



ADJACENT PROPERTY
721 PLYMOUTH WAY

SUBJECT PROPERTY
725 PLYMOUTH WAY

ADJACENT PROPERTY
729 PLYMOUTH WAY

733 PLYMOUTH WAY



679 Sanchez Street
San Francisco, California
94114
415 • 553 • 8696

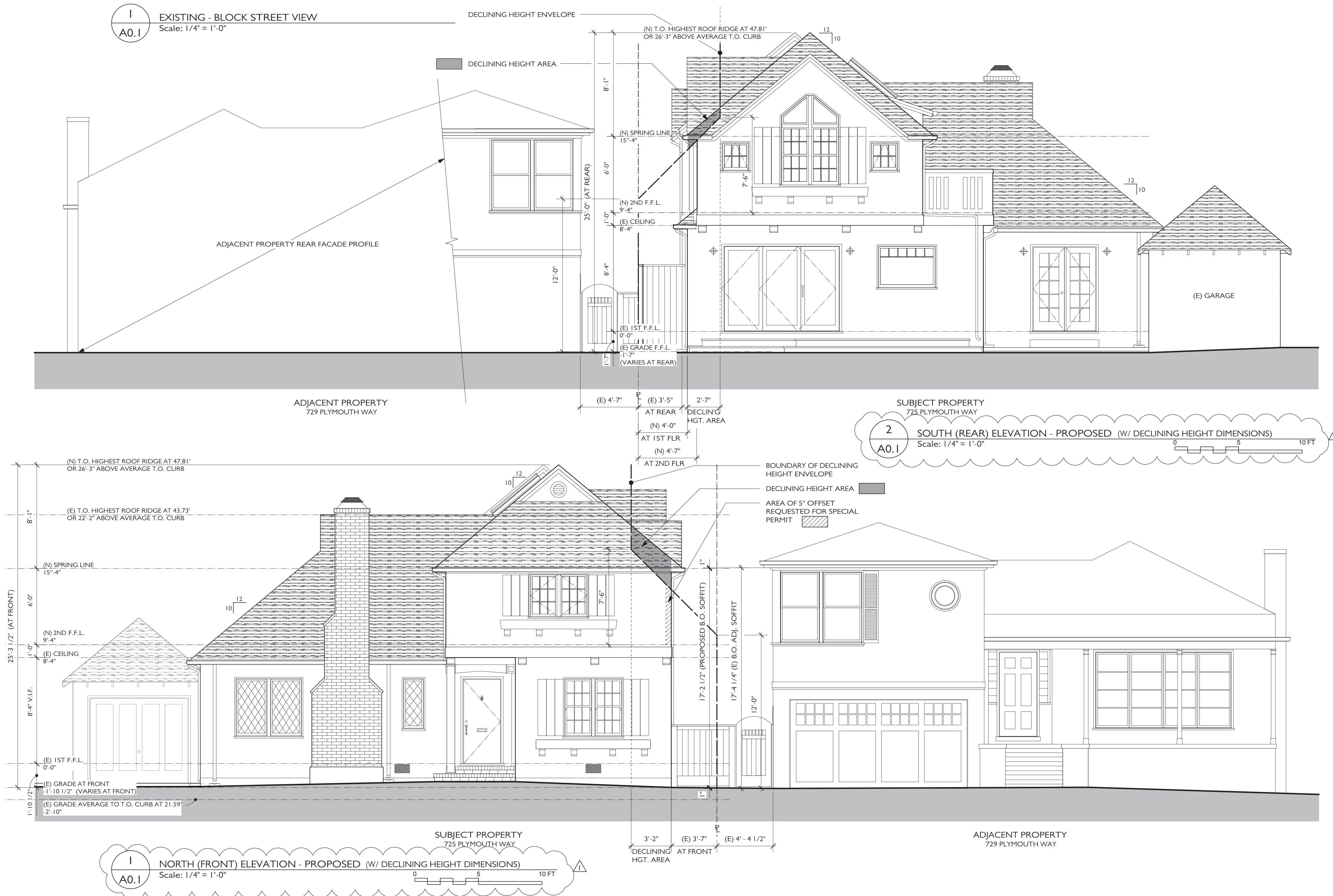
SANCHEZ RESIDENTIAL REMODEL
725 PLYMOUTH WAY
BURLINGAME, CA 94010

STREET FRONT
ELEVATION VIEW W/
DECLINING HEIGHT

DATE:	ISSUE:	BY:
04.15.19	PLANNING COMMISSION SPECIAL PERMIT	pmg
06.12.19	RESPONSE TO COMMENTS	pmg
07.31.19	RESPONSE TO PLANNING COMMISSION COMMENTS	pmg
-	-	-
-	-	-
-	-	-

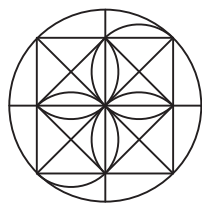
A0.1

1111



WINDOW/DOOR ABBREVIATIONS:

(E) EXISTING
(N) NEW
(R) TO BE REPLACED IN SAME OPENING



JAMES G STAVOY
ARCHITECT
AIA

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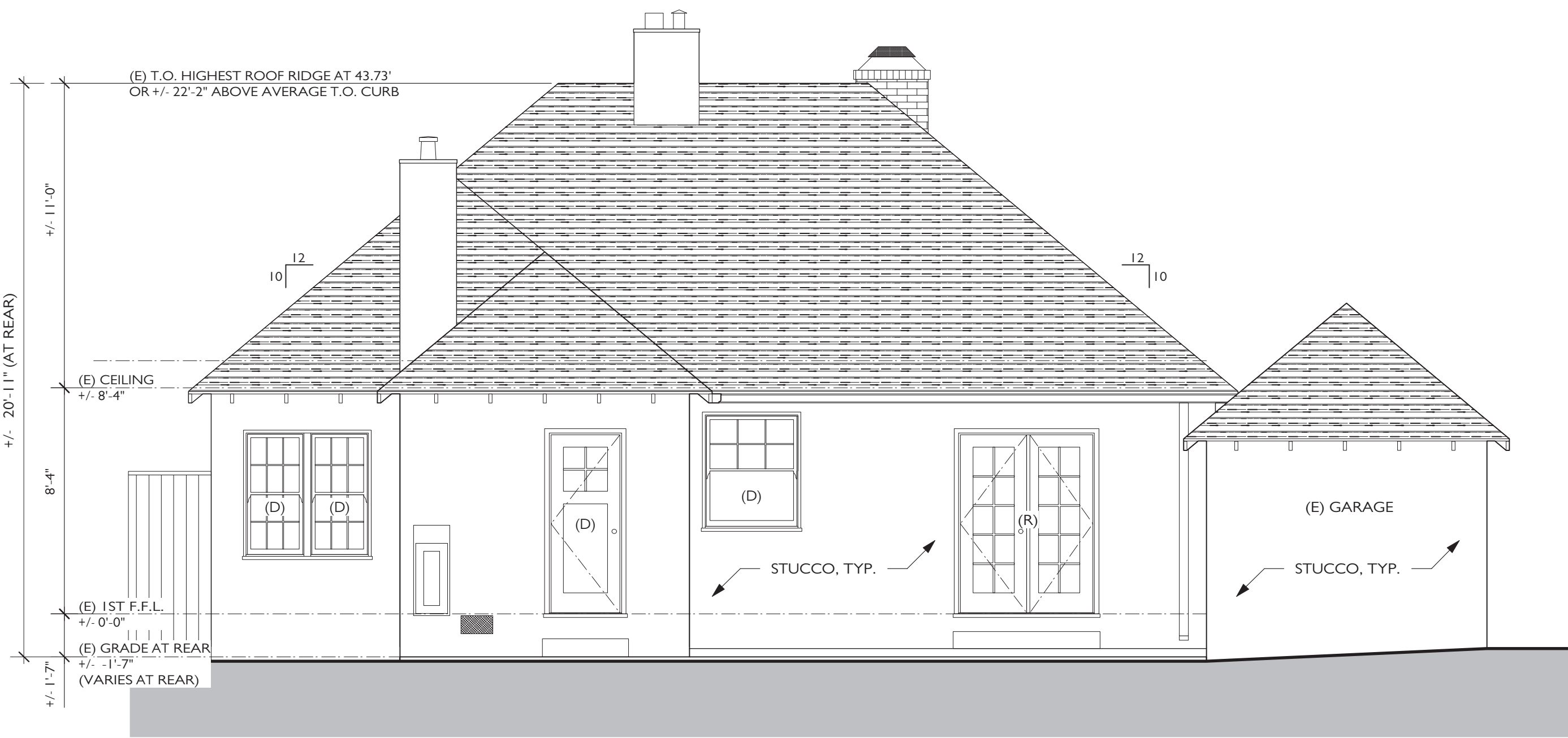
SANCHEZ RESIDENTIAL REMODEL
725 PLYMOUTH WAY
BURLINGAME, CA 94010

