

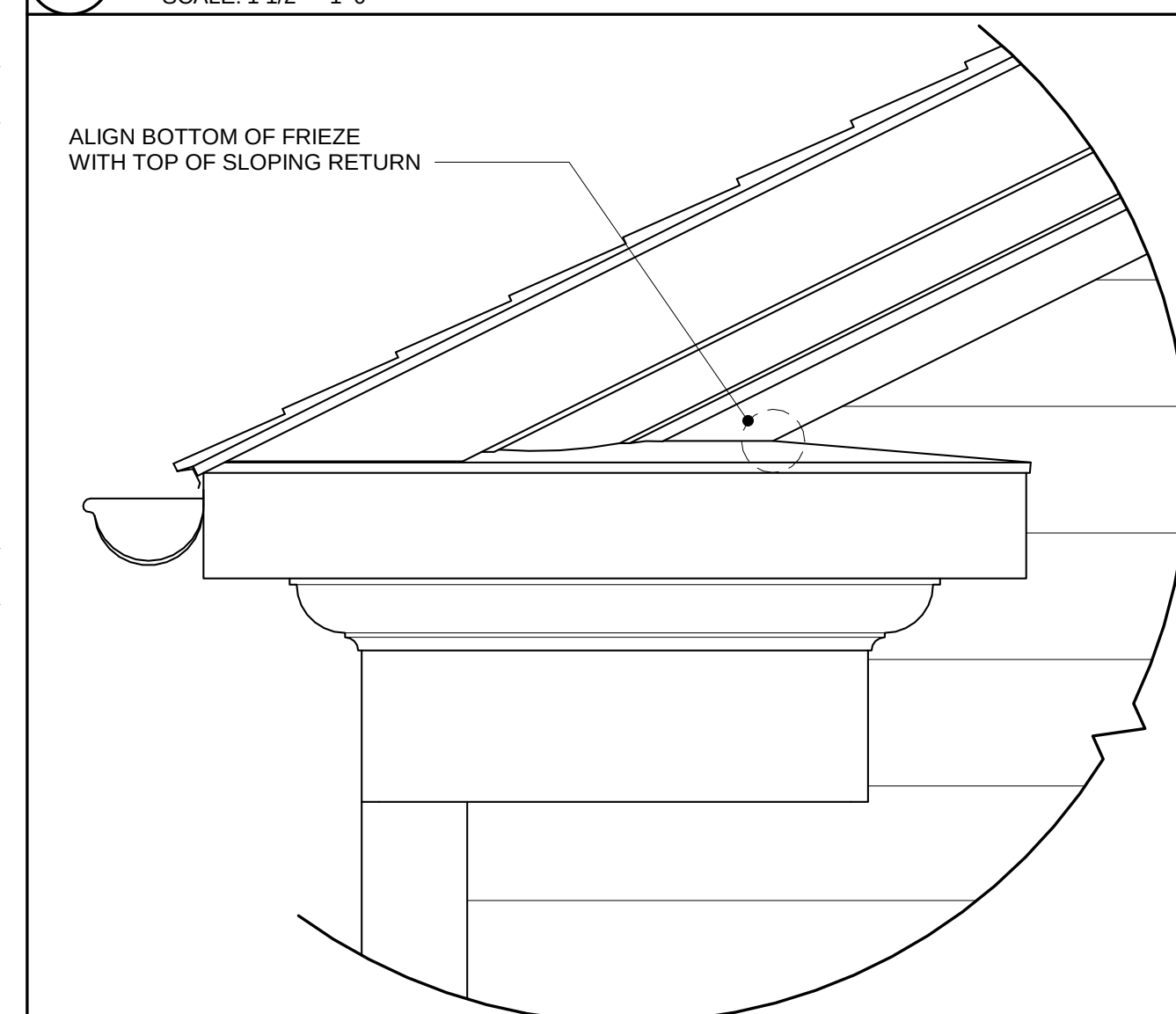
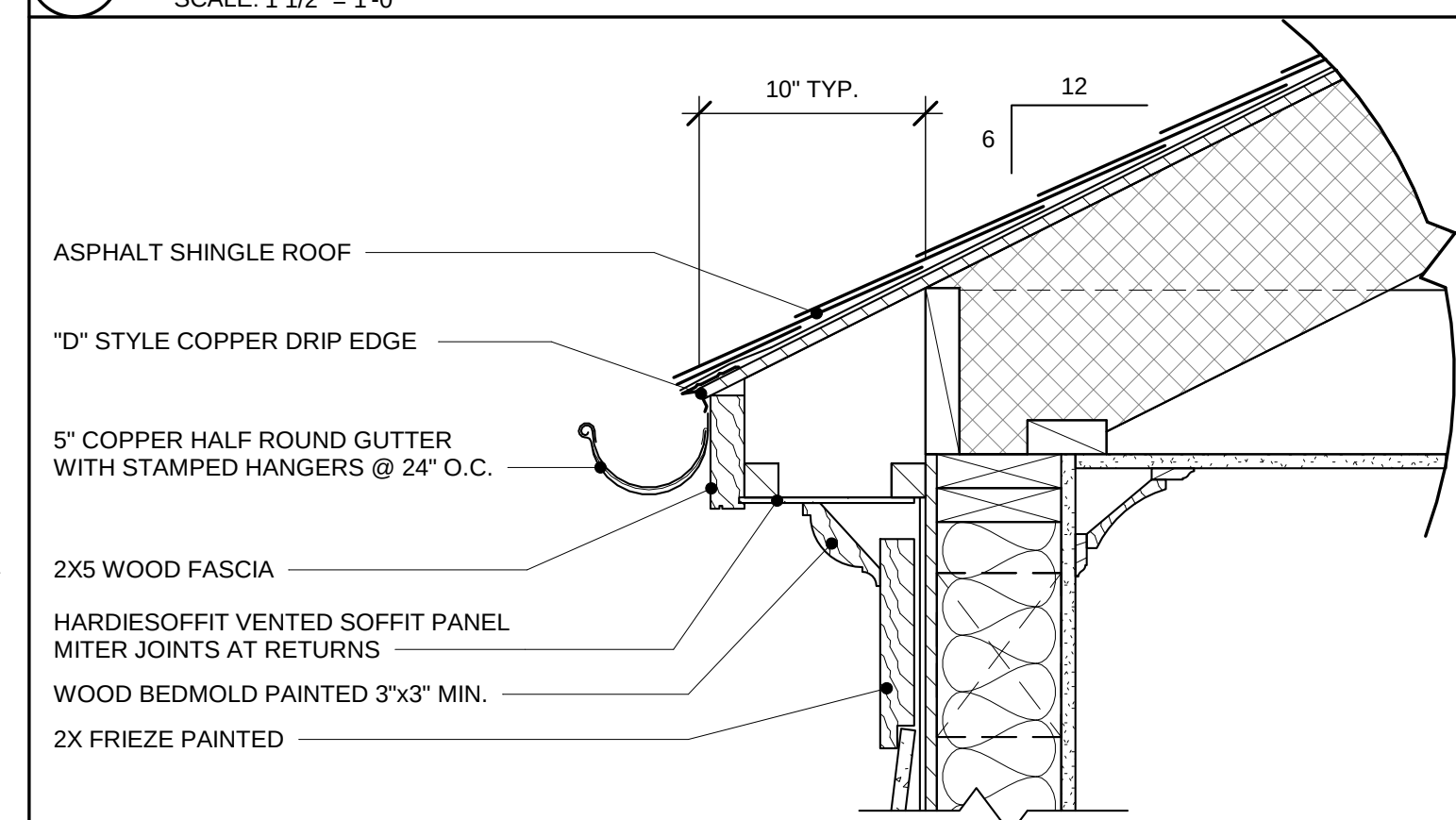
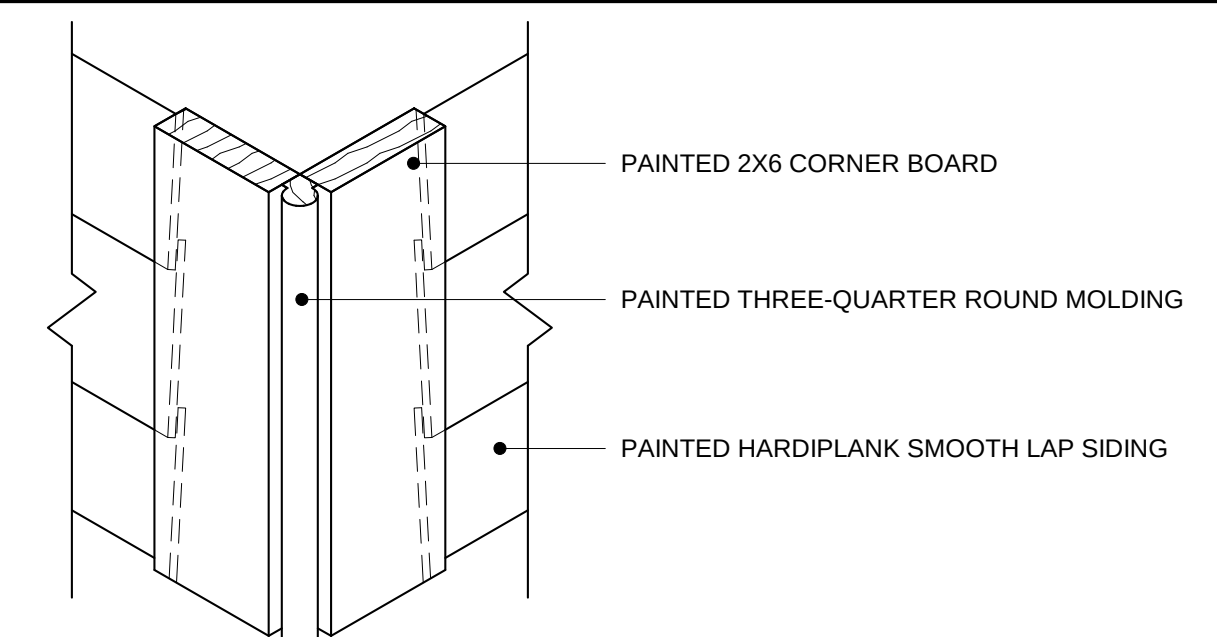
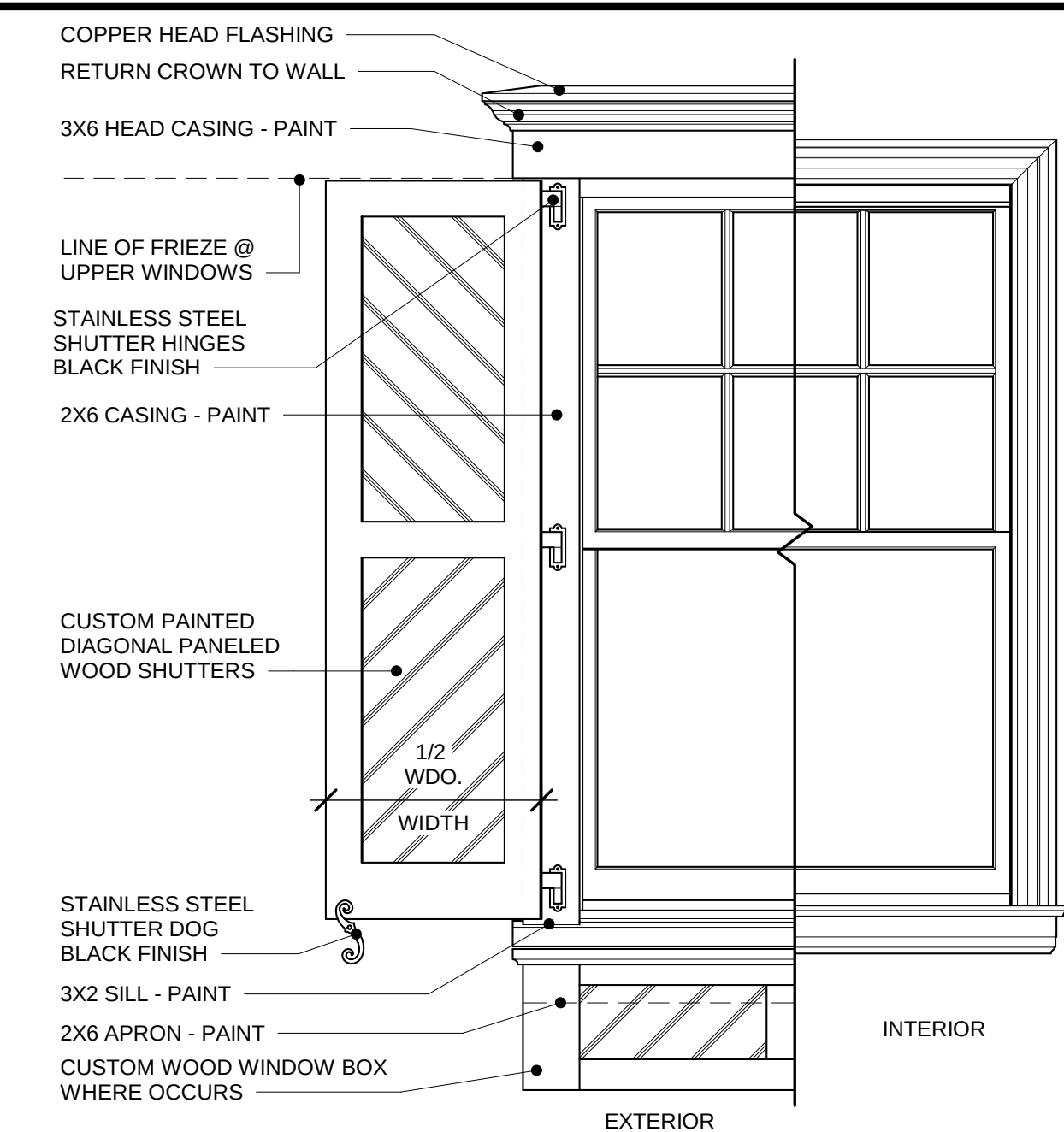
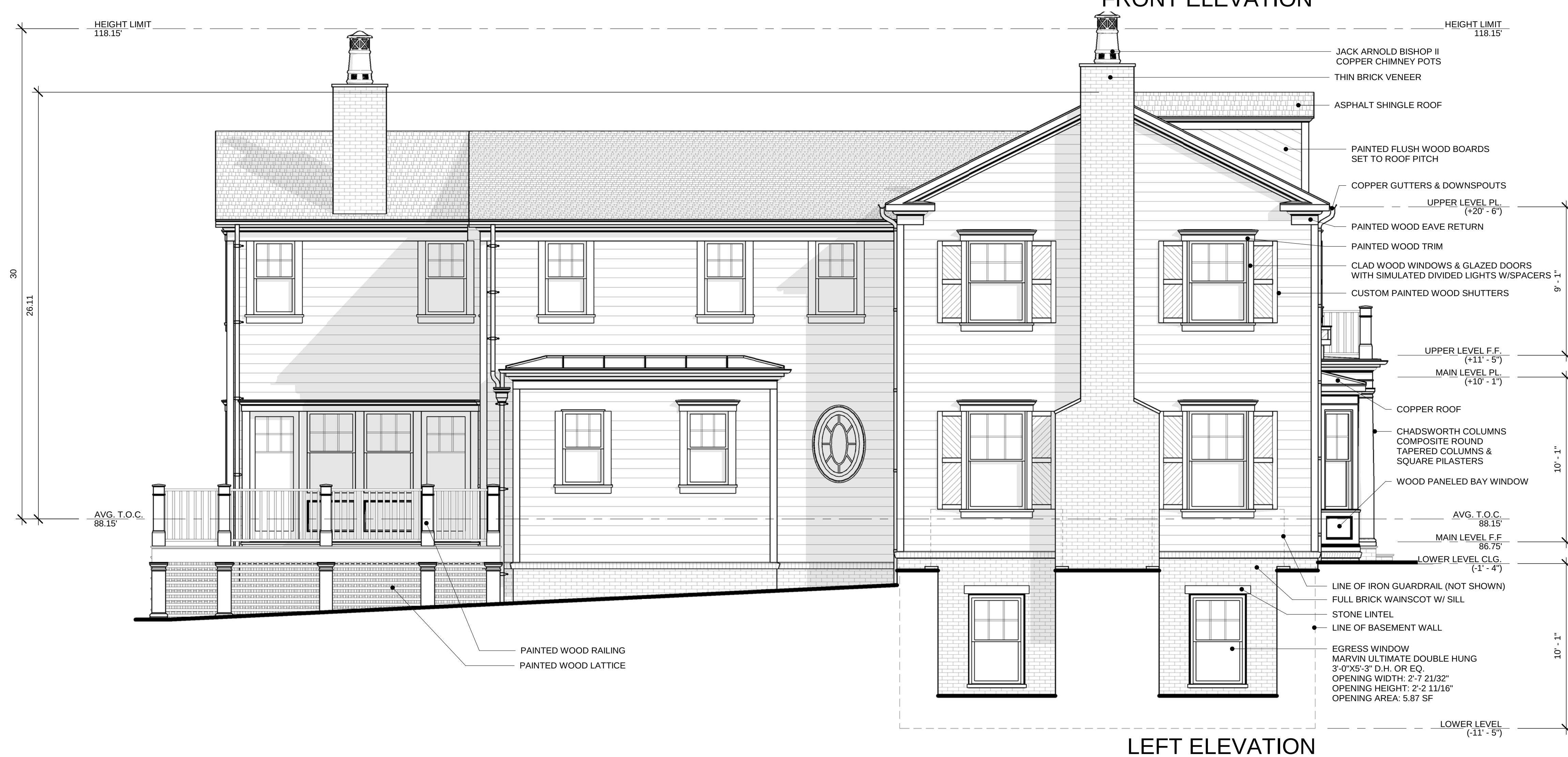


