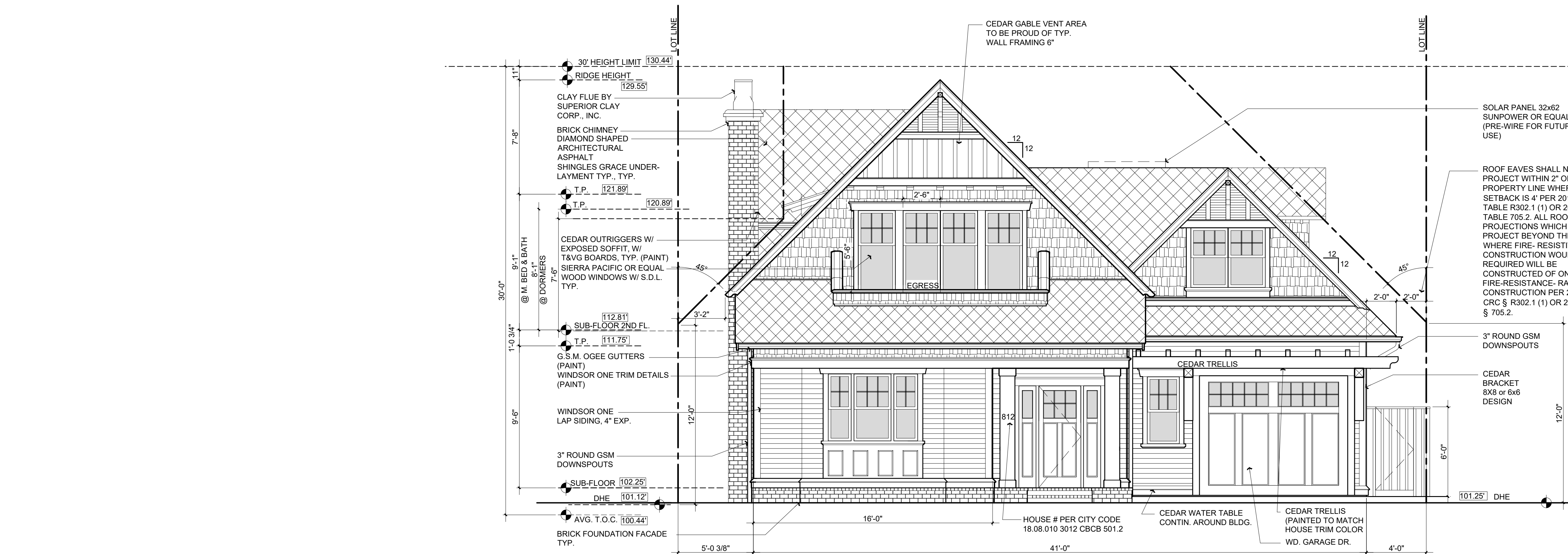


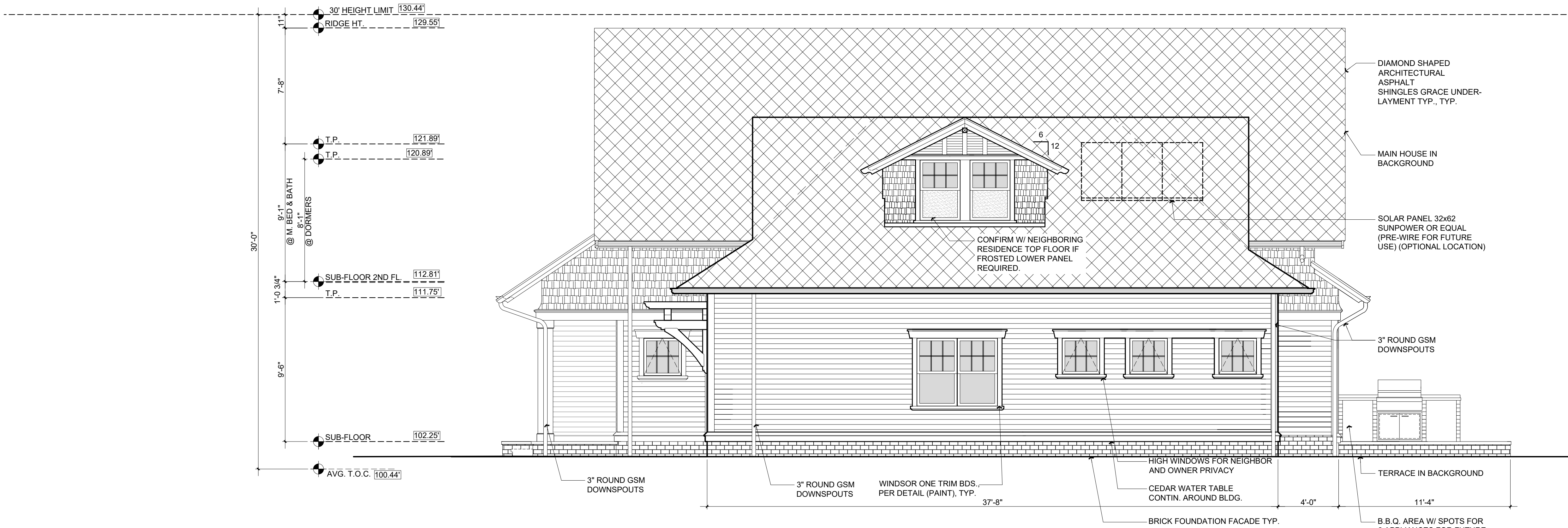
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PROPOSED FRONT ELEVATION

Scale: 1/4 = 1'-0"

1
A3.0



PROPOSED RIGHT ELEVATION

Scale: 1/4 = 1'-0"

2
A3.0

Revisions

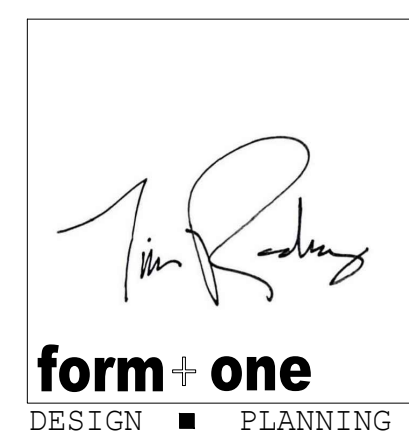
Rev.:	Description:	Date:
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Contractor:
Gambrioli Developments
Contact: Greg Gambrioli
812 Linden Ave.
Burlingame, CA 94010
P: 650-333-6844