EXISTING ELEVATIONS

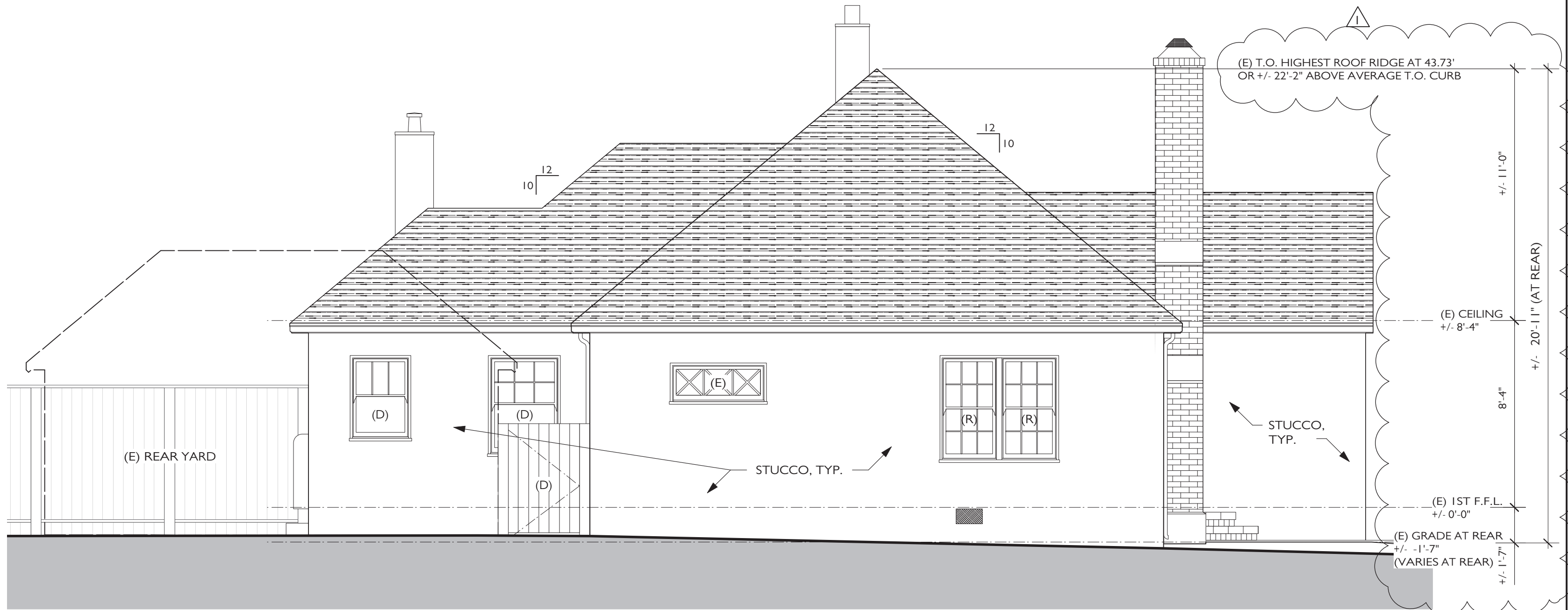
DATE:	ISSUE:	PLANNING COMMISSION	BY:	png
04.15.19	SPECIAL PERMIT			
06.12.19	RESPONSE TO COMMENTS			
07.31.19	RESPONSE TO PLANNING COMMISSION COMMENTS			

