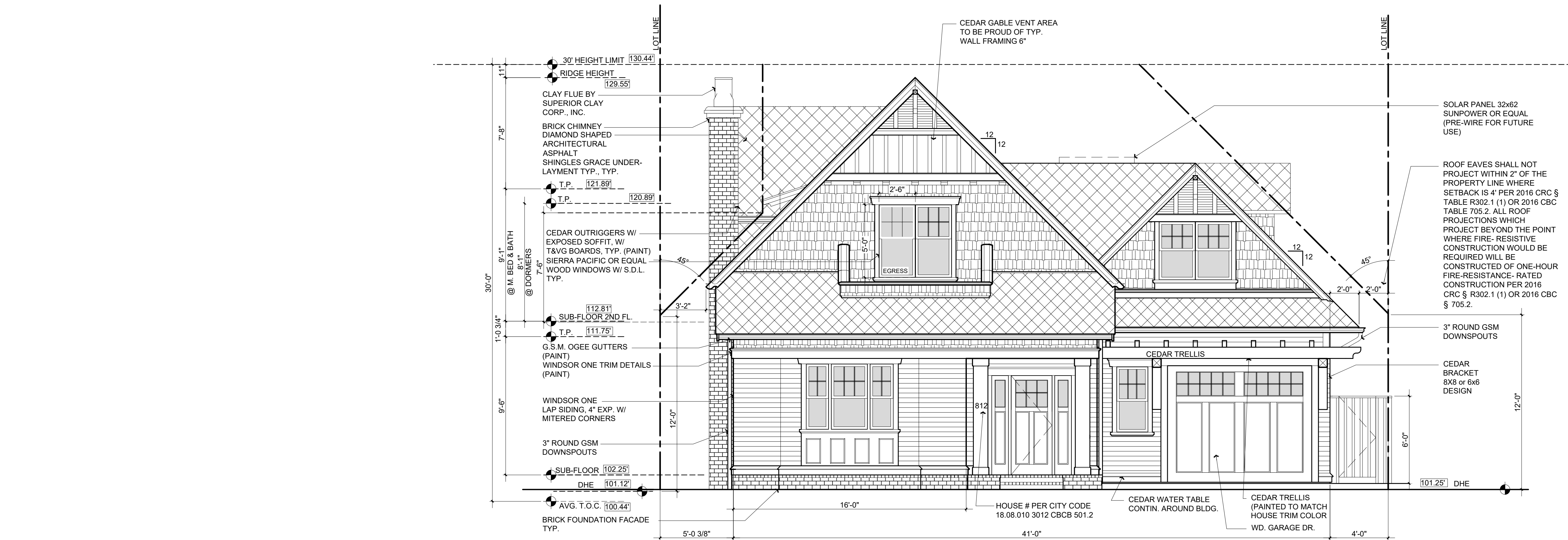


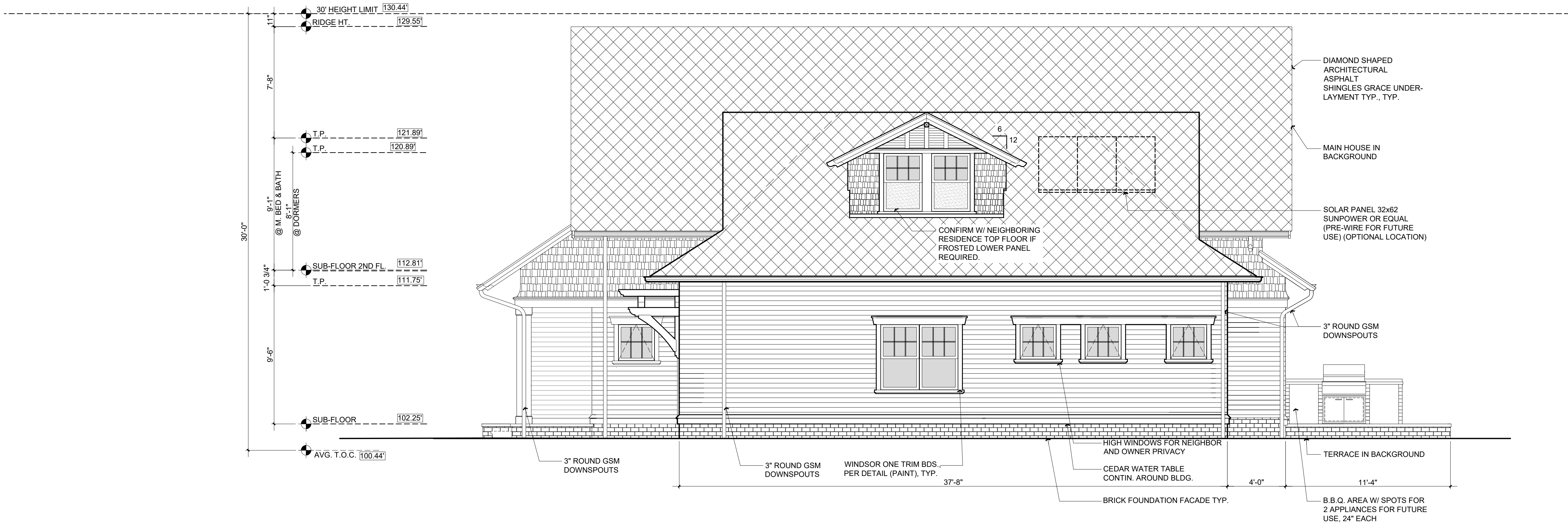
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PROPOSED FRONT ELEVATION

Scale: 1/4" = 1'-0"

1
A3.0



PROPOSED RIGHT ELEVATION

Scale: 1/4" = 1'-0"

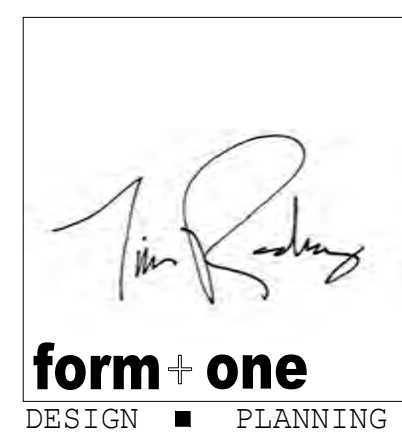
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Revisions		
Rev.:	Description:	Date:
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Title: Proposed Elevations

Project: Gambrioli Residence
812 Linden Avenue
Burlingame, CA 94010

Job No.: 19_009
Drawn: TIM RAUENZ
Date: 03/08/2019

Sheet

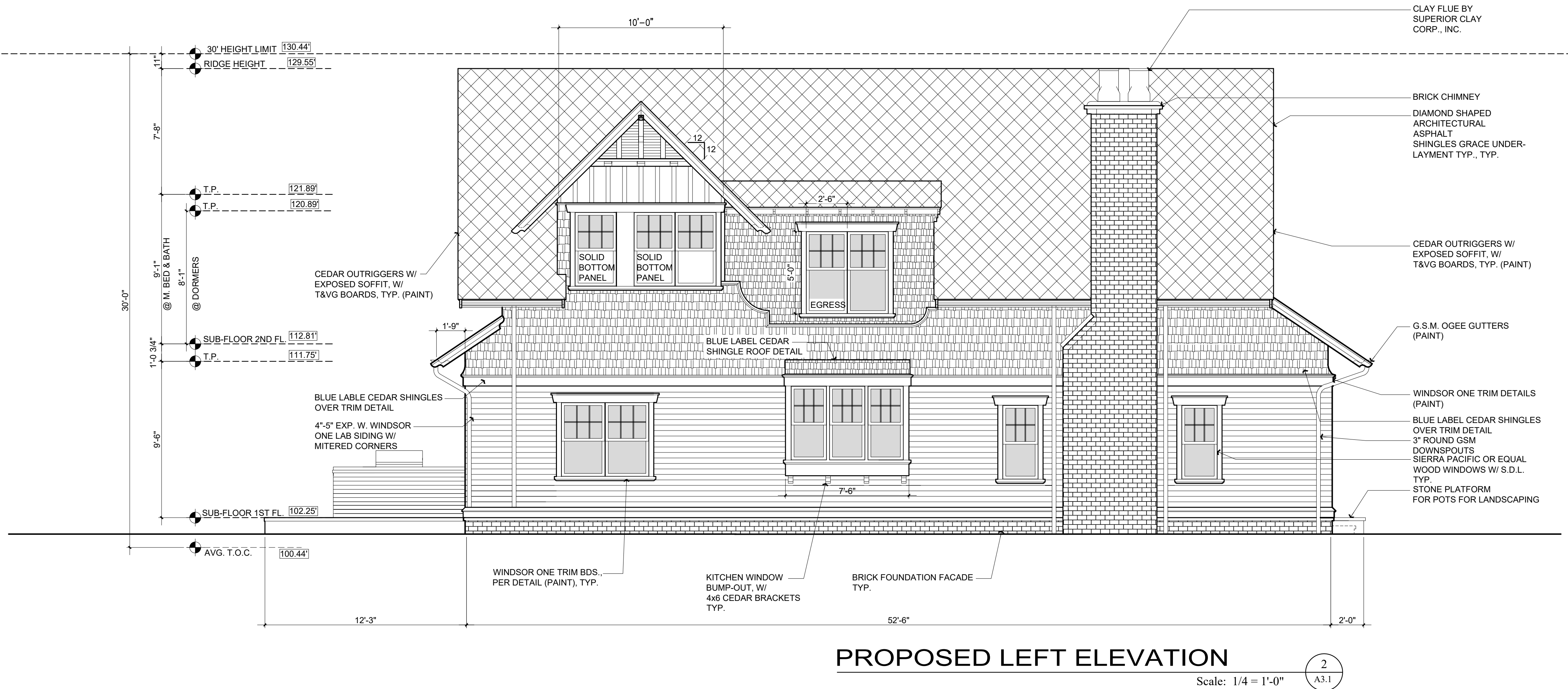
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BUILDING SET
PLANNING SET