GILSON RESIDENCE
132 ELM AVENUE
BURLINGAME, CA
APN: 028-274-190

Date 8/16/19
Scale
Drawn JSS
Job 1903
Sheet
3D
of 3 Sheets

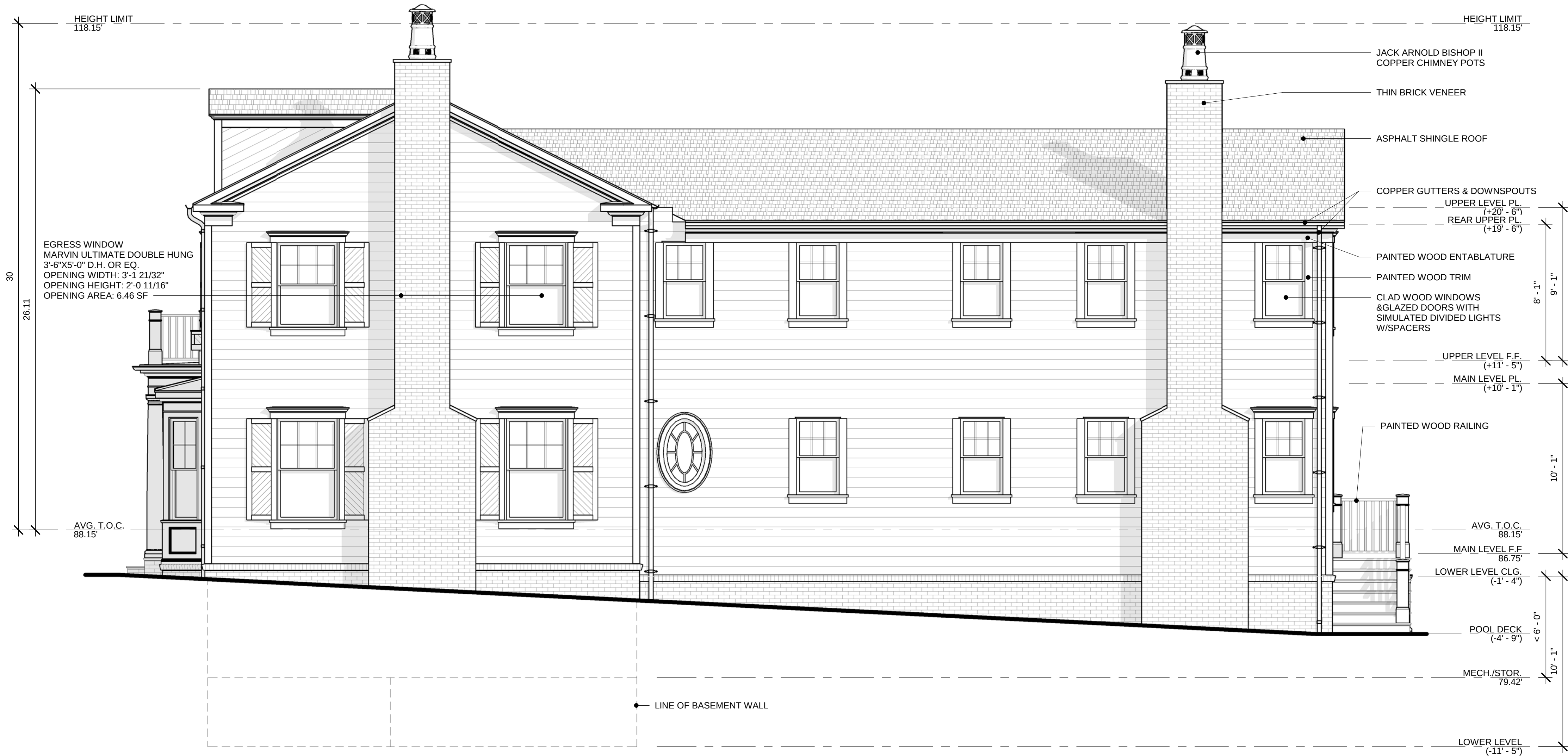
STEWART ASSOCIATES
ARCHITECTURE • INTERIORS • PLANNING
1351 LAUREL ST. SAN CARLOS, CA 94070 650-591-8283

