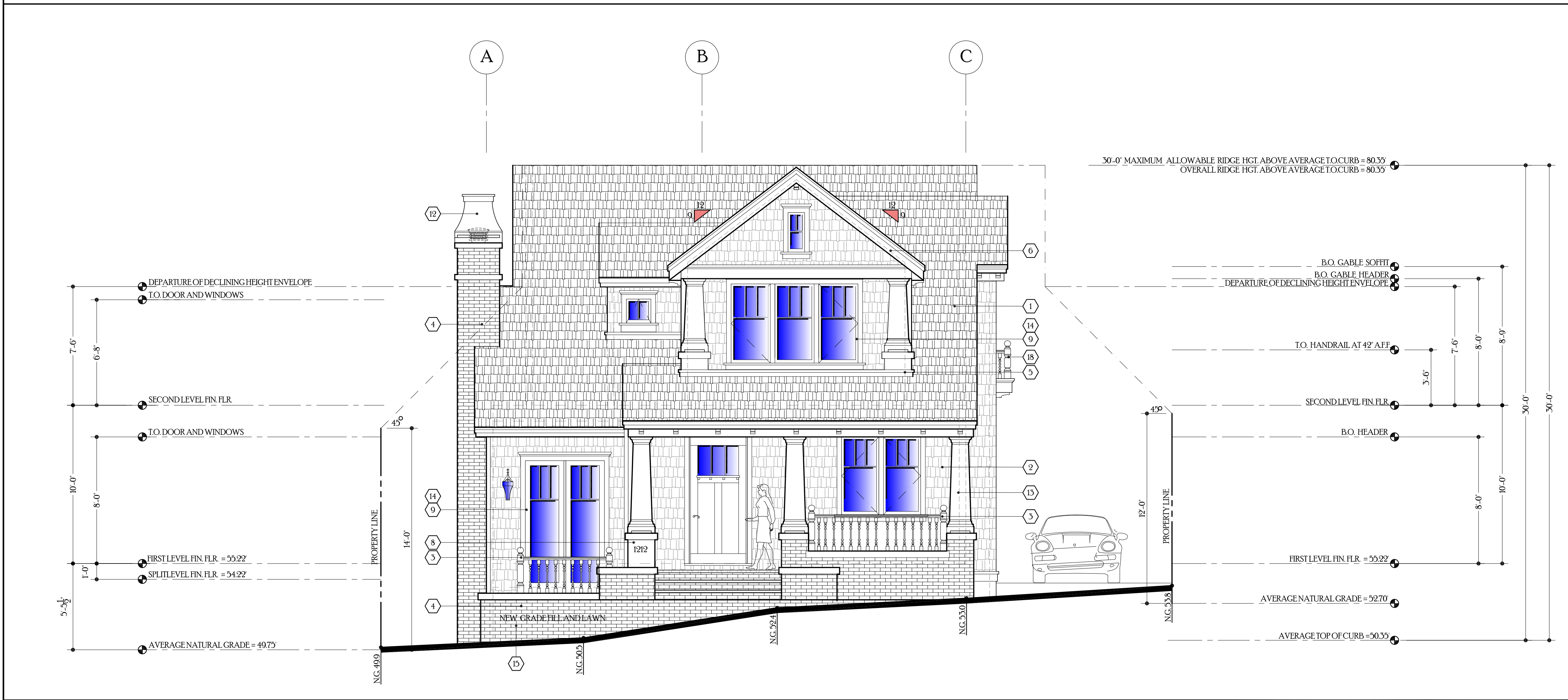


REFER TO SHEET A.4 FOR TYPICAL MATERIAL CALLOUTS

2 ~ RIGHTSIDE ELEVATION (EAST ELEVATION)

SCALE 1/4"=1'-0"



1 ~ FRONT ELEVATION (SOUTH ELEVATION)

SCALE 1/4"=1'-0"

ELEVATION~KEYNOTES

1. ASPHALT ROOFING-CLASS B  
-COLOR: TBD  
-MANUFACTURER: TBD
2. SHINGLE LAP SIDING, SIDING OVER OVER TYVEK OVER PLYWOOD  
-MANUFACTURER: TBD  
-SIZE: 1X7  
-STYLE: TBD  
-MATERIAL: COMPOSITE  
-COLOR: TBD
3. DECORATIVE +30" HIGH WOOD GUARDRAIL  
-COLOR: TBD  
-PAINT: TBD  
-SEE DETAIL ? SHEET ?
4. EXTERIOR BRICK VENEER  
-SIZE: 4X8  
-COLOR: BLACK HILL  
-MANFAC: M'NEAR 'NO EXCEPTIONS'
5. WOOD WATER TABLE AT ROOF TO WALL INTERSECTION  
-SIZE: 2X6 WITH 1X2 SILL  
-SEE DETAIL ? SHEET ?
6. DECORATIVE EAVE AND RAKE WITH WOOD CORBEL  
-MATERIAL: WOOD  
-COLOR: TBD  
-PAINT MANUFAC: KELLY MOORE  
-SEE DETAIL ? SHEET ?
7. GABLE END ATTIC VENT  
MATERIAL:  
-COLOR: BLACK  
-MANFAC: TBD
8. LOCATION OF BUILDING ADDRESS, EXTERNALLY ILLUMINATED BY LANDSCAPE FLOOD CONTROLLED BY SENSOR
9. DOOR AND WINDOWS  
-STYLE: TRADITIONAL  
-EXTERIOR: ALUM CLAD, COLOR TBD  
-GLAZING: DUAL GLAZED SIMULATED TRUE DIVIDED  
-INTERIOR: WOOD, PRIMED, PAINT READY  
-DOOR AND WINDOW S TO BE MANUFAC: MARVIN INTEGRITY OR ETC  
-COLOR AND HARDWARE TO BE SELECTED BY HOMEOWNER  
CONSULT OWNER
10. GUTTERS AND DOWNSPOUTS  
-MATERIAL: GALVANIZED  
-COLOR: NATURAL  
-SIZE OF GUTTER: 5" DECORATIVE O.G.  
-SIZE OF DOWN SPOUT: 3" DIA.
11. DECORATIVE WOOD BELLY BAND WITH WATER TABLE  
-SIZE: 2"X10" BELLY BAND WITH 2" WATER TABLE  
-COLOR: TBD  
-SEE DETAIL ? SHEET ?
12. DECORATIVE GALVANIZED CHIMNEY CAP  
CUSTOM AS SHOWN  
-COLOR: PRIME AND PAINTED
13. DECORATIVE ROUND POLYMAR OR WOOD COLUMNS TYP.  
-SIZE: 12" ROUND SHAFT  
-COLOR: TBD  
MANUFAC:  
-SEE DETAIL ? SHEET ?
14. DOOR AND WINDOW CASING TO BE INTEGRAL FACTORY INSTALLED ALUMINUM CLAD BRICK MOLD, HEADER AND SILL, COLOR TO MATCH WINDOW.
15. STONE GARDEN RETAINING WALL, SEE SITE PLAN.
16. DECORATIVE +18" HIGH WOOD RAILING  
-COLOR: TBD  
-PAINT: TBD  
-SEE DETAIL ? SHEET ?