BUILDING SET
PLANNING SET

Owner:
Mr. & Mrs. GREG GAMBRIOLI
812 LINDEN AVE.
BURLINGAME, CA 94010
Zoning: -

4843 SILVER SPRINGS DRIVE
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Title: Proposed Elevations

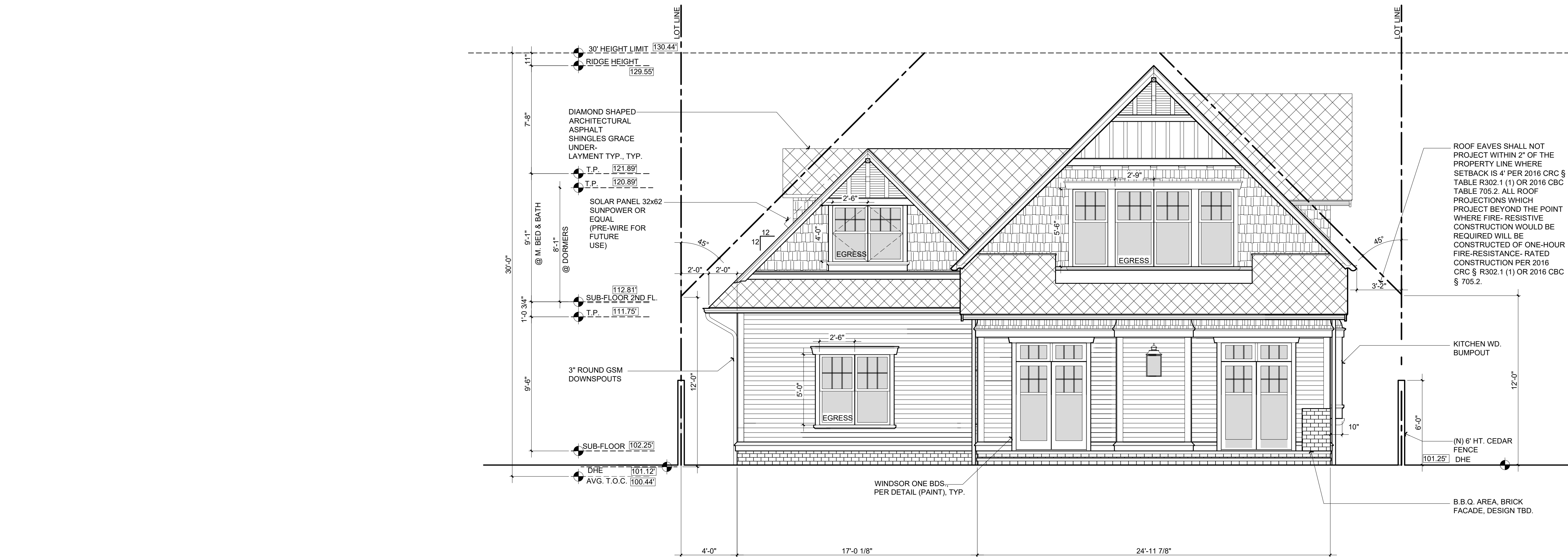
Project: Gambrioli Residence
812 Linden Avenue
Burlingame, CA 94010

Job No.: 19_009
Drawn: TIM RADUENZ
Date: 03/08/2019

A3.0

Sheet
Scale: See Details

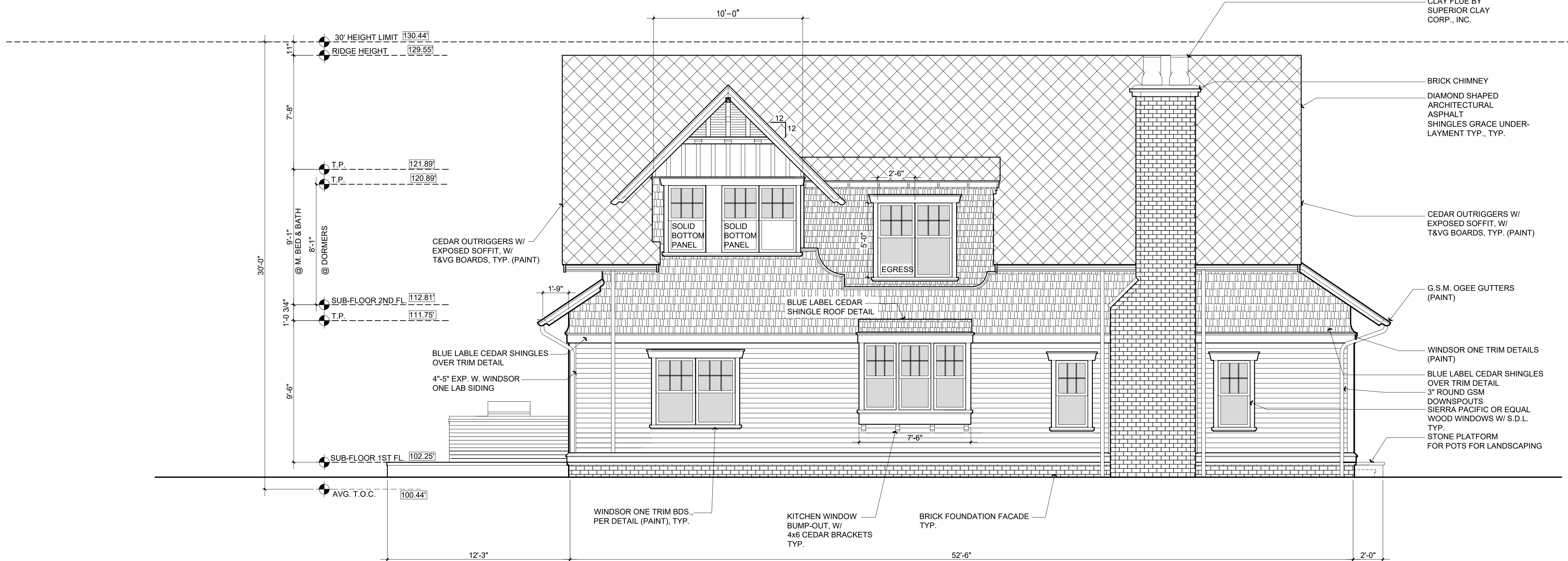
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PROPOSED REAR ELEVATION

Scale: 1/4" = 1'-0"

1
A3.1



PROPOSED LEFT ELEVATION

Scale: 1/4" = 1'-0"

2
A3.1

Revisions		
Rev.:	Description:	Date:
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Contractor:

Gambrioli Developments

Contact: Greg Gambrioli

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Owner:

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DESIGN ■ PLANNING

BUILDING SET

PLANNING SET

APN#: 029-032-160

Title : Proposed Elevations

Project : Gambrioli Residence

812 Linden Avenue

Burlingame, CA 94010

Job No. : 19_009

Drawn : TIM RADUENZ

Date : 03/08/2019



BOUNDARY NOTE:

IRON PIPES OR OTHER PERMANENT MONUMENTS HAVE BEEN SET AT THE PROPERTY CORNERS AND A RECORD OF SURVEY OR CORNER RECORD FILED WITH THE COUNTY OF SAN MATEO AFTER COMPLETION OF DEMOLITION.

BASIS OF ELEVATIONS:

ELEVATIONS ARE BASED UPON AN ASSUMED DATUM.
TBM: SET MAGNETIC NAIL AND SHINER ALONG LINDEN AVENUE
ELEVATION = 100.00

BASIS OF BEARINGS:

THE BEARING S 48°30' 00" W OF THE CENTERLINE OF PARK AVENUE, ESTABLISHED BY CURB SPLITS, AS SHOWN ON "BURLINGAME VILLA PARK" FILED IN VOLUME 3 OF MAPS AT PAGE 65, WAS USED AS THE BASIS OF BEARINGS FOR THIS MAP.