REV	DESC.	DATE	BY

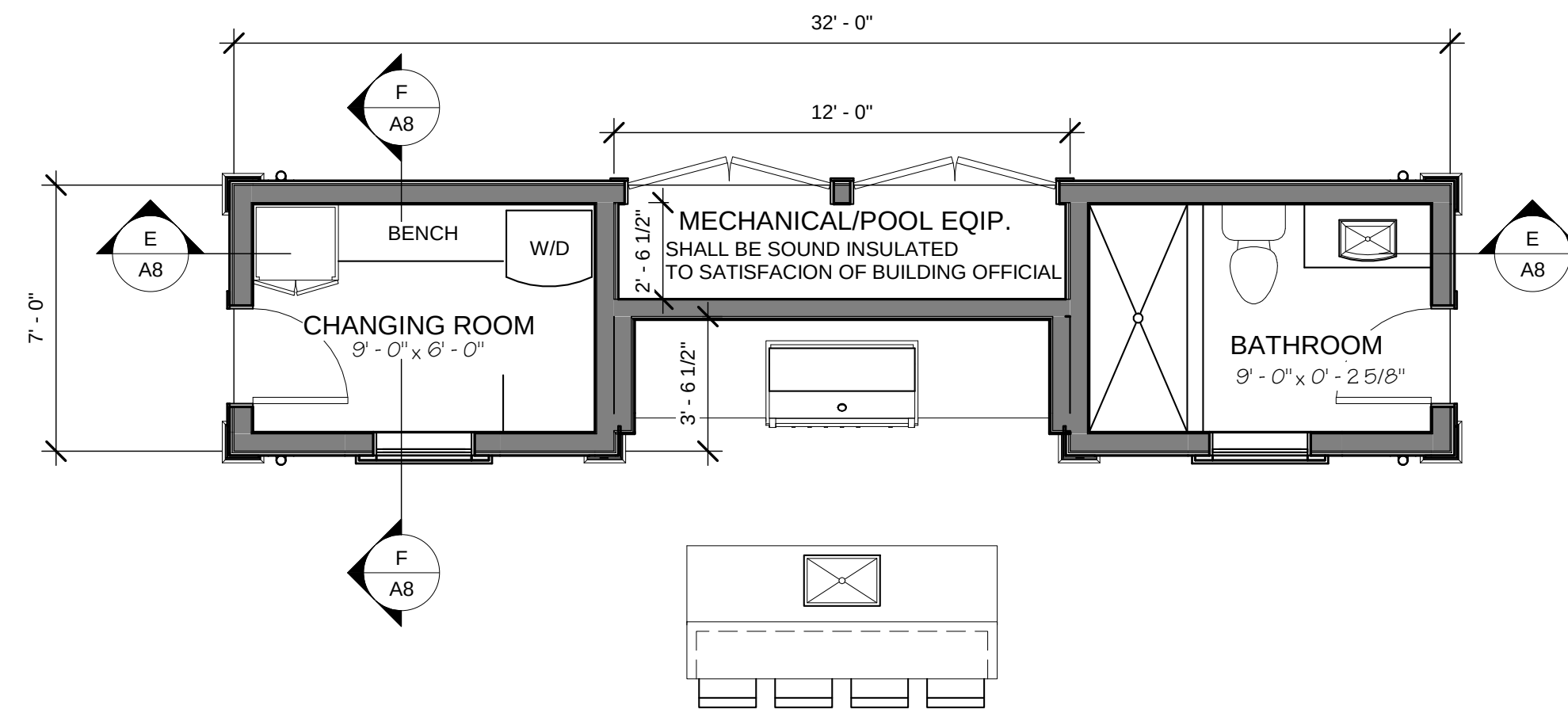




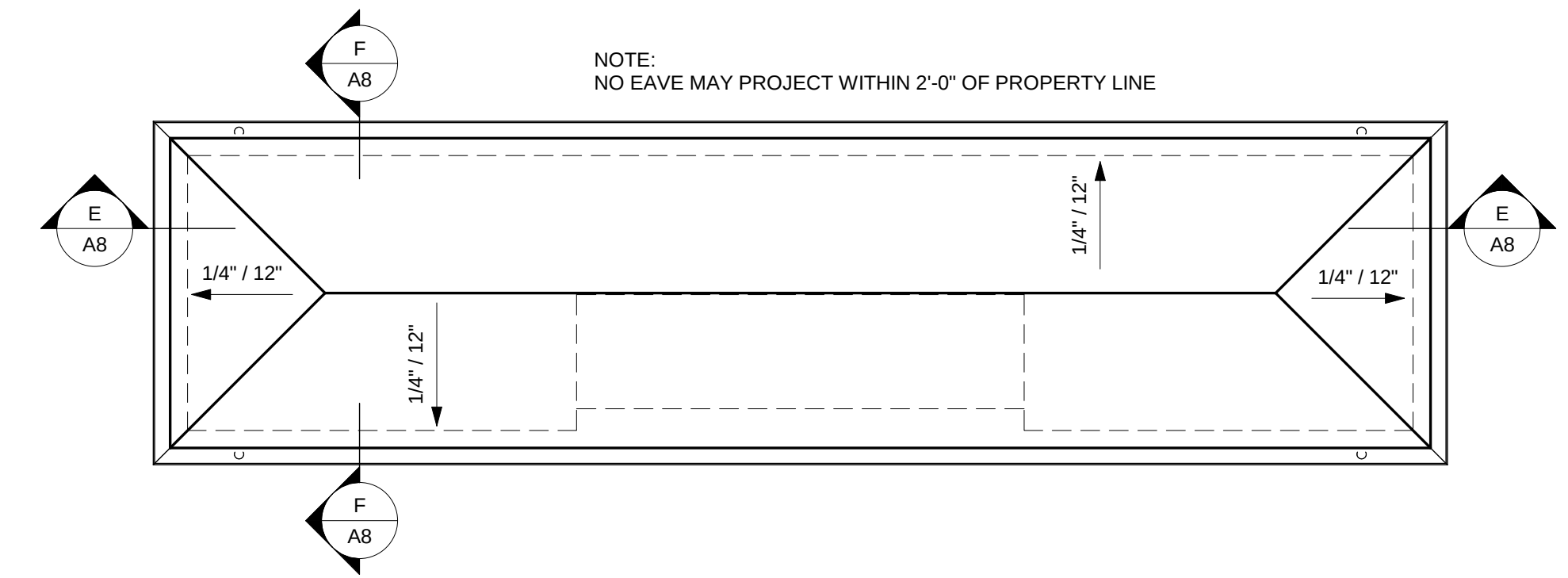
REAR ELEVATION



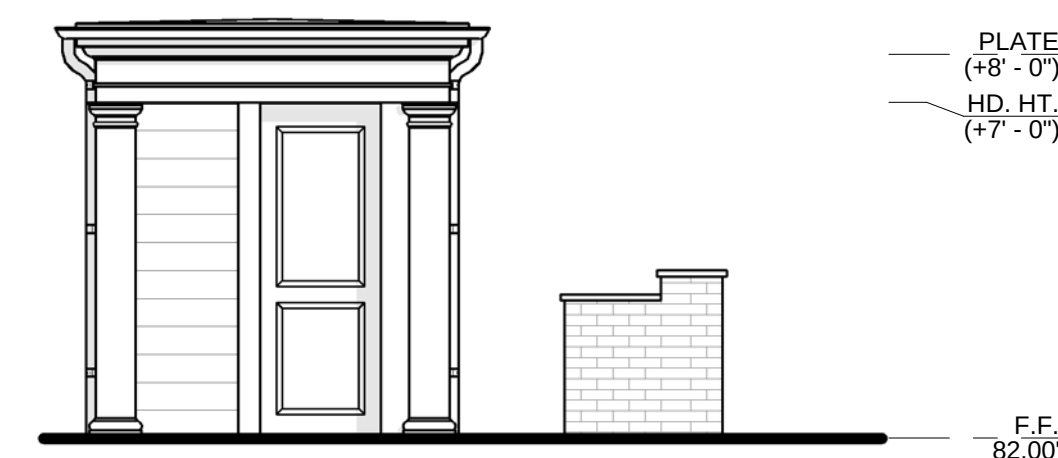
RIGHT ELEVATION



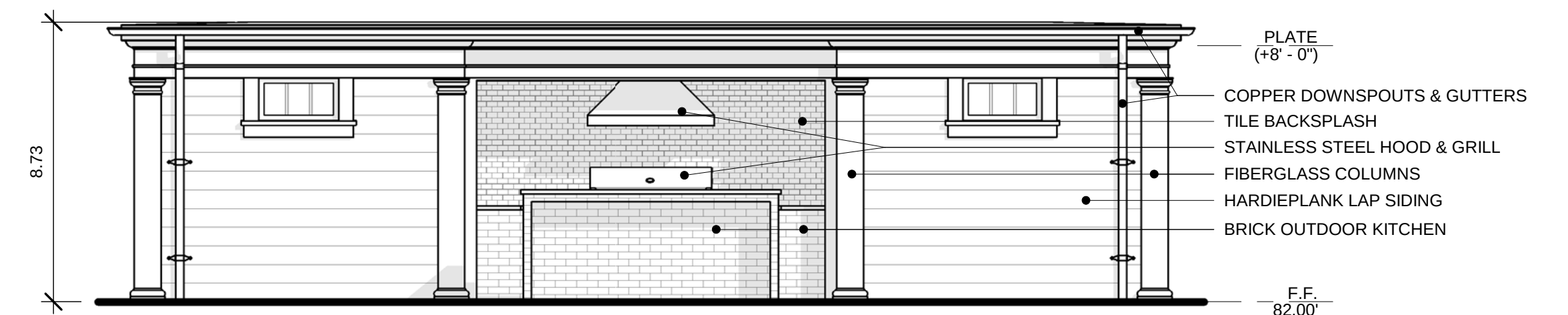
POOL STRUCTURE FLOOR PLAN



POOL STRUCTURE ROOF PLAN



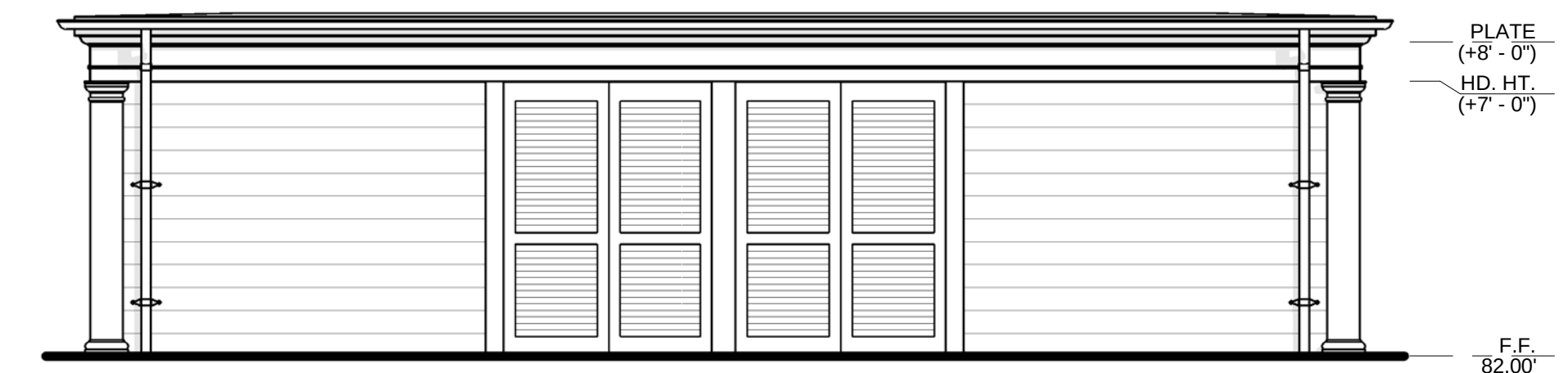
