



Scale: 1/4" = 1'-0"

(E) LOT LINE

(E) WOOD FENCE

(E) ASPHALT SHINGLE ROOF CLASS A FIRE RATED

(E) G.S.M. GUTTERS (PAINTED)

12'-8"

HIGHEST RIDGE

4'-5"

8'-0"

2ND FLR F.F.

1ST FLR T.O.P.

1'-0"

23'-2"

(E) STUCCO FINISH SMOOTH, (PAINTED)

(E) WOOD FENCE

8'-4"

1ST FLR F.F.

1'-5"

GRADE

(E) CONG. STEPS

(E) CONG. STEPS

Scale: 1/4" = 1'-0"

(E) LOT LINE

30' HEIGHT LIMIT EL. 130.15'
HIGHEST RIDGE EL. 130.13'

8'-2.5/8"

2ND FLR T.O.P. EL. 121.91'

2ND FLR F.F. EL. 113.41'

1ST FLR T.O.P. EL. 112.18'

(N) 6X6 DECORATIVE BRACKETS

(N) BEVOLO FRENCH QUARTER ELECTRIC LIGHTS, TYP.

(E) STUCCO FINISH SMOOTH, (PAINTED)

1ST FLR F.F. EL. 103.85'

(E) FENCE (PROTECT DURING CONSTRUCTION)
LEFT D.H.E. EL. 101.23'

GRADE EL. 100.93'

AVERAGE T.O.C. EL. 100.15'

10'-3"

(N) 4" WEEP SCREED, TYP.

(E) TRIM DTL.

(E) LIVING T.O.P.

(N) DIAMOND SHAPED ARCHITECTURAL ASPHALT SHINGLES GRACE UNDERLAYMENT TYP., TYP.

(N) STUCCO FINISH SMOOTH, (PAINTED)

(N) (TYPICAL) WD./GLAD S.D.L. SIERRA PACIFIC WINDOWS + DOORS

(N) G.S.M. GUTTERS (PAINTED)

ROOF EAVES SHALL NOT PROJECT WITHIN 2" OF THE PROPERTY LINE WHERE SETBACK IS 4' PER 2016 CRC § TABLE R302.1 (1) OR 2016 CBC TABLE 705.2

(E) BRICK WALL & BRICK PATIO TO BE REFINISHED

(E) FENCE (PROTECT DURING CONSTRUCTION)

RIGHT D.H.E. EL. 102.12'

(E) RESIDENCE

4'-1"

Scale: 1/4" = 1'-0"

[illegible]

Scale: 1/4" = 1'-0"

Sheet

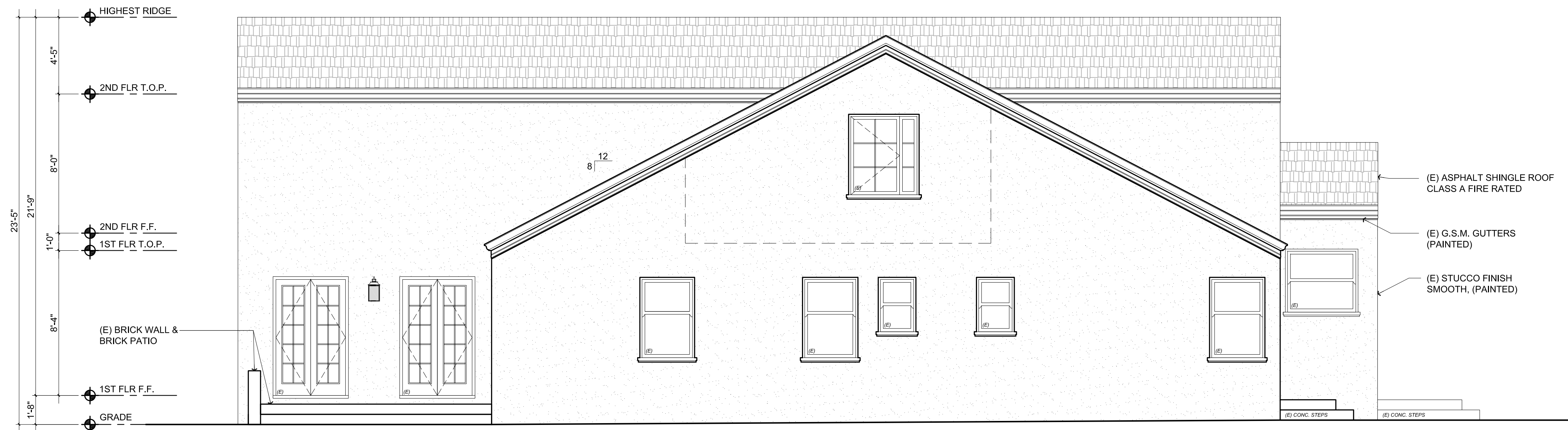
Scale: See Details

PLANNING SET

APN#: 028-295-080

A3.0

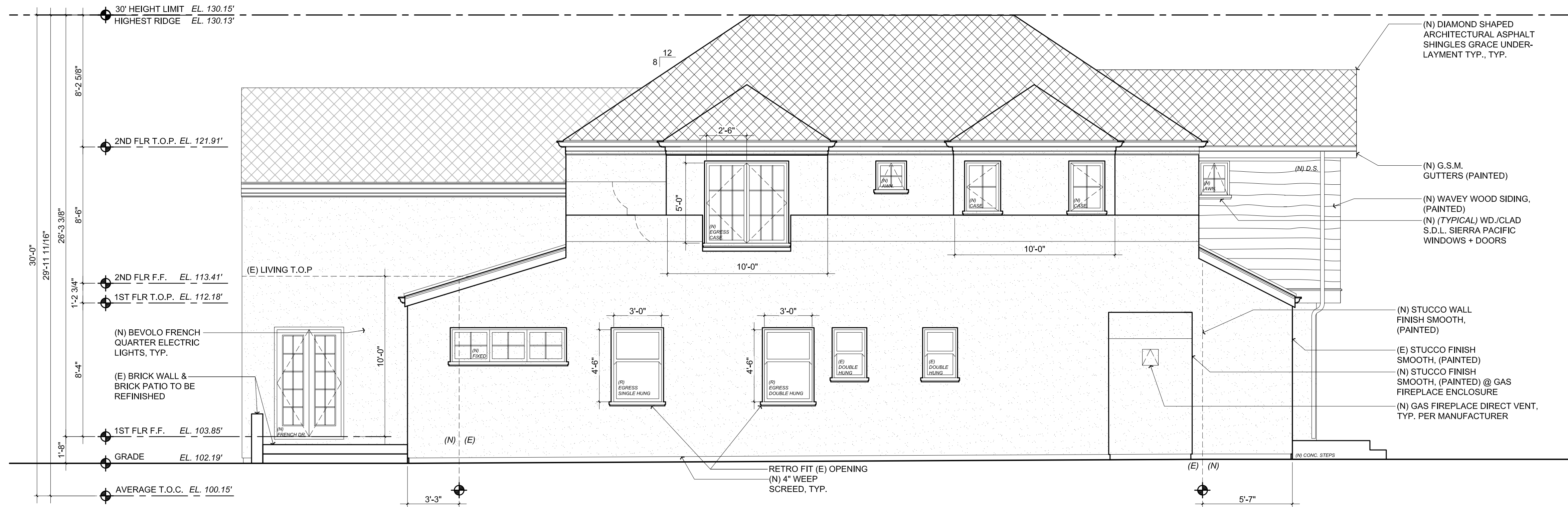
All drawings & specifications provided as instruments of service are the property of the designer. It is unlawful for any person, without the written consent of the designer, to duplicate or make copies of these documents, partly or in whole, for use for other projects & buildings.



EXISTING RIGHT ELEVATION

Scale: 1/4" = 1'-0"

1
A3.1



PROPOSED RIGHT ELEVATION

Scale: 1/4" = 1'-0"

2
A3.1

Title : Existing + Proposed Elevations

Project : Mr. & Mrs. Schuh
1556 Cypress Avenue
Burlingame, CA 94010

Job No. : 19_007 Drawn : TIM RADUENZ Date : 03/05/2019

Contractor :

Revisions

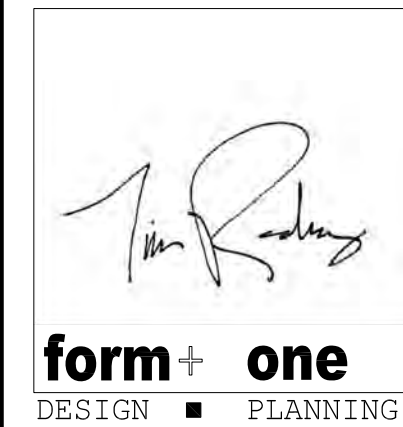
Rev. :	Description :	Date :
001		
002		
003		
004		
005		
006		

APN# : 028-295-080

PLANNING SET

Owner :
Bill & Kasey Schuh
1556 Cypress Avenue
Burlingame, CA 94010

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIMBFORMONEDESIGN.COM



A3.1

Sheet
Scale: See Details

Architectural elevation drawing of a building facade. The drawing includes the following elements and annotations:

- Dimensions (Left Side):**
 - 23'-2"
 - 21'-9"
 - 4'-5"
 - 8'-0"
 - 1'-0"
 - 8'-4"
 - 1'-5"
- Level Markers (Left Side):**
 - HIGHEST RIDGE
 - 2ND FLR T.O.P.
 - 2ND FLR F.F.
 - 1ST FLR T.O.P.
 - 1ST FLR F.F.
 - GRADE
- Roof:**
 - (E) ASPHALT SHINGLE ROOF CLASS A FIRE RATED
 - (E) G.S.M. GUTTERS (PAINTED)
- Chimney:**
 - (E) BRICK CHIMNEY
 - (E) STUCCO FINISH SMOOTH, (PAINTED)
- Windows and Doors:**
 - (E) Steel Railing
 - (E) DRIVEWAY GATE
 - (E) CONC. STEPS