A4.0

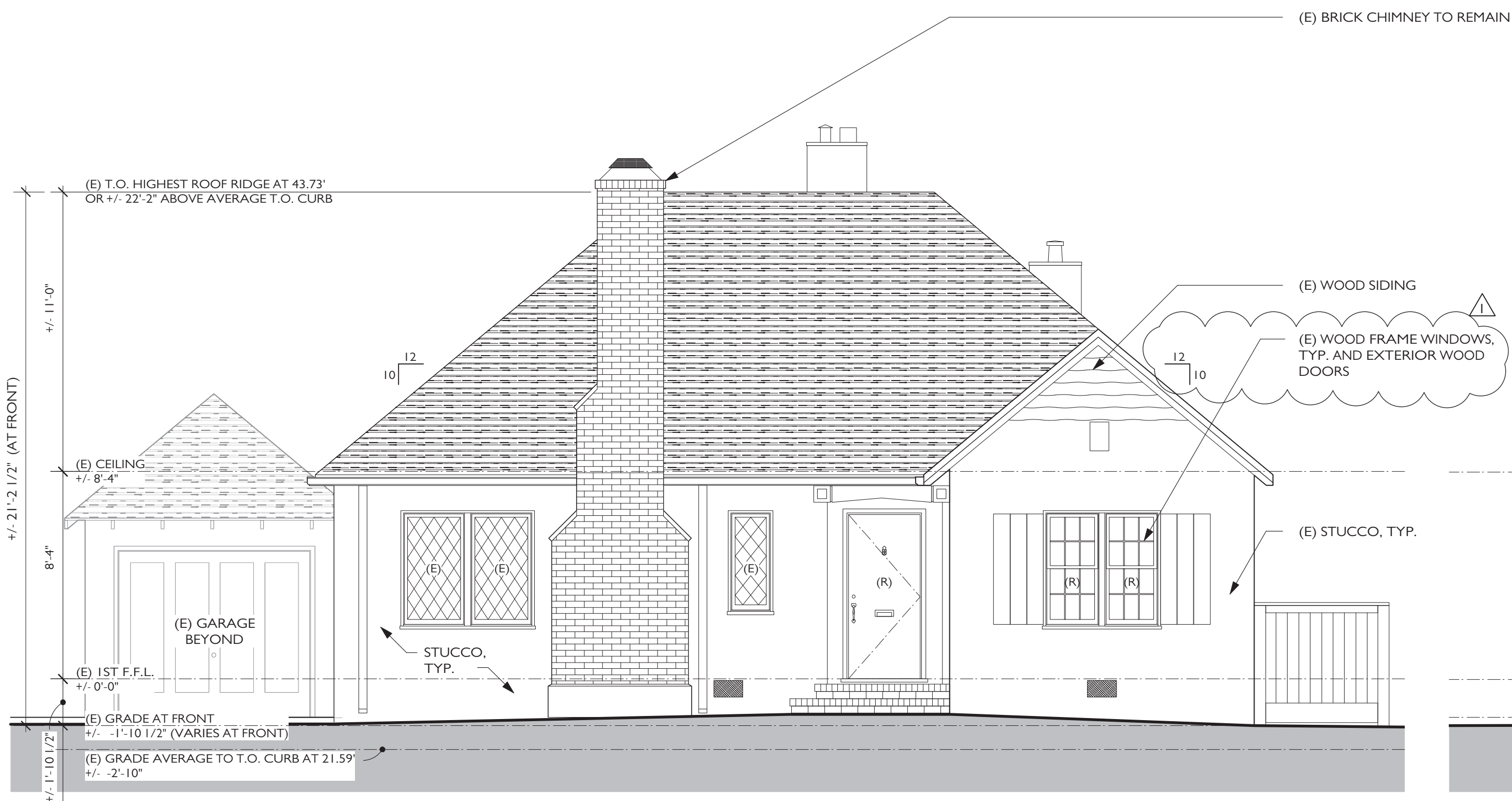
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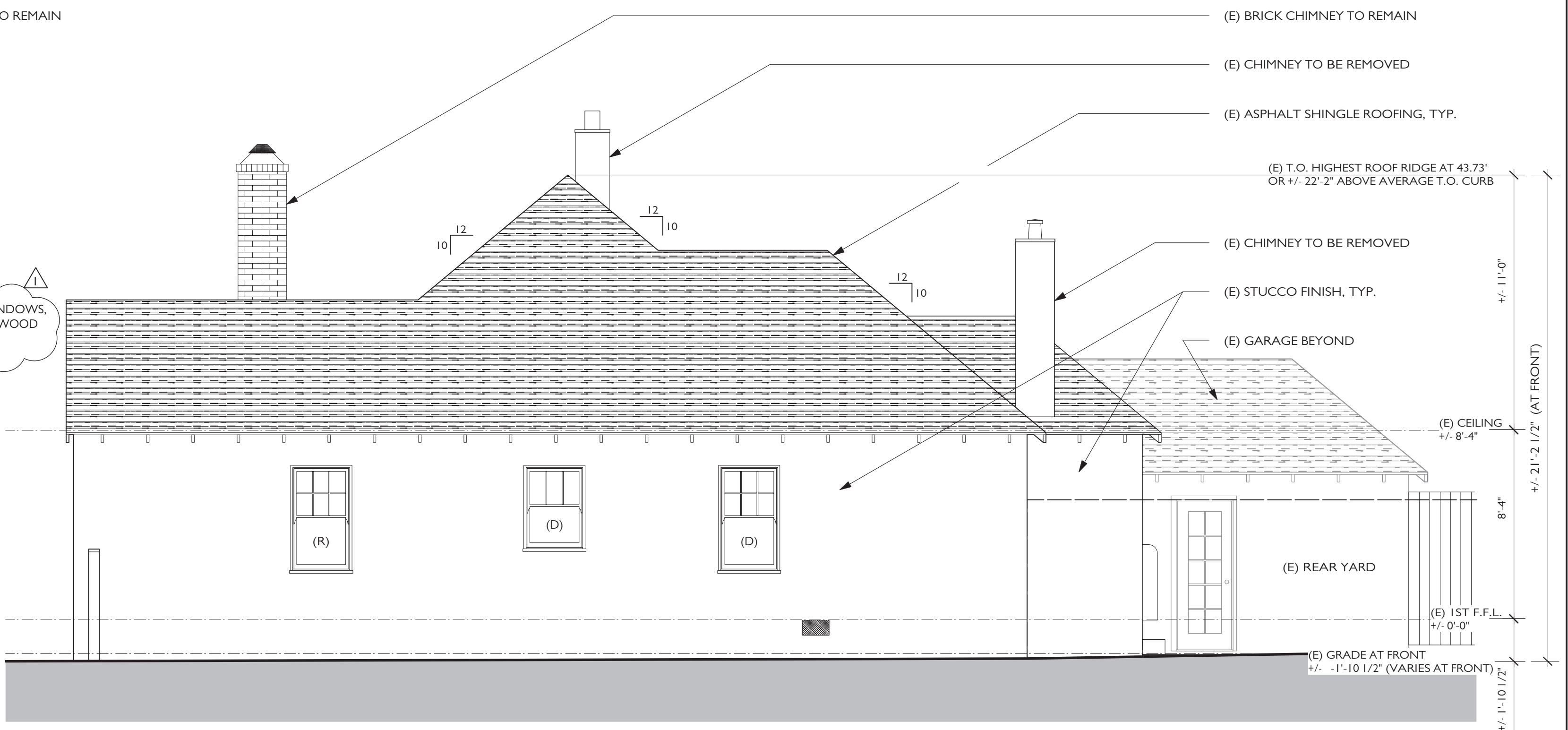
3 SOUTH\EST (REAR) ELEVATION - EXISTING\DEMO
Scale: 1/4" = 1'-0"



4 NORTH\EST (SIDE) ELEVATION - EXISTING\DEMO
Scale: 1/4" = 1'-0"



1 NORTH\WEST (FRONT) ELEVATION - EXISTING\DEMO
Scale: 1/4" = 1'-0"



2 SOUTH\WEST (SIDE) ELEVATION - EXISTING\DEMO
Scale: 1/4" = 1'-0"

SANCHEZ RESIDENTIAL REMODEL
725 PLYMOUTH WAY
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PROPOSED ELEVATIONS

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04.15.19	PLANNING COMMISSION SPECIAL PERMIT	pmg
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07.31.19	RESPONSE TO PLANNING COMMISSION COMMENTS	pmg

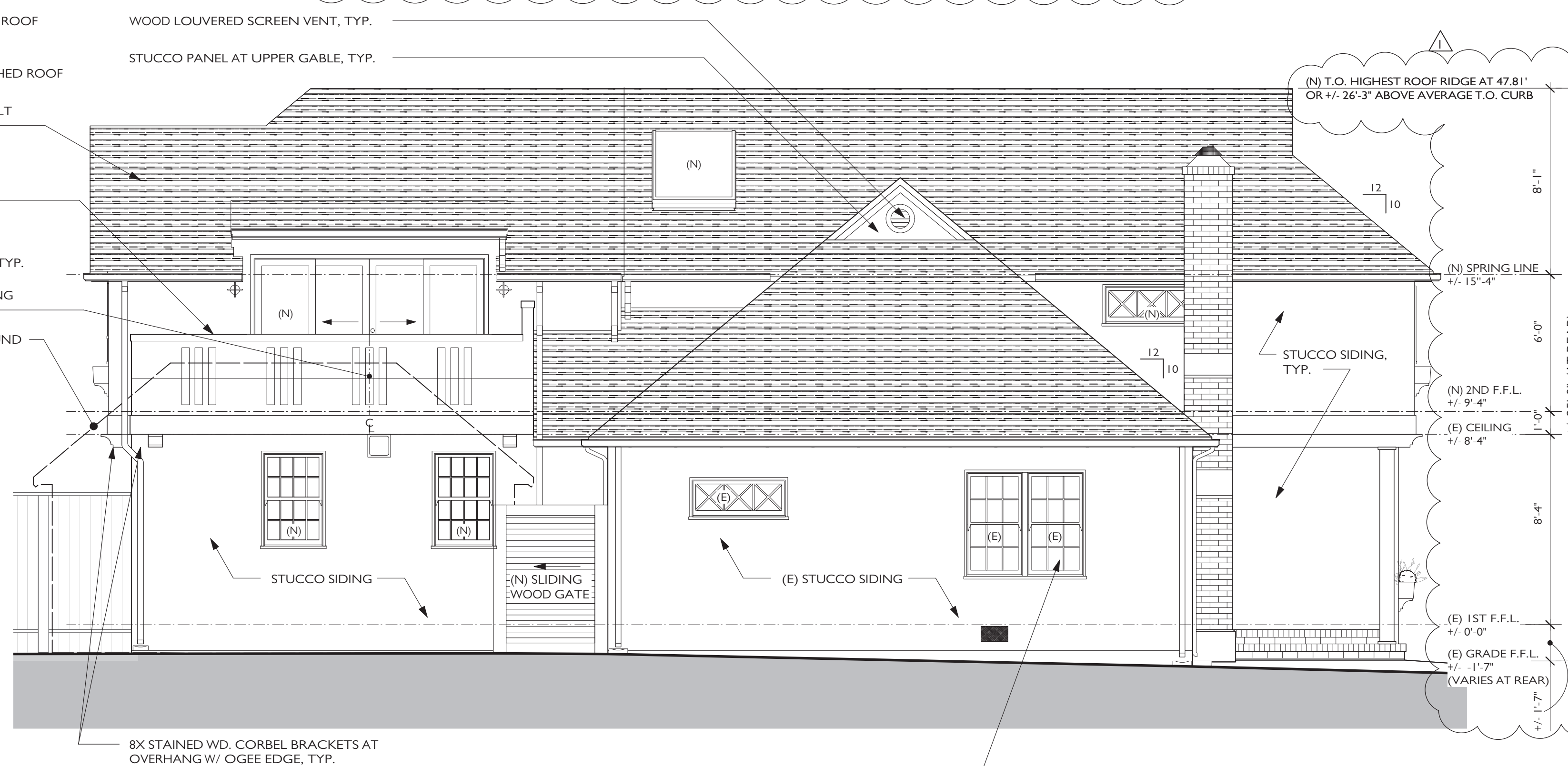
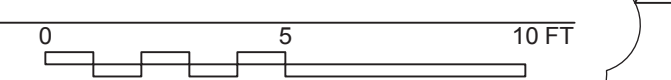
A4.1