LEFT ELEVATION



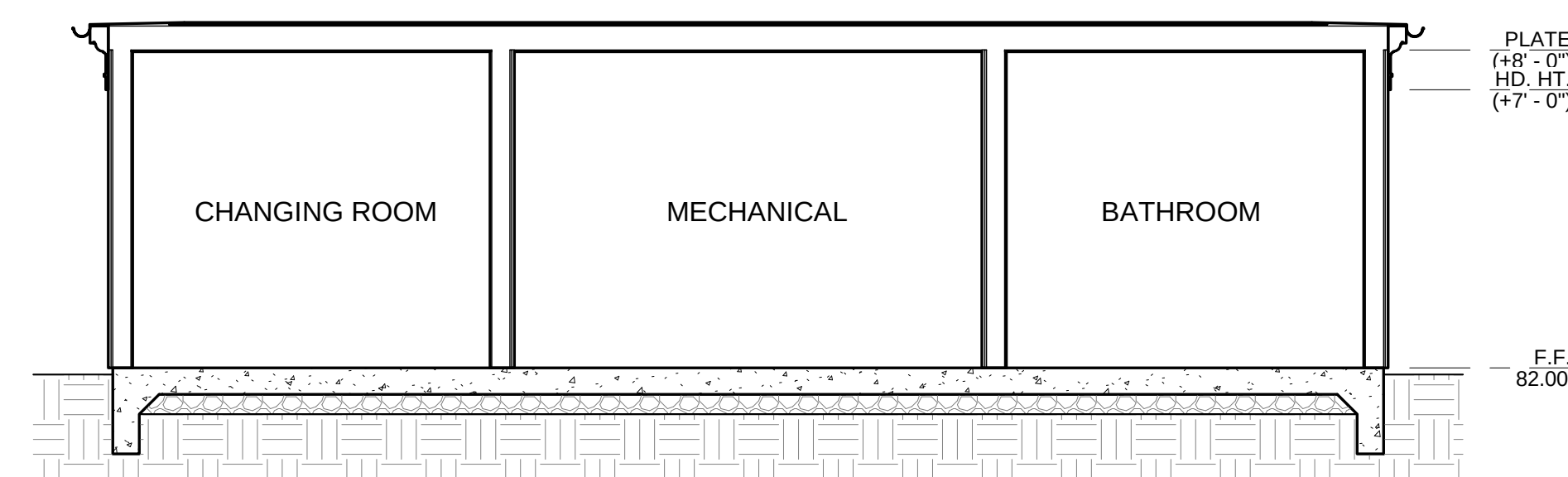
FRONT ELEVATION



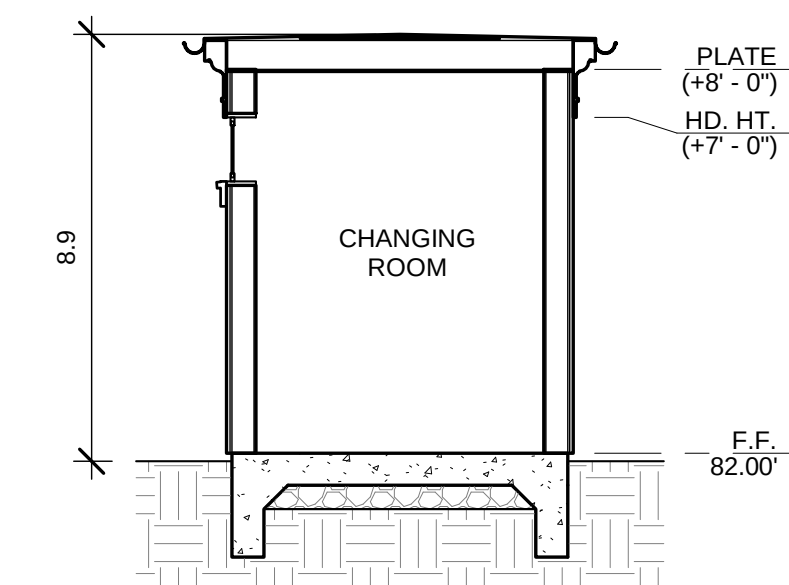
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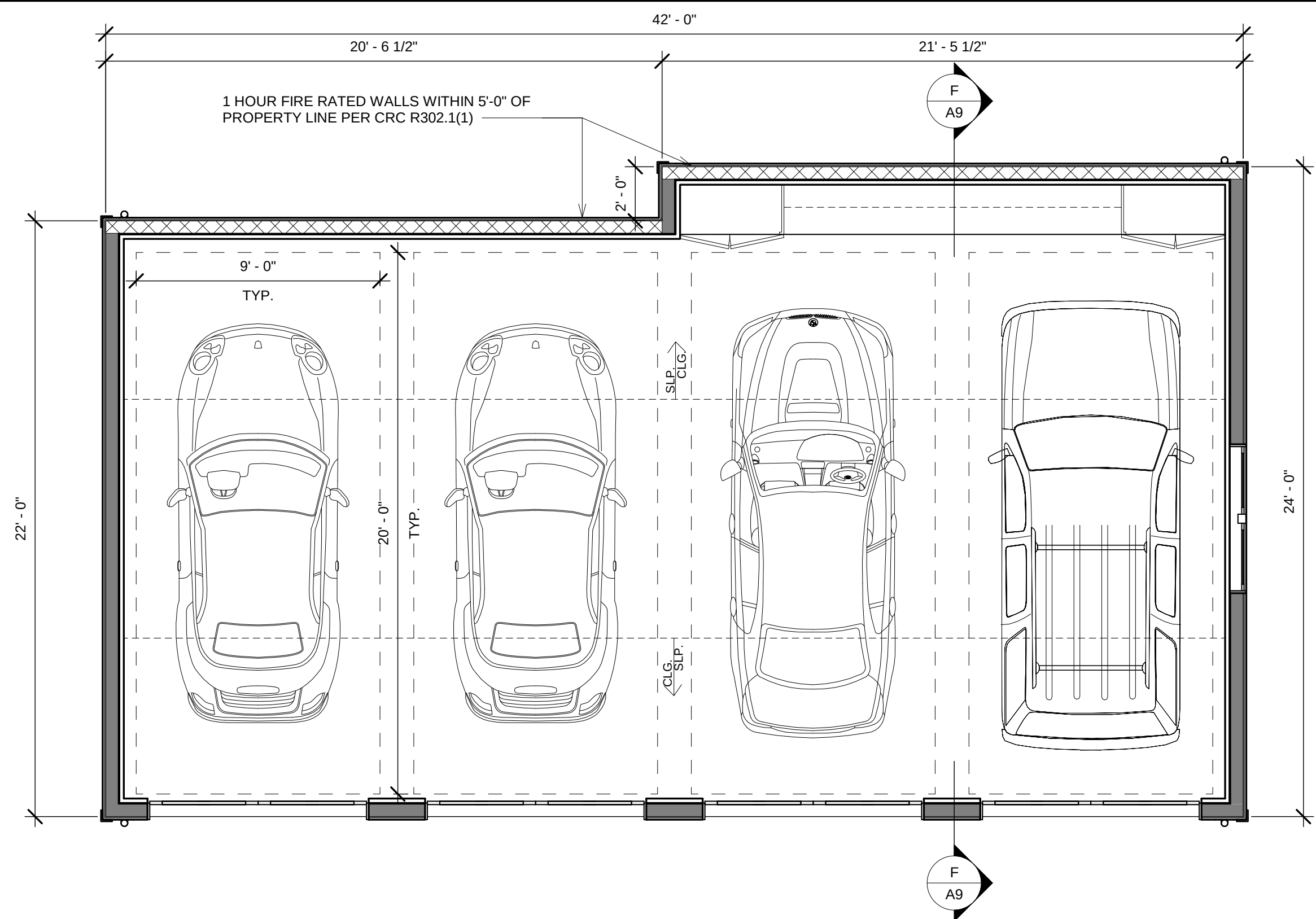
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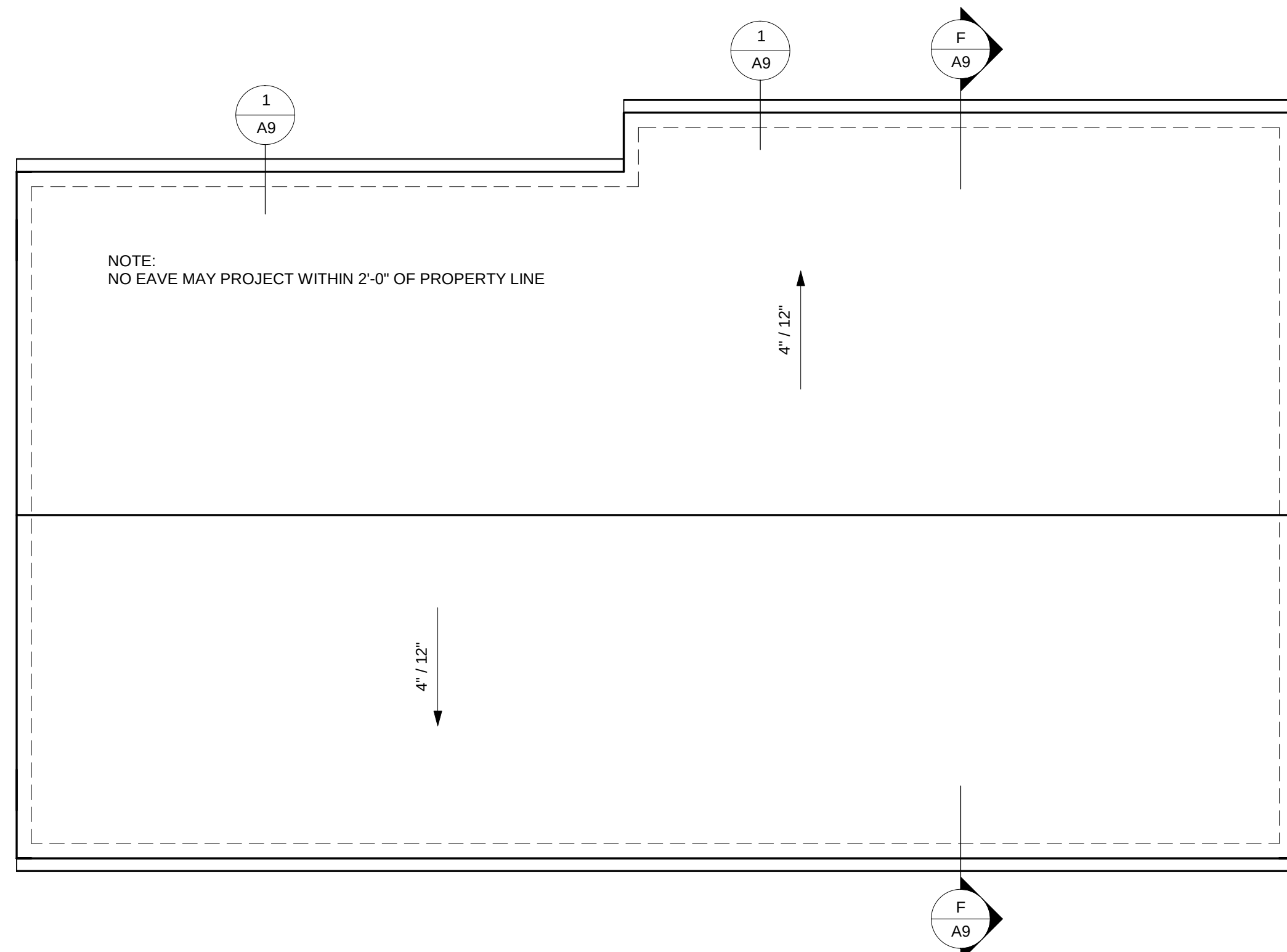
SECTION E-E