Scale: 1/4" = 1'-0"

Scale: 1/4" = 1'-0"

Rev. :	Description :	Date :
001		
002		
003		
004		
005		
006		

Owner :
Bill & Kasey Schuh
1556 Cypress Avenue
Burlingame, CA 94010



form + one
DESIGN ■ PLANNING

Project : Mr. & Mrs. Schuh
1556 Cypress Avenue
Burlingame, CA 94010

Job No. : 19_007 Drawn : TIM RADUENZ Date : 03/05/2019

PLANNING SET

APN#: 028-295-080

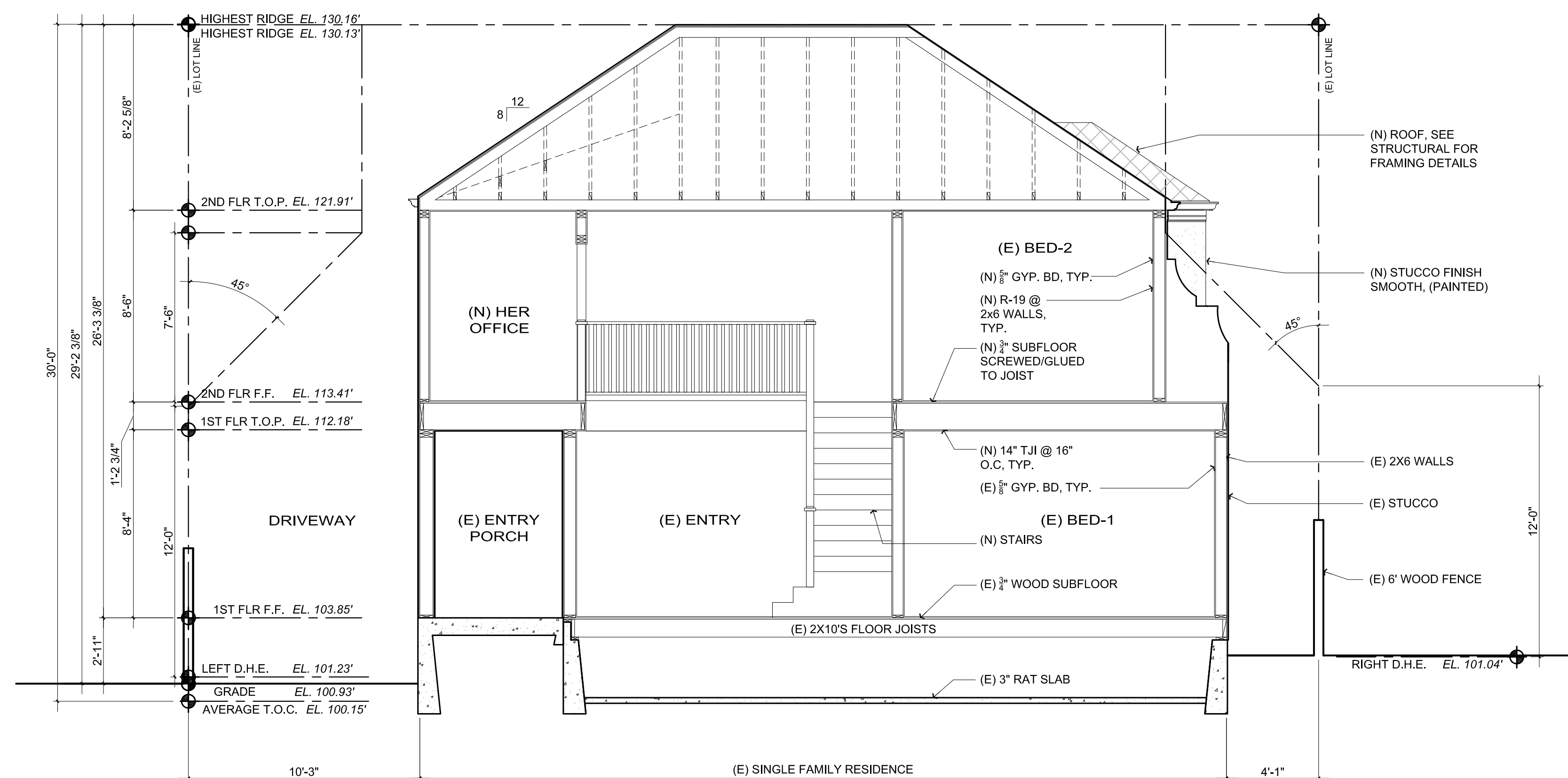
A3.2

Scale: See Details

Architectural elevation drawing of the (E) SINGLE FAMILY RESIDENCE. The drawing shows a two-story house with a gabled roof. The left side features a driveway and a 10'-1" wide section. The right side shows a 4'-1" wide section. The roof is labeled "HIGHEST RIDGE" and "2ND FLR T.O.P.". The walls are labeled "2X6 WALLS" and "STUCCO". The roof is labeled "ASPHALT SHINGLES OVER #15 FELT". The interior rooms are labeled "BED-3", "BATH-2", "BED-2", "ENTRY PORCH", "ENTRY", "HALL", and "BED-1". The floor is labeled "2X10'S FLOOR JOISTS" and "3" RAT SLAB". The foundation is labeled "6" WOOD FENCE". The drawing includes various dimensions and labels for materials and construction details.

Scale: 1/4" = 1'-0"

1
A4.0



Scale: 1/4" = 1'-0"

2
A4.0

RevisionsTitle : As Built + Proposed Building Sections

form+ one
DESIGN ■ PLANNING

Title : As Built + Proposed Building Sections

As Built + Proposed Building
Mr. & Mrs. Schuh
1556 Cypress Avenue
Burlingame, CA 94010

Title : As Bu
Project : Mr. &
1556
Burli
Job No. : 19 007

Sheet

Scale: See Details

Sheet


Scale: See Details

Owner :
Bill & Kasey Schuh
1556 Cypress Avenue
Burlingame, CA 94010

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIMEFORMONEDSIGN.COM

APN#: 028-295-080

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM



Title : As Built + Proposed Building Sections

As Built + Proposed Building
Mr. & Mrs. Schuh
1556 Cypress Avenue
Burlingame, CA 94010