POLUTANT CONTROL CGC NOTE

1. PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS PER CGC 4504.2.2.
2. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC AND OTHER REQUIREMENTS PER CGC 4504.2.3.
3. DOCUMENTATION WILL BE PROVIDED, AT THE REQUEST OF THE BUILDING DIVISION, TO VERIFY COMPLIANCE WITH VOC FINISH MATERIALS PER CGC 4504.2.4.

Geurse Conceptual Designs, Inc.

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tel: 650.703.6197  
email: jgeurse@cbglobal.net  
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SIGNATURE BOX  
NAME: JESSE GEURSE  
DATE: 1-24-2019

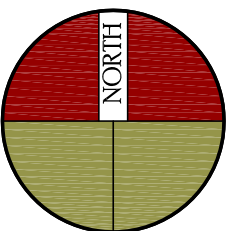
CITY OF BURLINGAME BUSINESS LICENSE: GEURSE CONCEPTUAL DESIGNS, INC.  
NO 22811, EXPIRATION DATE: 07/30/2019



7-31-2019	JFG	PLANNING DEPT-COMMENTS	
6-21-2010	JFG	PLANNING REVIEW-PC	
NO	DATE	BY	DESCRIPTION
			CONST.

REVISIONS

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PROJECT NAME  
NEW TWO STORY RESIDENCE  
for  
MR. AND MRS. SCOTT  
1212 BALBOA AVENUE  
BURLINGAME, CALIFORNIA 94010

DRAWING TITLE  
EXTERIOR ELEVATIONS

DATE	ENGINEER	DRAWING NO.
1818	AART ASSINK	
JOB NO.	SCALE	
DRAWN BY: JFG	AS SHOWN	
REVIEWED BY: JFG	RELEASED TO CONSTRUCTION	

A.4







1. ASPHALT ROOFING-CLASS 'B'  
-COLOR: TBD  
-MANUFACTURER: TBD

2. SHINGLE LAP SIDING, SIDING OVER OVER TYVEK  
OVER PLYWOOD  
-MANUFACTURER: TBD  
-SIZE: 1X7  
-STYLE: TBD  
-MATERIAL: COMPOSITE  
-COLOR: TBD

3. DECORATIVE \*30" HIGH WOOD GUARDRAIL  
-COLOR TBD  
-PAINT: TBD  
-SEE DETAIL ?, SHEET ?

4. EXTERIOR BRICK & VENEER  
-SIZE: 4X8  
-COLOR: BLACK HILL  
-MANUFACTURE: NO EXCEPTIONS

5. WOOD WATER TABLE AT ROOF TO WALL  
INTERSECTION:  
~SIZE: 2X6 WITH 2X SILL  
~SEE DETAIL 2, SHEET?

6. DECORATIVE EAVE AND RAKE WITH WOOD CORBEL  
~MATERIAL: WOOD  
~COLOR: TBD  
~PAINT MANUFAC: KELLYMOORE  
~SEE DETAIL ?, SHEET ?

7. GABLE END ATTIC VENT  
MATERIAL:  
~COLOR: BLACK  
~MANFAC: TBD

8. LOCATION OF BUILDING ADDRESS, EXTERNALLY ILLUMINATED BY LANDSCAPE FLOOD CONTROLLED BY SENSOR.

9. DOOR AND WINDOWS:  
 -STYLE: TRADITIONAL  
 -EXTERIOR: ALUM CLAD, COLOR TBD  
 -GLAZING: DUAL GLAZED SIMULATED TRUE DIVIDED  
 -INTERIOR: WOOD, PRIMED, PAINT READY.  
 -DOOR AND WINDOW REP:  
 DOOR AND WINDOWS TO BE MANUFAC. MARVIN  
 INTEGRITY OR ETC.  
 -COLOR AND HARDWARE TO BE SELECTED BY  
 HOMEOWNER  
 CONSULT OWNER

10. GUTTERS AND DOWNSPOUTS  
~ MATERIAL: GALVANIZED  
~ COLOR: NATURAL  
~ SIZE OF GUTTER: 5" DECORATIVE O.G.  
~ SIZE OF DOWNSPOUT: 3" DIA.

11. DECORATIVE WOOD BELLY BAND WITH WATER TABLE  
~SIZE: 2'X10' BELLY BAND WITH 2" WATER TABLE  
~COLOR: TBD  
~SEE DETAIL ?, SHEET?

12. DECORATIVE GALVANIZED CHIMNEY CAP  
~CUSTOM AS SHOWN  
~COLOR: PRIME AND PAINTED

13. DECORATIVE ROUND POLYMAROR WOOD  
COLUMNS. TYP.  
-SIZE: 12" ROUND SHAFT  
-COLOR: TBD  
MANUFAC;  
-SEE DETAIL ? SHEET?