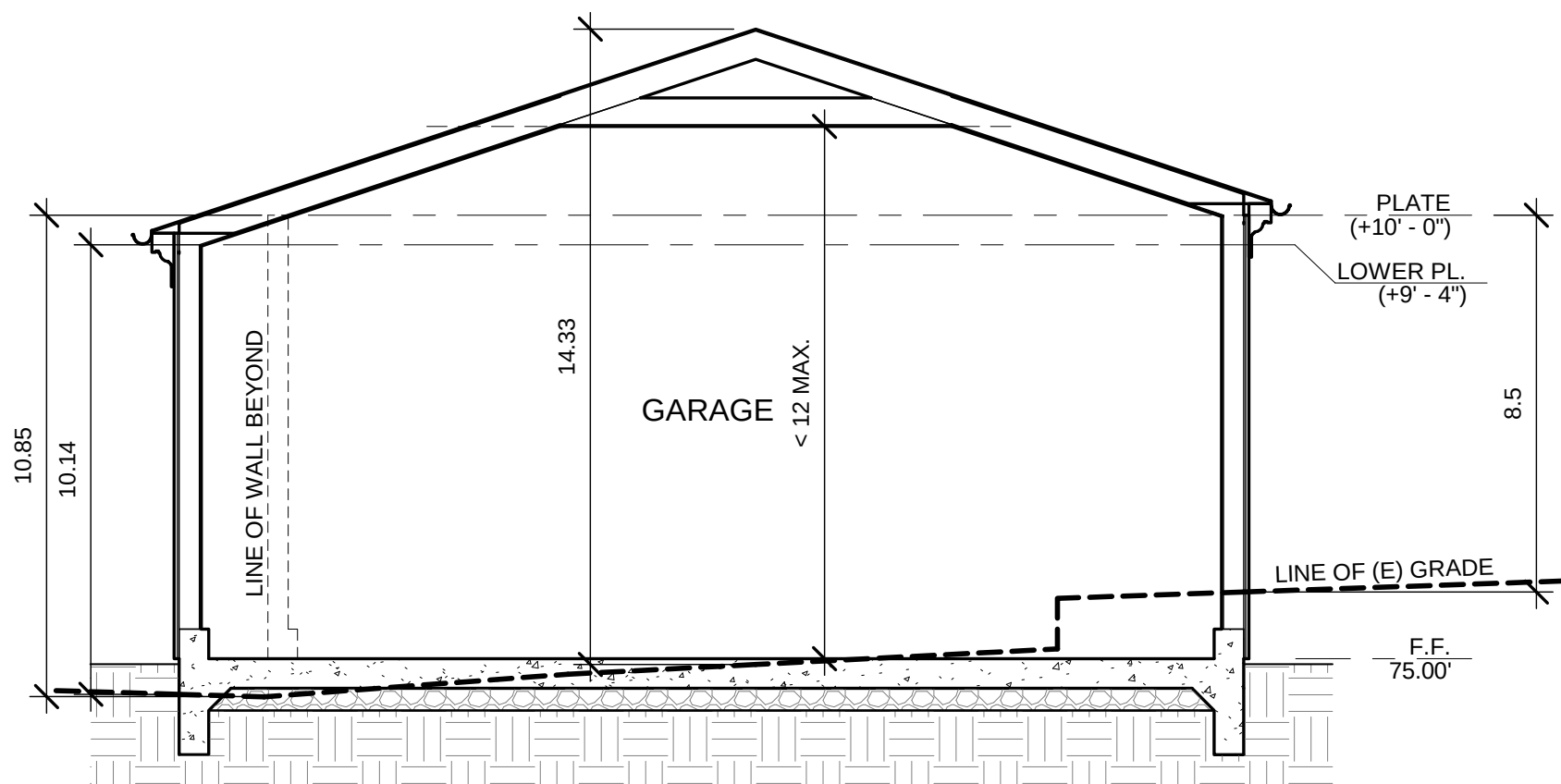
SECTION F-F



GARAGE FLOOR PLAN



GARAGE ROOF PLAN



SECTION F-F



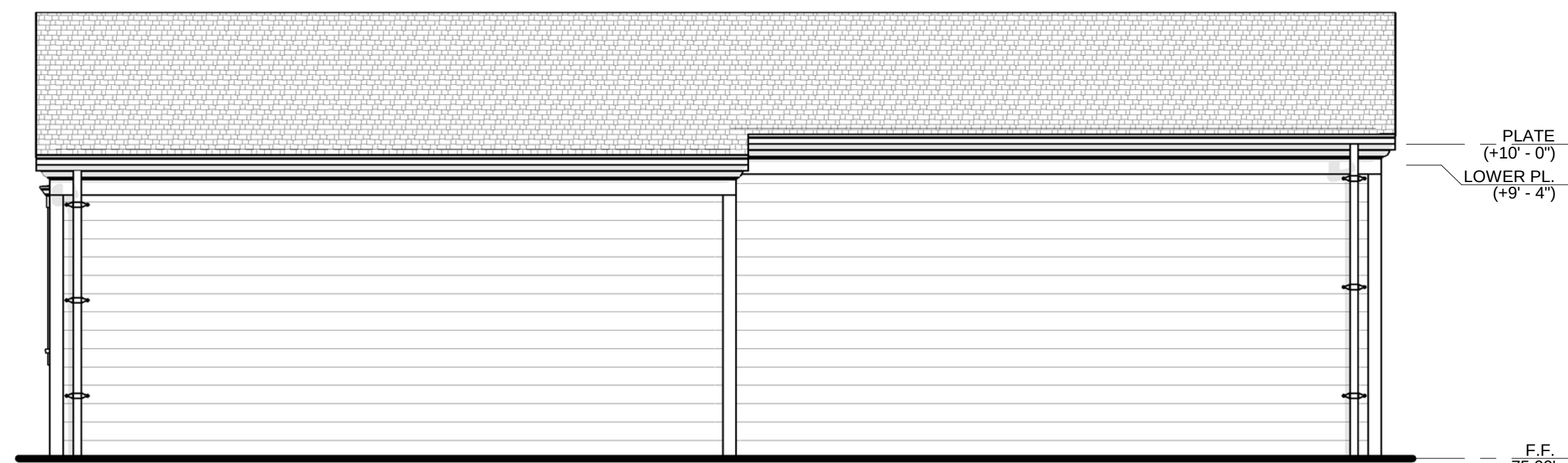
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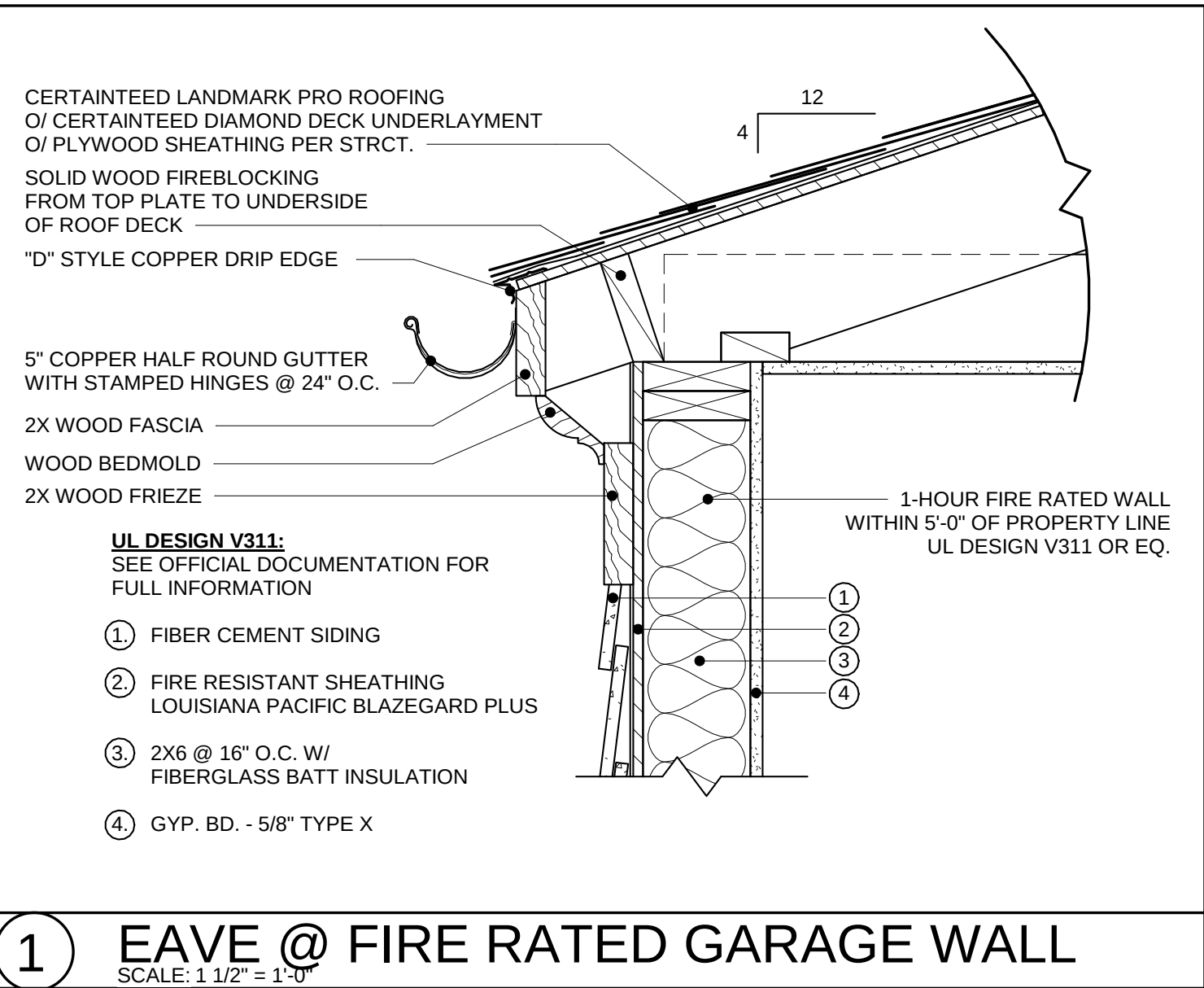
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