LEGEND:

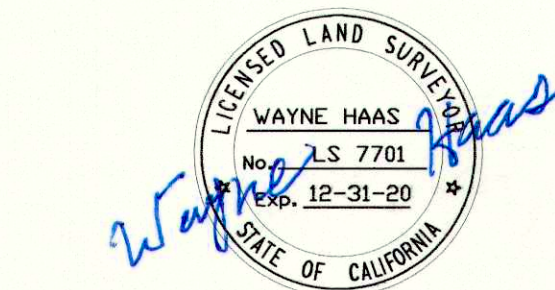
- 3/4" IRON PIPE W/ PLASTIC PLUG "LS 7701" AND TACK, UNLESS NOTED OTHERWISE
- 3/4" BRASS TAG "LS 7701" AND TACK, UNLESS NOTED OTHERWISE
- ASPHALTIC CONCRETE
- BACK OF WALK
- CATCH BASIN
- CAST IRON PIPE
- CORRUGATED METAL PIPE
- CONCRETE
- CLEAN-OUT
- DROP INLET
- ELECTRIC METER
- FOUND
- FINISHED FLOOR
- FLOW LINE
- FIRE HYDRANT
- GUY ANCHOR
- GAS METER
- GROUND
- HANDICAP RAMP
- INVERT
- IRON PIPE
- JOINT POLE
- LATERAL
- LIP OF GUTTER
- OVERHEAD
- P.U.E.
- REINFORCED CONCRETE PIPE
- RETAINING WALL
- RIGHT OF WAY
- SANITARY SEWER CLEAN-OUT
- SANITARY SEWER MANHOLE
- STORM DRAIN MANHOLE
- TOP OF WALL
- TOP OF CURB
- UNDERGROUND
- VITRIFIED CLAY PIPE
- WATER VALVE
- WATER METER BOX
- CABLE TELEVISION LINE
- ELECTRICAL LINE
- GAS LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- TELEPHONE LINE
- WATER LINE

UTILITY NOTE:

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

AVERAGE FRONT SETBACKS

ADDRESS	SETBACK FROM PROPERTY LINE
800	12.0' (EXCLUDED - CORNER LOT)
802	11.0'
816	13.10'
820	7.8' (EXCLUDED - NEAREST)
822	17.2'
824	24.8' (EXCLUDED - FARTHEST)
832	22.8'
836	18.7'
840	1.8' (EXCLUDED - CORNER LOT)
AVERAGE = 16.6'	



BOUNDARY AND TOPOGRAPHIC SURVEY

LANDS OF GUARALDI
DOCUMENT # O.R.
LOT 22, BLOCK 3
"BURLINGAME VILLA PARK"
VOLUME 3 OF MAPS AT PAGE 65
ASSESSOR'S PARCEL NUMBER: 029-032-160
(816 LINDEN AVENUE)

BURLINGAME SAN MATEO COUNTY CALIFORNIA
SCALE: 1" = 10' APRIL, 2019

B & H SURVEYING, INC.
PROFESSIONAL LAND SURVEYING
901 WALTERMIRE ST.
BELMONT, CA 94002
OFFICE (650) 637-1590

1. PROTECT ALL EXISTING TREES DURING CONSTRUCTION, CONSULT ARBORIST AS REQUIRED.
2. NO EXISTING TREES OVER 48" IN CIRCUMFERENCE AT 54" FROM BASE OF TREE BE REMOVED WITHOUT A PROTECTED TREE PERMIT FROM THE PARKS DIVISION (558-7330) NO TREES ARE TO BE REMOVED FOR THIS PROJECT.
3. WATER CONSERVATION IN LANDSCAPE ORDINANCE NOT REQUIRED SINCE LANDSCAPE WILL BE REHABILITATED AS NOTED ON PLANS.
4. A PLAN HAS BEEN DEVELOPED, AND WILL BE IMPLEMENTED, TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. CGC 4.106.2 & CGC 4.106.3
5. ALL SPRINKLER DRAINAGE SHALL BE PLACED INTO LANDSCAPING AREAS
6. (N) A/C EQUIPMENT SHALL NOT EXCEED A MAXIMUM OUTDOOR NOISE LEVEL OF 60 DBA DAYTIME (7AM-10PM OR DBA NIGHTTIME (10 PM-7 AM) AS MEASURED FROM THE PROPERTY LINE. PER BURLINGTON MUNICIPAL ZONING CODE 25.58.050.

1. PROTECT ALL STREET TREES DURING CONSTRUCTION

1. A REMOVE/REPLACE UTILITIES ENCRoACHMENT PERMIT IS REQUIRED TO (1) REPLACE ALL CURB, GUTTER, DRIVEWAY AND SIDEWALK FRONTING SITE, (2) PLUG ALL EXISTING SANITARY SEWER LATERAL CONNECTIONS AND INSTALL A NEW 4" LATERAL, (3) ALL WATER LINE CONNECTIONS TO CITY WATER MAINS FOR SERVICES OF FIRE LINE ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND SPECIFICATION. (4) AND OTHER UNDERGROUND UTILITY WORKS WITHIN CITY'S RIGHT-OF-WAY.

2. GRADING PERMIT, IF REQUIRED WILL BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS.

1. DIRECT RUNOFF FROM CISTERNS OR RAIN BARRELS AND USE RAINWATER FOR IRRIGATION OR OTHER NON-POTABLE USE.
2. DIRECT RUNOFF FROM SIDEWALKS, WALKWAYS, AND/OR PATIOS ONTO VEGETATED AREAS.
3. DIRECT RUNOFF FROM DRIVEWAYS AND/OR UNCOVERED PARKING LOTS ONTO VEGETATED AREAS.
4. CONSTRUCT SIDEWALKS, WALKWAYS AND/OR PATIOS WITH PERMEABLE SURFACES.
5. USE MICOR-DETENTION, INCLUDING DISTRIBUTED LANDSCAPE-BASED DETENTION.
6. PROTECT SENSITIVE AREAS, INCLUDING WETLAND AND RIPARIAN AREAS, AND MINIMIZE CHANGES TO THE NATURAL TOPOGRAPHY.
7. MARK ON SITE INLETS WITH THE WORDS "NO DUMPING! FLOWS TO BAY" OR EQUIVALENT.
8. (A.) RETAIN EXISTING VEGETATION AS PRACTICABLE (B) SELECT DIVERSE SPECIES APPROPRIATE TO THE SITE. INCLUDE PLANTS THAT ARE PEST- AND/OR DISEASE-RESISTANT, DROUGHT-TOLERANT, AND/OR ATTRACT BENEFICIAL INSECTS. (C) MINIMIZE USE OF PESTICIDES AND QUICK-RELEASE FERTILIZERS.
9. DESIGN FOR DISCHARGE OF FIRE SPRINKLERS TEST WATER TO LANDSCAPE OR SANITARY SEWER.
10. TEMPORARY EROSION CONTROLS TO STABILIZE ALL DENUDED AREAS UNTIL PERMANENT EROSION CONTROLS ARE ESTABLISHED.
11. DELINEATE WITH FIELD MARKERS THE FOLLOWING AREAS: CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES TO BE PROTECTED AND RETAINED, DRAINAGE COURSES.
12. PROVIDE NOTES, SPECIFICATIONS OR ATTACHEMENTS DESCRIBING THE FOLLOWING: (A) CONSTRUCTION, OPERATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS, INCLUDE INSPECTION FREQUENCY; (B) METHODS AND SCHEDULE FOR GRADING, EXCAVATION, FILLING, CLEARING OF VEGETATION, AND STORAGE AND DISPOSAL OF EXCAVATED OR CLEARED MATERIAL, (C) SPECIFICATIONS FOR VEGETATIVE COVER & MULCH, INCLUDE METHODS AND SCHEDULES FOR PLANTING AND FERTILIZATION (D) PROVISIONS FOR TEMPORARY AND OR PERMANENT IRRIGATION
13. PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER
14. USE SEDIMENT CONTROLS OF FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING AND OBTAIN ALL NECESSARY PERMITS.
15. PROTECT ALL STORM DRAIN INLETS IN VICINITY OF SITE USING SEDIMENT CONTROLS (E.G. BERMS, SOCKS, FILTER ROLLS OR FILTERS)
16. TRAP SEDIMENT ON-SITE, USING BMP'S SUCH AS SEDIMENT BASINS OR TRAPS, EARTHEN DIKES OR BERMS, SILT FENCES, CHECK DAMS, COMPOST BLANKETS OR JUTE MATS, COVERS FOR SOIL STOCK PILES, ETC.
17. DIVERT ON-SITE RUNOFF AROUND EXPOSED AREAS; DIVERT OFF-SITE RUNOFF AROUND THE SITE (E.G. SWALES AND DIKES)
18. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
19. LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS.
20. NO CLEANING, FUELING OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASHWATER IS CONTAINED AND TREATED.
21. STORE, HANDLE AND DISPOSE OF CONSTRUCTION MATERIALS/WASTES PROPERLY TO PREVENT CONTACT WITH STORMWATER.
22. CONTRACTOR SHALL TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES/SUBCONTRACTORS RE: CONSTRUCTION BMP'S.
23. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASHWATER OR SEDIMENTS, RINSE WATER FROM ARCHITECTURAL COPPER, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.