APN#: 029-032-160

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Title : Proposed Elevations	
Project : Gambrioli Residence	Date : 03/08/2019
812 Linden Avenue	
Burlingame, CA 94010	
Job No. : 19_009	Drawn : TIM RAUENZ

Sheet
Scale: See Details

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DESIGN ■ PLANNING

Owner : MR. + MRS. GREG GAMBRIOLI
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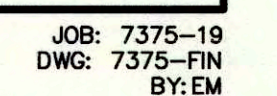
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APN#: 029-032-160

BUILDING SET
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Rev. :	Description :
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Date :



GENERAL NOTES & SCOPE

1. PROTECT ALL EXISTING TREES DURING CONSTRUCTION, CONSULT ARBORIST AS REQUIRED.
2. NO EXISTING TREES OVER 48" IN CIRCUMFERENCE AT 54" FROM BASE OF TREE MAY BE REMOVED WITHOUT A PROTECTED TREE PERMIT FROM THE PARKS DIVISION (558-7330) NO TREES ARE TO BE REMOVED FOR THIS PROJECT.
3. WATER CONSERVATION IN LANDSCAPE ORDINANCE NOT REQUIRED SINCE LANDSCAPE WILL NOT BE REHABILITATED AS NOTED ON PLANS.
4. A PLAN HAS BEEN DEVELOPED, AND WILL BE IMPLEMENTED, TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. CGC 4.106.2 & CGC 4.106.3
5. ALL SPRINKLER DRAINAGE SHALL BE PLACED INTO LANDSCAPING AREAS
6. (N) A/C EQUIPMENT SHALL NOT EXCEED A MAXIMUM OUTDOOR NOISE LEVEL OF 60 DBA DAYTIME (7AM-10PM OR DBA NIGHTTIME (10 PM-7 AM) AS MEASURED FROM THE PROPERTY LINE. PER BURLINGAME MUNICIPAL ZONING CODE 25.58.050.

STREET TREES

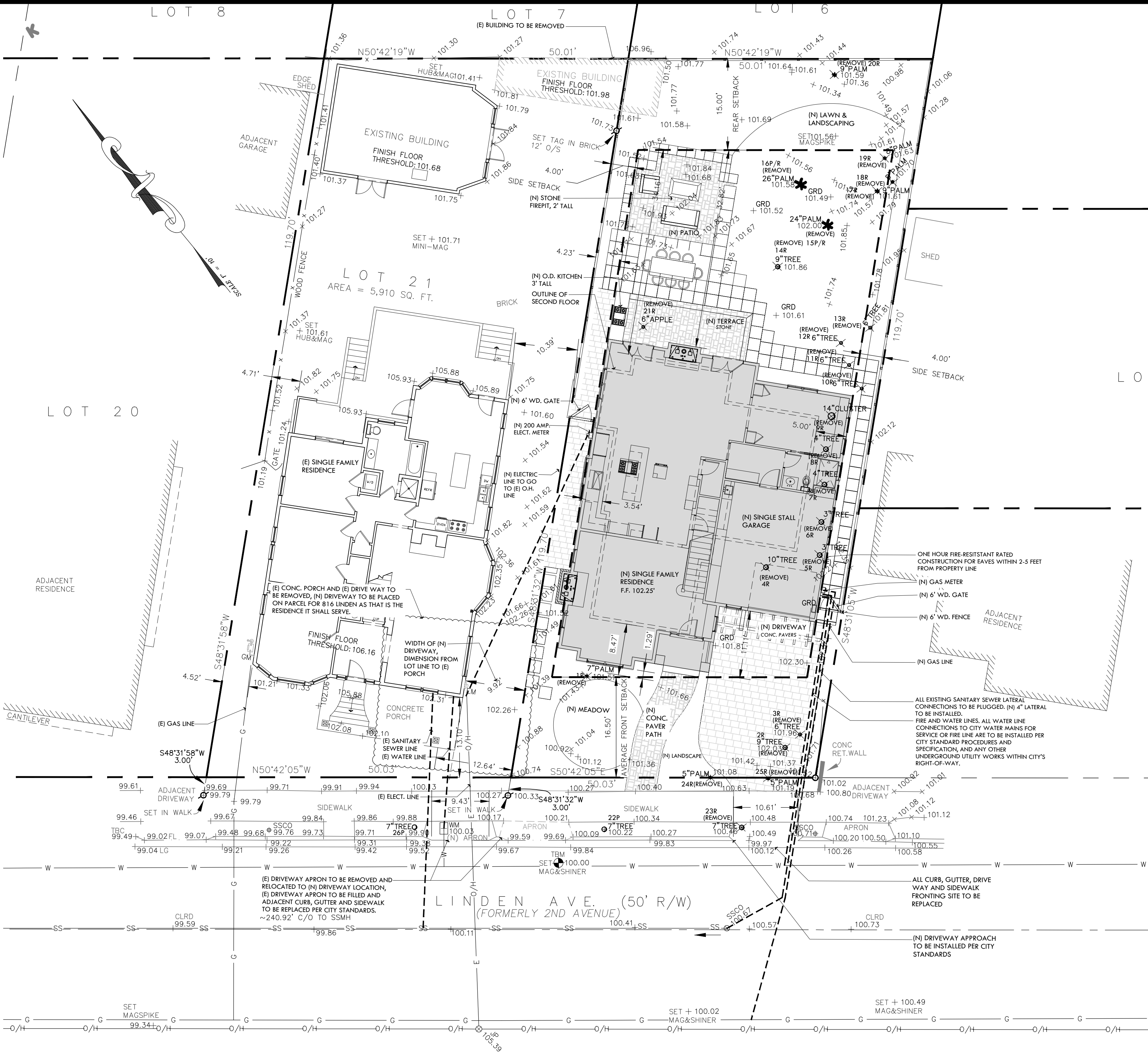
1. PROTECT ALL STREET TREES DURING CONSTRUCTION

PUBLIC WORKS NOTES

1. A REMOVE/REPLACE UTILITES ENCHROACHMENT PERMIT IS REQUIRED TO (1) REPLACE ALL CURB, GUTTER, DRIVEWAY AND SIDEWALK FRONTING SITE, (2) PLUG ALL EXISTING SANITARY SEWER LATERAL CONNECTIONS AND INSTALL A NEW 4" LATERAL, (3) ALL WATER LINE CONNECTIONS TO CITY WATER MAINS FOR SERVICES OF FIRE LINE ARE TO BE INSTALLED PER =CITY STANDARD PROCEDURES AND SPECIFICATION. (4) AND OTHER UNDERGROUND UTILITY WORKS WITHIN CITY'S RIGHT-OF WAY.
2. GRADING PERMIT, IF REQUIRED WILL BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS.