WINDOW SCHEDULE										
UNIT #	ROOM	WIDTH (FRAME SIZE)	HEIGHT (FRAME SIZE)	HEAD AFF	MATERIAL	OPERATION	GLAZING	MFG	SPEC	COMMENTS
W1.01	BDRM-100	2'-11"	5'-3 1/2"	6"-8"	WOOD	DBL-HUNG	DBL-GLZD	MARVIN	-	EGRESS OPENING = 5.78 SQ.FT. OPENING HGT. = 2'-2 5/32" WIDTH = 2'-7 7/8"
W2.01	BDRM-201	2'-11"	5'-3 1/2"	6"-8"	WOOD	DBL-HUNG	DBL-GLZD	MARVIN	-	" " " "
W2.02	BDRM-203	2'-11"	5'-3 1/2"	6"-8"	WOOD	DBL-HUNG	DBL-GLZD	MARVIN	-	" " " "
NOTE: THESE WINDOWS COMPLY WITH EGRESS REQUIREMENTS PER 2016 CRC R310 OR CBC 1030.										

WINDOW/DOOR ABBREVIATIONS:
 (E) EXISTING
 (N) NEW
 (R) TO BE REPLACED IN SAME OPENING



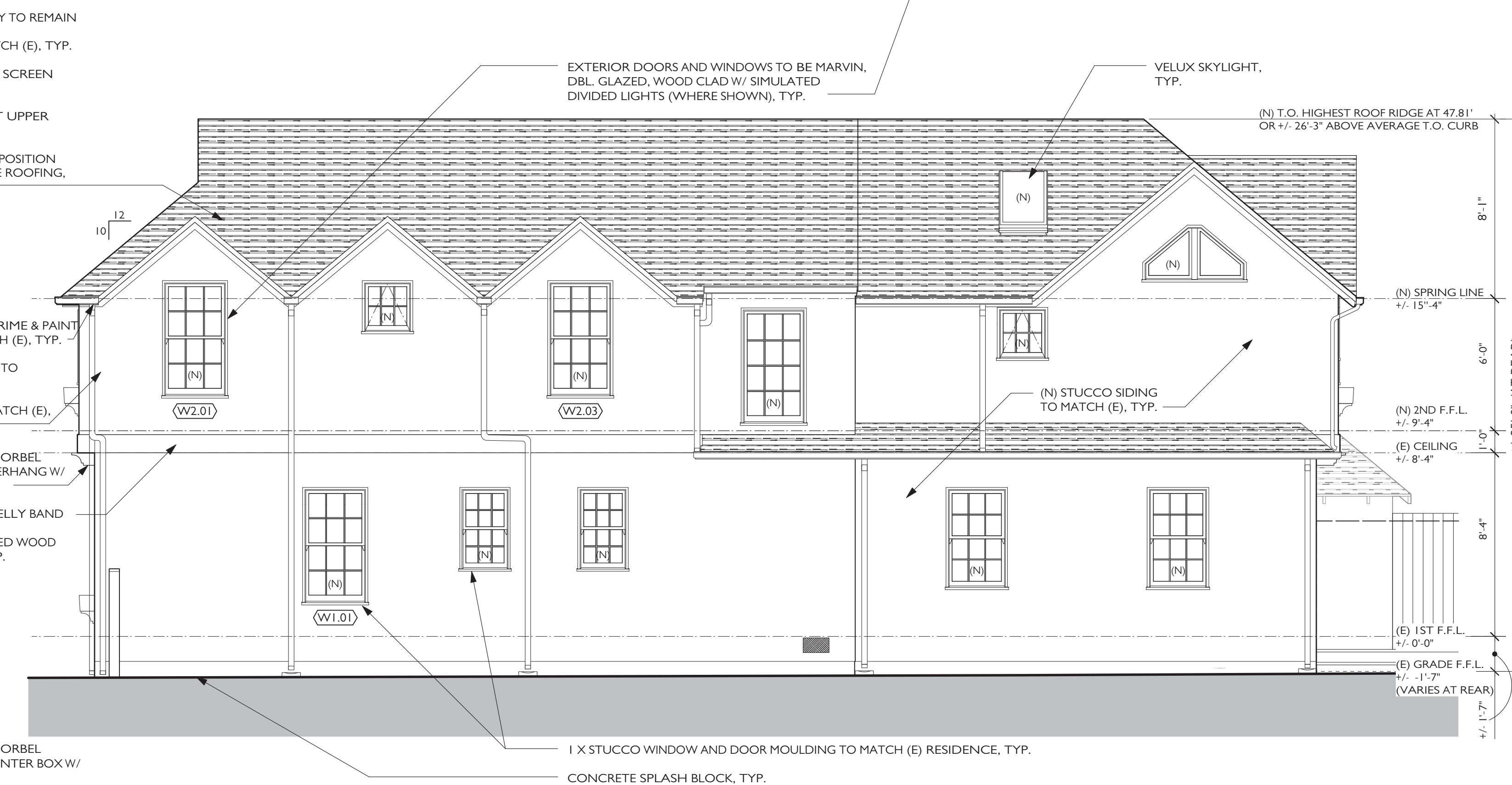
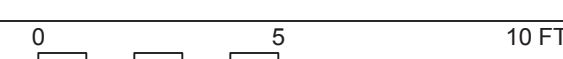
3 SOUTH (REAR) ELEVATION - PROPOSED
Scale: 1/4" = 1'-0"



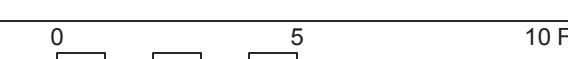
4 EAST (SIDE) ELEVATION - PROPOSED
Scale: 1/4" = 1'-0"

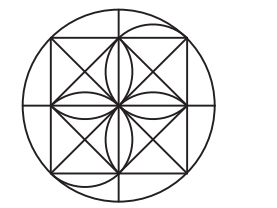


 NORTH (FRONT) ELEVATION - PROPOSED
Scale: 1/4" = 1'-0"