14. DOOR AND WINDOW CASING TO BE INTEGRAL  
FACTORY INSTALLED ALUMINUM CLAD BRICK MOLD,  
HEADER AND SILL. COLOR TO MATCH WINDOW.

15. STONE GARDEN RETAINING WALL. SEE SITE PLAN.

16. DECORATIVE +18" HIGH WOOD RAILING  
~COLOR: TBD  
~PAINT: TBD  
~SEE DETAIL ?, SHEET?



SCALE 1/4"=1'-0"



SCALE 1/4"=1'-0"

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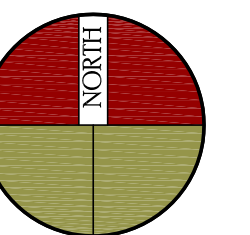
SIGNATURE BOX:  
NAME: JESSE GEURSE  
DATE: 1-24-2019

CITY OF BURLINGAME BUSINESS LICENSE: GEURSE CONCEPTUAL DESIGNS, INC.  
NO. 22811, EXPIRATION DATE: 07/30/2019

[illegible]

REVISIONS

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PROJECT NAME  
NEW TWO STORY RESIDENCE  
for  
MR. AND MRS. SCOTT  
1212 BALBOA AVENUE  
BURLINGAME, CALIFORNIA 94010

DRAWING TITLE

GARAGE EXTERIOR ELEVATIONS

DATE _____	ENGINEER _____	DRAWING NO.
JOB NO. 1818	AART ASSINK	G.2
DRAWN BY: JFG	SCALE: AS SHOWN	
REVIEWED BY: JFG	RELEASED TO CONSTRUCTION	



IRRIGATION NOTE

AN AUTOMATIC IRRIGATION SYSTEM CONTROLLER FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH CGC 4.304

PUBLIC WORKS NOTES

1) THIS PROJECT SHALL COMPLY WITH THE CITY NPDES PERMIT REQUIREMENTS TO PREVENT STORM WATER POLLUTION. SEE SHEET BMP-1. CONTRACTOR SHALL CONSTRUCT FRONTAGE PUBLIC IMPROVEMENTS INCLUDING CURB, GUTTER, SIDEWALK, DRIVEWAY AND OTHER APPURTENANT WORK IF AREAS ARE REQUIRED TO BE ALTERED.

2) SEWER BACKWATER PROTECTION CERTIFICATION IS REQUIRED FOR THE INSTALLATION OF ANY NEW SEWER FIXTURE PER ORDINANCE NO. 1710, THE SEWER BACKWATER

3) THE SANITARY SEWER LATERAL (BUILDING SEWER) SHALL BE TESTED PER ORDINANCE CODE CHAPTER 1512. TESTING INFORMATION IS AVAILABLE AT THE BUILDING DEPARTMENT COUNTER. A SEWER LATERAL TEST ENCROACHMENT PERMIT IS REQUIRED.

4) SEE SHEET PW-1 FOR ADDITIONAL PUBLIC WORKS REQUIREMENTS

5) GRADING PERMIT, IF REQUIRED, WILL BE OBTAINED FROM DEPART. OF PUBLIC WORKS.

6) THE SANITARY SEWER LATERAL (BUILDING SEWER) SHALL BE TESTED PER ORDINANCE CODE CHAPTER 1512. A ENCROACHMENT PERMIT FOR THE SEWER LATERAL TEST IS REQUIRED. A PASSED SEWER LATERAL TEST CERTIFICATE MUST BE IN PLACE PRIOR TO FINAL OF THE BUILDING PERMIT.

SITE DRAINAGE NOTE

1) CONTRACTOR TO PROVIDE 4" DIA. PVC SITE DRAINAGE LINE FROM AROUND RESIDENCE TO TO STREET PER CITY OF BURLINGAME PUBLIC WORKS REQUIREMENTS. THE ALL ROOF DOWNSPOUTS INTO 4" DRAINAGE LINE TO HAVE POSITIVE DRAINAGE TO STREET. ALL WORK AT CITY SIDEWALK AND CURB IS REQUIRED TO HAVE CITY PERMIT. REPLACED AND REPAIR AS REQUIRED PER DETAILS ON SHEET PW-1 AND PW-2

2) SEE ROOF PLAN FOR ALL DOWNSPOUT LEADERS TO BOOT LOCATIONS.