Title : As Bu
Project : Mr. &
1556
Burli
Job No. : 19 007

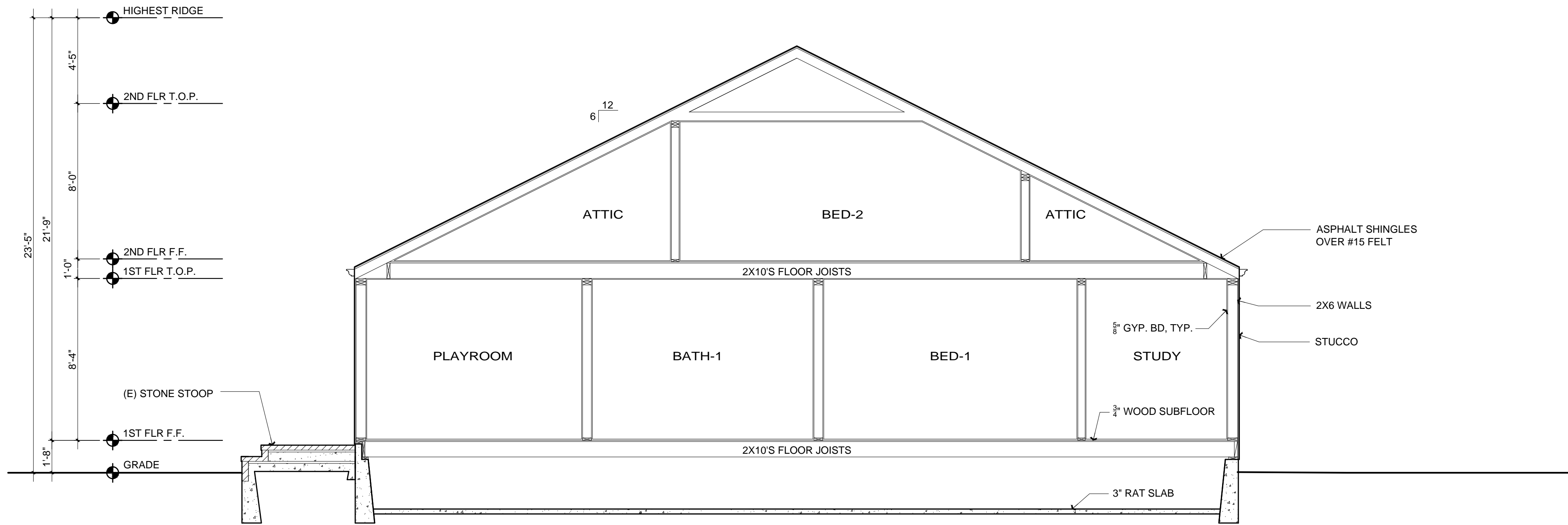
Sheet

Scale: See Details

Sheet

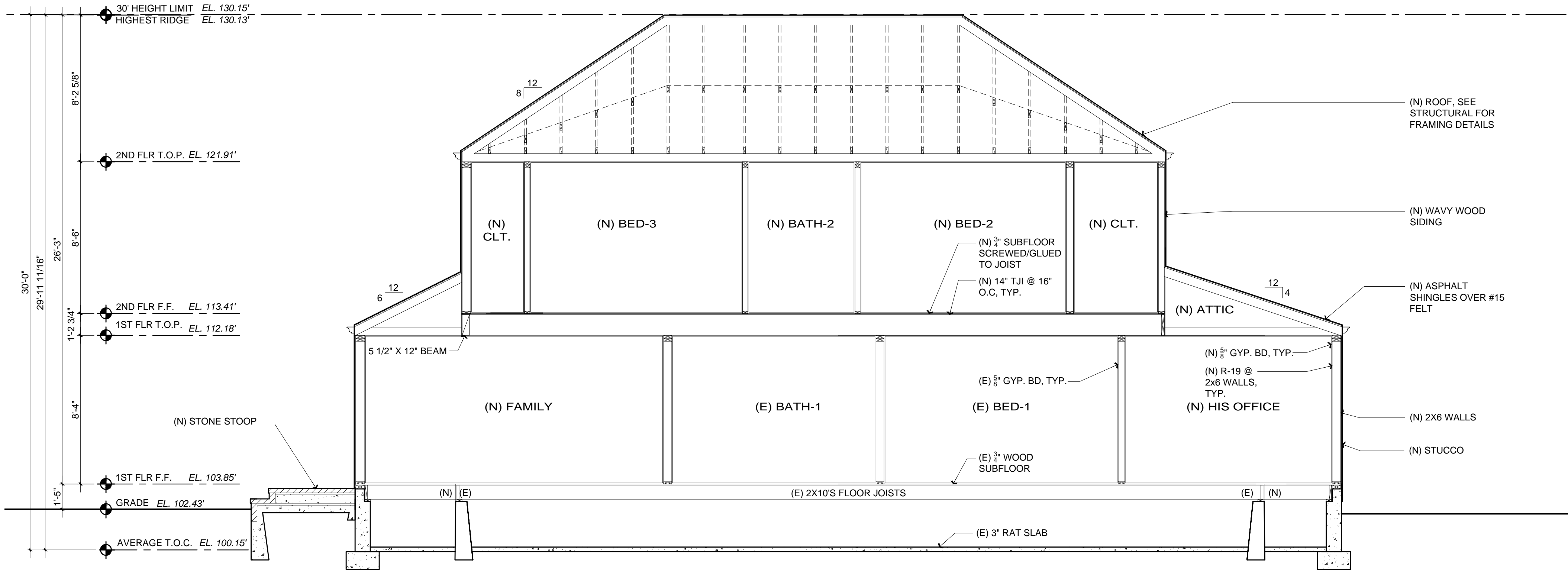
Scale: See Details

All drawings & specifications provided as instruments of service are the property of the designer whether the project is executed or not. It is unlawful for any person, without the written consent of the designer, to duplicate or make copies of these documents, partly or in whole, for use for other projects & buildings.



AS BUILT BUILDING SECTION

Scale: 1/4" = 1'-0" 1
A4.1

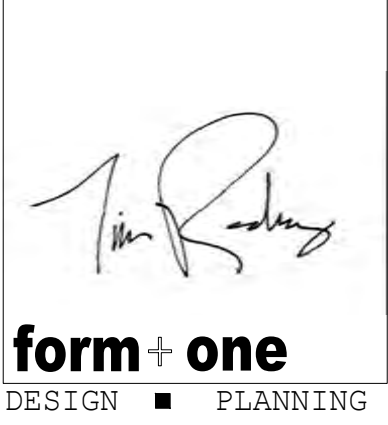


PROPOSED BUILDING SECTION

Scale: 1/4" = 1'-0" 2
A4.1

Revisions	
Rev.:	Description :
001	
002	
003	
004	
005	
006	

Contractor :
Owner :
4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIMEFORMONEDSIGN.COM
APN#: 028-295-080
PLANNING SET

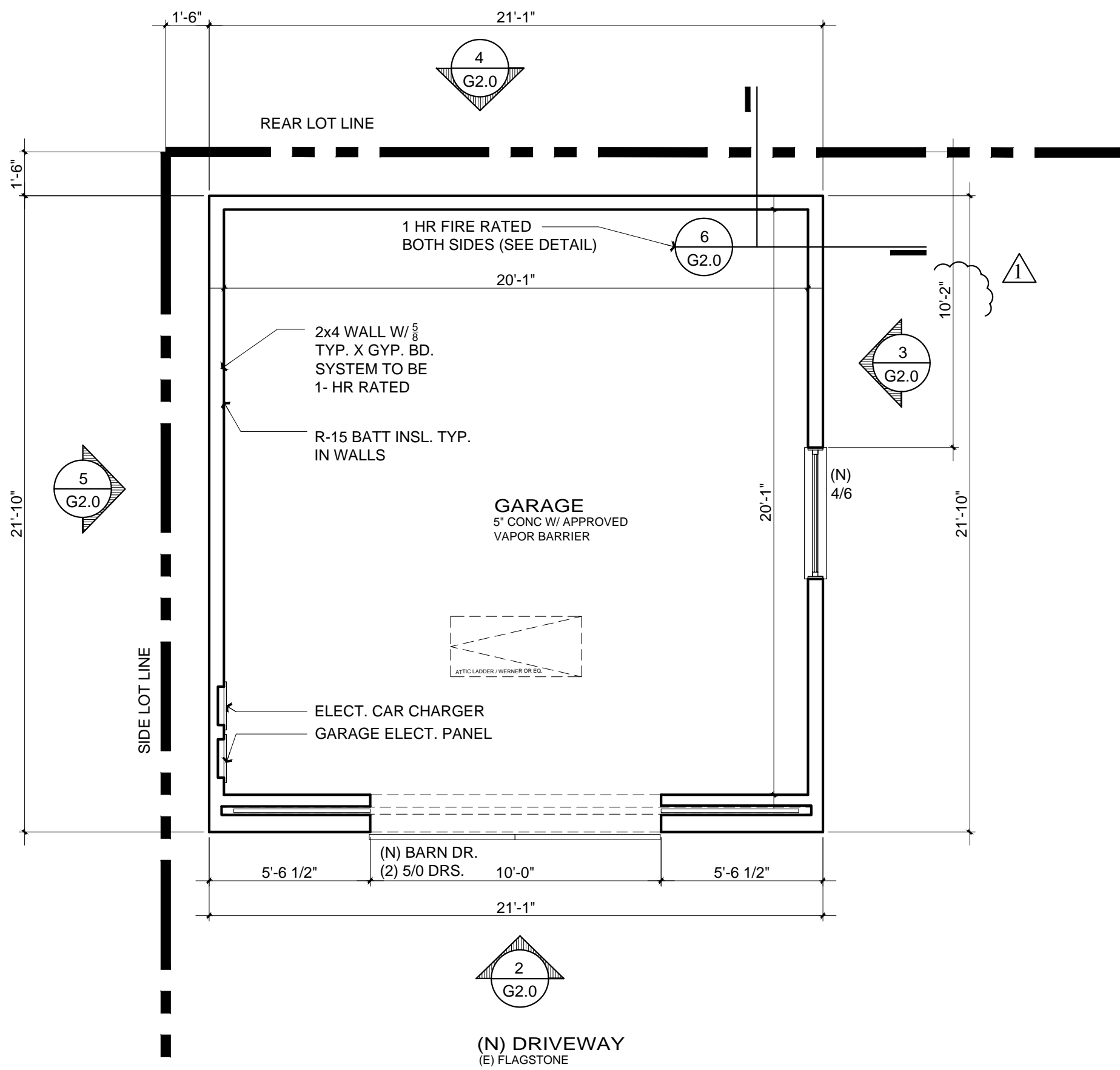


Title : As Built + Proposed Building Sections
Project : Mr. & Mrs. Schuh
1556 Cypress Avenue
Burlingame, CA 94010
Job No. : 19_007
Drawn : TIM RADUENZ
Date : 03/05/2019

A4.1

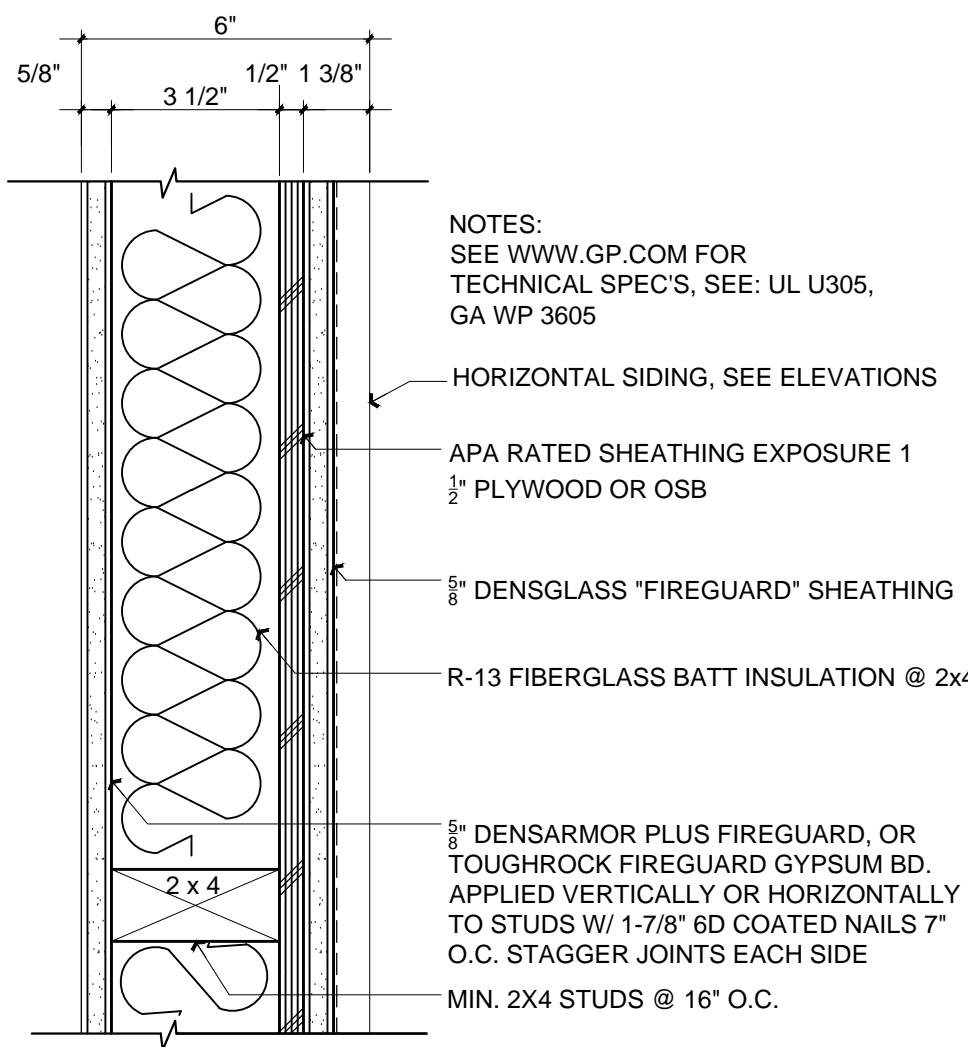
Sheet
Scale: See Details

All drawings & specifications provided as instruments of service are the property of the Designer. Without the written consent of the Designer, no part of these drawings may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage or retrieval system, for use for other projects & buildings.