STORMWATER CHECKLIST NOTES

1. DIRECT ROOF RUNOFF INTO CISTERNS OR RAIN BARRELS AND USE RAINWATER FOR IRRIGATION OR OTHER NON-POTABLE USE.
2. DIRECT RUNOFF FROM SIDEWALKS, WALKWAYS, AND/OR PATIOS ONTO VEGETATED AREAS.
3. DIRECT RUNOFF FROM DRIVEWAYS AND/OR UNCOVERED PARKING LOTS ONTO VEGETATED AREAS.
4. CONSTRUCT SIDEWALKS, WALKWAYS AND/OR PATIOS WITH PERMEABLE SURFACES.
5. USE MICOR-DETENTION, INCLUDING DISTRIBUTED LANDSCAPE-BASED DETENTION.
6. PROTECT SENSITIVE AREAS, INCLUDING WETLAND AND RIPARIAN AREAS, AND MINIMIZE CHANGES TO THE NATURAL TOPOGRAPHY.
7. MARK ON SITE INLETS WITH THE WORDS "NO DUMPING! FLOWS TO BAY" OR EQUIVALENT.
8. (A.) RETAIN EXISTING VEGETATION AS PRACTICABLE (B) SELECT DIVERSE SPECIES APPROPRIATE TO THE SITE. INCLUDE PLANTS THAT ARE PEST- AND/OR DISEASE-RESISTANT, DROUGHT-TOLERANT, AND/OR ATTRACT BENEFICIAL INSECTS. (C) MINIMIZE USE OF PESTICIDES AND QUICK -RELEASE FERTILIZERS.
9. DESIGN FOR DISCHARGE OF FIRE SPRINKLERS TEST WATER TO LANDSCAPE OR SANITARY SEWER.
10. TEMPORARY EROSION CONTROLS TO STABILIZE ALL DENUDED AREAS UNTIL PERMANENT EROSION CONTROLS ARE ESTABLISHED.
11. DELINEATE WITH FIELD MARKERS THE FOLLOWING AREAS: CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS,BUFFER ZONES, TREES TO BE PROTECTED AND RETAINED, DRAINAGE COURSES.
12. PROVIDE NOTES, SPECIFICATIONS OR ATTACHEMENTS DESCRIBING THE FOLLOWING: (A) CONSTRUCTION, OPERATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS, INCLUDE INSPECTION FREQUENCY, (B) METHODS AND SCHEDULE FOR GRADING, EXCAVATION, FILLING, CLEARING OF VEGETATION, AND STORAGE AND DISPOSAL OF EXCAVATED OR CLEARED MATERIAL, (C) SPECIFICATIONS FOR VEGETATIVE COVER & MULCH, INCLUDE METHODS AND SCHEDULES FOR PLANTING AND FERTILIZATION (D) PROVISIONS FOR TEMPORARY AND OR PERMANENT IRRIGATION
13. PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER
14. USE SEDIMENT CONTROLS OF FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING AND OBTAIN ALL NECESSARY PERMITS.
15. PROTECT ALL STORM DRAIN INLETS IN VICINITY OF SITE USING SEDIMENT CONTROLS (E.G. BERMS, SOCKS, FIBER ROLLS OR FILTERS)
16. TRAP SEDIMENT ON-SITE, USING BMP'S SUCH AS SEDIMENT BASINS OR TRAPS, EARTHEN DIKES OR BERMS, SILT FENCES, CHECK DAMS, COMPOST BLANKETS OR JUTE MATS, COVERS FOR SOIL STOCK PILES, ETC.
17. DIVERT ON-SITE RUNOFF AROUND EXPOSED AREAS; DIVERT OFF-SITE RUNOFF AROUND THE SITE (E.G SWALES AND DIKES)
18. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES,MULCHING OR OTHER MEASURES AS APPROPRIATE.
19. LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS.
20. NO CLEANING, FUELING OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASHWATER IS CONTAINED AND TREATED.
21. STORE, HANDLE AND DISPOSE OF CONSTRUCTION MATERIALS/WASTES PROPERLY TO PREVENT CONTACT WITH STORMWATER.
22. CONTRACTOR SHALL TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES/SUBCONTRACTORS RE: CONSTRUCTION BMP'S.
23. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTINGWASTES,PAINTS,CONCRETE, PETROLEUM PRODUCTS,CHEMICALS,WASHWATEROR SEDIMENTS, RINSE WATER FROM ARCHITECTURAL COPPER, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.



PROPOSED SITE PLAN

Scale: 1"= 10'-0"

Title : Proposed Site Plan

Project : Gambrioli Residence
812 Linden Avenue
Burlingame, CA 94010

Job No. : 19_009
Drawn : TIM RALSTON
Date : 03/08/2019

Revisions

Rev.:	Description :	Date :
001		
002		
003		
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005		
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Title : Proposed Site Plan

Project : Gambrioli Residence
812 Linden Avenue
Burlingame, CA 94010

Job No. : 19_009
Drawn : TIM RALSTON
Date : 03/08/2019

Sheet

Scale: See Details

A1.0

BUILDING SET
PLANNING SET

APN#: 029-032-160

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- NOTES:
1. (OGEE) G.S.M. GUTTERS, & (3" GSM) DOWNSPOUTS: LINE ALL VALLEYS WITH GSM, AT LEAST 20" WIDE WITH 1/4" EDGE TURNED OVER AND FASTENED WITH CLEATS. LAP JOINTS AT LEAST 4", BUT DO NOT SOLDER.
 2. ROOFING MATERIAL TO BE 40 YR ARCHITECTURAL ASPHALT SHINGLES, SEE CUT SHEET ABOVE, COLOR TO BE DETERMINED, ANTIQUE BLACK OR PEWTER GREY
 3. WHEN INSULATION IS INSTALLED IN ENCLOSED RAFTER SPACES WHERE CEILINGS ARE APPLIED DIRECT TO THE UNDERSIDE OF ROOF RAFTERS, A MINIMUM AIR SPACE OF 1 INCH MUST BE PROVIDED, INSULATION BAFFLE NEEDED.
 4. FLASHINGS AND COUNTER FLASHINGS SHALL NOT BE LESS THAN 0.016-INCH (28-GAGE) CORROSION RESISTANT METAL, AND VALLEY FLASHING
 5. AT THE JUNCTURE OF THE ROOF & VERTICAL SURFACES, FLASHING & COUNTERFLASHINGS SHALL NOT BE LESS THAN 0.019-INCH (26 GAUGE)
 6. NA
 7. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MIN. OF 3'-0" FROM PROPERTY LINES OR ANY OPENING INTO THE BUILDING (I.E. DRYERS, BATHS, UTILITY FANS, ETC., MUST BE 3'-0" AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS, PER CODE
 8. (AS REQUIRED) THE TRUSS PLAN AND THE TRUSS CALC. SHALL BE REVIEWED & APPROVED BY THE ENGINEER OF RECORD BEFORE SUBMITTING TO THE BUILDING DEPARTMENT FOR APPROVAL PRIOR TO FABRICATION. TRUSS PLANS SHALL BE WET SIGNED & WET STAMPED BY TRUSS DESIGN ENGINEER.
 9. FURNACE LOCATED IN ATTIC SPACE SHALL BE LISTED FOR ATTIC LOCATION AND PROVIDED WITH 24" WIDE SOLID FLOORING ACCESS WAY AND 30" WORKING SPACE AT CONTROLS.
 10. ATTIC VENTILATION AT CALIFORNIA FRAMING TO RECEIVE LOW PROFILE VENTS OR OPENING IN THE ROOF SHEATHING BELOW
 11. ROOF EAVES SHALL NOT PROJECT WITHIN 2" OF THE PROPERTY LINE WHERE SETBACK IS 4' PER 2016 CRC § TABLE R302.1 (1) OR 2016 CBC TABLE 705.2. ALL ROOF PROJECTIONS WHICH PROJECT BEYOND THE POINT WHERE FIRE- RESISTIVE CONSTRUCTION WOULD BE REQUIRED WILL BE CONSTRUCTED OF ONE-HOUR FIRE-RESISTANCE- RATED CONSTRUCTION PER 2016 CRC § R302.1 (1) OR 2016 CBC § 705.2.
 11. (AS REQUIRED) ALL TRUSS/RAFTER BLOCKING TO RECEIVE 2" DIA HOLES IN EVERY BLOCK TYPICAL FOR EVEN DISTRIBUTION OF AIR FLOW.
 12. ATTIC IS GETTING NEW INSULATION,VERIFY (E) FANS/VENTS TO WHAT IS REQUIRED ER CURRENT CODE.