Revisions		
Rev. :	Description :	Date :
001		
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Contractor :
Gambrioli Developments
Contact: Greg Gambrioli
2415 Summit Drive
Hillsborough, CA 94010
P: 650-333-6844

Owner :
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BURLINGAME, CA 94010

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM



Title : Proposed Site Plan

Project: Gambrioli Residence
812 Linden Avenue
Burlingame, CA 94010

Job No. : 19_009	Drawn : TIM RADUENZ	Date :
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A1.0

Sheet

Scale: See Details

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- NOTES:
1. [OGEE] G.S.M. GUTTERS, & (3" GSM) DOWNSPOUTS: LINE ALL VALLEYS WITH GSM, AT LEAST 20" WIDE WITH 1/4" EDGE TURNED OVER AND FASTENED WITH CLEATS. LAP JOINTS AT LEAST 4", BUT DO NOT SOLDER.
 2. ROOFING MATERIAL TO BE 40 YR ARCHITECTURAL ASPHALT SHINGLES, SEE CUT SHEET ABOVE, COLOR TO BE DETERMINED, ANTIQUE BLACK OR PEWTER GREY
 3. WHEN INSULATION IS INSTALLED IN ENCLOSED RAFTER SPACES WHERE CEILINGS ARE APPLIED DIRECT TO THE UNDERSIDE OF ROOF RAFTERS, A MINIMUM AIR SPACE OF 1 INCH MUST BE PROVIDED, INSULATION Baffle NEEDED.
 4. FLASHINGS AND COUNTER FLASHINGS SHALL NOT BE LESS THAN 0.016-INCH (28-GAUGE) CORROSION RESISTANT METAL, AND VALLEY FLASHING
 5. AT THE JUNCTURE OF THE ROOF & VERTICAL SURFACES, FLASHING & COUNTERFLASHINGS SHALL NOT BE LESS THAN 0.019-INCH (26 GAUGE)
 6. NA

7. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MIN. OF 3'-0" FROM PROPERTY LINES OR ANY OPENING INTO THE BUILDING I.E. DRYERS, BATHA, UTILITY FANS, ETC., MUST BE 3'-0" AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS, PER CODE

8. (AS REQUIRED) THE TRUSS PLAN AND THE TRUSS CALC. SHALL BE REVIEWED & APPROVED BY THE ENGINEER OF RECORD BEFORE SUBMITTING TO THE BUILDING DEPARTMENT FOR APPROVAL PRIOR TO FABRICATION. TRUSS PLANS SHALL BE WET SIGNED & WET STAMPED BY TRUSS DESIGN ENGINEER.

9. FURNACE LOCATED IN ATTIC SPACE SHALL BE LISTED FOR ATTIC LOCATION AND PROVIDED WITH 24" WIDE SOLID FLOORING ACCESS WAY AND 30" WORKING SPACE AT CONTROLS.

10. ATTIC VENTILATION AT CALIFORNIA FRAMING TO RECEIVE LOW PROFILE VENTS OR OPENING IN THE ROOF SHEATHING BELOW

11. ROOF EAVES SHALL NOT PROJECT WITHIN 2" OF THE PROPERTY LINE WHERE SETBACK IS 4' PER 2016 CRC § TABLE R302.1 (1) OR 2016 CBC TABLE 705.2. ALL ROOF PROJECTIONS WHICH PROJECT BEYOND THE POINT WHERE FIRE- RESISTIVE CONSTRUCTION WOULD BE REQUIRED WILL BE CONSTRUCTED OF ONE-HOUR FIRE-RESISTANCE- RATED CONSTRUCTION PER 2016 CRC § R302.1 (1) OR 2016 CBC § 705.2.

11. (AS REQUIRED) ALL TRUSS/RAFTER BLOCKING TO RECEIVE 2" DIA HOLES IN EVERY BLOCK TYPICAL FOR EVEN DISTRIBUTION OF AIR FLOW.

12. ATTIC IS GETTING NEW INSULATION,VERIFY (E) FANS/VENTS TO WHAT IS REQUIRED ER CURRENT CODE.

PLUMBING & HVAC NOTE:

1. GROUP ALL EXHAUST FLUES TOGETHER WHEN POSSIBLE & LOCATE ON ROOFS SLOPING TO THE REAR OF HOUSE TYP. VERIFY LOCATION W/ DESIGNER.

SOLAR CONDUIT NOTE:

PROVIDE A PIPE FOR SOLAR CONDUIT FOR FUTURE USE.

*SOLAR PANEL AREA TO BE NO LESS THEN 150 SQ.FT.

ATTIC FURNACE NOTES:

