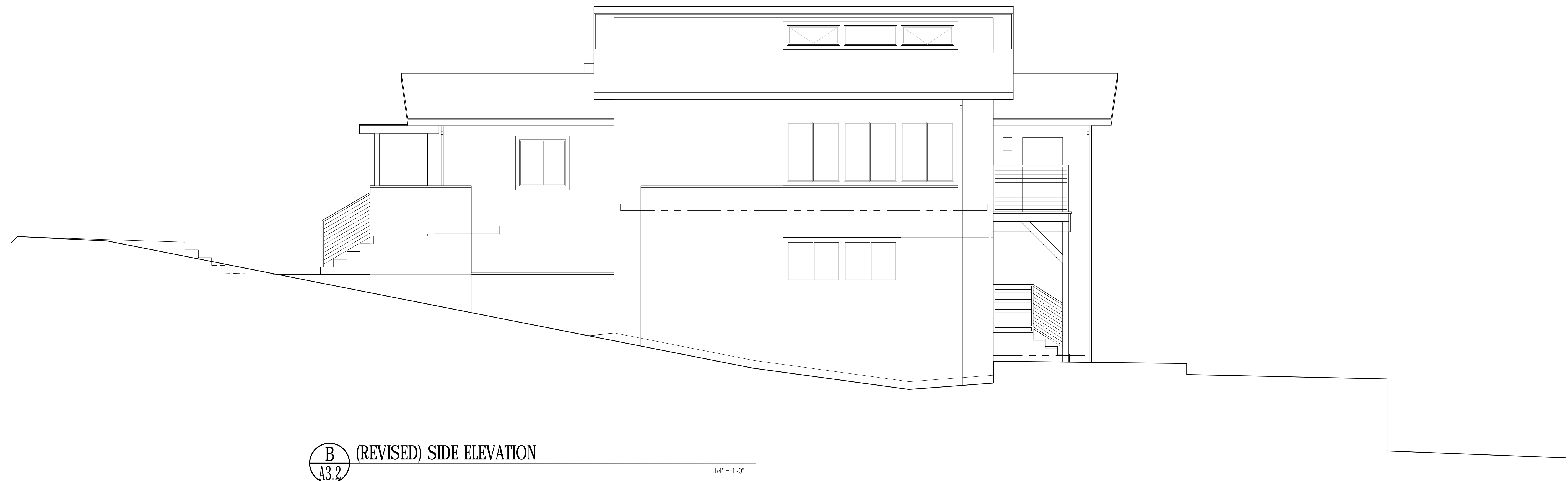

 (APPROVED) REAR ELEVATION



A
A3.2 (APPROVED) SIDE ELEVATION

1/4" = 1'-0"

SIDE ELEVATION REMAINS
AS APPROVED. NO
PROPOSED CHANGES.



B
A3.2 (REVISED) SIDE ELEVATION

1/4" = 1'-0"