PROPOSED GARAGE PLAN

PLANS FROM DAVIS ARCHITECTURE
PERMIT NUMBER: B18-0030



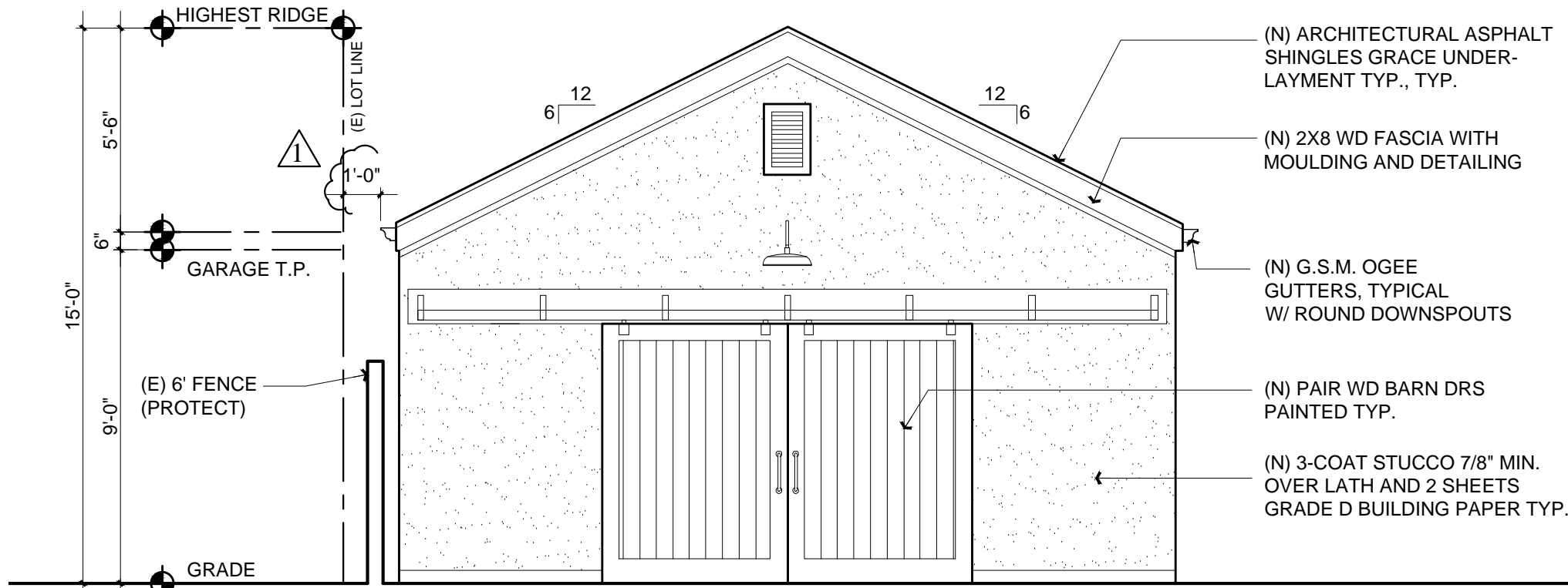
EXT. WALL DETAILS (1 HR RATED)

(EXTERIOR & INTERIOR)

Scale: 3" = 1'-0"

6

G2.0

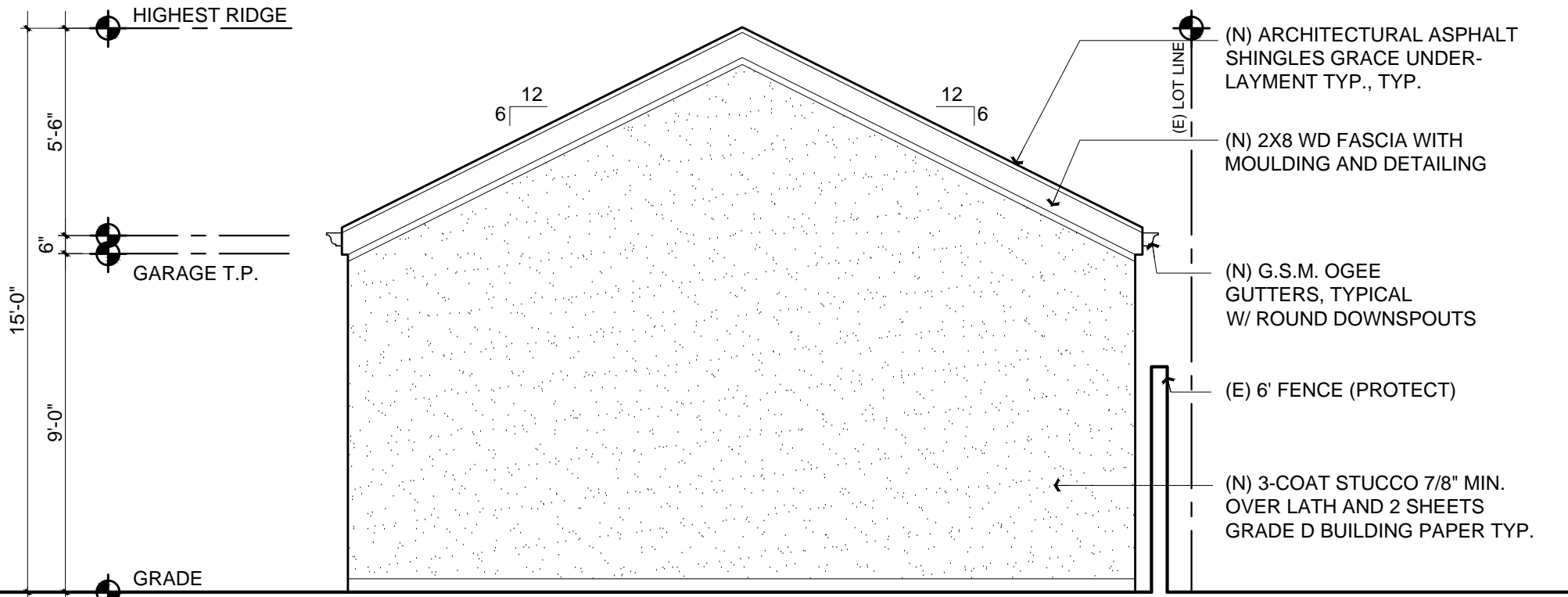


PROPOSED FRONT ELEVATION

Scale: 1/4" = 1'-0"