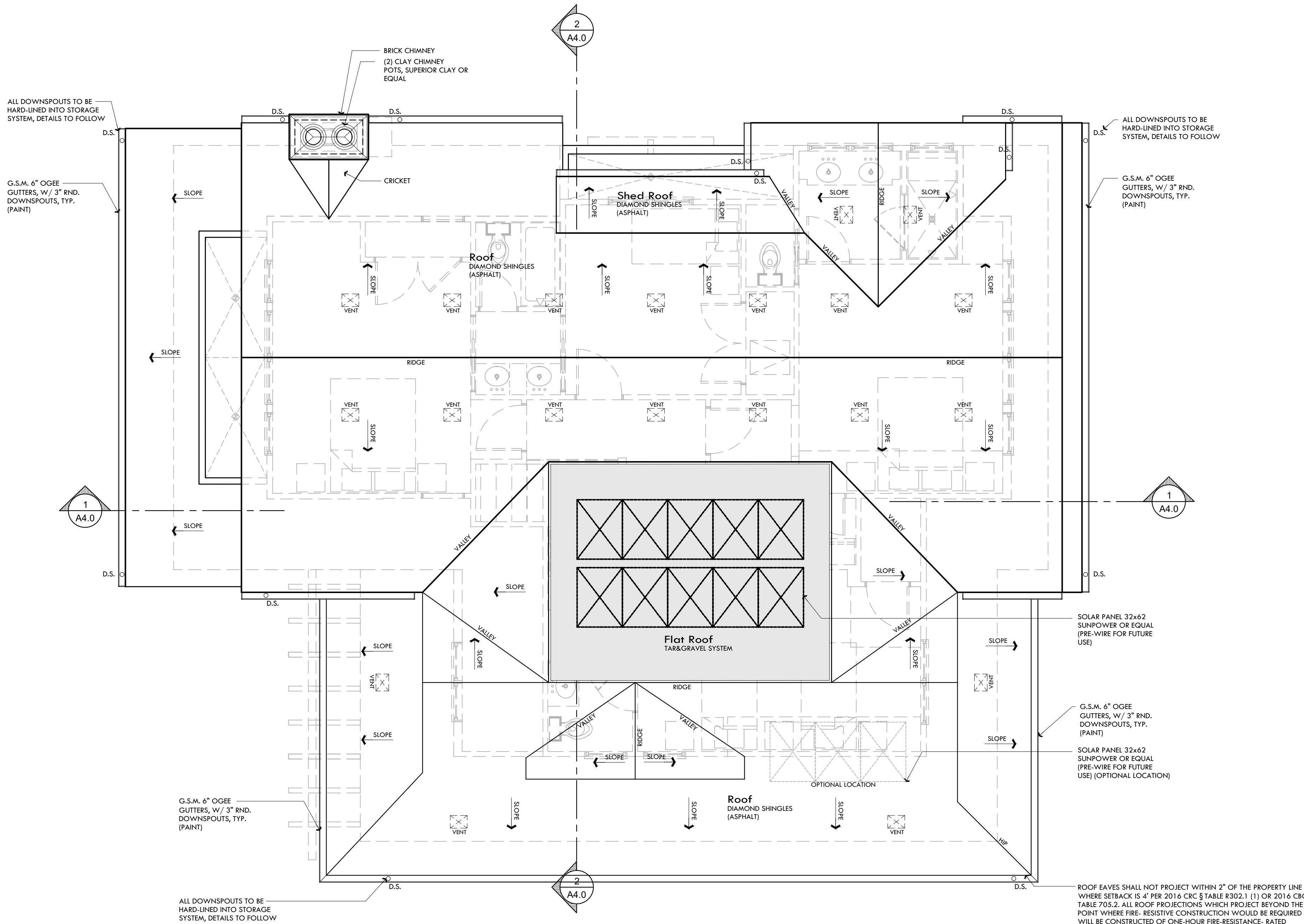
1. PROVIDE THE FOLLOWING FOR ATTIC FURNACES (CMC SECTION 904.04)
 - A. PASSAGEWAY TO EQUIPMENT LESS THAN 6'-0" IN HEIGHT SHALL BE NOT MORE THAN 20'-0" IN LENGTH WHEN MEASURED ALONG THE CENTER LINE OF PASSAGEWAY FROM THE ACCESS OPENING TO THE EQUIPMENT. SECTION 904.10.1.
 - B. UN-OBSTRUCTED PASSAGEWAY W/ A SOILD FLOORING AT LEAST 24" WIDE THROUGH-OUT ITS LENGTH. SECTION 904.10.2
 - C. A 30"x30" LEVEL WORKING PLATFORM IN FRONT OF THE SERVICE SIDE OF THE APPLIANCE. SECTION 904.10.3
 - D. A PERMANENT 120V RECEPTACLE OUTLET AND LIGHTING FIXTURE NEAR THE APPLIANCE. SECTION 904.10.4.
 - E. UPRIGHT FURNACES MAYBE INSTALLED IN ATTIC OR CRAWLSPACE MORE THAN 5'-0" IN HEIGHT, PROVIDED THAT REQUIRED LISTINGS, DUCT AND FURNACE CLEARANCES ARE OBSERVED. SECTION 904.10.5
 - F. CLARIFY THE LOCATION OF THE FURANCE ON PLANS BY DASHED LINE OR OTHER SYMBOL.

HOUSE VENTILATION CALC:

SQ. FT. OF (N) ROOF: 2,261 SQ. FT.

(N) 2,216/150 = 14.77 SQ. FT. OF VENTILATION IN NEW ROOF

(N) ROOF VENTS (20 ea. X 7.5 SQ.FT.) =	15 SQ.FT.
TOTAL VENTILATION INSTALLED =	15 SQ.FT.



PROPOSED ROOF PLAN

MAIN HOME

Scale: 1/4 = 1'-0"

1
A2.1

Title : Proposed Roof Plan

Project : Gambrioli Residence
812 Linden Avenue
Burlingame, CA 94010

Job No. : 19_009 Drawn : TIM RANDEZ Date : 03/08/2019

Contractor :
Gambrioli Developments
Contact: Greg Gambrioli
812 Linden Ave.
Burlingame, CA 94010
P: 650-333-6844

Owner :
MR & MRS GREG GAMBRIOLI
812 LINDEN AVE.
BURLINGAME, CA 94010

Zoning: -

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E-mail: TIMEFORMONEDSIGN.COM