2 WEST (SIDE) ELEVATION - PROPOSED
Scale: 1/4" = 1'-0"





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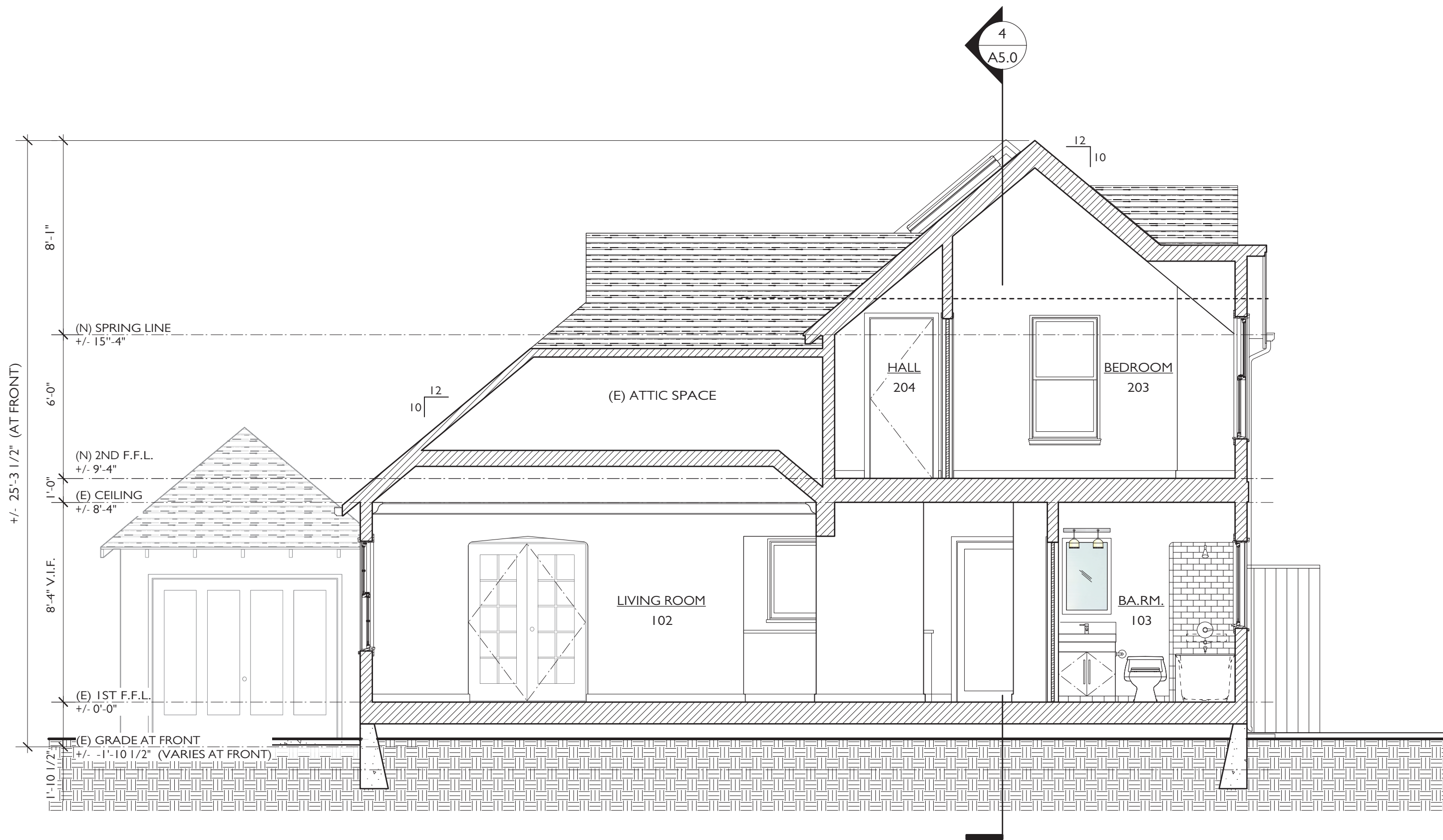
SANCHEZ RESIDENTIAL REMODEL
725 PLYMOUTH WAY
BURLINGAME, CA 94010

EXISTING\DEMO
ELEVATIONS &
SECTIONS

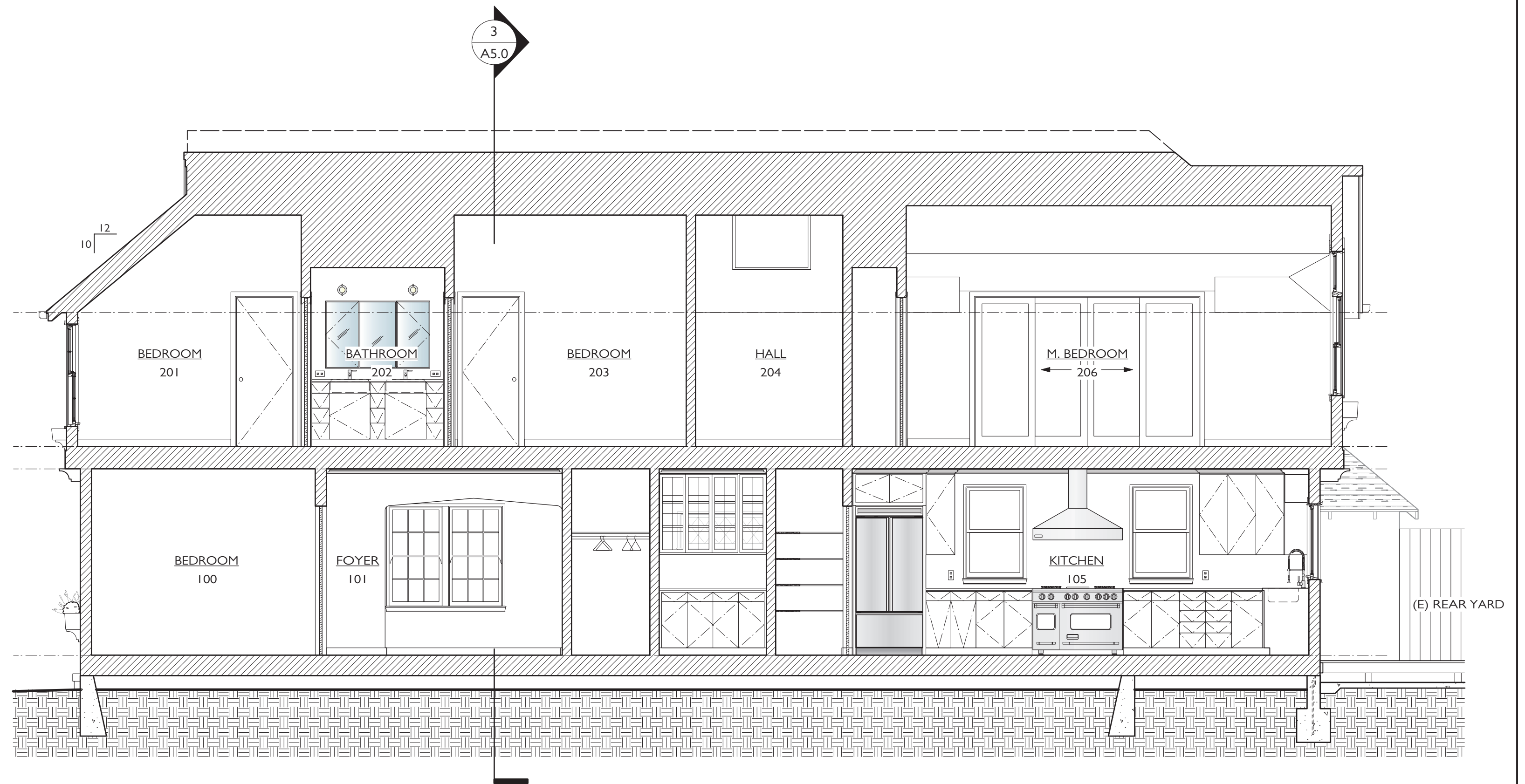
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04.15.19	PLANNING COMMISSION	png
	SPECIAL PERMIT	png
07.31.19	RESPONSE TO PLANNING	
	COMMISSION COMMENTS	