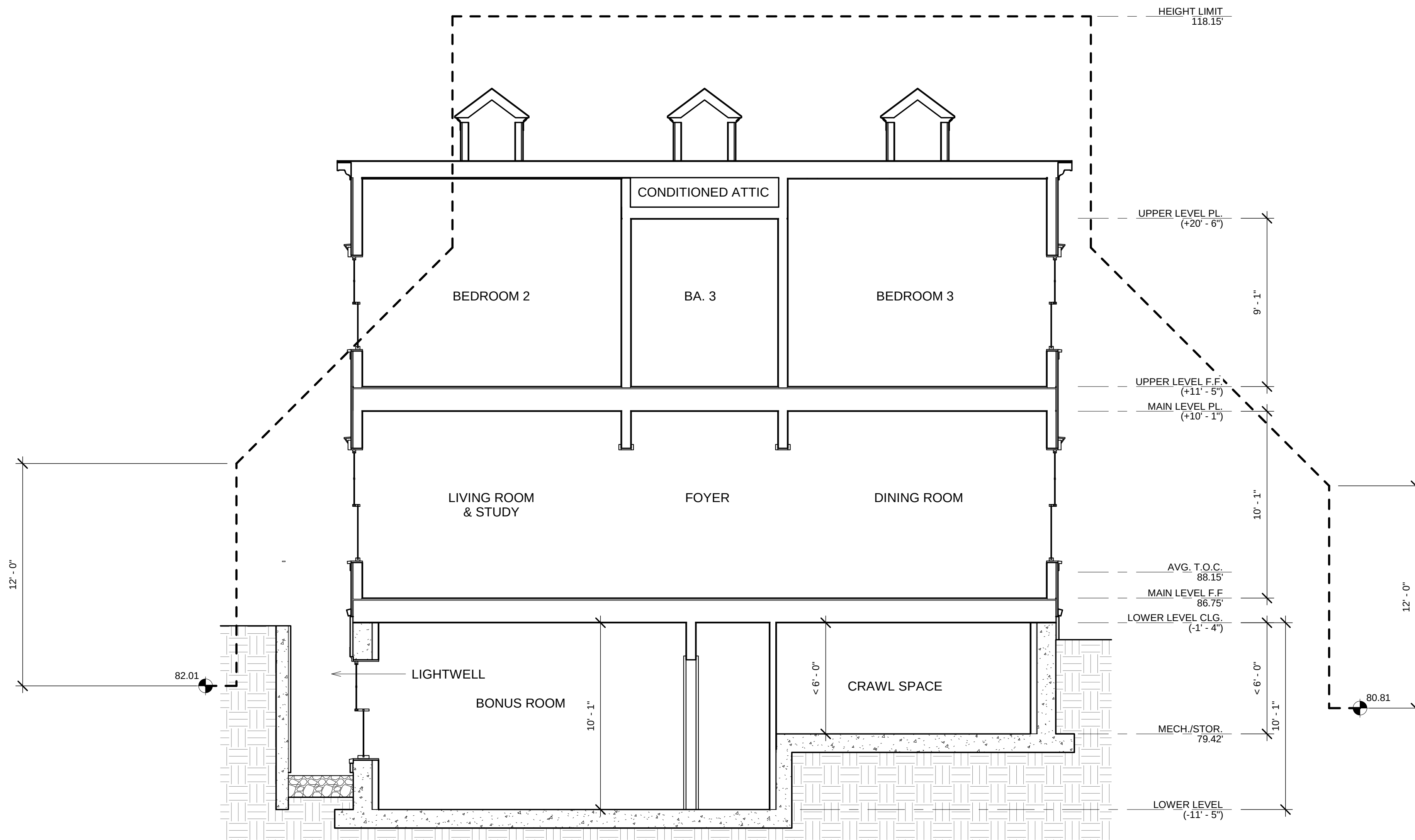


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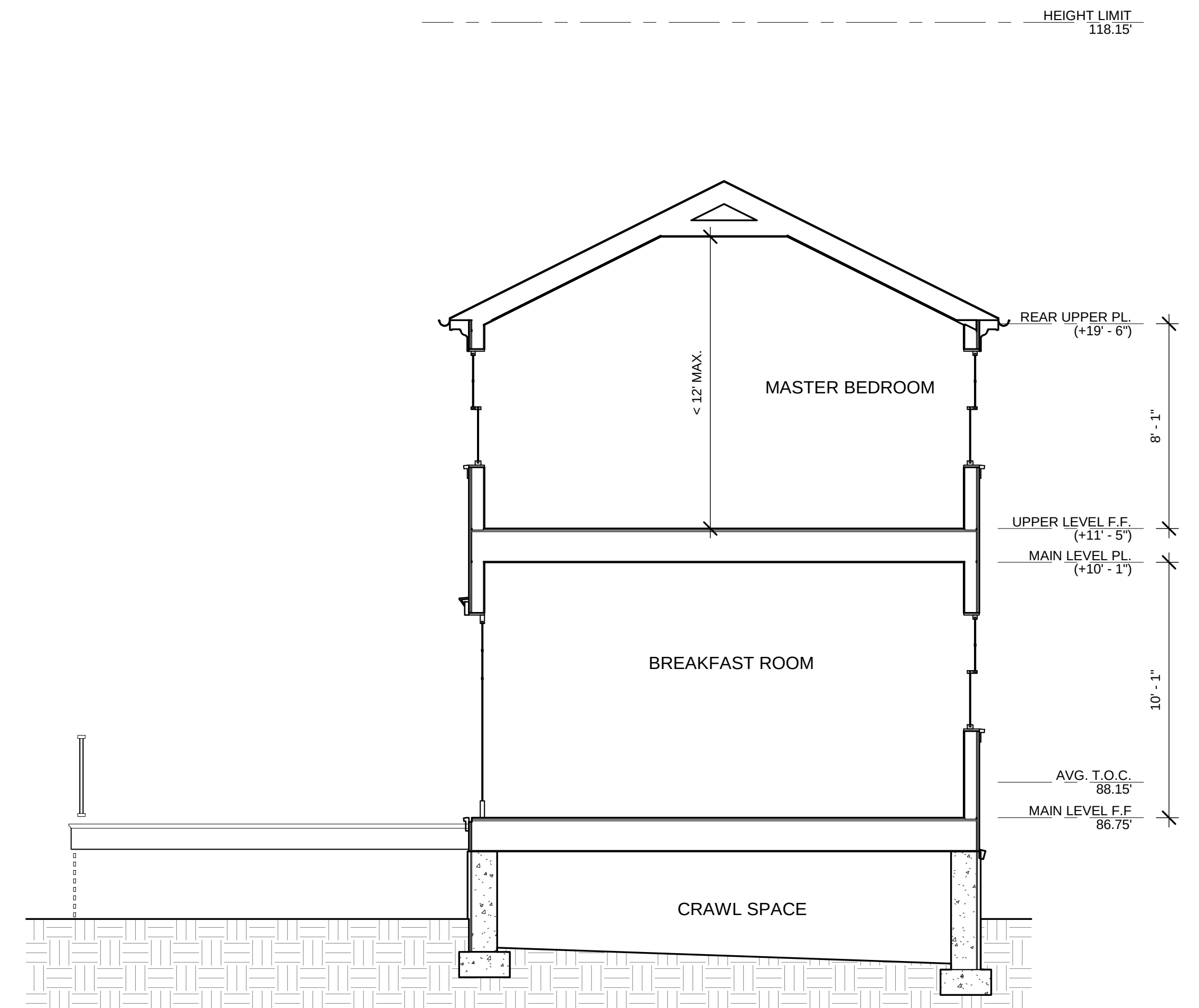
STEWART ASSOCIATES
ARCHITECTURE • INTERIORS • PLANNING
1351 LAUREL ST. SAN CARLOS, CA 94070 650-591-8283