DESIGN ■ PLANNING

BUILDING SET
PLANNING SET

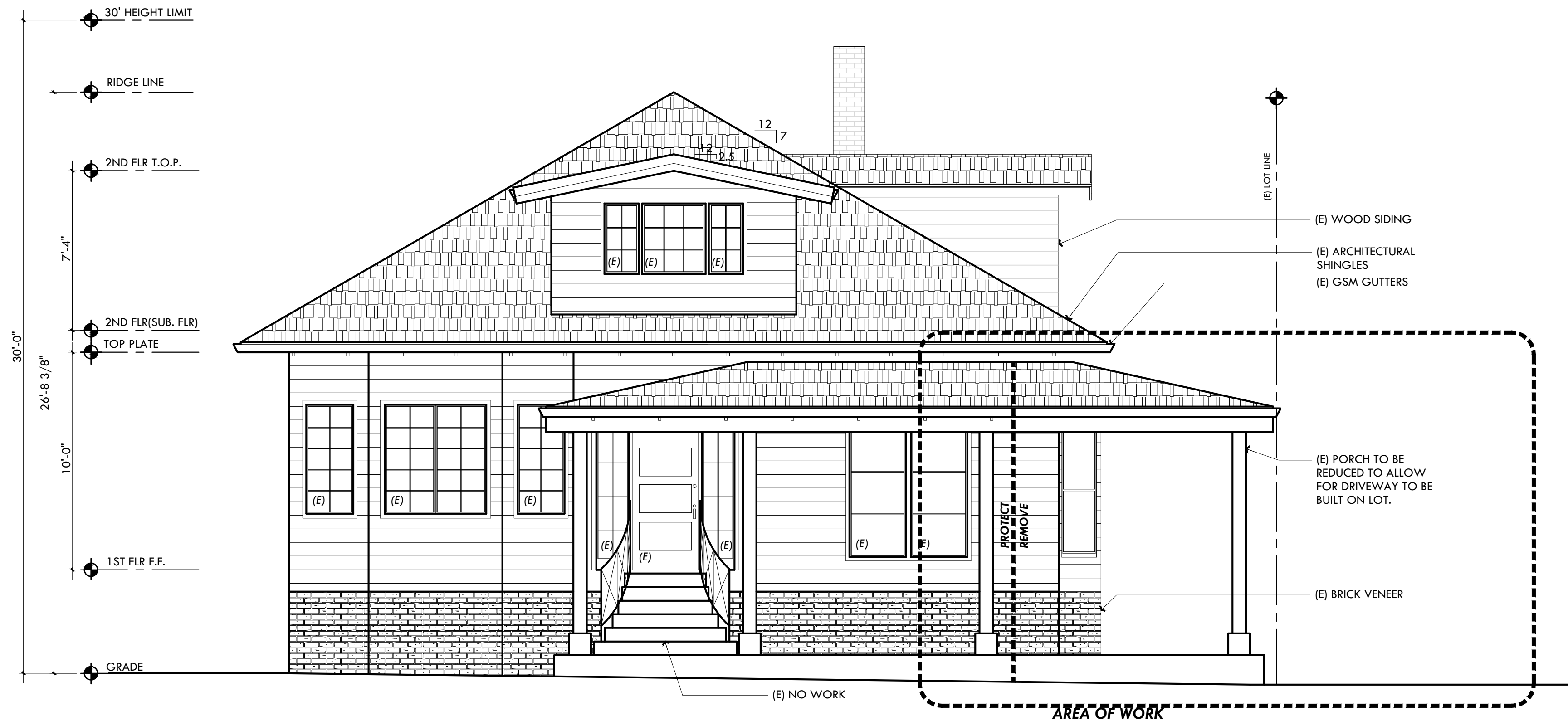
APN#: 029-032-160

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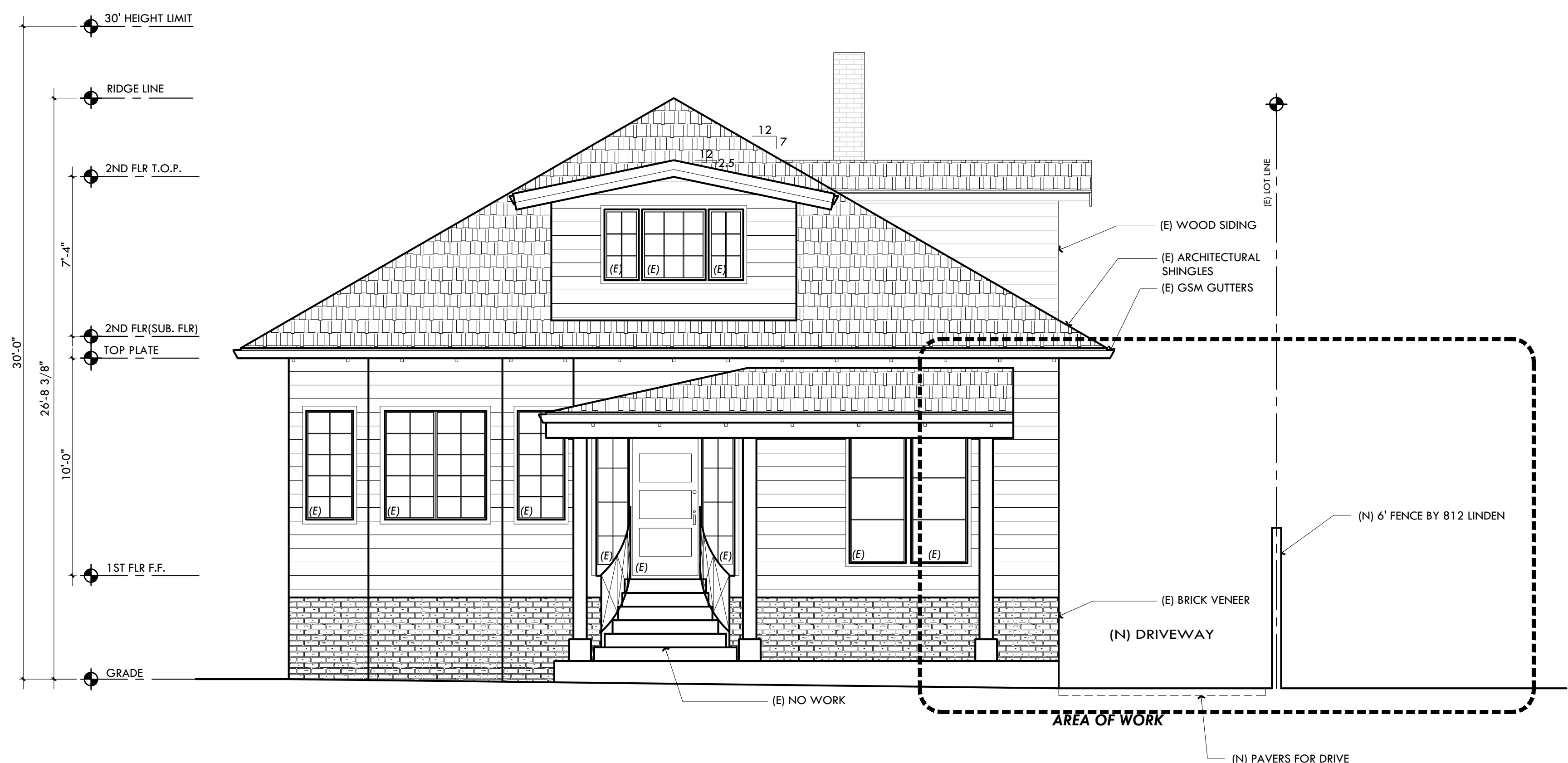
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EXISTING FRONT ELEVATION

Scale: 1/4" = 1'-0" (A3.0)



PROPOSED FRONT ELEVATION

Scale: 1/4" = 1'-0" (A3.0)

Revisions	
Rev.:	Description :
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003	
004	
005	
006	

Contractor :
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Owner :
Mr. & Mrs. Greg Gambrioli
816 Linden Ave.
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Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