DESIGN REVISION | FYI SUBMITTAL - APRIL 1, 2019

EXISTING / DEMO AND
PROPOSED ELEVATIONS

REVISIONS

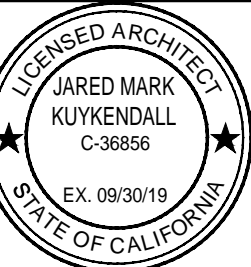
ISSUE DATE
APRIL 1, 2019

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DMK

JOB NUMBER
BG 1547.2R

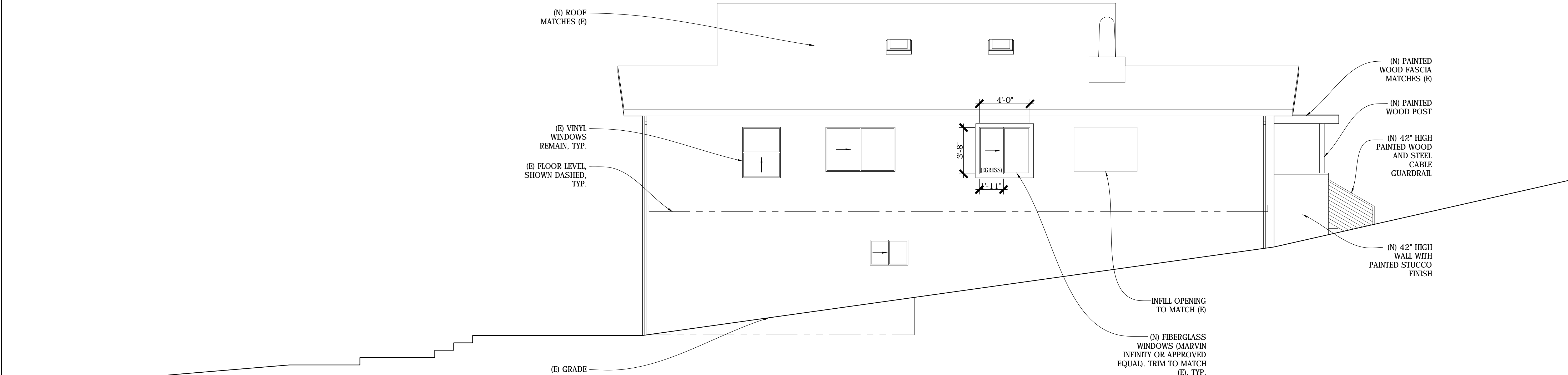
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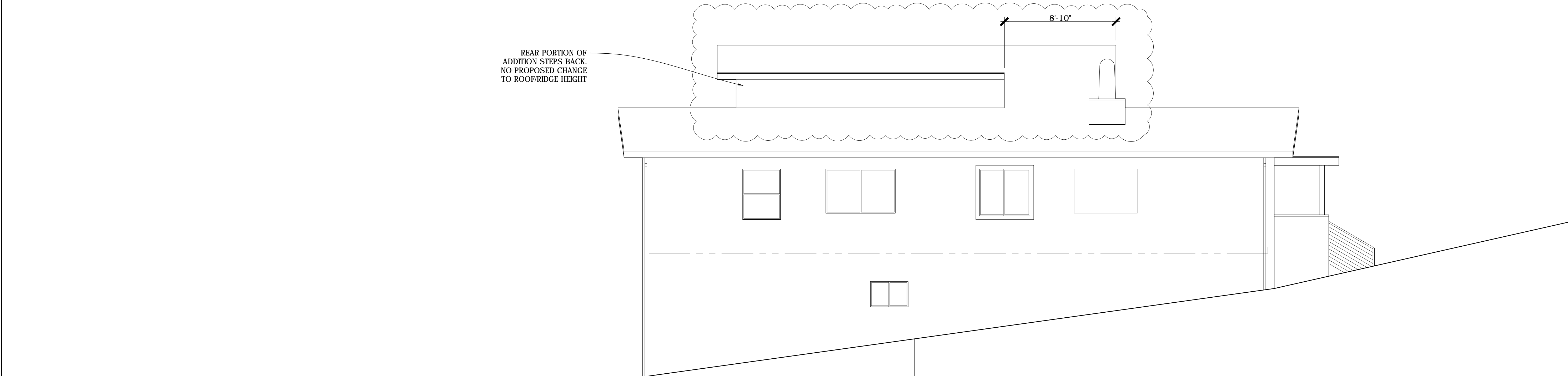
A3.2R



A
43.3 (APPROVED) SIDE ELEVATION

1/4" = 1'-0"

NOTE:
EMERGENCY ESCAPE WINDOWS FOR SLEEPING ROOMS MUST MEET CODE REQUIREMENTS:
1. MIN. NET CLEAR OPERABLE AREA 5.7 SQUARE FEET.
2. MIN. NET CLEAR OPERABLE WIDTH 20 INCHES.
3. MIN. NET CLEAR OPERABLE HEIGHT 24 INCHES.
4. MAX. SILL HEIGHT ABOVE FLOOR 44 INCHES.



B
43.3 (REVISED) SIDE ELEVATION

1/4" = 1'-0"

DESIGN REVISION | FYI SUBMITTAL - APRIL 1, 2019

EXISTING / DEMO AND
PROPOSED ELEVATIONS

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