PARKS DEPARTMENT

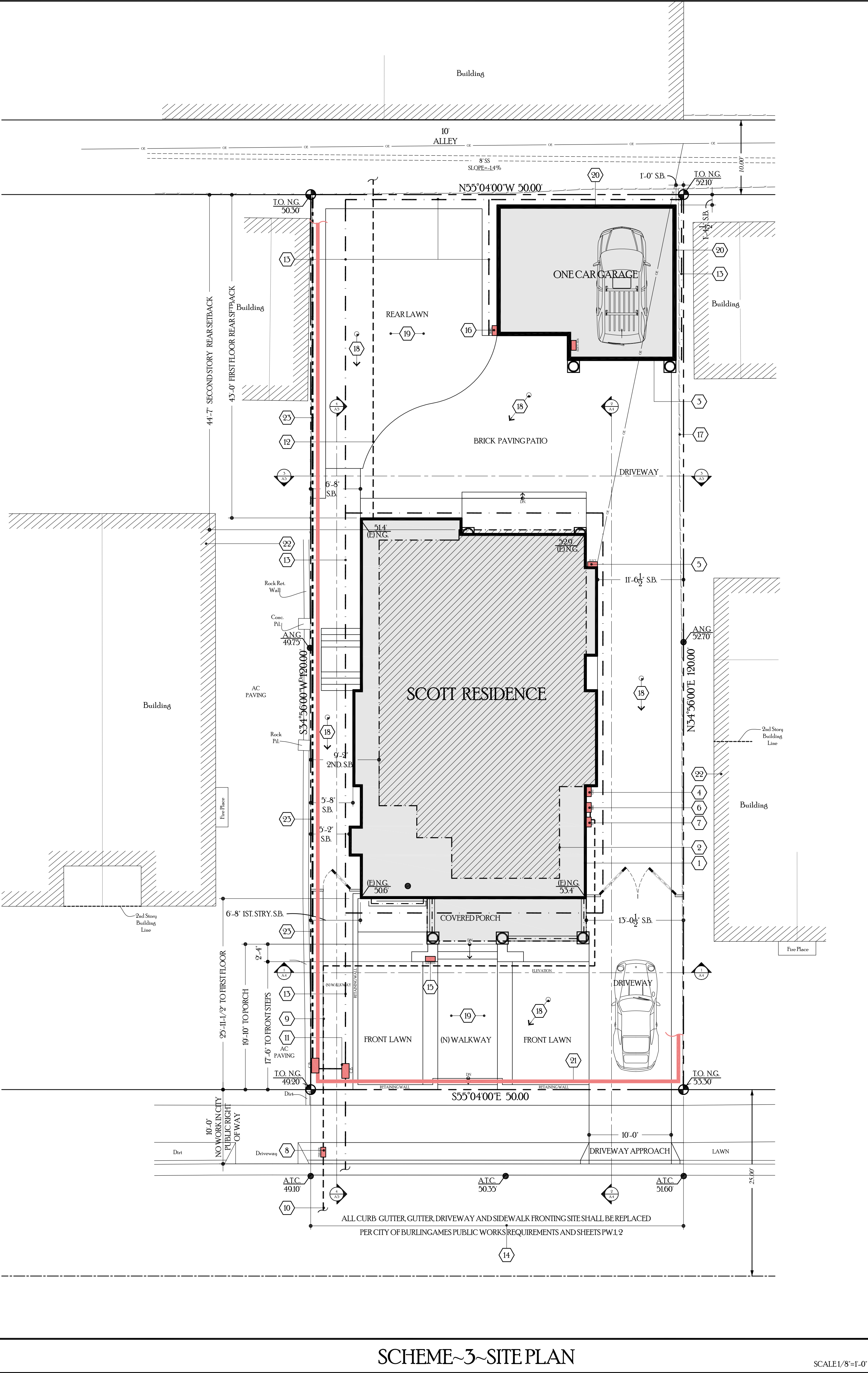
1) CONTRACTOR TO PROTECT STREET TREES DURING CONSTRUCTION.

2) EXISTING CITY STREET TREE MAY NOT BE CUT, TRIMMED OR REMOVED WITHOUT PERMIT FROM PARKS DIVISION (558-7330)

3) NO EXISTING TREE OVER 48 INCHES IN CIRCUMFERENCE AT 54 INCHES FORM BASE OF TREE MAY BE REMOVED WITHOUT A PROTECTED TREE REMOVAL PERMIT FROM THE PARKS DIVISION.

4) ALL NEW TREES SHALL BE DOUBLE STAKED WITH 2" POLIES AND SECURED WITH AT LEAST TWO RUBBER TIES OR STRAPS.

EXISTING SITE PHOTOS



SITE PLAN KEYNOTES

1. LINE OF FIRST STORY SHOWN SOLID.

2. LINE OF SECOND STORY SHOWN DASHED DOT AND SHADED.

3. NEW DETACHED ONE CAR GARAGE SHOWN SHADED.

4. LOCATION OF GAS METER. INSTALL PER PG&E REGULATIONS

5. LOCATION OF NEW 200 AMP ELECTRICAL PANEL AND METER

6. LOCATION FOR FIRE RISER FOR FIRE PROTECTION. COORDINATE WITH DESIGN BUILD / FIRE PROTECTION COMPANY FOR ALL NECESSARY MAIN WATER LINE FROM CITY METER. REFER TO APPROVED FIRE PROTECTION PLANS

7. SEE SHEET PW-1

8. LOCATION FOR DOUBLE CHECK VALVE ASSEMBLY. SEE W-2780 SHEET PW-1 AND DETAIL 10. SHEET AD-1

9. LOCATION OF NEW WATER METER. CHANGE METER AND SIZE IN ACCORDANCE TO NEW FIRE PROTECTION CALCULATIONS AND PER CITY OF BURLINGAME'S PUBLIC WORKS AND FIRE DEPARTMENT REQUIREMENTS. MIN. 1" METER.

10. MAIN LATERAL FROM METER TO RESIDENCE. VERIFY SIZE OF LINE WITH FIRE PROTECTION CALCULATIONS AND APPROVED FIRE PROTECTION PLANS.

11. CONTRACTOR TO VERIFY WITH PUBLIC WORKS FOR REQUIRED WATER LINE FROM CITY MAIN LATERAL TO METER. OBTAIN ALL NECESSARY PERMITS FOR ALL WORK PERFORMED IN CITY RIGHT AWAY.

12. LOCATION CITY STANDARD CURB DRAIN OUTLET. SEE DETAIL SW-2 SHEET PW-1 FOR DETAIL.

13. NEW 4" SANITARY SEWER TO CITY MAIN AND CLEANOUT PER PUBLIC WORKS REQUIREMENTS. SEE DETAIL SS-1 AND SS-2 SHEET PW-2. OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION WITHIN CITY EASEMENT.

14. 4" DIA. DRAINAGE LINE TO FRONTAGE CATCH BASIN. DIFFUSER BOX AND DAYLIGHT THROUGH CURB AS SHOWN IN DETAIL SW-2 SHEET PW-1. ALL ROOF DOWNSPOUTS SHALL BE CONNECTED TO DRAINAGE PIPE PER BURLINGAME'S PUBLIC WORKS REQUIREMENTS. TYP. AT ALL DOWNSPOUTS PER ROOFING PLAN. PROVIDE CLEAN OUTS.