GILSON RESIDENCE
132 ELM AVENUE
BURLINGAME, CA
APN: 028-274-190

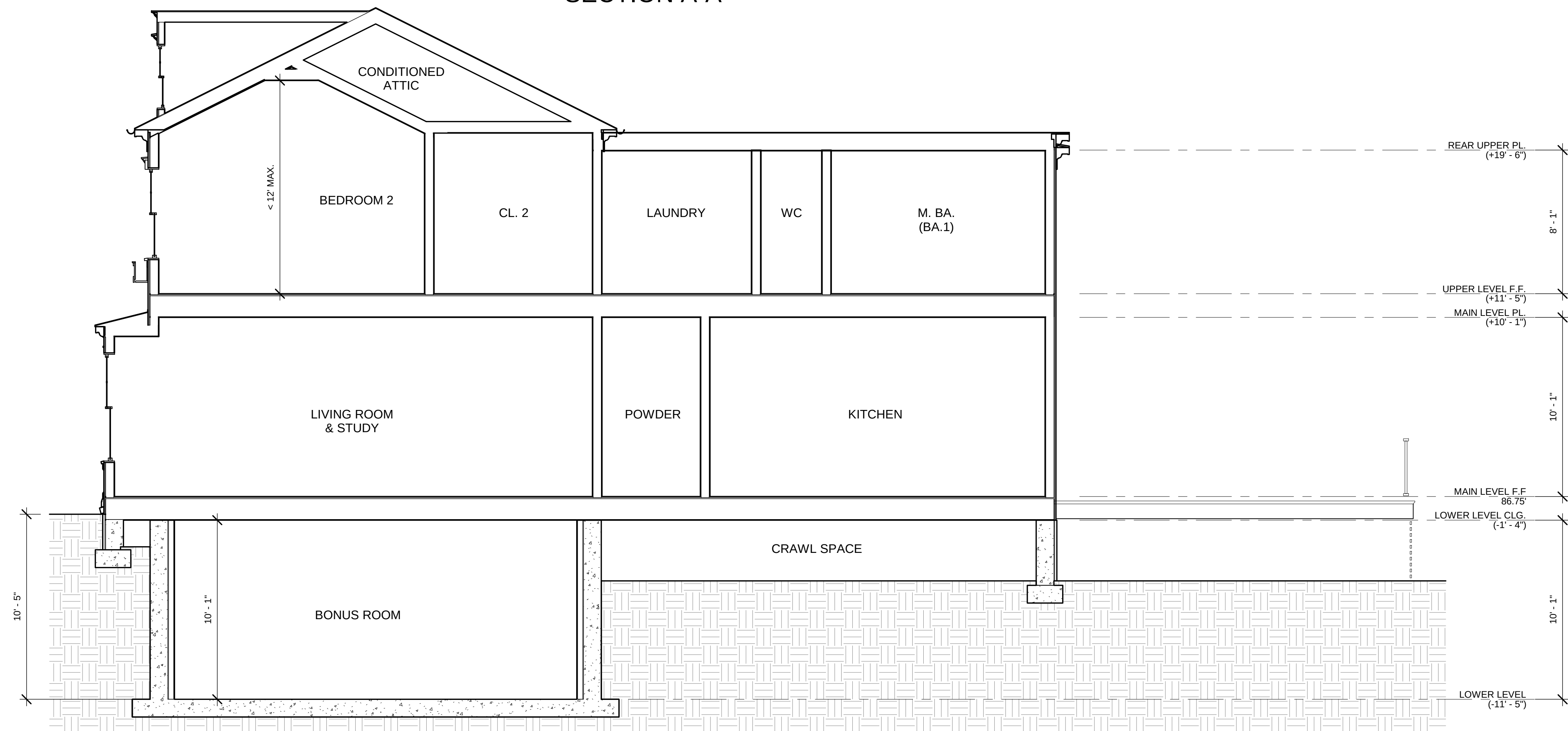
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Drawn	JSS
Job	1903
Sheet	A9
Of	Sheets



SECTION A-A



SECTION B-B



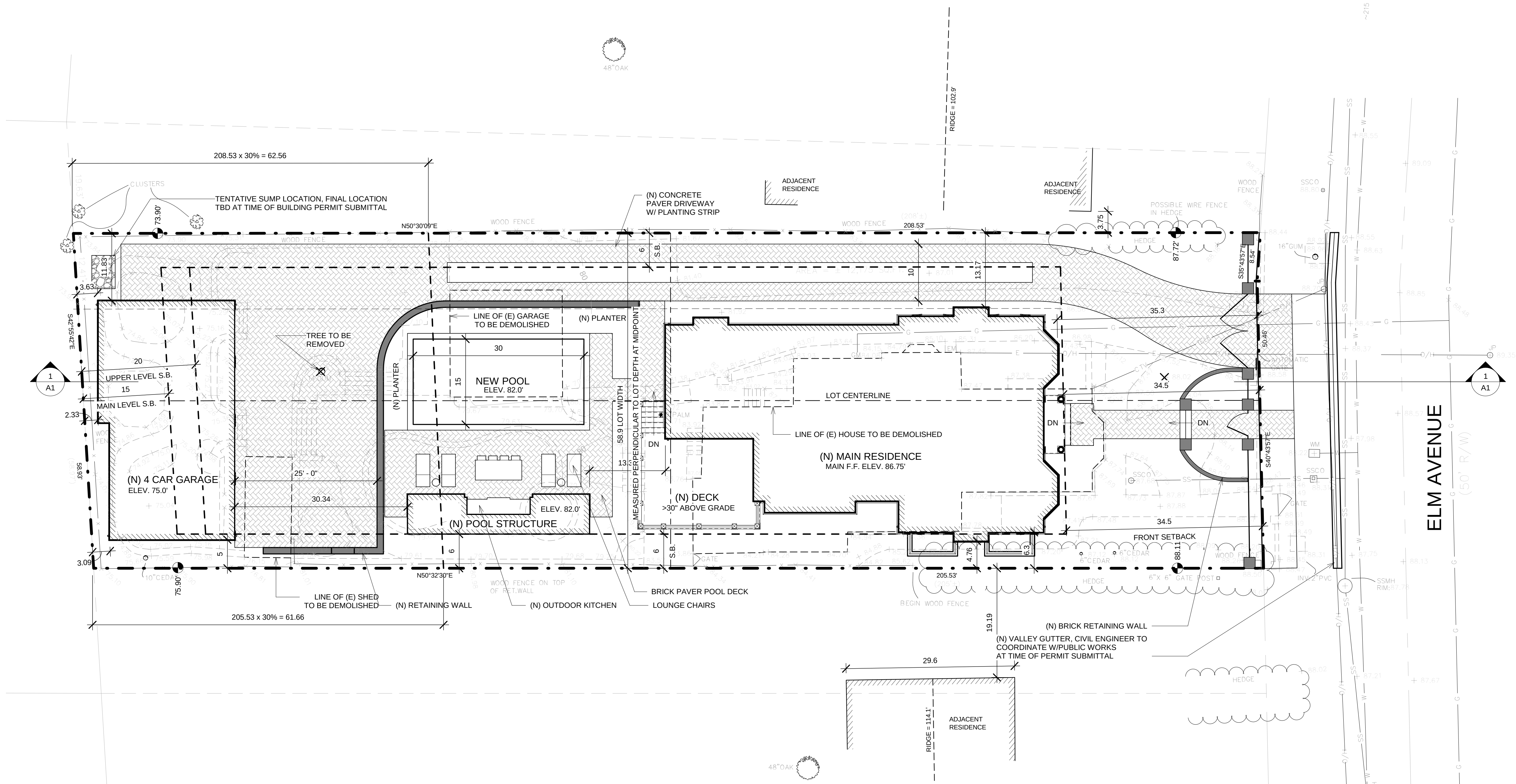
SECTION C-C

REV	DESC.	DATE	BY

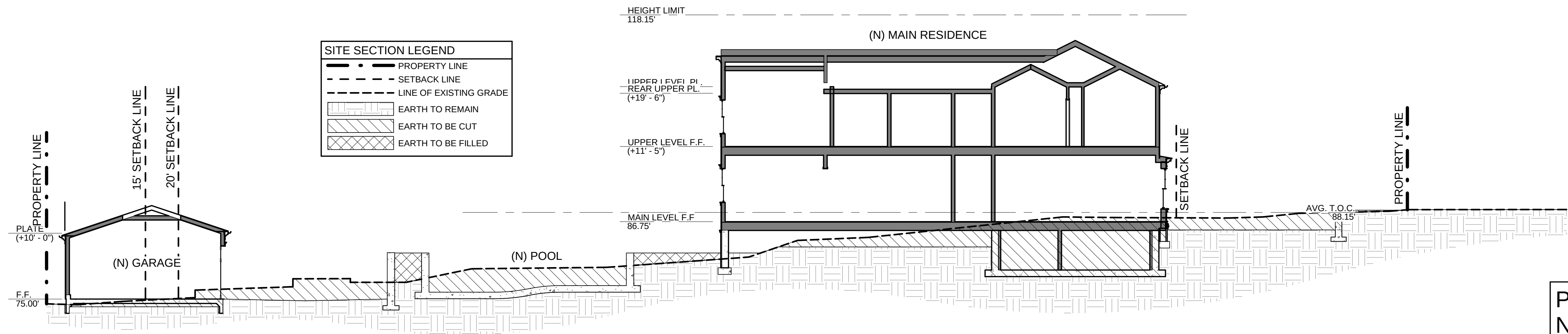
STEWART ASSOCIATES
 ARCHITECTURE • INTERIORS • PLANNING
 1351 LAUREL ST. SAN CARLOS, CA 94070 650-591-8283

GILSON RESIDENCE
 132 ELM AVENUE
 BURLINGAME, CA
 APN: 028-274-190

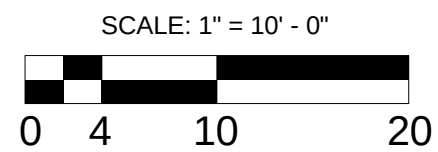
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Drawn	JSS
Job	1903
Sheet	A6
Of	Sheets



SITE PLAN



SITE SECTION 1-1



PLANNING DATA

SITE INFORMATION	
APN	028-274-190
ZONING	R1
LOT AREA	12175 SF
LOT WIDTH	58.9 FT
HEIGHT LIMITATIONS	
LIMIT	30 FT
LOT COVERAGE	
MAXIMUM	40 %
MAIN LEVEL	
POOL STRUCTURE	224 SF
GARAGE	966.9 SF
PORCHES	368.5 SF
TOTAL COVERAGE	3715.6 SF
LOT AREA	12175 SF
PROPOSED COVERAGE	30.52 %

FLOOR AREA RATIO	
MAXIMUM	32%+1100+400 SF
	5396 SF

BASEMENT AREA (>6')	
CREDIT	516 SF
NET BASEMENT	600 SF
	0 SF

NET BASEMENT	
MAIN LEVEL	0 SF
UPPER LEVEL	2156.2 SF
LIVING SUBTOTAL	2014.6 SF
POOL STRUCTURE	4170.8 SF
GARAGE	224 SF
GROSS TOTAL	966.9 SF
	5361.7 SF

SETBACK	
FRONT	35.1 FT
LOT WIDTH	58.9 FT
INTERIOR SIDE	6 FT
REAR @ 1ST FLOOR	15 FT
REAR @ 2ND FLOOR	20 FT

DECLINING HEIGHT ENVELOPE	
UP 12' ABOVE ORIGINAL EXISTING GRADE AT EACH SIDE PROPERTY LINE IN AT 45° TO INTERSECTION POINT 7 1/2 FT ABOVE SECOND STORY FINISHED FLOOR	

AVERAGE GRADE @ LEFT PROPERTY LINE	
LEFT FRONT	88.11
LEFT REAR	75.90
LEFT AVERAGE	82.01

AVERAGE GRADE @ RIGHT PROPERTY LINE	
RIGHT FRONT	87.72
RIGHT REAR	73.90
RIGHT AVERAGE	80.81

REAR YARD COVERAGE	
GARAGE	967 SF
REAR 30%	3655 SF
COVERAGE	26.46 %

AVERAGE TOP OF CURB	
LEFT	87.75 FT
RIGHT	88.55 FT
AVERAGE	88.15 FT

BUILDING CODE NOTES

THIS PROJECT WILL COMPLY WITH THE 2016 CALIFORNIA BUILDING CODE, 2016 CALIFORNIA RESIDENTIAL CODE, 2016 CALIFORNIA MECHANICAL CODE, CALIFORNIA ELECTRICAL CODE, 2016 CALIFORNIA PLUMBING CODE, INCLUDING ALL AMENDMENTS AS ADOPTED IN ORDINANCE 1889.