PLUMBING & HVAC NOTE:

1. GROUP ALL EXHAUST FLUES TOGETHER WHEN POSSIBLE & LOCATE ON ROOFS SLOPING TO THE REAR OF HOUSE TYP. VERIFY LOCATION W/ DESIGNER.

SOLAR CONDUIT NOTE:

PROVIDE A PIPE FOR SOLAR CONDUIT FOR FUTURE USE.

*SOLAR PANEL AREA TO BE NO LESS THEN 150 SQ.FT.

ATTIC FURNACE NOTES:

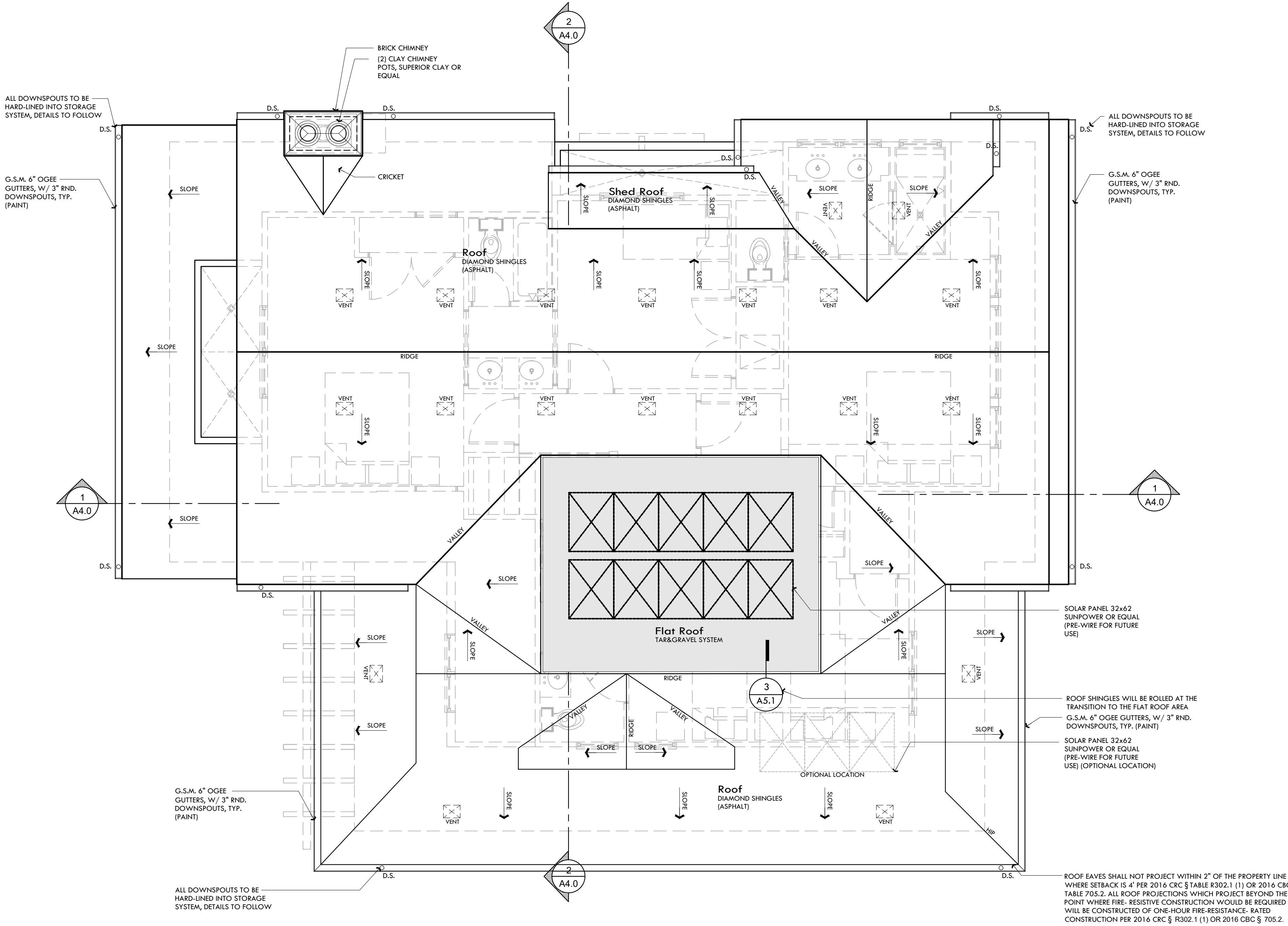
1. PROVIDE THE FOLLOWING FOR ATTIC FURNACES (CMC SECTION 904.04)
 - A. PASSAGEWAY TO EQUIPMENT LESS THAN 6'-0" IN HEIGHT SHALL BE NOT MORE THAN 20'-0" IN LENGTH WHEN MEASURED ALONG THE CENTER LINE OF PASSAGEWAY FROM THE ACCESS OPENING TO THE EQUIPMENT. SECTION 904.10.1.
 - B. UN-OBSTRUCTED PASSAGEWAY W/ A SOILD FLOORING AT LEAST 24" WIDE THROUGH-OUT ITS LENGTH. SECTION 904.10.2
 - C. A 30"x30" LEVEL WORKING PLATFORM IN FRONT OF THE SERVICE SIDE OF THE APPLIANCE. SECTION 904.10.3
 - D. A PERMANENT 120V RECEPTACLE OUTLET AND LIGHTING FIXTURE NEAR THE APPLIANCE. SECTION 904.10.4.
 - E. UPRIGHT FURNACES MAYBE INSTALLED IN ATTIC OR CRAWLSPACE MORE THAN 5'-0" IN HEIGHT, PROVIDED THAT REQUIRED LISTINGS, DUCT AND FURNACE CLEARANCES ARE OBSERVED. SECTION 904.10.5
 - F. CLARIFY THE LOCATION OF THE FURANCE ON PLANS BY DASHED LINE OR OTHER SYMBOL.

HOUSE VENTILATION CALC:

SQ. FT. OF (N) ROOF: 2,261 SQ. FT.

(N) $2,216/150 = 14.77$ SQ.FT. OF VENTILATION IN NEW ROOF

(N) ROOF VENTS (20 ea. X 75 SQ.FT.) = 15 SQ.FT.
TOTAL VENTILATION INSTALLED = 15 SQ.FT.



PROPOSED ROOF PLAN

MAIN HOME

Scale: 1/4" = 1'-0"

1
A2.1

Title : Proposed Roof Plan

Project : Gambrioli Residence
812 Linden Avenue
Burlingame, CA 94010

Job No. : 19_009 Drawn : TIM RAUENZ Date : 03/05/2019

Revisions

Rev.:	Description :	Date :
001		
002		
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A2.2