2

G2.0

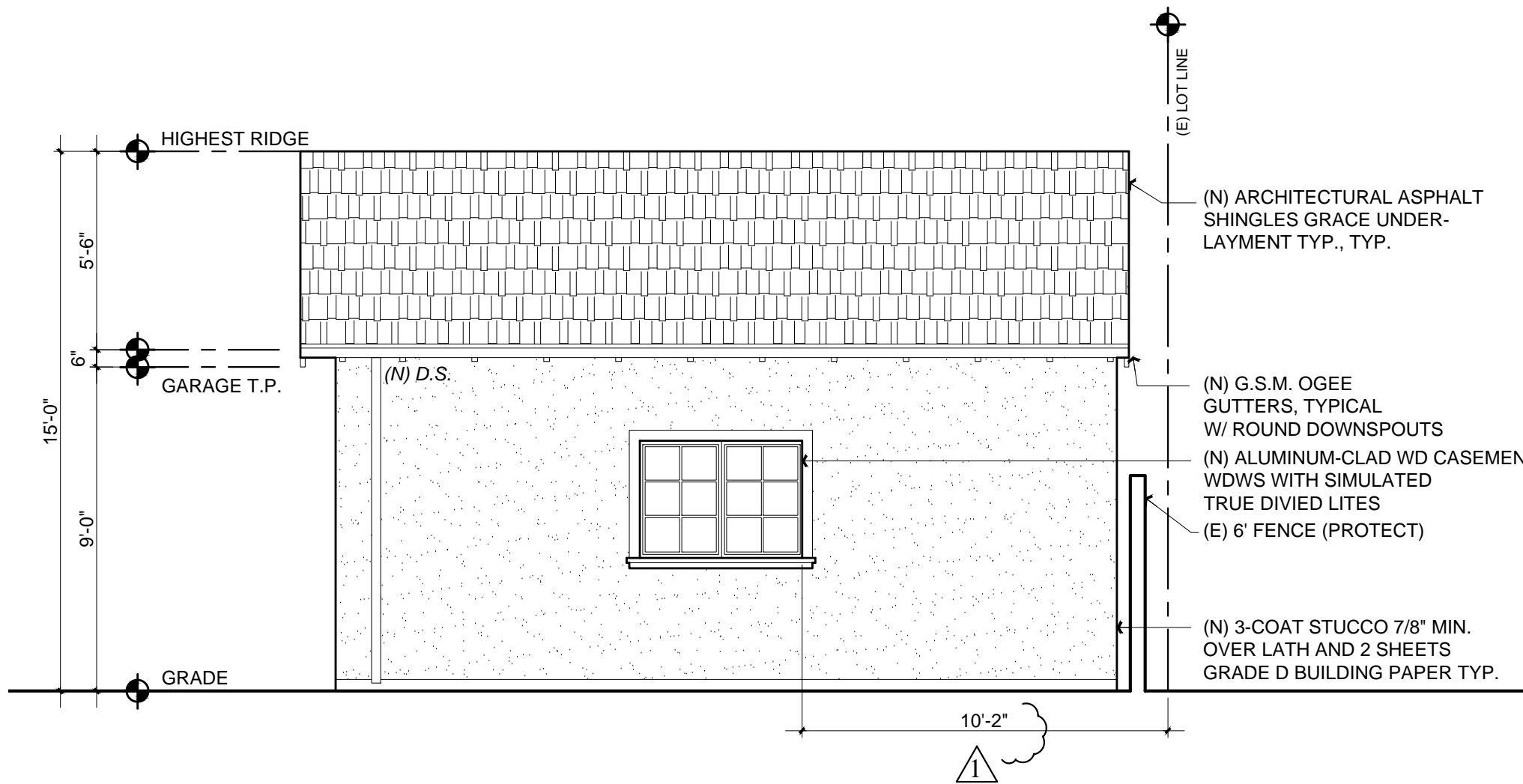


PROPOSED REAR ELEVATION

Scale: 1/4" = 1'-0"

3

G2.0

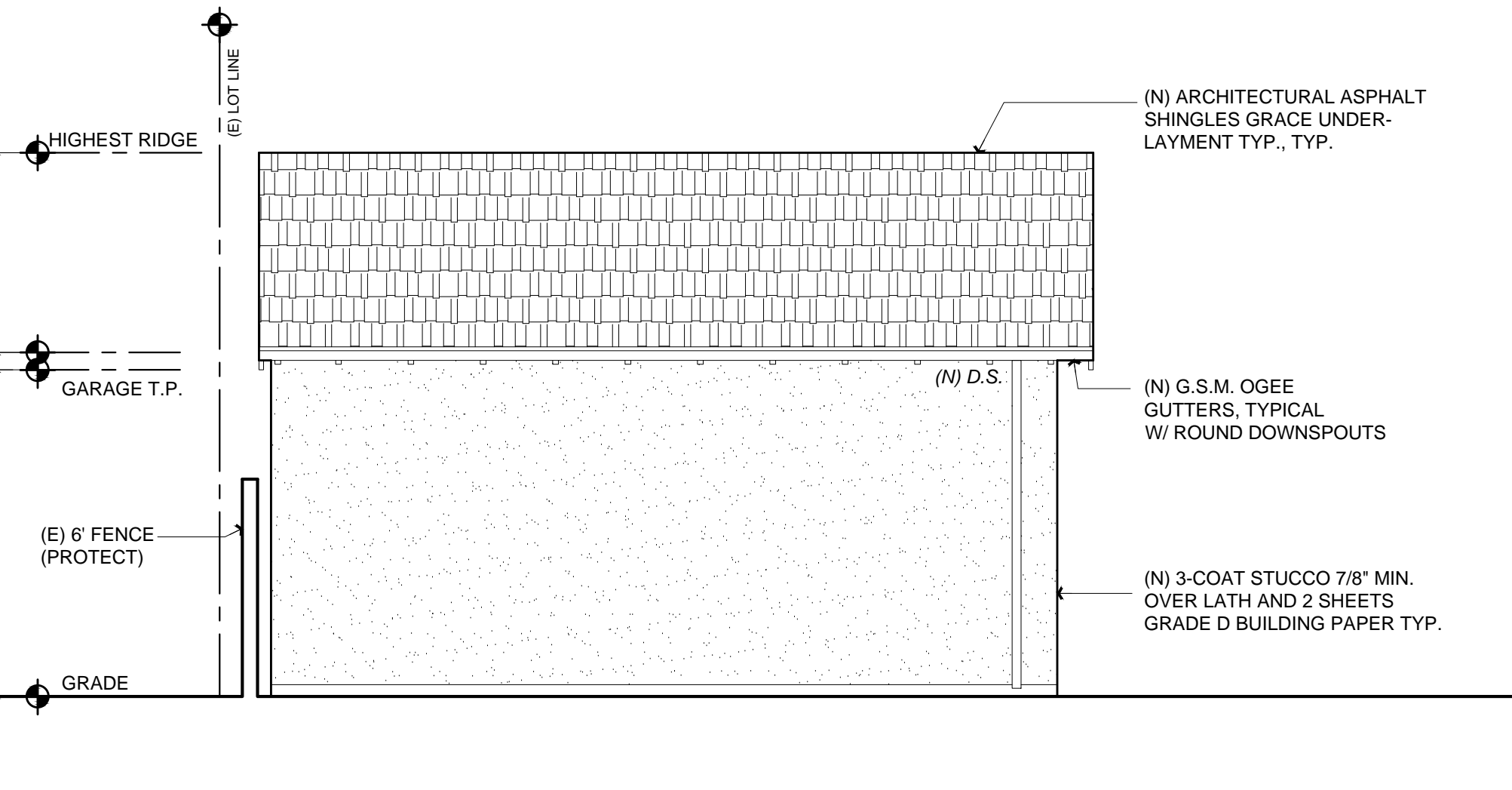


PROPOSED RIGHT ELEVATION

Scale: 1/4" = 1'-0"

4

G2.0



PROPOSED LEFT ELEVATION

Scale: 1/4" = 1'-0"

5

G2.0

Title : Proposed Detached Garage Plans

Project : Mr. & Mrs. Schuh

1556 Cypress Avenue
Burlingame, CA 94010

Job No. : 19_007

Drawn : TIM RADUENZ

Date : 03/05/2019

Contractor :

Revisions

Rev. : Description : Date :

001 RESPONSE TO COMMENTS

002

003

004

005

006

2/20/19

PLANNING SET

APN# : 028-295-080

Owner :
8813 & Keesey Schuh
1556 Cypress Avenue
Burlingame, CA 94010

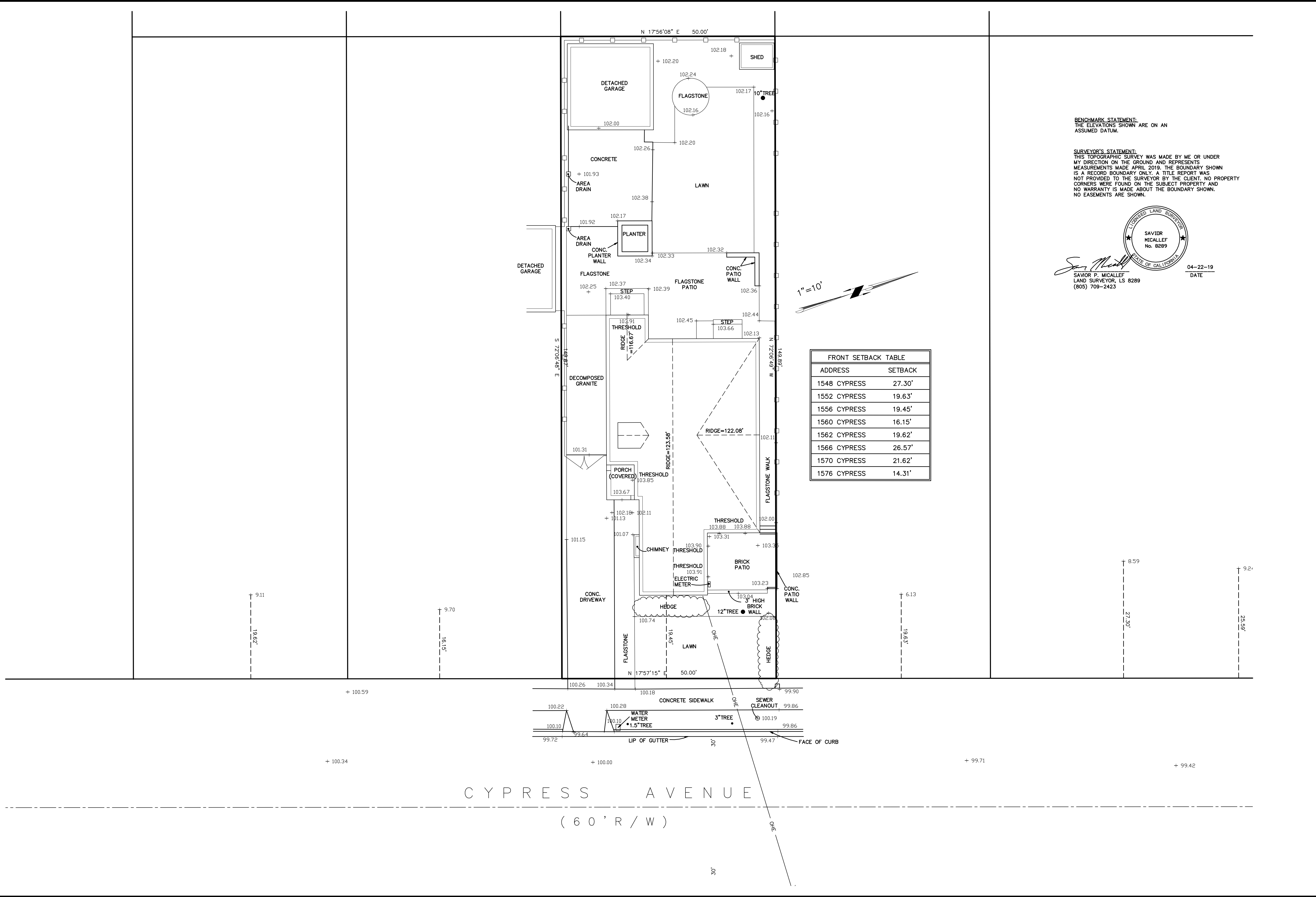
4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 435.819.0304
E-mail: TIM@FORMONEDSIGN.COM

form+one
DESIGN ■ PLANNING

G2.0

Sheet

Scale: See Details



BENCHMARK STATEMENT:
THE ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM.