15. A REMOVE / REPLACE UTILITIES ENCROACHMENT PERMIT IS REQUIRED TO (1) REPLACE ALL CURB, GUTTER, DRIVEWAY AND SIDEWALK FRONTING SITE. (2) PLUG ALL EXISTING SANITARY SEWER LATERAL CONNECTIONS AND INSTALL A NEW 4" LATERAL. (3) ALL WATER LINE CONNECTIONS TO CITY WATER MAINS FOR SERVICES OR FIRE LINE ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND SPECIFICATION. (4) ANY OTHER UNDERGROUND UTILITY WORKS WITHIN CITY'S RIGHT-OF-WAY.

16. LOCATION OF NEW BUILDING ADDRESS. NUMBERS ARE TO BE A MINIMUM OF ONE-HALF INCH STROKE BY TWO AND ONE-HALF INCHES HIGH AND ARE EXTERNALLY ILLUMINATED BY LANDSCAPE FLOOD CONTROLLED BY SENSOR. INSTALL PER BURLINGAME CODE 18.08.050.

17. AN AUTOMATIC IRRIGATION SYSTEM CONTROLLER FOR LANDSCAPING WILL BE PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION. 2013 CGC 4.408

18. EXISTING 6'-0" WOOD FENCE TO REMAIN.

19. EXISTING DIRECTION OF SITE DRAINAGE. SEE SURVEY.

20. SEE SHEET L-1 FOR SITE MATERIAL AND LANDSCAPING

21. EXTERIOR BEARING WALLS LESS THAN FIVE FEET FROM THE PROPERTY LINE WILL BE BUILT OUT OF ONE-HOUR FIRE RATED CONSTRUCTION (2013 CBC, TABLE 602).

22. PROVIDE RIP RAP AT FRONT OF PROPERTY FOR MANAGEMENT OF STORM WATER DRAINAGE DURING CONSTRUCTION. REFER TO BMP-1 FOR ADDITIONAL PROTECTIONS REQUIREMENTS DURING CONSTRUCTION.

23. EXISTING RESIDENCE.

24. PROVIDE 6" WIDE BY 8" HIGH CONCRETE CURB AND GUTTER SWALE BELOW NEW WOOD FENCE FOR POSITIVE SITE DRAINAGE TO CATCH BASIN AND AWAY FROM ADJACENT PROPERTY. SHOWN AS PHANTOM LINE.

PARKS AND REC. NOTE

REFER TO SHEET L-1 FOR ALL LANDSCAPE NOTES

AVERAGE FRONT SETBACK

AVERAGE FRONT SETBACK ALONG BLOCK

ADDRESS	SETBACK
#1238 BALBOA AVE.	15.2
#1236 BALBOA AVE.	10.6
#1232 BALBOA AVE.	19.8
#1228 BALBOA AVE.	15.1
#1224 BALBOA AVE.	17.9
#1220 BALBOA AVE.	20.4
#1218 BALBOA AVE.	24.6
#1212 BALBOA AVE.	26.6
#1208 BALBOA AVE.	19.9
#1204 BALBOA AVE.	19.8

TOTAL OF 9 PROPERTIES = 198.9 / 10 = AVERAGE SETBACK = 19.89

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SIGNATURE BOX  
NAME: JESSE GEURSE  
DATE: 1-24-2019

CITY OF BURLINGAME BUSINESS LICENSE: GEURSE CONCEPTUAL DESIGNS, INC.  
NO. 22811. EXPIRATION DATE: 07/30/2019

THE CITY OF  
BURLINGAME  
INCORPORATED 1918

7-31-2019	JFG	PLANNING DEPT. COMMENTS	
6-21-2019	JFG	PLANNING REVIEW-PC	
NO	DATE	BY	DESCRIPTION
			CONST.

REVIEWS

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL FIELD CONDITIONS AND COMPARE THEM WITH THE CONSTRUCTION DOCUMENTS BEFORE COMMENCING ACTIVITIES. ERRORS, OMISSIONS, OR ANY OTHER INCONSISTENCIES DISCOVERED SHALL IMMEDIATELY BE REPORTED TO THE DESIGNER.

PROJECT NAME  
NEW TWO STORY RESIDENCE  
for  
MR. AND MRS. SCOTT  
1212 BALBOA AVENUE  
BURLINGAME, CALIFORNIA 94010

DRAWING TITLE  
SITE PLAN

DATE  
1818  
JOB NO.  
JFG  
DRAWN BY  
JFG  
REVIEWED BY  
JFG

ENGINEER  
AART ASSINK  
SCALE  
AS SHOWN  
RELEASED TO  
CONSTRUCTION

DRAWING NO.  
SP.1



# EXISTING SITE DEMOLITION PLAN

SCALE 1/8"=1'-0"

## DEMO.PLAN~KEYNOTES

1. DEMOLISH EXISTING RESIDENCE AND GARAGE TO NATURAL GRADE.
2. DEMOLISH EXISTING HARD/ SOFT SCAPE AS SHOWN.
3. DEMOLISH EXISTING TREE.
4. DEMOLISH EXISTING CURB, GUTTER, DRIVEWAY AND SIDEWALK, AND REPLACE IN ACCORDANCE TO SP1
5. UTILITY NOTE: SEWER LATERAL, WATER SERVICE, GAS AND ELECTRICAL LINES SHALL BE DISCONNECTED AT THE MAIN AND PER CITY REQUIREMENTS AN ENCROACHMENT PERMIT WILL BE REQUIRED FOR THESE ITEMS. CONTRACTOR SHALL CALL "USA" TO DETERMINE ALL UTILITY LOCATIONS PRIOR TO DISCONNECTING.
6. STARTING JUNE 3, 2019 ALL PROJECTS THAT INVOLVE DEMOLITION OF A BUILDING WILL NEED TO ENSURE THAT POLYCHLORINATED BIPHENYLS DO NOT ENTER THE STORM DRAINS PER MUNICIPAL CODE 15.19 MANAGING PCBs DURING BUILDING DEMOLITION ORDINANCE.