BUILDING SET
PLANNING SET

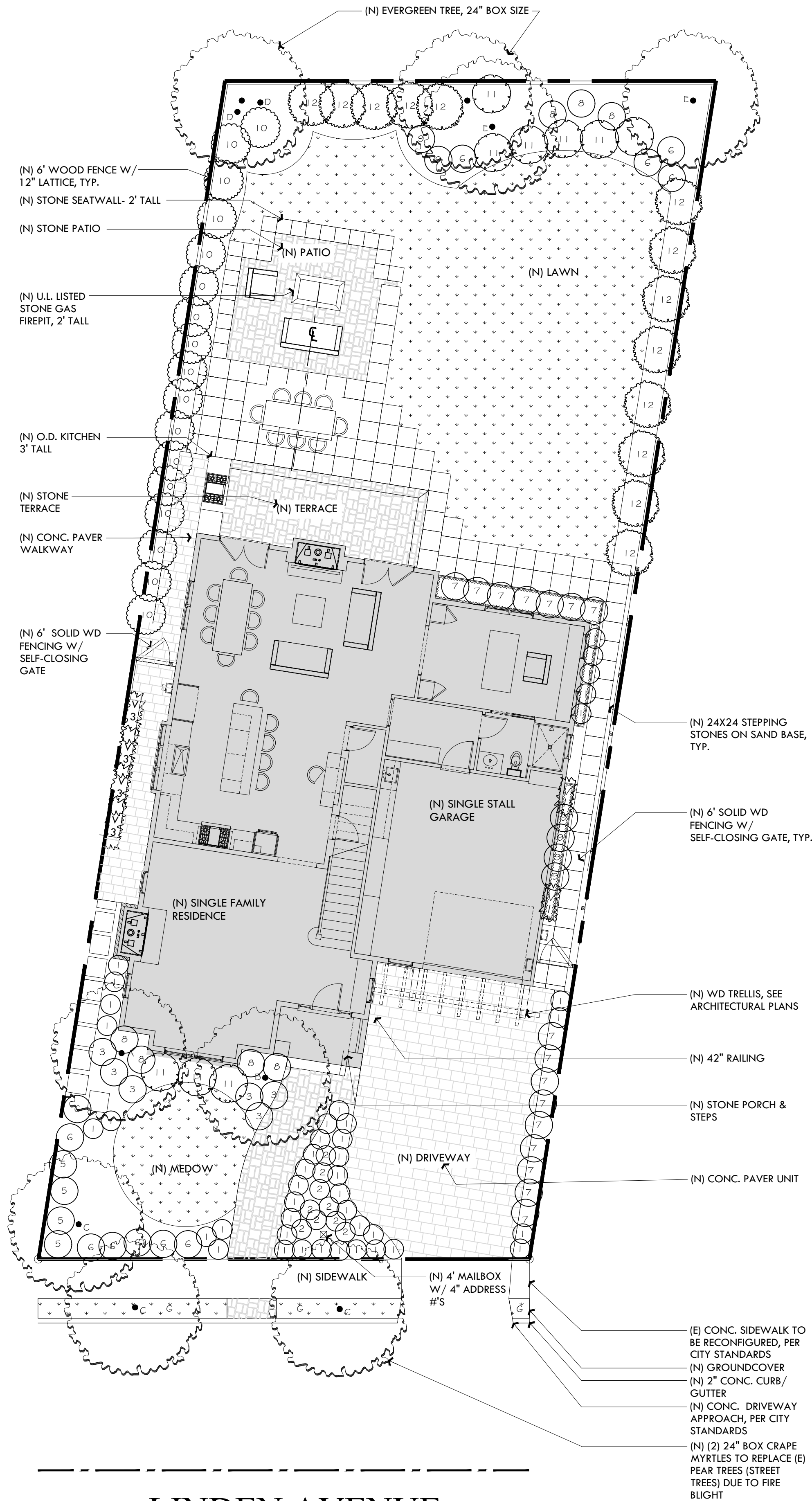
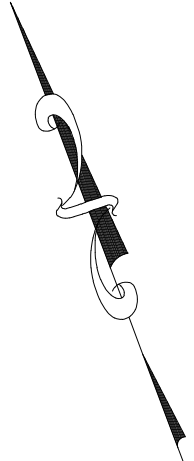
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PLANT LIST							
	SYM. SCIENTIFIC NAME	COMMON NAME	QTY.	SIZE/ SPACING	GROWTH	WUCOLS	*
TREES	A MAGNOLIA GRANDIFLORA 'LITTLE GEM'	SOUTHERN MAGNOLIA	1	24" BOX	SLOW	M	
	B CERCIS OCCIDENTALIS	WESTERN REDBUD	1	15 GALLON	MOD.	VL	
	C LAGERSTROEMIA INDICA 'TUSCARORA' *MULTI	CRAPE MYRTLE	3	24" BOX	FAST	L	
	D TRISTANIA LAURINA	SWAMP MYRTLE TREE	2	24" BOX	MOD.		M
	E LAURUS NOBILIS 'SARATOGA' STD	GRECIAN LAUREL	2	15 GALLON	MOD.	L	
SHRUBS / PERENNIALS	1 NARCISSUS SPP.	DAFFODIL	42	1 GALLON	FAST	VL	
	2 LAVANDULA ANGUSTIFOLIA 'HIDCOTE'	ENGLISH LAVENDER	10	1 GALLON	MOD.	L	
	3 SISYRINCHIUM BELLUM	BLUE-EYED GRASS	6	1 GALLON	MOD.	VL	
	5 ROSA 'ICEBURG'	ICEBURG ROSE	4	5 GALLON	MOD.	M	
	6 ERYSIUM 'BOWLES MAUVE'	BOWLES MAUVE WALL FLOWER	11	5 GALLON	FAST	L	
	7 PITTOSPORUM TOBIA	JAPANESE PITTOSPORUM	16	5 GALLON	FAST	L	
	8 PRUNUS CAROLINIANA 'COMPACTA'	CAROLINA LAUREL	7	5 GALLON	FAST	L	
	9 HENEROCALLIS SPP.	DAYLILY	6	1 GALLON	FAST	M	
	10 PITTOSPORUM TENUIFOLIUM	PITTOSPORUM	18	5 GALLON	MOD.	M	
	11 LOROPETALIUM CHINESE 'PLUM DELIGHT'	FRINGE FLOWER	9	5 GALLON	MOD.	L	
	12 LAURUS NOBILIS	GRECIAN LAUREL	13	5 GALLON	MOD.	L	
	VINES	V-1 TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	2	5 GALLON	MOD.	M
V-3 PODOCARPUS GRACILIOR		FERN PINE	4	5 GALLON	MOD.	M	
G-1 DYMONDIA MARGARETAE		SILVER CARPET	20	FLATS	MOD.	L	
GROUND COVER							
LAWN	BOILERO PLUS BLEND, CONTACT DELTA BLUEGRASS CO. (800) 637-8873			360 SQ. FT.	ROLLS	SLOW	H
	* LAWN NOT INCLUDED IN LOW WATER COUNT CALCULATIONS, SEE AREA CALCS.						
* IF THERE IS NO WUCOLS VALUE SEE COLUMN *** FOR WATER USE			TOTAL:	201	L & VL TOTAL:	126	62.7%

- GENERAL NOTES
- CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY TO COMPLETE PROPOSED WORK PER CITY REQUIREMENTS.
 - CONTRACTOR SHALL VERIFY ALL GRADES ON SITE, PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, SITE IMPROVEMENTS, WEATHERPROOFING AND UNDERGROUND PIPING BEFORE CONSTRUCTION BEGINS.
 - WORK WITHIN THE RIGHT OF WAY IS SUBJECT TO INSPECTION AND APPROVAL BY THE CITY. CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT PRIOR TO WORK WITHIN THE RIGHT OF WAY. THIS WORK MAY INCLUDE LANDSCAPING IN THE RIGHT OF WAY, NEW CURB DRAINS, AND PARKING STRIP.
 - FINISH GRADES SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND SHALL BE PROPERLY INSTALLED TO PREVENT ANY STANDING WATER. ALL HARDSCAPE SHALL HAVE A MINIMUM GRADE OF 2% UNLESS NOTED OTHERWISE. JUTE MESH EROSION CONTROL NETTING SHALL BE USED ON ALL 3:1 OR GRATER SLOPES & STAKED APPROPRIATELY.
 - CONTRACTOR SHALL PROVIDE PROTECTION FOR EXISTING TRESS BY INSTALLING TEMPORARY FENCING AROUND THE TREES AS CLOSE AS POSSIBLE TO THE DRIPLINE. IN THE EVENT THAT THE TREE ROOTS OVER 6" ARE DISCOVERED, THE DESIGNER RESPONSIBLE FOR LANDSCAPE DESIGN.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL, CIVIL, & OTHER ENGINEERING DRAWINGS & DOCUMENTS FOR WORK IN RELEVANT AREAS.
 - THE LANDSCAPE DESIGNER MAY MAKE SITE OBSERVATIONS DURING CONSTRUCTION BUT SHALL NOT BE UTILIZED TO SUPERVISE CONSTRUCTION ONSITE.
 - THIS PLAN IS NOT A SURVEY OR CONSTRUCTION DOCUMENT. IT IS CONCEPTUAL IN NATURE AND SHOULD BE USED FOR PLANNING PURPOSES.