NOTE: IF THE PLANNING COMMISSION HAS NOT APPROVED THE PROJECT PRIOR TO 5:00 P.M. ON DECEMBER 31, 206 THEN THIS PROJECT MUST COMPLY WITH THE 2016 CALIFORNIA BUILDING CODES.

CONSTRUCTION HOURS

WEEKDAYS: 8:00 AM - 7:00 PM
SATURDAYS: 9:00 AM - 6:00 PM
SUNDAYS AND HOLIDAYS: NO WORK ALLOWED
(SEE BURLINGAME MUNICIPAL CODE, SECTION 18.07.110 FOR DETAILS.)

CONSTRUCTION HOURS IN THE PUBLIC RIGHT-OF-WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00 AM AND 5:00 PM.
(SEE CITY OF BURLINGAME MUNICIPAL CODE, SECTION 13.040.100 FOR DETAILS.)

PARKS DIVISION NOTES

ARBORIST REPORT AND TREE PROTECTION PLAN WILL BE REQUIRED IF CONSTRUCTION LOCATED IN THE DRIP ZONE OF AN EXISTING TREE THAT MEASURES 48 INCHES IN CIRCUMFERENCE AT A HEIGHT OF 54 INCHES FROM THE BASE OF THE TREE

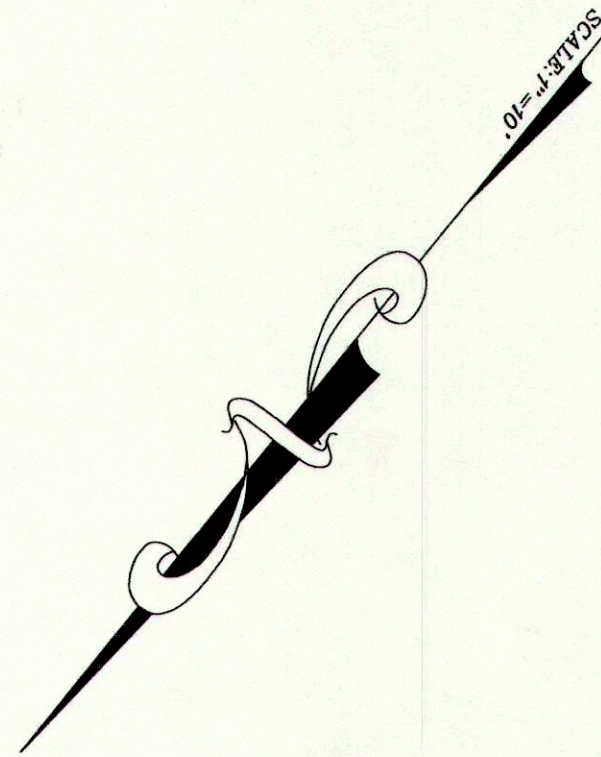
REHABILITATED LANDSCAPE MUST COMPLY WITH THE WATER CONSERVATION IN LANDSCAPE ORDINANCE AND IRRIGATION PLAN WILL BE REQUIRED FOR BUILDING PERMIT. SUBMIT WELO CHECKLIST.

REV	DESC.	DATE	BY

STEWART ASSOCIATES
ARCHITECTURE • INTERIORS • PLANNING
1351 LAUREL ST. SAN CARLOS, CA 94070 650-591-8283

GILSON RESIDENCE
132 ELM AVENUE
BURLINGAME, CA
APN: 028-274-190

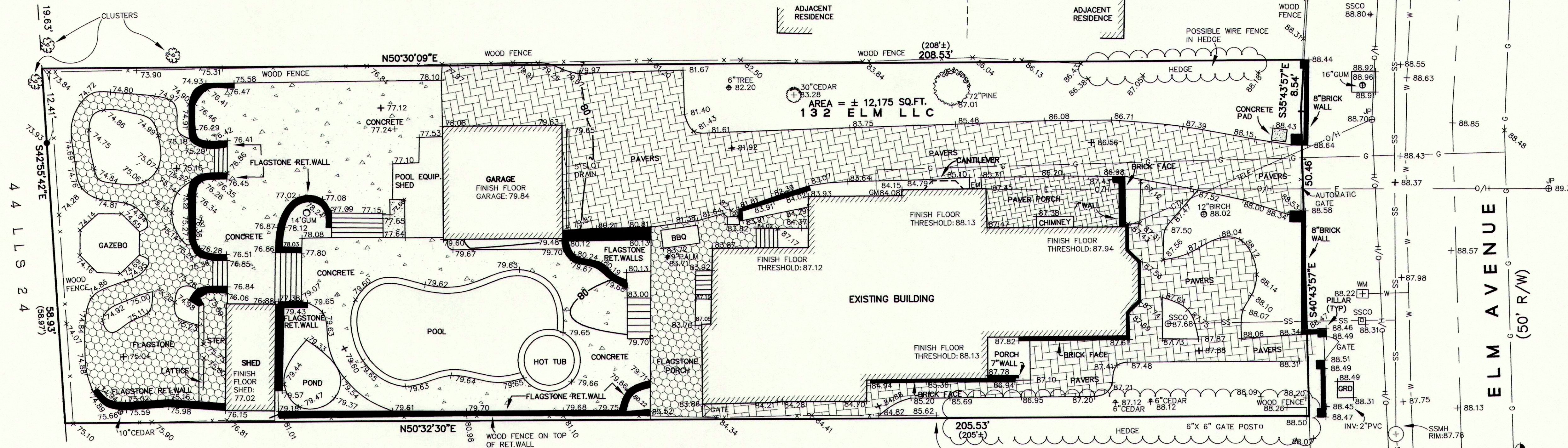
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Scale	1" = 10'-0"
Drawn	JSS
Job	1903
Sheet	A1
of	Sheets



L.O. FISCHER
DOC # 97-089882 O.R.



TREE NOTE:
THE SIZE AND LOCATION OF TREES SHOWN OUTSIDE THE SUBJECT PROPERTY ARE APPROXIMATE.

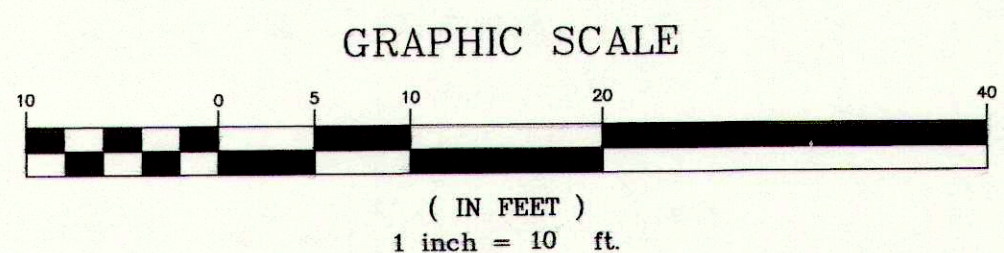


44 LLS 24

LOT 14
RIDGE = 102.9'

LOT 16
RIDGE = 114.1'

L.O. BEAULAUJER
DOC # 2017-116495 O.R.



REVISION: 4/26/2019 - ADD ADJACENT TREES AND HOUSE RIDGES

BOUNDARY NOTE:
MONUMENTS WILL BE SET AT THE PROPERTY CORNERS AND A RECORD OF SURVEY OR CORNER RECORD WILL BE FILED WITH THE COUNTY OF SAN MATEO.

BASIS OF ELEVATIONS:
ELEVATIONS ARE BASED UPON AN ASSUMED DATUM.
TBM: SET MAG NAIL AND SHINER ALONG ELM AVENUE
ELEVATION = 87.60'

AVERAGE SETBACKS :

ADDRESS	DISTANCE
#110	39.0'
#120	26.8'
#128	29.9'
#132	27.6'
#146	44.1'
#148	48.2'
#152	52.6'
#156	28.1'
#158	23.3'
#160	29.6'
#172	36.8'
AVERAGE:	35.1'

LEGEND:
FOUND 3/4" IP W/ PLASTIC PLUG "LS 7701" AND TACK (SET PER 44 LLS 24) UNLESS OTHERWISE NOTED

A/C	ASPHALTIC CONCRETE
BW	BACK OF WALK
CB	CATCH BASIN
CIP	CAST IRON PIPE
CMF	CORRUGATED METAL PIPE
CONC	CONCRETE
CO	CLEAN-OUT
DI	DROP INLET
EM	ELECTRIC METER
FD	FOUND
FL	FINISHED FLOOR
FL	FLOW LINE
FI	FIRE HYDRANT
GA	GUY ANCHOR
GM	GAS METER
GRD	GROUND
HCR	HANDICAP RAMP
IP	IRON PIPE
JP	JOINT POLE
LAT.	LATERAL
LG	LIP OF GUTTER
O/H	OVERHEAD
P.U.E.	PUBLIC UTILITIES EASEMENT
RCP	REINFORCED CONCRETE PIPE
RET. WALL	RETAINING WALL
R/W	RIGHT OF WAY
SSCO	SANITARY SEWER CLEAN-OUT
SSMH	SANITARY SEWER MANHOLE
TBC	TOP BACK OF CURB
T/W	TOP OF WALL
U/G	UNDERGROUND
VCP	VITRIFIED CLAY PIPE
WM	WATER VALVE
WM	WATER METER BOX
-G-	CABLE TELEVISION LINE
-E-	ELECTRICAL LINE
-G-	GAS LINE
-SS-	SANITARY SEWER LINE
-SD-	STORM DRAIN LINE
-T-	TELEPHONE LINE
-W-	WATER LINE

UTILITY NOTE:
THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.



BOUNDARY AND TOPOGRAPHIC SURVEY
LANDS OF 132 ELM LLC
DOCUMENT #2019-006378 O.R.
A PORTION OF LOT 15, BLOCK 1
"MAP OF SUBDIVISION NO. 3 OF BURLINGAME PARK"
VOLUME 3 OF MAPS AT PAGE 84
ASSESSOR'S PARCEL NUMBER: 028-274-190
(132 ELM AVE)
BURLINGAME SAN MATEO COUNTY CALIFORNIA
SCALE: 1" = 10' FEBRUARY, 2019
B & H SURVEYING, INC.
PROFESSIONAL LAND SURVEYING
901 WALTERMIRE ST.
BELMONT, CA 94002
OFFICE (650) 637-1590
FAX (650) 637-1059