## DEMO.~GENERAL NOTES

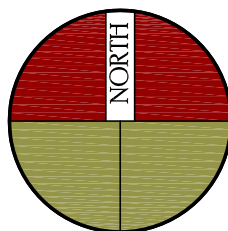
GENERAL CONTRACTOR GENERAL DEMOLITION NOTES

- A. PROTECT ALL CONSTRUCTION TO REMAIN FROM DEMOLITION CREW.
- B. ELECTRICIAN TO CAP AND PROVIDE COVER PLATE FOR ALL ELECTRICAL ITEMS TO BE REMOVED. CONSULT OWNER ON COLOR OF PLATE.  
IF CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND NOTIFY DESIGNER OF ALL DISCREPANCIES BEFORE PROCEEDING WITH WORK.
- C. PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURES. PROVIDE AND PLACE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE. ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, DAMAGE OR INJURY.
- D. CEASE OPERATIONS AND NOTIFY THE OWNER IMMEDIATELY IF SAFETY OF THE STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
- E. ARRANGE AND PAY FOR DISCONNECTING, REMOVING AND CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION. DISCONNECT AND STUB OFF. NOTIFY THE EFFECTED UTILITY COMPANY IN ADVANCE AND OBTAIN APPROVAL BEFORE STARTING WORK.
- F. PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. IDENTIFY SERVICES LINES AND CAPPING LOCATIONS AN PROJECT RECORD DOCUMENTS.
- G. EXCEPT WHERE NOTED OTHERWISE, MAINTAIN POSSESSION OF MATERIALS BEING DEMOLISHED. IMMEDIATELY REMOVE FROM SITE.
- H. DEMOLISH IN A ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK INCLUDING THAT REQUIRED FOR CONNECTION TO THE EXISTING BUILDING. PROTECT THE EXISTING FOUNDATIONS AND SUPPORTING STRUCTURAL MEMBERS. PHASE DEMOLITION IN ACCORDANCE WITH CONSTRUCTION SCHEDULE.
- I. PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.
- J. PROTECT ALL EXISTING FINISHES AND ITEMS TO REMAIN, WHERE CONDITIONS TO REMAIN ARE AFFECTED BY DEMOLITION. RELOCATE, NEW CONSTRUCTION, ETC. THE CONTRACTOR SHALL REPAIR, PATCH, REFINISH, OR REPLACE SAID ITEMS AS REQUIRED TO MATCH EXISTING AT NO CHARGE TO THE OWNER.
- K. CONTRACTOR TO CAP ALL UNUSED PLUMBING AS REQUIRED TO PREVENT LEAKAGE. RETROFIT EXISTING AS REQUIRED FOR CONNECTION OF NEW PLUMBING FIXTURES.
- L. A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE GENERATED AT THE SITE SHALL BE DIVERTED TO AN OFF-SITE RECYCLE DIVERSION OR SALVAGE FACILITY PER CGC 4.08 AND SHALL COMPLY TO CITY OF BURLINGAME ORDINANCE # 1704

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NO	DATE	BY	DESCRIPTION	CONST.

## REVISIONS

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PROJECT NAME  
NEW TWO STORY RESIDENCE  
for  
MR. AND MRS. SCOTT  
1212 BALBOA AVENUE  
BURLINGAME, CALIFORNIA 94010

DRAWING TITLE

SITE DEMOLITION PLAN

DATE	_____	ENGINEER	_____	DRAWING NO.	
JOB NO.	1818	AART ASSINK	_____	<b>DM.1</b>	
DRAWN BY:	JFG	SCALE:	AS SHOWN		
REVIEWED BY:	JFG	RELEASED TO CONSTRUCTION	_____		

# DM.1



## ROOF LEVEL PLAN

SCALE 1/4"=1'-0"

## ROOF PLAN KEYNOTES



Geurse Conceptual Designs, Inc.

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Burlingame, california 94010  
tel: 650.703.6197  
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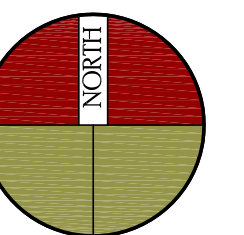
SIGNATURE BOX:  
NAME: JESSE GEURSE  
DATE: 1-24-2019

CITY OF BURLINGAME BUSINESS LICENSE: GEURSE CONCEPTUAL DESIGNS, INC.  
NO. 22811, EXPIRATION DATE 07/30/2019

[illegible]

## REVISIONS

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PROJECT NAME  
NEW TWO STORY RESIDENCE  
for  
MR. AND MRS. SCOTT  
1212 BALBOA AVENUE  
BURLINGAME, CALIFORNIA 94010

DRAWING TITLE

ROOF LEVEL PLAN

DATE \_\_\_\_\_  
JOB NO. 1818 \_\_\_\_\_  
DRAWN BY: JFG \_\_\_\_\_  
REVIEWED BY: JFG \_\_\_\_\_


ENGINEER.  
AART ASSINK  
SCALE: AS SHOWN  
RELEASED TO  
CONSTRUCTION

DRAWING NO.

### A.3




CITY OF BURLINGAME APPROVED TREE LIST



City of Burlingame

Community Development Department Tree List for Private Property Planting Sites


558-7250




The Residential Design Review Guidelines discuss landscaping and site design under Component Number 9. Landscaping is an integral part of a residential remodel, addition or new construction project. Landscaping should be incorporated into the site design and should complement the architecture of a residence. It can also be useful in reducing the apparent mass of a building by joining it to the ground and engaging important architectural elements. Landscaping can create a sense of privacy, as well as screen additions and taller elements of structures.

Landscaping is one of the required criteria to be met as part of the Residential Design Guidelines, therefore the Planning Commission requests that appropriate landscaping be installed as part of a design review project on private property. Listed below are several trees that are known to have successful growth in Burlingame. These trees would be appropriate choices for private tree plantings in Burlingame. Please note that this list is a reference and does not restrict the planting of other like trees. If you have any questions about planting trees in the City's planter strip, please contact the Parks Division at (650) 558-7334 for the street tree planting requirements in the City's right-of-way in front of your property.