- PLANTING NOTES
- LANDSCAPE CONTRACTOR SHALL VERIFY PLANT AND SOD QUANTITIES PRIOR TO SUBMITTING BID FOR WORK.
 - ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST STANDARDS OF NURSERY STOCK. PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
 - PLANT MATERIAL CANNOT BE GUARANTEED DEER RESISTANT DUE TO CHANGING HABITS OF DEER.
 - ALL PLANTING AREAS SHALL BE COVERED WITH LAYER OF BARK MULCH TO MINIMUM DEPTH OF 2 INCHES, WITH A CHIP SIZE OF NO LESS THAN 1 INCH. A 2 INCH LAYER OF GREENWASTE MULCH UNDER THE BARK IS RECOMMENDED.
 - SOIL AMENDMENTS SHALL BE USED AS NECESSARY. SOIL AMENDMENT SHALL BE FREE OF DEBRIS. ROCKS LARGER THAN 1 INCH DIAMETER WILL NOT BE PERMITTED. SOIL AMENDMENTS ARE NOT PERMITTED IN TYPICAL NATIVE PLANT LANDSCAPE AREAS.
 - PLANTING HOLES SHALL GENERALLY BE 2X-3X THE SIZE OF THE ROOT BALL. THE WALLS AND BASES OF PLAN HOLES SHALL BE SCARIFIED. HOLES SHALL BE BACKFILLED WITH 5% ORGANIC COMPOST & 95% EXISTING SOIL. PLANTING HOLES OF NATIVE PLANT MATERIALS SHOULD BE INOCULATED WITH MYCORRHIZAL FUNGI, PER MANUFACTURER'S SPECS.
 - TRESS SHALL BE STAKED WITH TWO PRESSURE TREATED 2" DIA. POLES. TREE TRUNK SHALL BE SECURED WITH TWO RUBBER TIES OR STRAPS FORMING A FIGURE-EIGHT BETWEEN TRUNK AND STAKE.
 - RESIDUAL WEED PRE-EMERGENT SHALL BE APPLIED BY THE CONTRACTORS AS NECESSARY. APPLICATION SHALL BE ACCORDING TO MANUFACTURE'S INSTRUCTIONS. LAWN SHALL BE INSTALLED ON SLOPES GREATER THAN 25%. ALL TURF AREAS SHALL BE FERTILIZED AT TIME OF INSTALLATION.



PROPOSED LANDSCAPE PLAN

Scale: 1/8"= 1'-0"

1
L1.0

Title : Proposed Landscape Plan

Project : Gambrioli Residence
812 Linden Avenue
Burlingame, CA 94010

Job No. : 19_009
Drawn : TIM BAUDENZ
Date : 03/08/2019



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BUILDING SET
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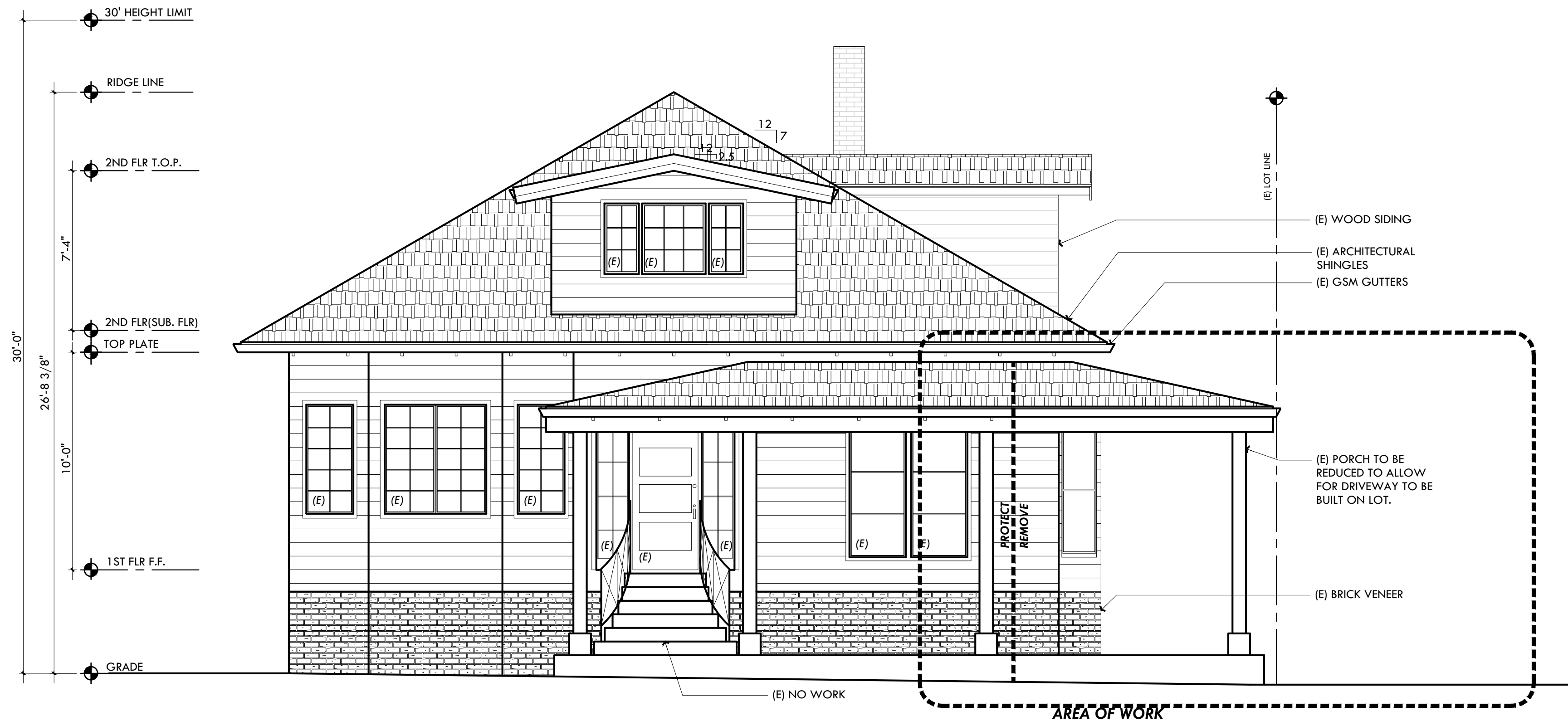
APN#: 029-032-160