A5.0

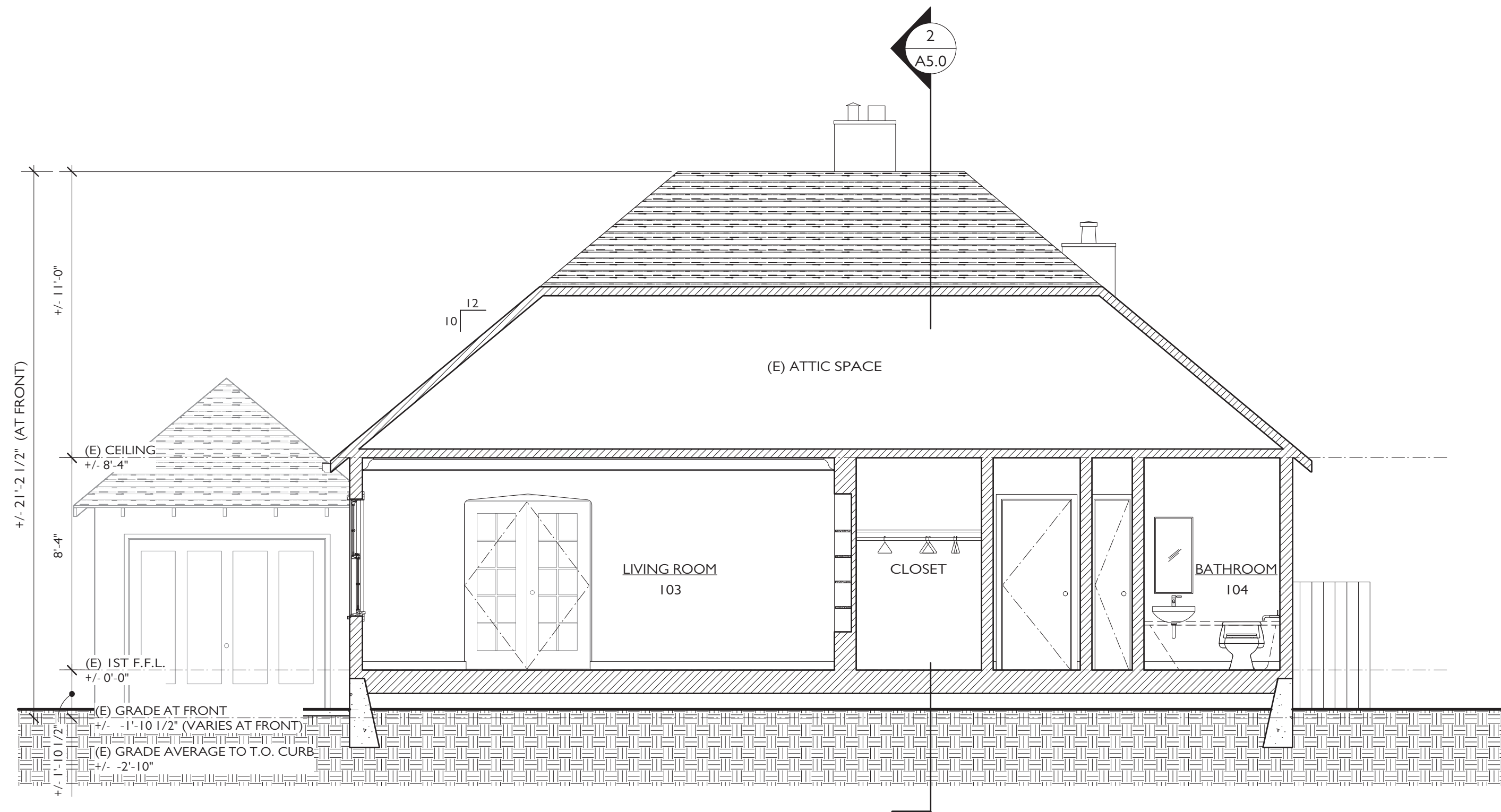
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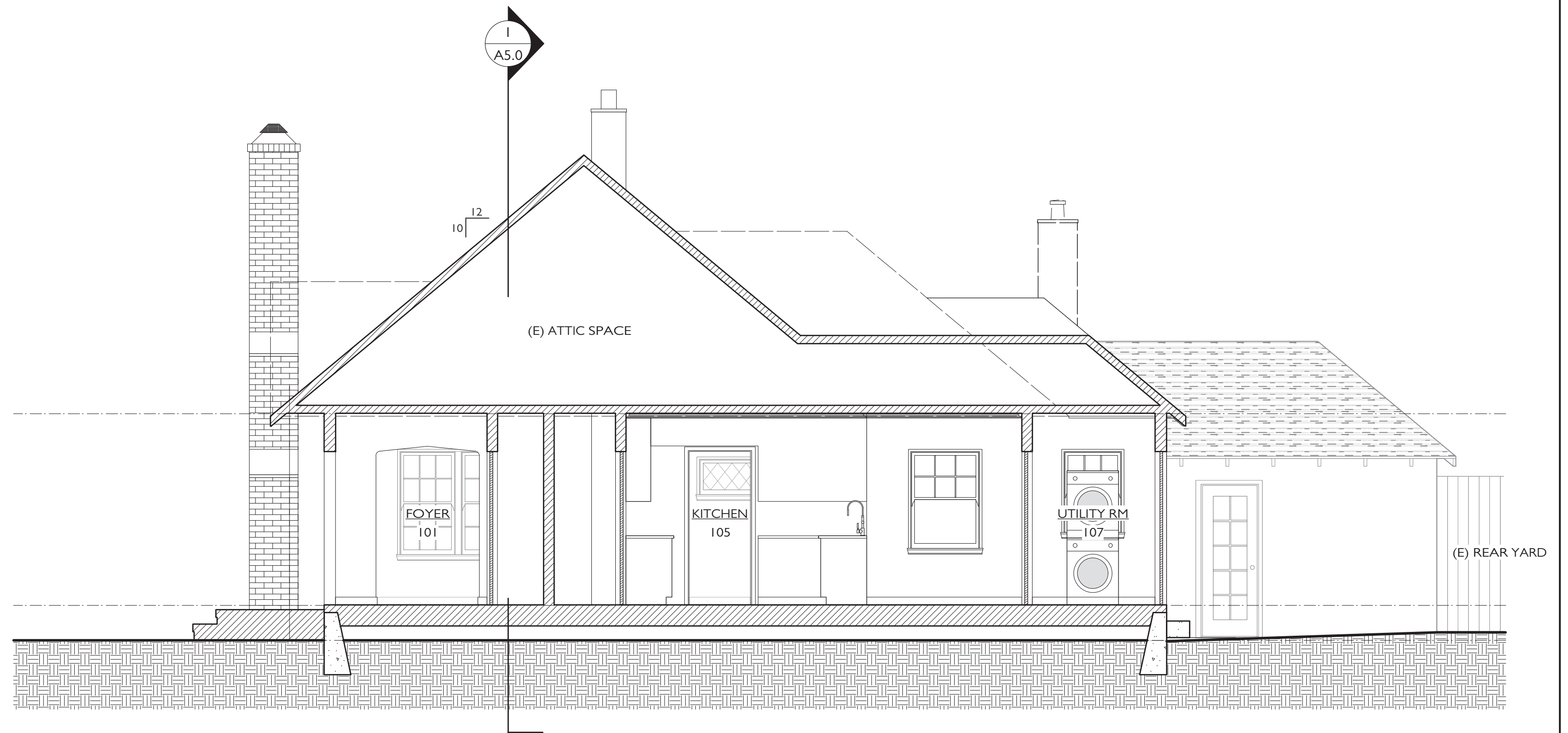
3 TRANSVERSE SECTION - PROPOSED
Scale: 1/4" = 1'-0"