The trees that are suggested are grouped according to their height as shown in the image below. Small and Medium size trees are recommended for tree plantings on hillside areas where future view obstructions could occur.



Large (over 35')



Medium (25' to 35')



Small (15' to 25')

(Figure 1- Trees for San Francisco. A guide to Street Tree Planting and Care, 1995: Friends of the Urban Forest, 1995, page 15)

City of Burlingame Planning Division Tree List for Private Property Planting Sites

Small Size Trees					
BOTANICAL NAME	COMMON NAME	MATURITY HEIGHT	SHAPE	SITE LOCATIONS	DESCRIPTION
Acer buergerianum	Trident Maple	20-25'	R	Washington Park Ross Garden	Deciduous: moderate growth; roundish crown; glossy, three lobed leaves, fall color.
Koeleuteria paniculata	Golden Rain Tree	20-35'	I	1528 Howard Avenue	Deciduous: slow to moderate growth; yellow flowers, leaves reddish in spring, dull-green in summer.
Lagerstromia indica	Crape Myrtle	15-20'	I	Perching Park 1325 Drake Avenue	Deciduous: moderate growth; Spring foliage light green tinged bronze red; red flowers July-September, yellow Fall color.
Prunus yedoensis	Flowering Cherry	20'	R	1236 Babbas Avenue 2205 Hillside Drive	Deciduous: fast growth, curving graceful, open branching pattern; light pink to nearly white fragrant flowers in early Spring.
Pyrus calleryana	Flowering Pear	25-35'	U	6177 Howard Avenue 2112 Adeline Drive	Deciduous: fast growth; upright form; masses of white flowers in spring, red leaves in fall.

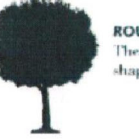
Medium Size Trees					
BOTANICAL NAME	COMMON NAME	MATURITY HEIGHT	SHAPE	SITE LOCATIONS	DESCRIPTION
Aesculus carnea	Red Horsechestnut	30'	R	2212 Adeline Drive	Deciduous: fast early growth; round headed; dark green leaves, plumes of crimson flowers in Spring.
Crataegus phaenopynum	Washington Thorn	20-25'	I	733 Lexington Way	Deciduous: moderate growth; red berries in Winter, good Fall color, thorn.
Eucalyptus ficifolia	Red Flowering Gum	20-40'	O	1150 Oxford Road	Evergreen: moderate to fast growth; spectacular pink to red flowers in Summer; round headed form.
Eucalyptus noli	Willow Leafed Paperbark	30-40'	W	18 Bloomfield Road	Evergreen: fast growth; graceful, weeping form; fine textured, light green leaves, slight odor of peppermint.
Fraxinus oxycarpa	Raywood Ash	25-35'	O	2500 Easton Drive	Deciduous: fast growth; compact, round headed; dark green leaves turn claret red in Fall.
Gajneria parviflora	Australian Willow	25-30'	R/W	Wells Fargo Bank (Broadway) 117 Bayswater Avenue	Evergreen: moderate growth; graceful branches; fine textured leaves, pest free.
Ginkgo biloba	Maidenhair tree	30-50'	O/S	790 & 800 Block Bayswater Avenue	Deciduous: slow growth; fan shaped leaves turn yellow in Fall, spreading, almost umbrella form.
Koeleuteria bipinnata	Chinese Flame Tree	20-35'	O	138 Charming Road 299 Victoria Road	Deciduous: slow to moderate growth; clusters of yellow flowers; leaves yellow in Fall, drop late.
Magnolia grandiflora	Magnolia	20-40'	I	2109 Ray Drive	Evergreen: moderate to fast growth; white flowers, similar to Southern Magnolia, but smaller.
Pistacia chinensis	Chinese Pistache	30-40'	R	2705 Easton Drive 121 Costa Rica Avenue	Deciduous: moderate growth; dark green leaves, brilliant fall color.
Prunus caroliniana	Purple Leaf Plum	20-30'	R	1326 Lincoln Avenue Village Park (Eastmore Side)	Deciduous: moderate growth; coppery leaves, light pink to white flowers.
Robinia amurensis	Idaho Locust	30-40'	O	1446 Capuchino Avenue	Deciduous: moderate to fast growth; Spring clusters of bright magenta flowers, long leaves divided into oval leaflets.
Sapindus sibiricum	Chinese Tallow Tree	35'	R/O	2009 Devereaux Drive	Deciduous: moderate to fast growth; dense, round crown; outstanding Fall color.
Tritanotis conferta	Brisbane Box	30-60'	O	860 Walnut Avenue	Evergreen: moderate to fast growth; reddish-brown bark; green, oval leathery leaves, resembles some Eucalyptus.

City of Burlingame Planning Division Tree List for Private Property Planting Sites

Large Size Trees					
BOTANICAL NAME	COMMON NAME	MATURITY HEIGHT	SHAPE	SITE LOCATIONS	DESCRIPTION
Acer rubrum	Red Maple	40-50'	R	1450 Capuchino Avenue	Deciduous: fast growth; lobed, green leaves, brilliant fall color.
Celtis australis	European Hackberry	40-50'	I	1108 Cambridge Road	Deciduous: fast growth; gray-green, elm-like leaves, broad, upright form.
Celtis sinensis	Chinese Hackberry	30-50'	I	City Hall, each side entrance to parking lot	Deciduous: fast growth; glossy, dark green, elm-like leaves, broad, upright form.
Quercus coccoloba	Scarlet Oak	40-70'	R/O	1427 Capuchino Avenue 2022 Ray Drive	Deciduous: moderate to fast growth; high, open branches large, bright green leaves turn scarlet in cold Fall.
Quercus rubra	Red Oak	40-70'	R/O	326 Clarendon Road	Deciduous: fast growth; spreading branches with round crown.
Platanus acerifolia	London Plane (Sycamore)	40-70'	U	603 Plymouth Way	Deciduous: fast growth; large lobed, maple like leaves; sheds old bark, new bark smooth, cream colored.