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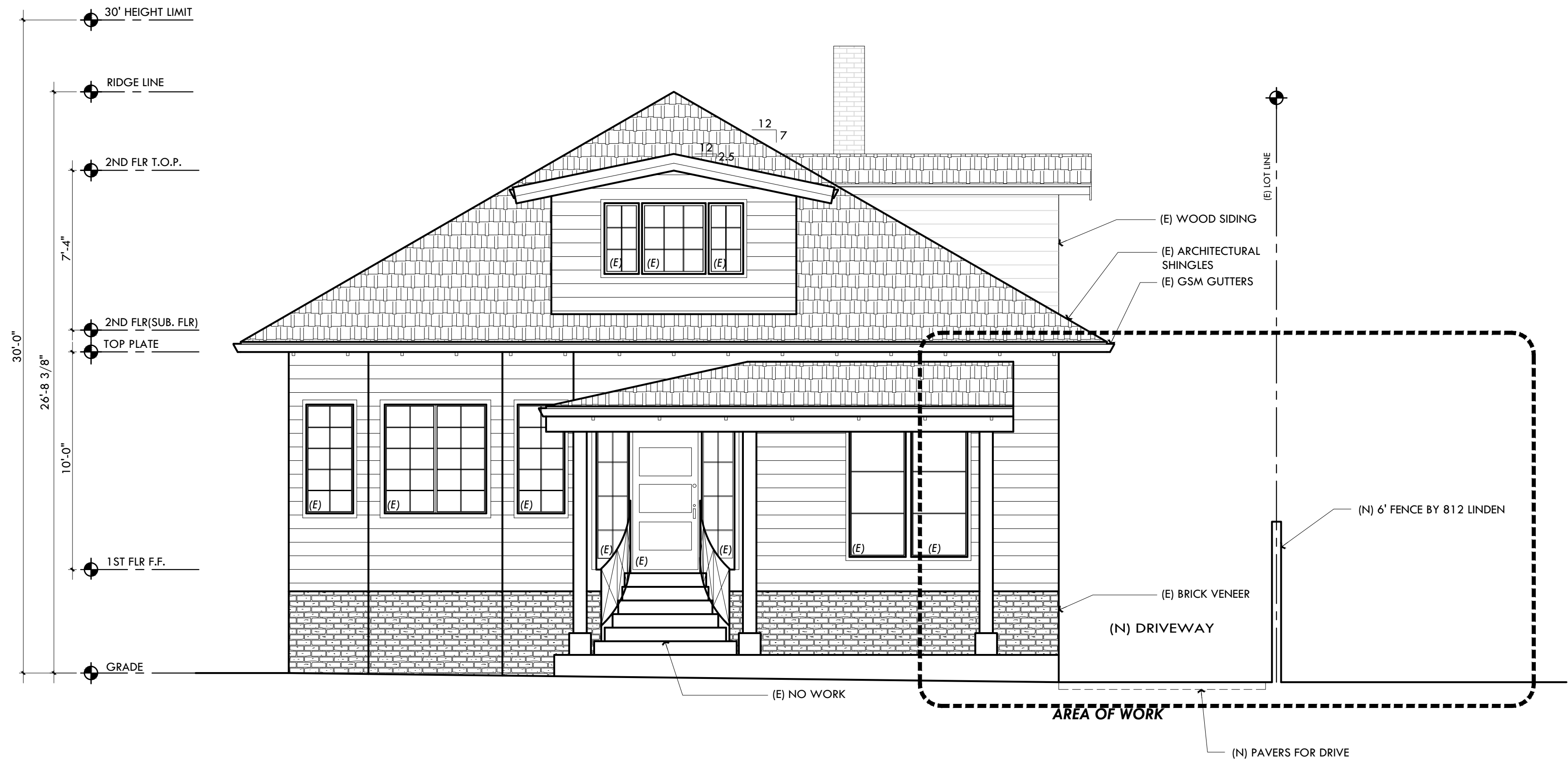
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EXISTING FRONT ELEVATION

Scale: 1/4" = 1'-0" (A3.0)

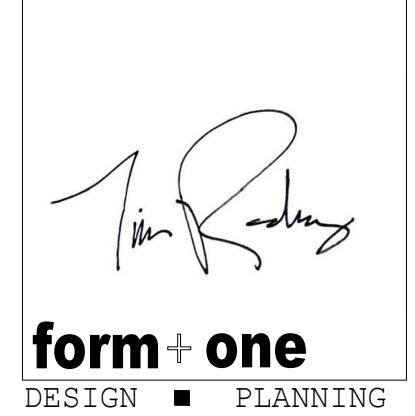


PROPOSED FRONT ELEVATION

Scale: 1/4" = 1'-0" (A3.0)

Revisions	
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BUILDING SET PLANNING SET	
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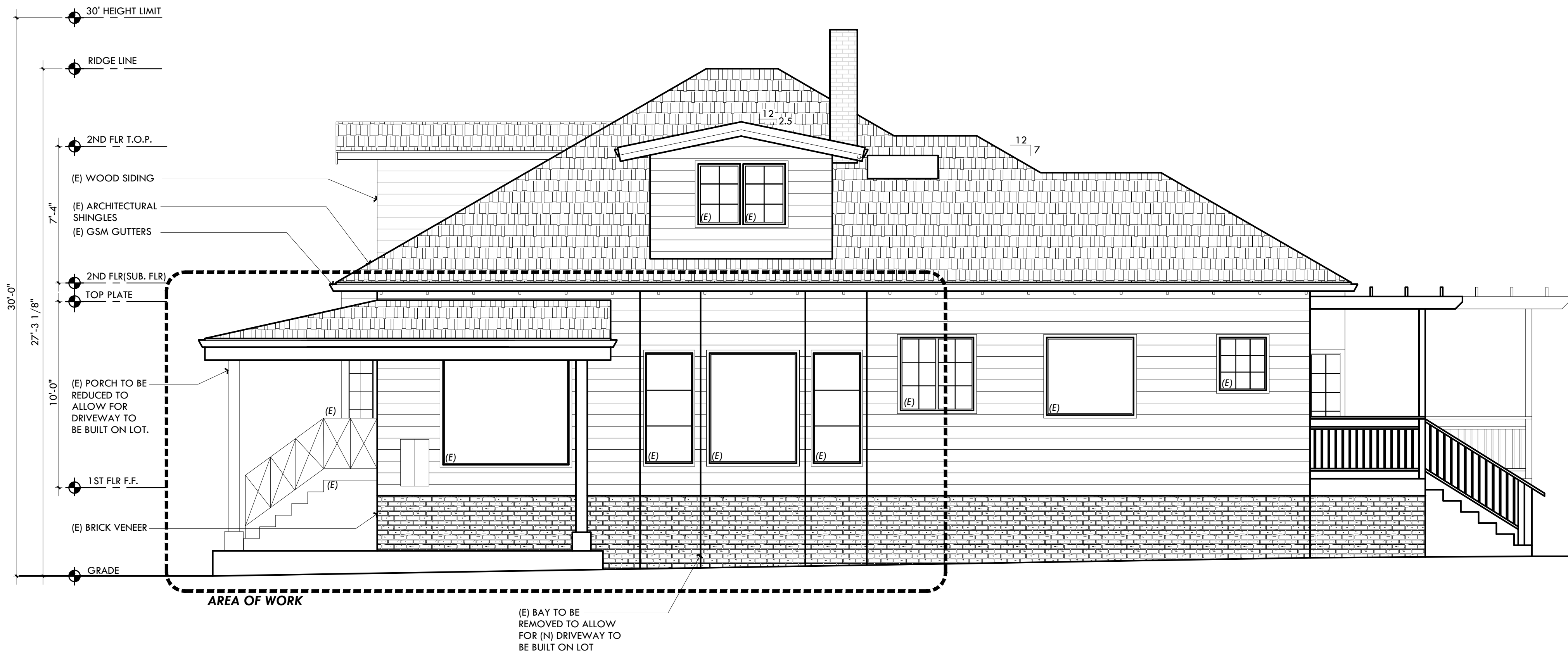


Title : Proposed Elevations	
Project : Gambrioli Residence 816 Linden Avenue Burlingame, CA 94010	
Job No. : 19_010	Drawn : TIM RADUENZ
Date : 03/06/2019	