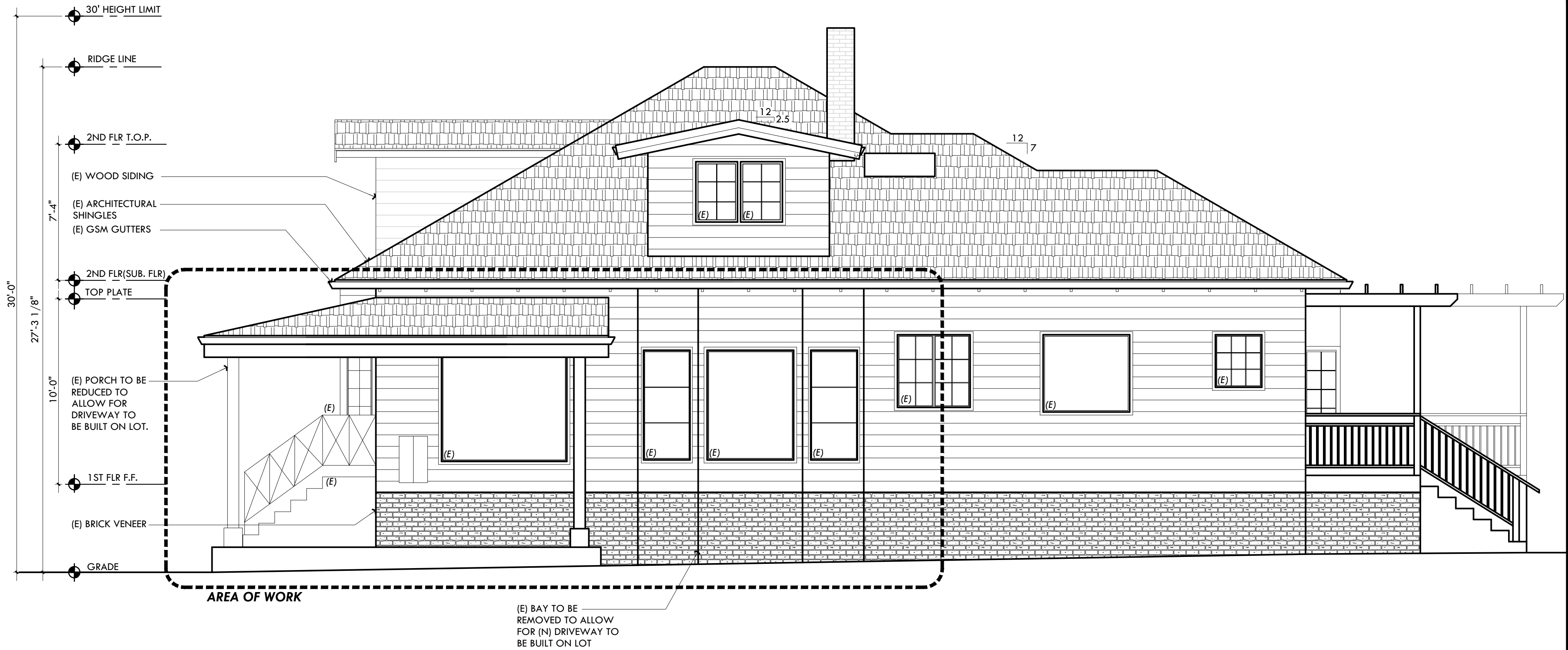
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APN#: 029-032-160

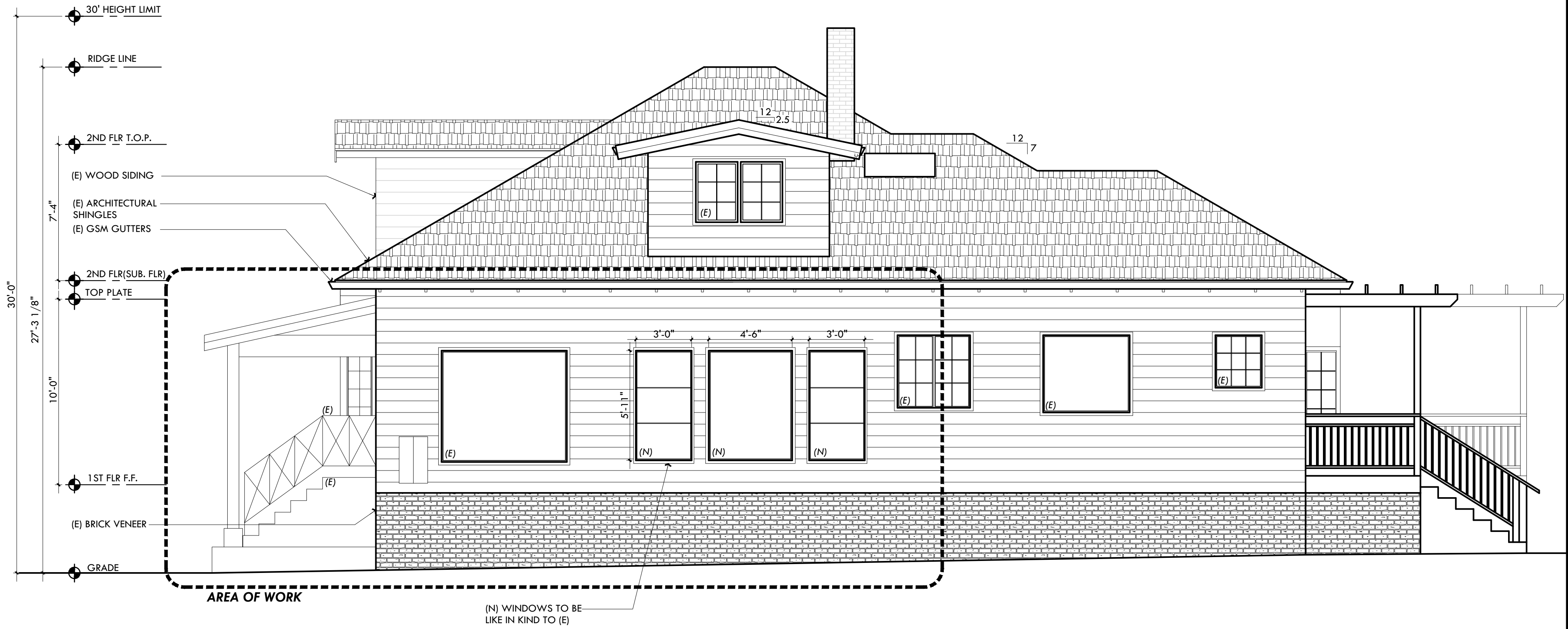
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Project : Gambrioli Residence 816 Linden Avenue Burlingame, CA 94010	
Job No. : 19_010	Drawn : TIM RADUENZ
Date : 03/06/2019	

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EXISTING RIGHT ELEVATION

Scale: 1/4" = 1'-0" 1
A3.1



PROPOSED RIGHT ELEVATION

Scale: 1/4" = 1'-0" 2
A3.1

Revisions		
Rev. #	Description	Date
001		
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003		
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Contractor :
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Zoning: R-1