Tree Shapes Legend

R: Round  
O: Oval  
W: Weeping



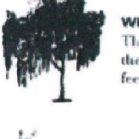
ROUND

These trees are symmetrical in shape and a formal look.




OVAL

These trees are height wider or much wider than crown or spreading form. They complement tall, narrow forms, and are suitable for sites with narrow side walls.



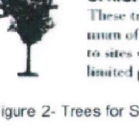
WEEPING

The drooping branches of these trees create a soft, informal, asymmetrical feeling.



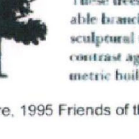
SPREADING

These trees are wider than they are tall.



UPRIGHT

These trees are height wider than crown or spreading form. They are well suited to sites with narrow side walls or formal planting areas.



IRREGULAR

These trees have bold, irregular, spreading forms. They are well suited to sites with narrow side walls or formal planting areas.

(Figure 2- Trees for San Francisco. A guide to Street Tree Planting and Care, 1995: Friends of the Urban Forest, 1995, page 15)


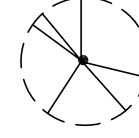



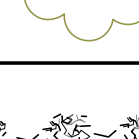


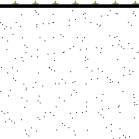

The diagram is a detailed landscape and hardscape plan for the Scott Residence. It shows the layout of the property, including the rear lawn, a brick paving patio, a driveway, a front lawn, and a covered porch. The residence itself is shown in the center. Various tree symbols are placed around the property, with numbers indicating specific tree locations. The plan also shows a sidewalk, a driveway approach, and a front walkway. The overall layout is designed to be functional and aesthetically pleasing, with trees and landscaping integrated into the hardscape.

LANDSCAPE / HARDSCAPE PLAN

SCALE 1/8"=1'-0"

LANDSCAPE KEYNOTES

1. CITY STREET TREE PER LEGEND PER HOMEOWNERS CHOICE.
2. VEGETATION PER LEGEND TYP.
3. TREE PER LEGEND TYP.
4. GROUND COVER PER LEGEND.
5. PROVIDE 6" WIDE BY 8" HIGH CONCRETE CURB AND GUTTER SWALE BELOW NEW WOOD FENCE FOR POSITIVE SITE DRAINAGE TO CATCH BASIN AND AWAY FROM ADJACENT PROPERTY. SHOWN AS PHANTOM LINE.

SYMBOL	COMMON NAME	SIZE
	PRIVET SCREEN TREES	15 GALLON
	NEW CITY STREET TREE PER APPROVED LIST	5 GALLON
	CITRUS TREE	5 GALLON
	RED MAPLE TREE	24 MIN. BOX TREE, SINGLE STEM ACER RUBRUM
	FRENCH LAVENDER	1 GALLON
	CALIFORNIA LILAC	1 GALLON
	JAPANESE BOX WOOD	1 GALLON
	CONCRETE OR BRICK PAVING	
	ZOSIYA GRASS	SOD
	CRUSHED GRANITE ROCK	1/4" TO 1/2"

LANDSCAPE NOTE

RETAIN EXISTING VEGETATION AS PRACTICABLE.  
SELECT DIVERSE SPECIES APPROPRIATE TO THE SITE. INCLUDE PLANTS THAT ARE PEST- AND/OR DISEASE-RESISTANT, DROUGHT-TOLERANT, AND / OR ATTRACT BENEFICIAL INSECTS.  
MINIMIZE USE OF PESTICIDES AND QUICK-RELEASE FERTILIZERS.  
USE EFFICIENT IRRIGATION SYSTEM. DESIGN TO MINIMIZE RUNOFF.

IRRIGATION NOTE

AN AUTOMATIC IRRIGATION SYSTEM CONTROLLER FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH CCC 4304

PARKS GENERAL NOTE

NOTE: EXISTING STREET TREES MAY NOT BE CUT, TRIMMED OR REMOVED WITHOUT PERMIT FROM THE PARKS DEPARTMENT. (558-7330)

NOTE: NO EXISTING TREE OVER 48" IN CIRCUMFERENCE AT 54" FROM BASE OF THE TREE MAY BE REMOVED WITHOUT A PROTECTED TREE PERMIT FROM THE PARKS DIVISION. (558-7330)

NOTE: CONTRACTOR TO PROTECT STREET TREES DURING CONSTRUCTION.  
NOTE: NO PROTECTED OR CITY TREE MAY BE REMOVED WITHOUT PERMIT

NOTE: CONTACT PARKS DIVISION FOR LIST OF APPROVED TREES IN PLANTER STRIP.

Geurse Conceptual Designs, Inc.

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website: geurse-architecture.com

SIGNATURE BOX  
NAME: JESSE GEURSE  
DATE: 1-24-2019

CITY OF BURLINGAME BUSINESS LICENSE: GEURSE CONCEPTUAL DESIGNS, INC.  
NO 22881, EXPIRATION DATE: 07/30/2019

7-31-2019	JFG	PLANNING DEPT. COMMENTS	
6-21-2010	JFG	PLANNING REVIEW-PC	
NO	DATE	BY	DESCRIPTION
			CONST.

REVIEWS

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL FIELD CONDITIONS AND COMPARE THEM WITH THE CONSTRUCTION DOCUMENTS BEFORE COMMENCING ACTIVITIES. ERRORS, OMISSIONS OR ANY OTHER INCONSISTENCIES DISCOVERED SHALL IMMEDIATELY BE REPORTED TO THE DESIGNER.

PROJECT NAME  
NEW TWO STORY RESIDENCE  
for  
MR. AND MRS. SCOTT  
1212 BALBOA AVENUE  
BURLINGAME, CALIFORNIA 94010

DRAWING TITLE  
LANDSCAPE / HARDSCAPE PLAN

DATE	ENGINEER	DRAWING NO.
1818	AART ASSINK	
JFG	SCALE	AS SHOWN
JFG	RELEASED TO CONSTRUCTION	
JFG		

L.1