SURVEYOR'S STATEMENT:
THIS TOPOGRAPHIC SURVEY WAS MADE BY ME OR UNDER MY DIRECTION ON THE GROUND AND REPRESENTS MEASUREMENTS MADE APRIL 2019. THE BOUNDARY SHOWN IS A RECORD BOUNDARY ONLY. A TITLE REPORT WAS NOT PROVIDED TO THE SURVEYOR BY THE CLIENT. NO PROPERTY CORNERS WERE FOUND ON THE SUBJECT PROPERTY AND NO WARRANTY IS MADE ABOUT THE BOUNDARY SHOWN. NO EASEMENTS ARE SHOWN.

SAVIORE LAND SURVEYING
SAVIORE P. MICALLEF
No. 8289
04-22-19
DATE

FRONT SETBACK TABLE	
ADDRESS	SETBACK
1548 CYPRESS	27.30'
1552 CYPRESS	19.63'
1556 CYPRESS	19.45'
1560 CYPRESS	16.15'
1562 CYPRESS	19.62'
1566 CYPRESS	26.57'
1570 CYPRESS	21.62'
1576 CYPRESS	14.31'

GENERAL NOTES & SCOPE

1. PROTECT ALL EXISTING TREES DURING CONSTRUCTION, CONSULT ARBORIST AS REQUIRED.
2. NO EXISTING TREES OVER 48" IN CIRCUMFERENCE AT 54" FROM BASE OF TREE MAY BE REMOVED WITHOUT A PROTECTED TREE PERMIT FROM THE PARKS DIVISION (558-7330) NO TREES ARE TO BE REMOVED FOR THIS PROJECT.
3. WATER CONSERVATION IN LANDSCAPE ORDINANCE NOT REQUIRED SINCE LANDSCAPE WILL NOT BE REHABILITATED AS NOTED ON PLANS.
4. A PLAN HAS BEEN DEVELOPED, AND WILL BE IMPLEMENTED, TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. CGC 4.106.2 & CGC 4.106.3
5. ALL SPRINKLER DRAINAGE SHALL BE PLACED INTO LANDSCAPING AREAS
6. ANY NEW AC EQUIPMENT WILL BE LOCATED IN THE REAR 75% OF THE LOT. NEW EQUIPMENT SHALL NOT EXCEED A MAXIMUM OUTDOOR NOISE LEVEL OF 60DBA DAYTIME (7AM- 10 PM OR 50 DBA NIGHTTIME (10 PM-7AM) AS MEASURED FROM PROPERTY LINE. BURLINGAME MUNICIPAL ZONING CODE 25.58.050.
7. STORMWATER SHALL BE RETAINED ON SITE.
8. EXISTING LANDSCAPE TO REMAIN & BE PROTECTED DURING CONSTRUCTION, ANY DAMAGED LANDSCAPING SHALL BE RESTORED OR REPLACED POST CONSTRUCTION BASED ON CONDITION OF LANDSCAPE.

STREET TREES

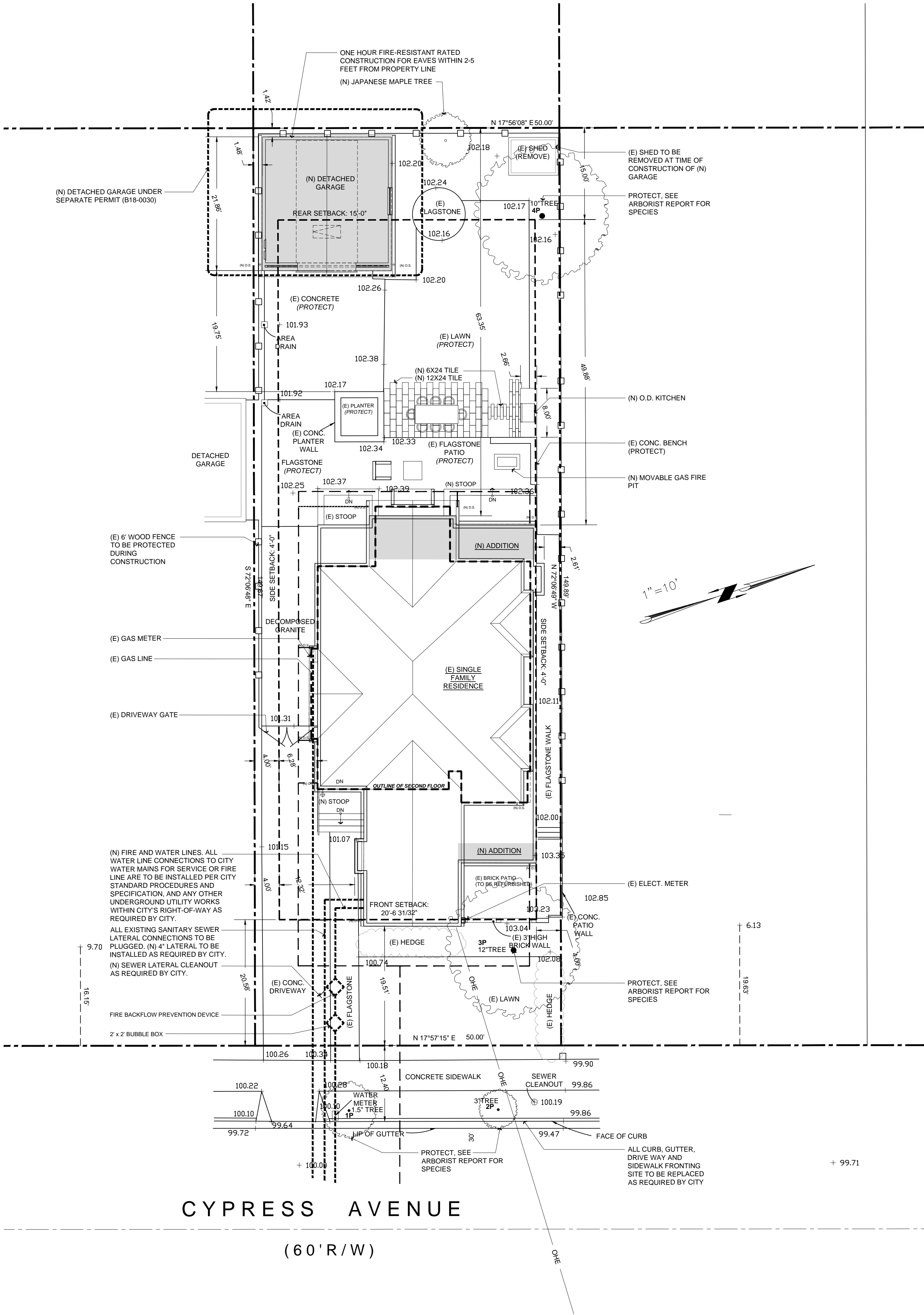
1. PROTECT ALL STREET TREES DURING CONSTRUCTION
2. EXISTING CITY STREET TRESS MAY NOT BE CUT, TRIMMED, OR REMOVED WITHOUT PERMIT FROM PARKS DIVISION.

PUBLIC WORKS NOTES

1. A REMOVE/REPLACE UTILITES ENCHROACHMENT PERMIT IS REQUIRED TO (1) REPLACE ALL CURB, GUTTER, DRIVEWAY AND SIDEWALK FRONTING SITE, (2) PLUG ALL EXISTING SANITARY SEWER LATERAL CONNECTIONS AND INSTALL A NEW 4" LATERAL, (3) ALL WATER LINE CONNECTIONS TO CITY WATER MAINS FOR SERVICES OF FIRE LINE ARE TO BE INSTALLED PER =CITY STANDARD PROCEDURES AND SPECIFICATION. (4) AND OTHER UNDERGROUND UTILITY WORKS WITHIN CITY'S RIGHT-OF WAY.
2. GRADING PERMIT, IF REQUIRED WILL BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS.