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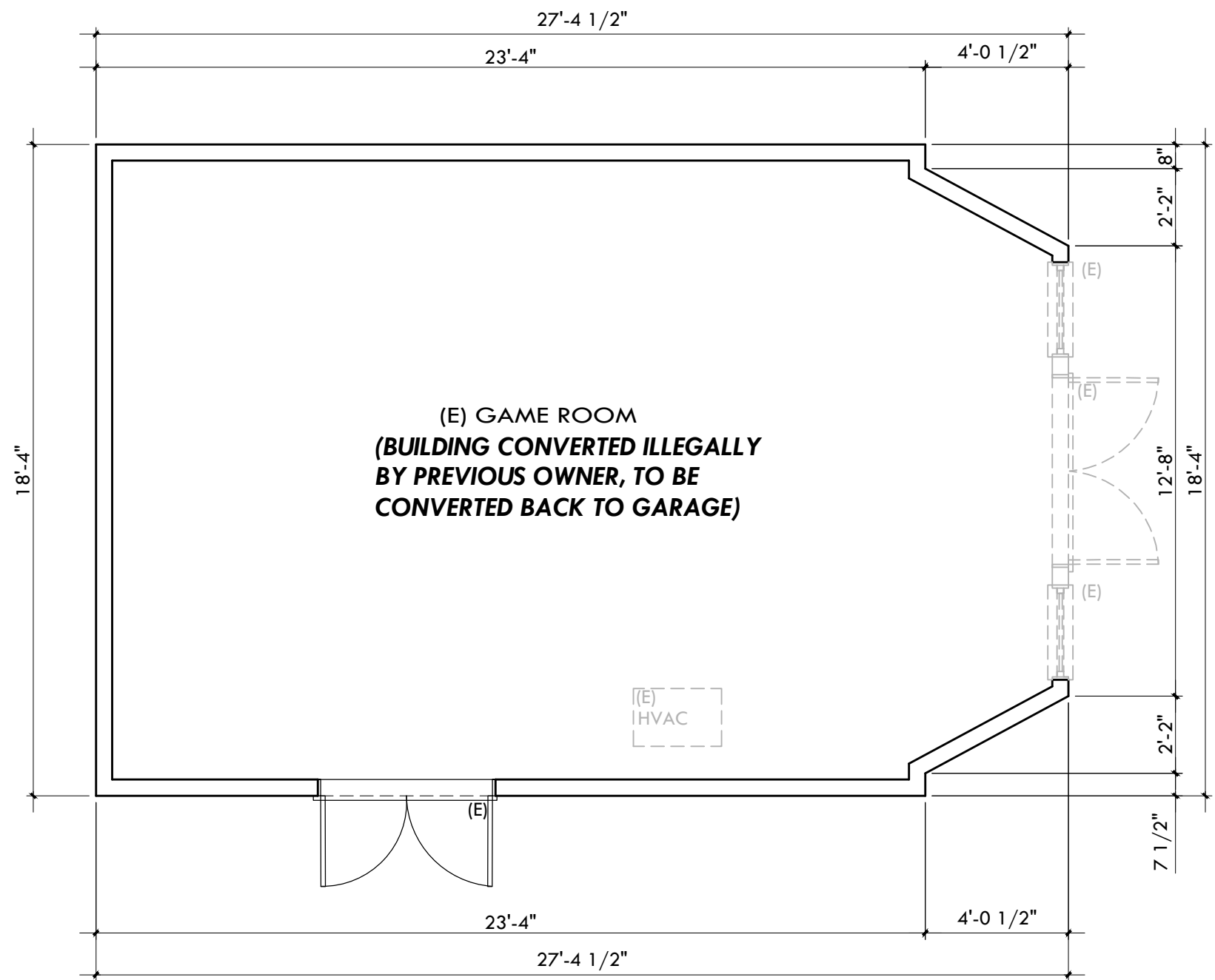
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DESIGN ■ PLANNING

BUILDING SET
PLANNING SET

APN#: 029-032-160

Title : Proposed Elevations		
Project : Gambrioli Residence 816 Linden Avenue Burlingame, CA 94010		
Job No. : 19_010	Drawn : TIM RADUENZ	Date : 03/08/2019

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EXISTING GAME ROOM

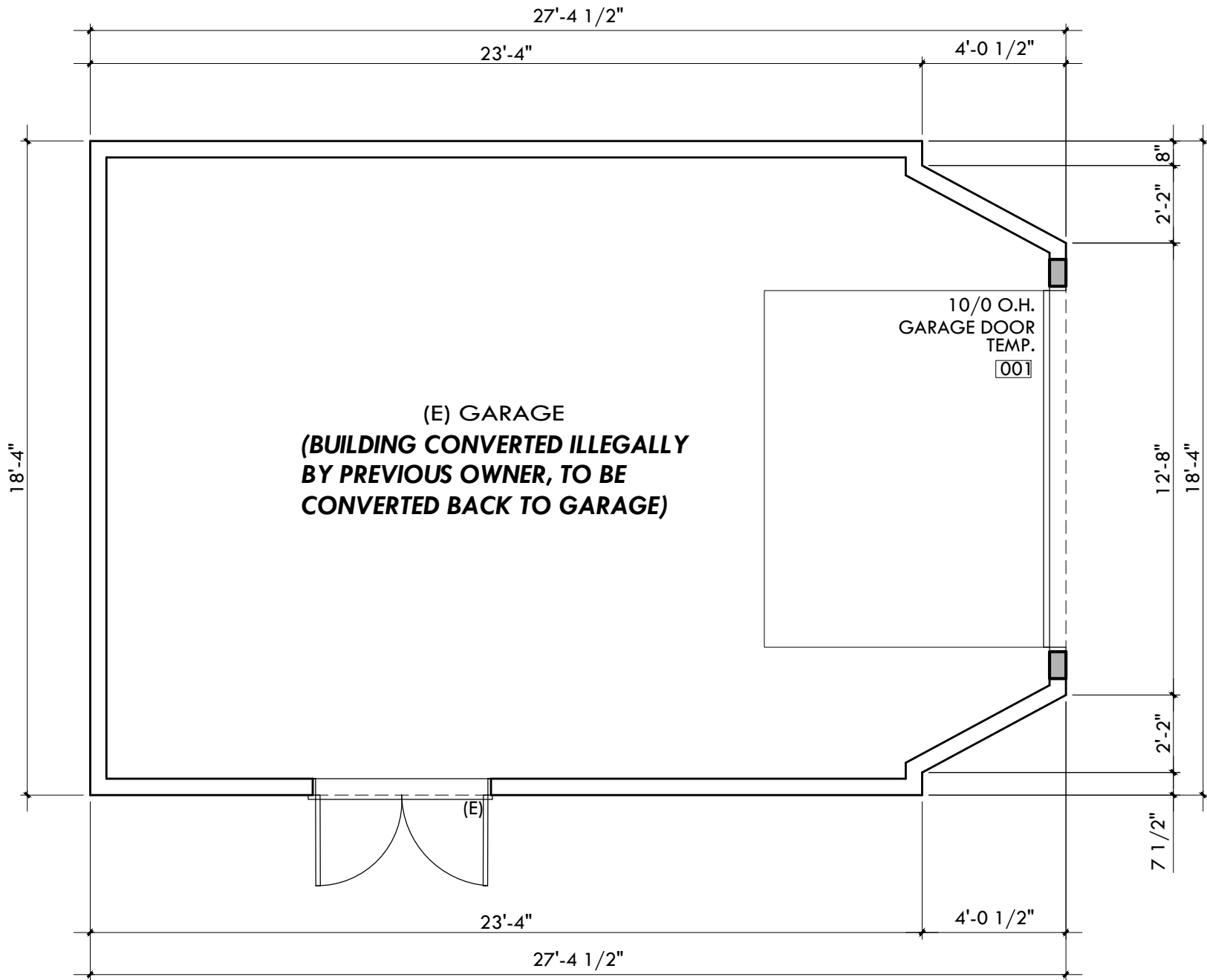
(TO BE CONVERTED BACK TO A GARAGE)

Scale: 1/4" = 1'-0"

1
G1.0

LEGEND:

- EXISTING WALLS
- WALLS/ITEMS TO BE REMOVES
- NEW WALLS



PROPOSED GARAGE

(TO BE CONVERTED BACK TO A GARAGE)

Scale: 1/4" = 1'-0"

2
G1.0

Title : Existing & Proposed Garage

Project : Gambrioli Residence
816 Linden Avenue
Burlingame, CA 94010

Job No. : 19_010 Drawn : TIM RADUENZ Date : 03/06/2019

Owner :
Mr. & Mrs. GREG GAMBRIOLI
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Zoning: R-1

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form + one

DESIGN ■ PLANNING

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Revisions

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BUILDING SET
PLANNING SET

APN#: 029-032-160

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Scale: See Details