A3.0

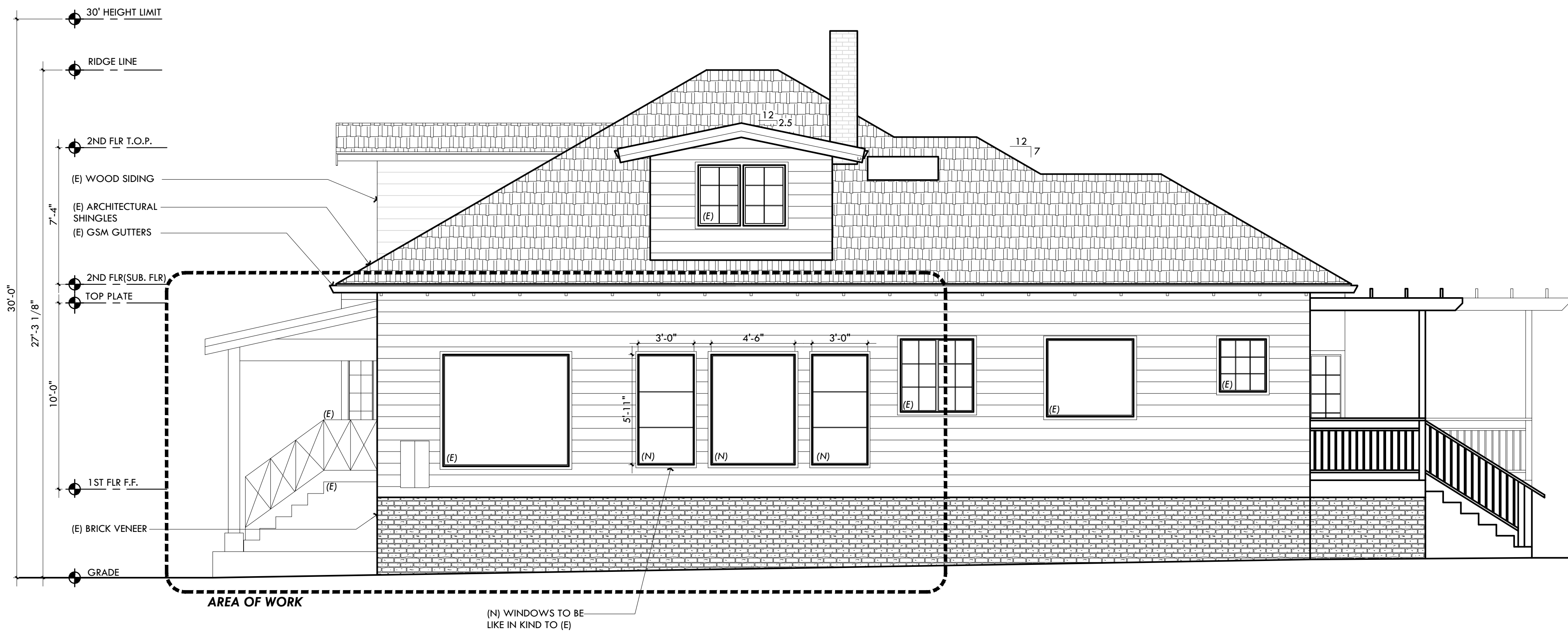
Sheet
Scale: See Details

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EXISTING RIGHT ELEVATION

Scale: 1/4" = 1'-0" 1
A3.1



PROPOSED RIGHT ELEVATION

Scale: 1/4" = 1'-0" 2
A3.1

Revisions		
Rev. #	Description	Date
001		
002		
003		
004		
005		
006		

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form + one
DESIGN ■ PLANNING

BUILDING SET
PLANNING SET

APN#: 029-032-160

Title : Proposed Elevations		
Project : Gambrioli Residence 816 Linden Avenue Burlingame, CA 94010		
Job No. : 19_010	Drawn : TIM RADUENZ	Date : 03/08/2019

GENERAL NOTES & SCOPE

- 1. PROTECT ALL EXISTING TREES DURING CONSTRUCTION, CONSULT ARBORIST AS REQUIRED.
- 2. NO EXISTING TREES OVER 48" IN CIRCUMFERENCE AT 54" FROM BASE OF TREE MAY BE REMOVED WITHOUT A PROTECTED TREE PERMIT FROM THE PARKS DIVISION (558-7330)
- NO TREES ARE TO BE REMOVED FOR THIS PROJECT.
- 3. WATER CONSERVATION IN LANDSCAPE ORDINANCE NOT REQUIRED SINCE LANDSCAPE WILL NOT BE REHABILITATED AS NOTED ON PLANS.
- 4. A PLAN HAS BEEN DEVELOPED, AND WILL BE IMPLEMENTED, TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. CGC 4.106.2 & CGC 4.106.3
- 5. ALL SPRINKLER DRAINAGE SHALL BE PLACED INTO LANDSCAPING AREAS

STREET TREES

- 1. PROTECT ALL STREET TREES DURING CONSTRUCTION

PUBLIC WORKS NOTES

- 1. A REMOVE/REPLACE UTILITES ENCHROACHMENT PERMIT IS REQUIRED TO (1) REPLACE ALL CURB, GUTTER, DRIVEWAY AND SIDEWALK FRONTING SITE, (2) PLUG ALL EXISTING SANITARY SEWER LATERAL CONNECTIONS AND INSTALL A NEW 4" LATERAL, (3) ALL WATER LINE CONNECTIONS TO CITY WATER MAINS FOR SERVICES OF FIRE LINE ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND SPECIFICATION. (4) AND OTHER UNDERGROUND UTILITY WORKS WITHIN CITY'S RIGHT-OF WAY.
- 2. GRADING PERMIT, IF REQUIRED WILL BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS.

STORMWATER CHECKLIST NOTES

- 1. DIRECT ROOF RUNOFF INTO CISTERNS OR RAIN BARRELS AND USE RAINWATER FOR IRRIGATION OR OTHER NON-POTABLE USE.
- 2. DIRECT RUNOFF FROM SIDEWALKS, WALKWAYS, AND/OR PATIOS ONTO VEGETATED AREAS.
- 3. DIRECT RUNOFF FROM DRIVEWAYS AND/OR UNCOVERED PARKING LOTS ONTO VEGETATED AREAS.
- 4. CONSTRUCT SIDEWALKS, WALKWAYS AND/OR PATIOS WITH PERMEABLE SURFACES.
- 5. USE MICOR-DETENTION, INCLUDING DISTRIBUTED LANDSCAPE-BASED DETENTION.
- 6. PROTECT SENSITIVE AREAS, INCLUDING WETLAND AND RIPARIAN AREAS, AND MINIMIZE CHANGES TO THE NATURAL TOPOGRAPHY.
- 7. MARK ON SITE INLETS WITH THE WORDS "NO DUMPING! FLOWS TO BAY" OR EQUIVALENT.
- 8. (A.) RETAIN EXISTING VEGETATION AS PRACTICABLE (B) SELECT DIVERSE SPECIES APPROPRIATE TO THE SITE. INCLUDE PLANTS THAT ARE PEST- AND/OR DISEASE-RESISTANT, DROUGHT-TOLERANT, AND/OR ATTRACT BENEFICIAL INSECTS. (C) MINIMIZE USE OF PESTICIDES AND QUICK -RELEASE FERTILIZERS.
- 9. DESIGN FOR DISCHARGE OF FIRE SPRINKLERS TEST WATER TO LANDSCAPE OR SANITARY SEWER.
- 10. TEMPORARY EROSION CONTROLS TO STABILIZE ALL DENUDED AREAS UNTIL PERMANENT EROSION CONTROLS ARE ESTABLISHED.
- 11. DELINEATE WITH FIELD MARKERS THE FOLLOWING AREAS: CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS,BUFFER ZONES, TREES TO BE PROTECTED AND RETAINED, DRAINAGE COURSES.
- 12. PROVIDE NOTES, SPECIFICATIONS OR ATTACHEMENTS DESCRIBING THE FOLLOWING: (A) CONSTRUCTION, OPERATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS, INCLUDE INSPECTION FREQUENCY; (B) METHODS AND SCHEDULE FOR GRADING, EXCAVATION, FILLING, CLEARING OF VEGETATION , AND STORAGE AND DISPOSAL OF EXCAVATED OR CLEARED MATERIAL, (C) SPECIFICATIONS FOR VEGETATIVE COVER & MULCH, INCLUDE METHODS AND SCHEDULES FOR PLANTING AND FERTILIZATION (D) PROVISIONS FOR TEMPORARY AND OR PERMANENT IRRIGATION
- 13. PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER
- 14. USE SEDIMENT CONTROLS OF FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING AND OBTAIN ALL NECESSARY PERMITS.
- 15. PROTECT ALL STORM DRAIN INLETS IN VICINITY OF SITE USING SEDIMENT CONTROLS (E.G. BERMS, SOCKS, FIBER ROLLS OR FILTERS)
- 16. TRAP SEDIMENT ON-SITE, USING BMP'S SUCH AS SEDIMENT BASINS OR TRAPS, EARTHEN DIKES OR BERMS, SILT FENCES, CHECK DAMS, COMPOST BLANKETS OR JUTE MATS, COVERS FOR SOIL STOCK PILES, ETC.
- 17. DIVERT ON-SITE RUNOFF AROUND EXPOSED AREAS; DIVERT OFF-SITE RUNOFF AROUND THE SITE (E.G SWALES AND DIKES)
- 18. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES,MULCHING OR OTHER MEASURES AS APPROPRIATE.
- 19. LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS.
- 20. NO CLEANING, FUELING OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASHWATER IS CONTAINED AND TREATED.
- 21. STORE, HANDLE AND DISPOSE OF CONSTRUCTION MATERIALS/WASTES PROPERLY TO PREVENT CONTACT WITH STORMWATER.
- 22. CONTRACTOR SHALL TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES/SUBCONTRACTORS RE: CONSTRUCTION BMP'S.
- 23. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING,WASTES,PAINTS,CONCRETE, PETROLEUM PRODUCTS,CHEMICALS,WASHWATEROR SEDIMENTS, RINSE WATER FROM ARCHITECTURAL COPPER, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.