STORMWATER CHECKLIST NOTES

1. DIRECT ROOF RUNOFF INTO CISTERNS OR RAIN BARRELS AND USE RAINWATER FOR IRRIGATION OR OTHER NON-POTABLE USE.
2. DIRECT RUNOFF FROM SIDEWALKS, WALKWAYS, AND/OR PATIOS ONTO VEGETATED AREAS.
3. DIRECT RUNOFF FROM DRIVEWAYS AND/OR UNCOVERED PARKING LOTS ONTO VEGETATED AREAS.
4. CONSTRUCT SIDEWALKS, WALKWAYS AND/OR PATIOS WITH PERMEABLE SURFACES.
5. USE MICOR-DETENTION, INCLUDING DISTRIBUTED LANDSCAPE-BASED DETENTION.
6. PROTECT SENSITIVE AREAS, INCLUDING WETLAND AND RIPARIAN AREAS, AND MINIMIZE CHANGES TO THE NATURAL TOPOGRAPHY.
7. MARK ON SITE INLETS WITH THE WORDS "NO DUMPING! FLOWS TO BAY" OR EQUIVALENT.
8. (A.) RETAIN EXISTING VEGETATION AS PRACTICABLE (B) SELECT DIVERSE SPECIES APPROPRIATE TO THE SITE. INCLUDE PLANTS THAT ARE PEST- AND/OR DISEASE-RESISTANT, DROUGHT-TOLERANT, AND/OR ATTRACT BENEFICIAL INSECTS. (C) MINIMIZE USE OF PESTICIDES AND QUICK -RELEASE FERTILIZERS.
9. DESIGN FOR DISCHARGE OF FIRE SPRINKLERS TEST WATER TO LANDSCAPE OR SANITARY SEWER.
10. TEMPORARY EROSION CONTROLS TO STABILIZE ALL DENUDED AREAS UNTIL PERMANENT EROSION CONTROLS ARE ESTABLISHED.
11. DELINEATE WITH FIELD MARKERS THE FOLLOWING AREAS: CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS,BUFFER ZONES, TREES TO BE PROTECTED AND RETAINED, DRAINAGE COURSES.
12. PROVIDE NOTES, SPECIFICATIONS OR ATTACHEMENTS DESCRIBING THE FOLLOWING: (A) CONSTRUCTION, OPERATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS, INCLUDE INSPECTION FREQUENCY; (B) METHODS AND SCHEDULE FOR GRADING, EXCAVATION, FILLING, CLEARING OF VEGETATION , AND STORAGE AND DISPOSAL OF EXCAVATED OR CLEARED MATERIAL, (C) SPECIFICATIONS FOR VEGETATIVE COVER & MULCH, INCLUDE METHODS AND SCHEDULES FOR PLANTING AND FERTILIZATION (D) PROVISIONS FOR TEMPORARY AND OR PERMANENT IRRIGATION
13. PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER
14. USE SEDIMENT CONTROLS OF FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING AND OBTAIN ALL NECESSARY PERMITS.
15. PROTECT ALL STORM DRAIN INLETS IN VICINITY OF SITE USING SEDIMENT CONTROLS (E.G. BERMS, SOCKS, FIBER ROLLS OR FILTERS)
16. TRAP SEDIMENT ON-SITE, USING BMP'S SUCH AS SEDIMENT BASINS OR TRAPS, EARTHEN DIKES OR BERMS, SILT FENCES, CHECK DAMS, COMPOST BLANKETS OR JUTE MATS, COVERS FOR SOIL STOCK PILES, ETC.
17. DIVERT ON-SITE RUNOFF AROUND EXPOSED AREAS; DIVERT OFF-SITE RUNOFF AROUND THE SITE (E.G SWALES AND DIKES)
18. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES,MULCHING OR OTHER MEASURES AS APPROPRIATE.
19. LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS.
20. NO CLEANING, FUELING OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASHWATER IS CONTAINED AND TREATED.
21. STORE, HANDLE AND DISPOSE OF CONSTRUCTION MATERIALS/WASTES PROPERLY TO PREVENT CONTACT WITH STORMWATER
22. CONTRACTOR SHALL TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES/SUBCONTRACTORS RE- CONSTRUCTION BMP'S.
23. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTINGWASTES,PAINTS,CONCRETE, PETROLEUM PRODUCTS,CHEMICALS,WASHWATEROR SEDIMENTS, RINSE WATER FROM ARCHITECTURAL COPPER, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.

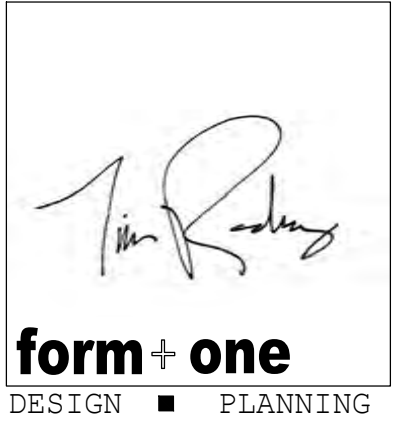


PROPOSED SITE PLAN

Scale: 1"= 10'-0" A1.0

Rev.:	Description :	Date :
001		
002		
003		
004		
005		

Owner :	Contractor :
Bill & Kasey Schuh 1556 Cypress Avenue Burlingame, CA 94010	
4943 SILVER SPRINGS DRIVE Park City, UT 84098 Ph: 415.819.0304 E-mail: TIM@FORMONEDESIGN.COM	



Title : Proposed Site Plan	Date : 03/05/2019
Project : Mr. & Mrs. Schuh 1556 Cypress Avenue Burlingame, CA 94010	Drawn : TIM RADENZ
Job No. : 13_007	

A1.0

Sheet
Scale: See Details

All drawings & specifications provided as instruments of service are the property of the Designer. It is unlawful for any person, without the written consent of the Designer, to duplicate or make copies of these documents, partially or in whole, for use on other projects & buildings.

- NOTES:
1. (OGEE) G.S.M. GUTTERS, & (3" GSM) DOWNSPOUTS:
LINE ALL VALLEYS WITH GSM, AT LEAST 20" WIDE WITH WITH 1/4" EDGE TURNED OVER AND FASTENED WITH CLEATS. LAP JOINTS AT LEAST 4", BUT DO NOT SOLDER.
 2. ROOFING MATERIAL TO BE 40 YR ARCHITECTURAL ASPHALT SHINGLES, SEE CUT SHEET ABOVE. COLOR TO BE DETERMINED, ANTIQUE BLACK OR PEWTER GREY.
 3. WHEN INSULATION IS INSTALLED IN ENCLOSED RAFTER SPACES WHERE CEILINGS ARE APPLIED DIRECT TO THE UNDERSIDE OF ROOF RAFTERS, A MINIMUM AIR SPACE OF 1 INCH MUST BE PROVIDED, INSULATION BAFFLE NEEDED.
 4. FLASHINGS AND COUNTER FLASHINGS SHALL NOT BE LESS THAN 0.016-INCH (28-GAGE) CORROSION RESISTANT METAL, AND VALLEY FLASHING
 5. AT THE JUNCTURE OF THE ROOF & VERTICAL SURFACES, FLASHING & COUNTERFLASHINGS SHALL NOT BE LESS THAN 0.019-INCH (26 GAUGE)
 6. NA
 7. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MIN. OF 3'-0" FROM PROPERTY LINES OR ANY OPENING INTO THE BUILDING (I.E. DRYERS, BATH& UTILITY FANS, ETC., MUST BE 3'-0" AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS, PER CODE
 8. (AS REQUIRED) THE TRUSS PLAN AND THE TRUSS CALC. SHALL BE REVIEWED & APPROVED BY THE ENGINEER OF RECORD BEFORE SUBMITTING TO THE BUILDING DEPARTMENT FOR APPROVAL PRIOR TO FABRICATION. TRUSS PLANS SHALL BE WET SIGNED & WET STAMPED BY TRUSS DESIGN ENGINEER.
 9. FURNACE LOCATED IN ATTIC SPACE SHALL BE LISTED FOR ATTIC LOCATION AND PROVIDED WITH 24" WIDE SOLID FLOORING ACCESS WAY AND 30" WORKING SPACE AT CONTROLS.
 10. ATTIC VENTILATION AT CALIFORNIA FRAMING TO RECEIVE LOW PROFILE VENTS OR OPENING IN THE ROOF SHEATHING BELOW
 11. ROOF EAVES SHALL NOT PROJECT WITHIN 2" OF THE PROPERTY LINE WHERE SETBACK IS 4' PER 2016 CRC § TABLE R302.1 (1) OR 2016 CBC TABLE 705.2. ALL ROOF PROJECTIONS WHICH PROJECT BEYOND THE POINT WHERE FIRE-RESISTIVE CONSTRUCTION WOULD BE REQUIRED WILL BE CONSTRUCTED OF ONE-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION PER 2016 CRC § R302.1 (1) OR 2016 CBC § 705.2.

PLUMBING & HVAC NOTE:

1. GROUP ALL EXHAUST FLUES TOGETHER WHEN POSSIBLE & LOCATE ON ROOFS SLOPING TO THE REAR OF HOUSE TYP. VERIFY LOCATION W/ DESIGNER.

SOLAR CONDUIT NOTE:

PROVIDE A PIPE FOR SOLAR CONDUIT FOR FUTURE USE.

*SOLAR PANEL AREA TO BE NO LESS THEN 150 SQ.FT.

ATTIC FURNACE NOTES:

1. PROVIDE THE FOLLOWING FOR ATTIC FURNACES (CMC SECTION 904.04)
 - A. PASSAGEWAY TO EQUIPMENT LESS THAN 6'-0" IN HEIGHT SHALL BE NOT MORE THAN 20'-0" IN LENGTH WHEN MEASURED ALONG THE CENTER LINE OF PASSAGEWAY FROM THE ACCESS OPENING TO THE EQUIPMENT. SECTION 904.10.1.
 - B. UN-OBSTRUCTED PASSAGEWAY W/ A SOLID FLOORING AT LEAST 24" WIDE THROUGH-OUT ITS LENGTH. SECTION 904.10.2
 - C. A 30"x30" LEVEL WORKING PLATFORM IN FRONT OF THE SERVICE SIDE OF THE APPLIANCE. SECTION 904.10.3
 - D. A PERMANENT 120V RECEPTACLE OUTLET AND LIGHTING FIXTURE NEAR THE APPLIANCE. SECTION 904.10.4.
 - E. UPRIGHT FURNACES MAYBE INSTALLED IN ATTIC OR CRAWLSPACE MORE THAN 5'-0" IN HEIGHT, PROVIDED THAT REQUIRED LISTINGS, DUCT AND FURNACE CLEARANCES ARE OBSERVED. SECTION 904.10.5
 - F. CLARIFY THE LOCATION OF THE FURNACE ON PLANS BY DASHED LINE OR OTHER SYMBOL.

HOUSE VENTILATION CALC:

SQ. FT. OF (N) ROOF: 2,035 SQ. FT.