4 LOGITUDINAL SECTION - PROPOSED
Scale: 1/4" = 1'-0"



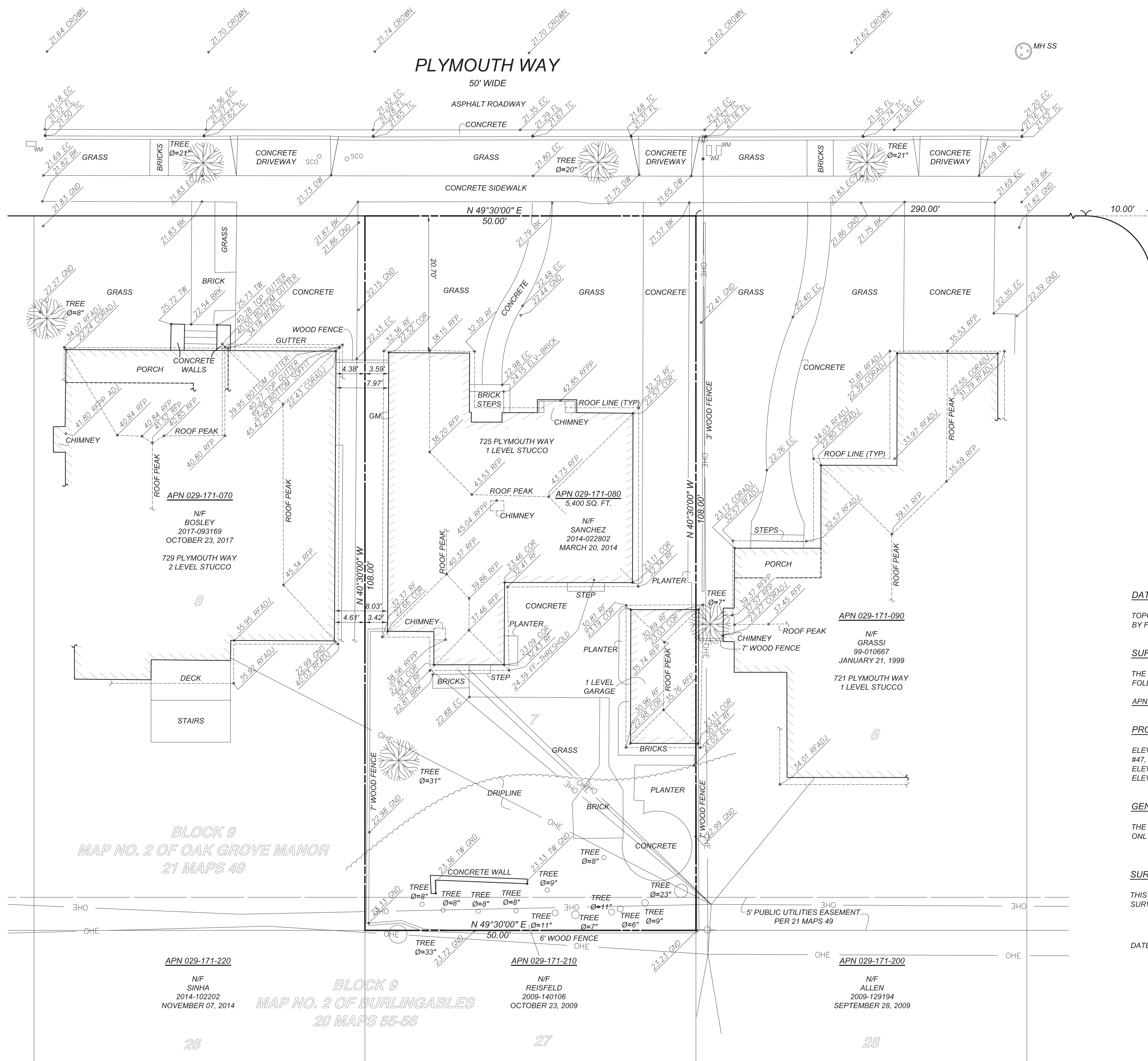
1 TRANSVERSE SECTION - EXISTING\DEMO
Scale: 1/4" = 1'-0"



2 LOGITUDINAL SECTION - EXISTING\DEMO
Scale: 1/4" = 1'-0"

9 THIS MAP WILL BE PROVIDED IN AN ELECTRONIC FORMAT AS A COURTESY TO THE CLIENT. THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. A SIGNED PRINT DELIVERED TO THE CLIENT OR CLIENT REPRESENTATIVE CONSTITUTES OUR PROFESSIONAL WORK PRODUCT, AND IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. WE SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE, OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY US.

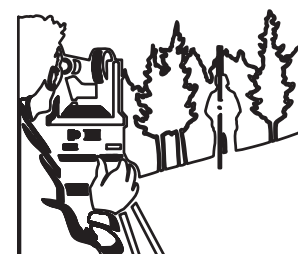
	DIAMETER
	STREET LIGHT
	POWER POLE
	SPOT ELEVATION
	TREE
	OVERHEAD ELECTRIC LINE



A circular seal for a Professional Land Surveyor. The outer ring contains the text "PROFESSIONAL LAND SURVEYOR" at the top and "STATE OF CALIFORNIA" at the bottom, separated by two stars. Inside the ring, the name "FREDERICK T. SEILER" is written in an arc, and the number "No. 6216" is centered below it.

FREDERICK T. SEHER, PLS
LICENSE NO. 6216

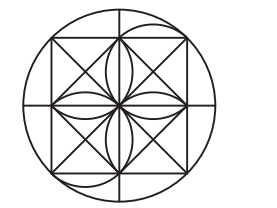
DATE:	11-21-18	△				
SCALE:	1" = 8'	△				
DRAWN BY:	FC	△				
DRAWING NAME:	2178-18	△				
SURVEYED BY:	FTS	△				
CHECKED BY:	EF	△				
CHECKED BY:		△				
			NQ	RY	DATE	REVISIONS



FREDERICK T. SEHER & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
SURVEYING & MAPPING
841 LOMBARD STREET, SAN FRANCISCO, CA 94133
(415) 921-7690 FAX (415) 921-7655