(N) 2,035/150 = 13.6 SQ. FT. OF VENTILATION IN NEW ROOF

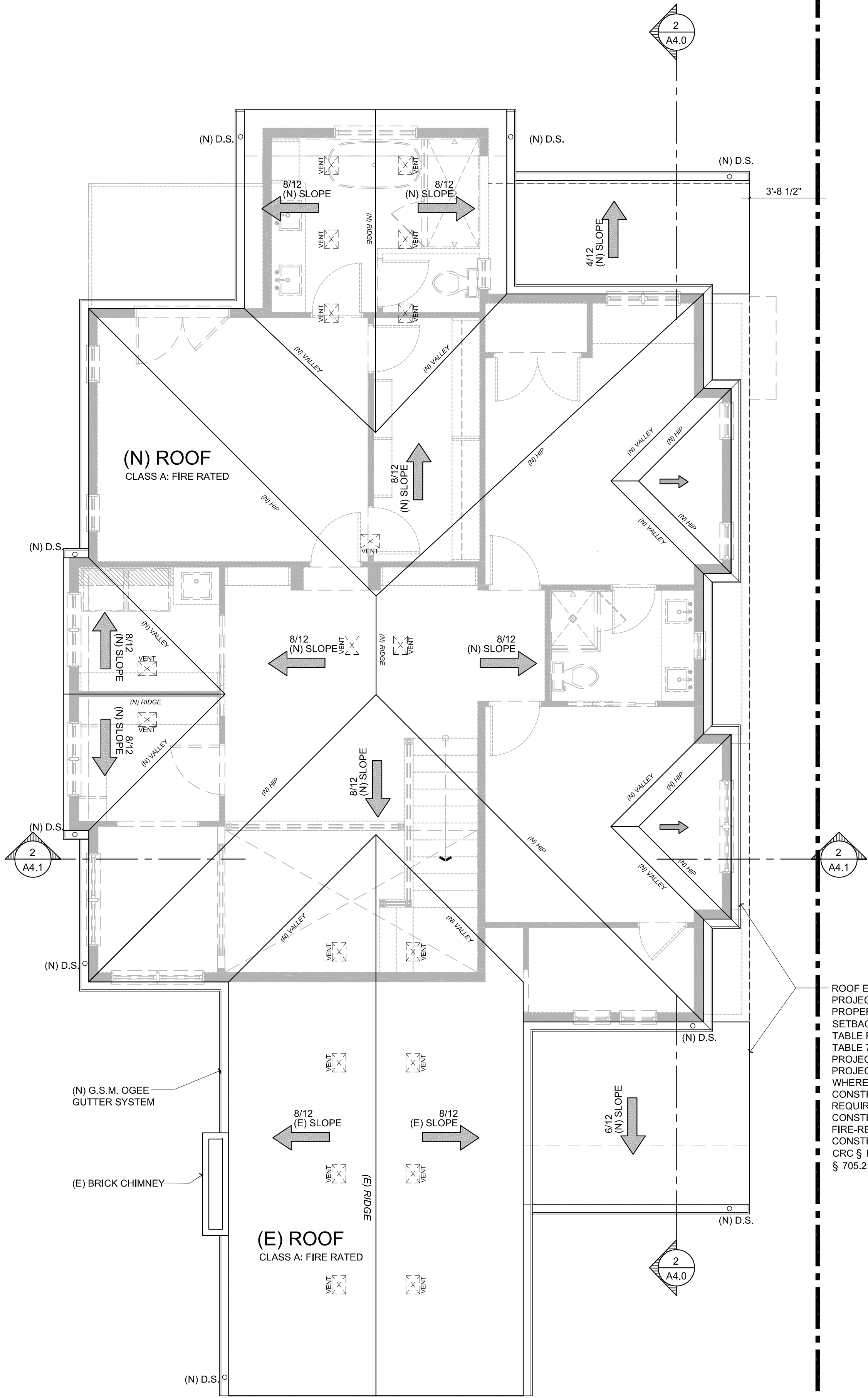
(N) ROOF VENTS (19 ea. X .75 SQ.FT.) = 14.25 SQ.FT.
TOTAL VENTILATION INSTALLED = 14.25 SQ.FT.

GARAGE VENTILATION CALC:

SQ. FT. OF (N) ROOF: 510 SQ. FT.

(N) 510/150 = 3.4 SQ. FT. OF VENTILATION IN NEW ROOF

(N) ROOF VENTS (5 ea. X .75 SQ.FT.) = 3.75 SQ.FT.
TOTAL VENTILATION INSTALLED = 3.75 SQ.FT.



ROOF EAVES SHALL NOT PROJECT WITHIN 2' OF THE PROPERTY LINE WHERE SETBACK IS 4' PER 2016 CRC § TABLE R302.1 (1) OR 2016 CBC TABLE 705.2. ALL ROOF PROJECTIONS WHICH PROJECT BEYOND THE POINT WHERE FIRE-RESISTIVE CONSTRUCTION WOULD BE REQUIRED WILL BE CONSTRUCTED OF ONE-HOUR FIRE-RESISTANCE- RATED CONSTRUCTION PER 2016 CRC § R302.1 (1) OR 2016 CBC § 705.2.

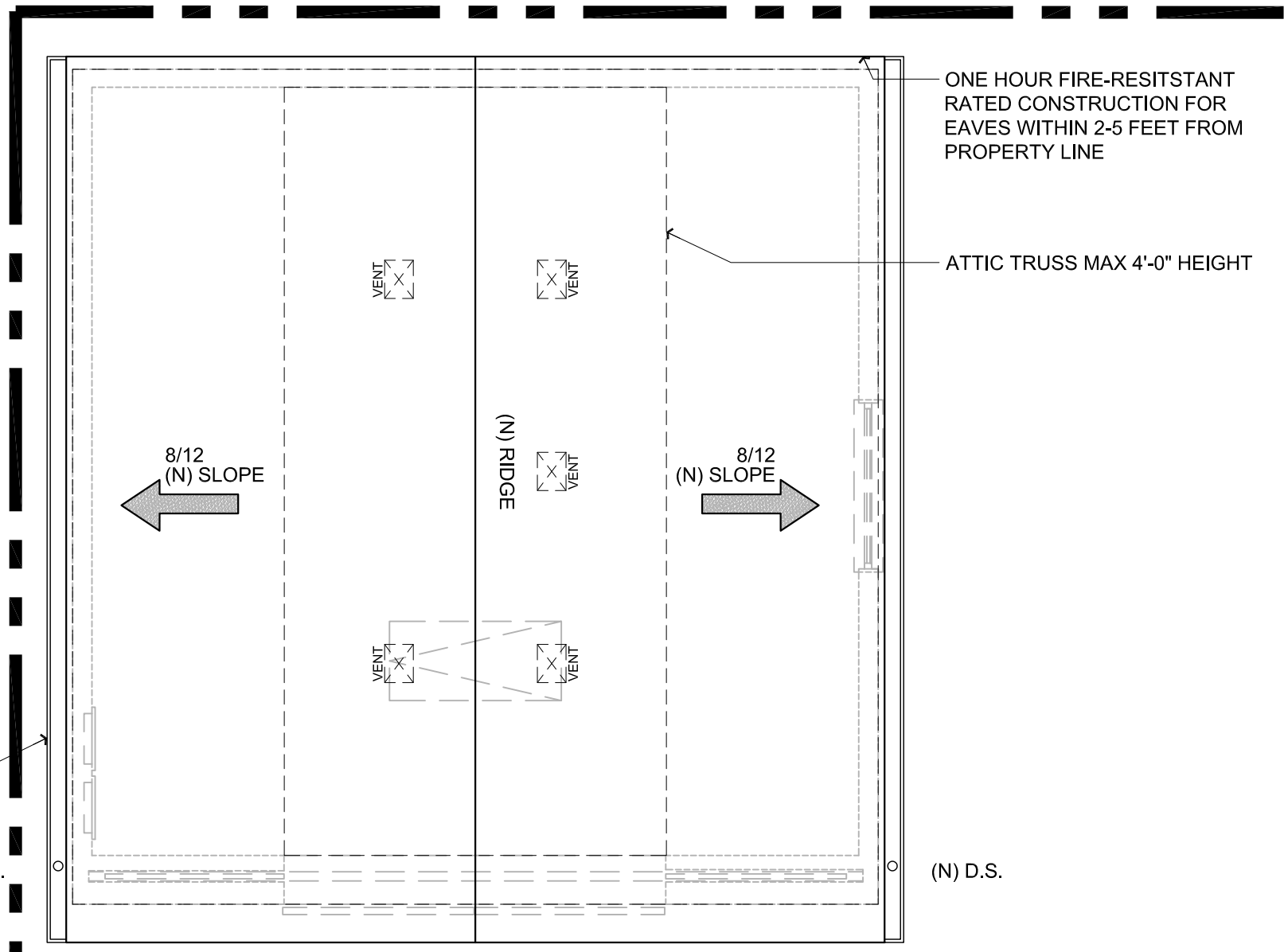
(N) G.S.M. OGEE GUTTER SYSTEM

PROPOSED ROOF PLAN

GARAGE

Scale: 1/4 = 1'-0"

2
A2.2



PROPOSED ROOF PLAN

MAIN HOME

Scale: 1/4 = 1'-0"

1
A2.2

Title : Proposed Roof Plan

Project : Mr. & Mrs. Schuh
1556 Cypress Avenue
Burlingame, CA 94010

Job No. : 19_007 Drawn : TIM RADUENZ Date : 03/05/2019

Owner :
Bill & Kasey Schuh
1556 Cypress Avenue
Burlingame, CA 94010

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIMBFORMONEDESIGN.COM

form+ one
DESIGN ■ PLANNING

Revisions

Rev. : Description :

Date :

001
002
003
004
006

APN#: 028-295-080

PLANNING SET

Sheet

Scale: See Details

A2.2