ARCHITECTURAL SITE SURVEY
ASSESSOR'S PARCEL NUMBER 029-171-080
725 PLYMOUTH WAY, BURLINGAME, CA

SHEET
1
OF 1 SHEETS
JOB NO. :
2178-18



JAMES G STAVOY
ARCHITECT
AIA

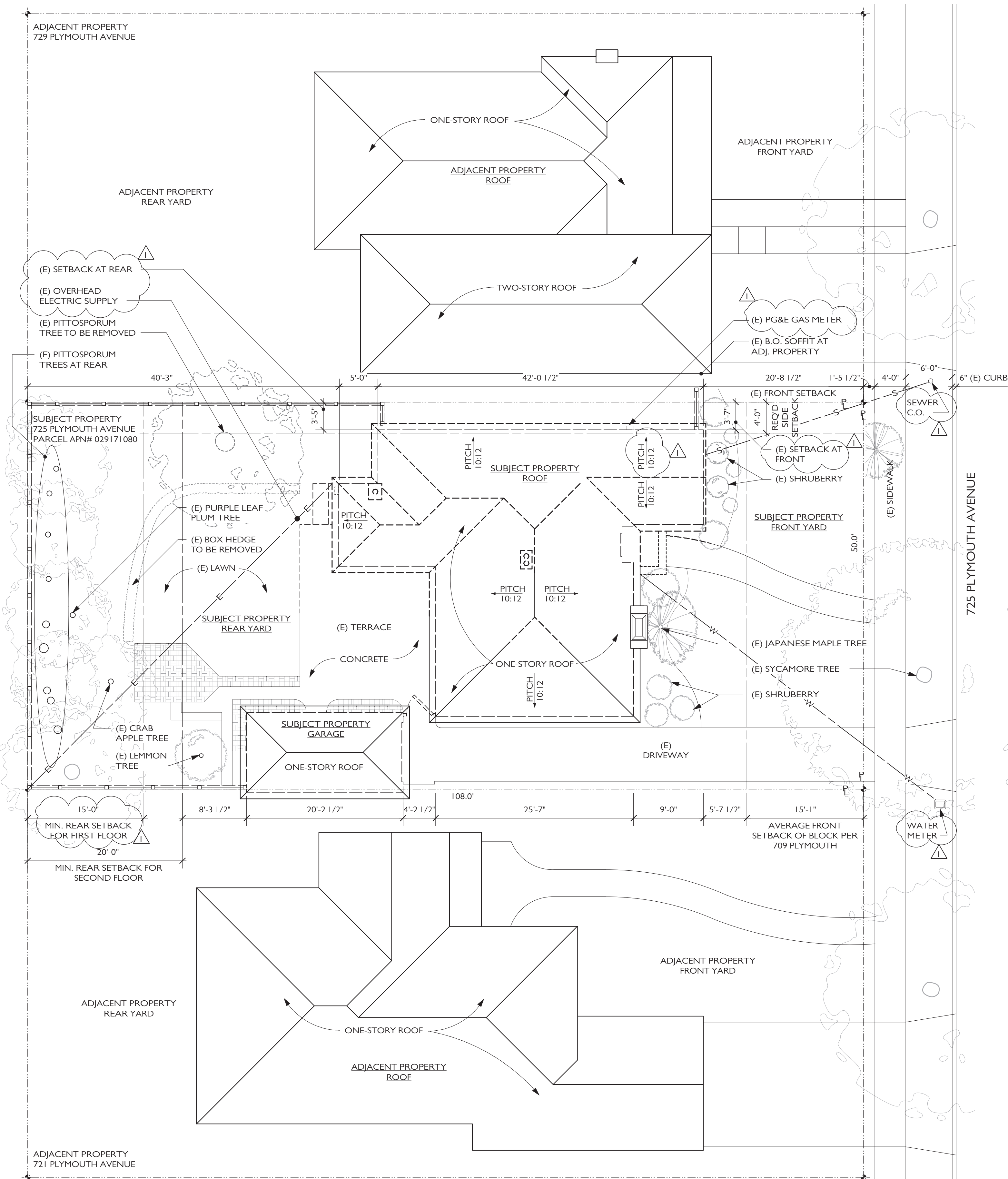
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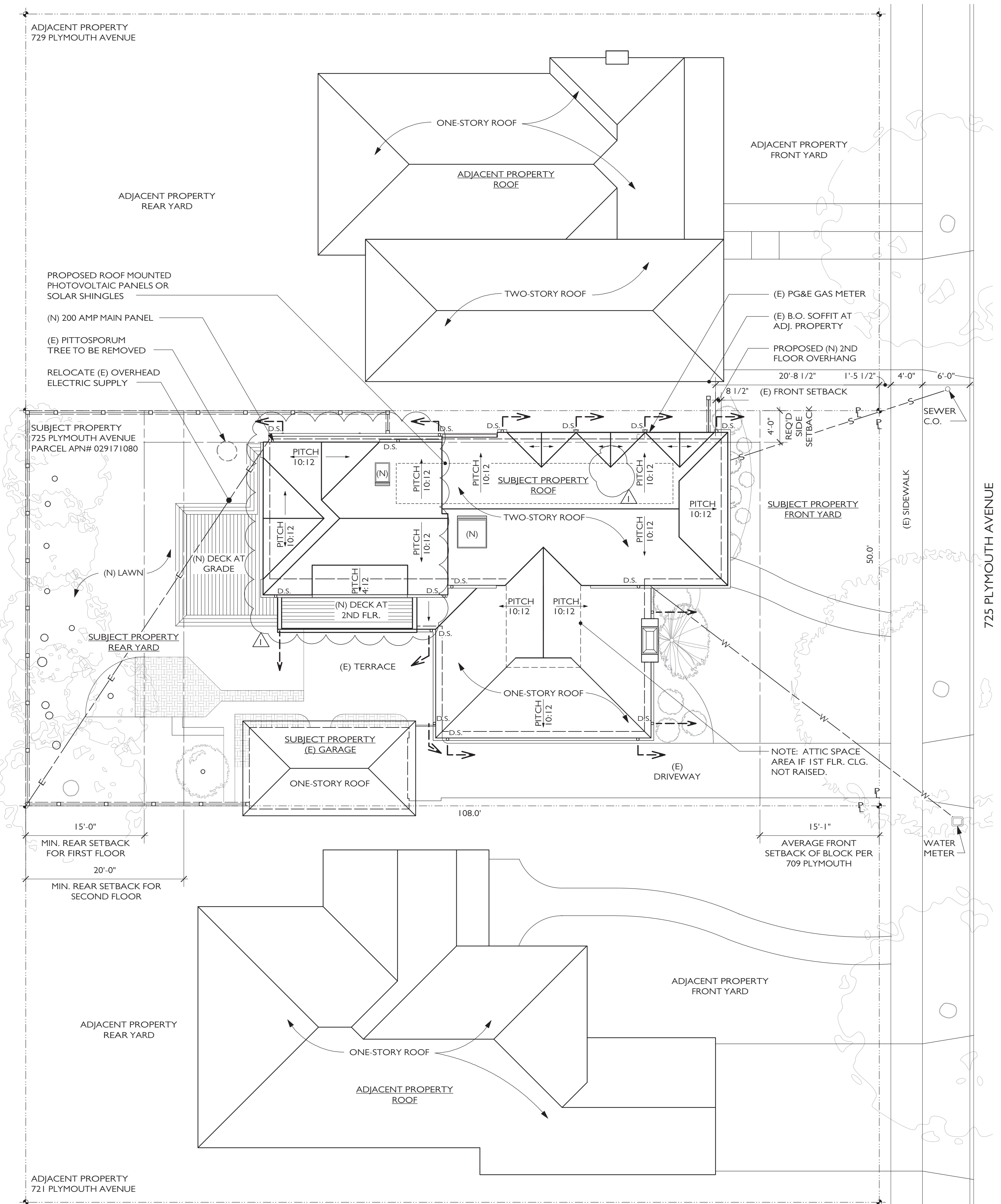
EXISTING\PROPOSED
SITE & ROOF PLAN

DATE:	ISSUE:	BY:
04.15.19	PLANNING COMMISSION	png
06.12.19	SPECIAL PERMIT	png
07.31.19	RESPONSE TO COMMENTS	png
	RESPONSE TO PLANNING COMMISSION COMMENTS	png

A1.0



1 SITE & LANDSCAPE PLAN - EXISTING\DEMO
Scale: 1/8" = 1'-0"



2 SITE & LANDSCAPE PLAN - PROPOSED
Scale: 1/8" = 1'-0"

NOTE:
(E) LANDSCAPE PLANTINGS TO
REMAIN EXCEPT THE REMOVAL OF
THE REAR YARD PITTOSPORUM TREE.