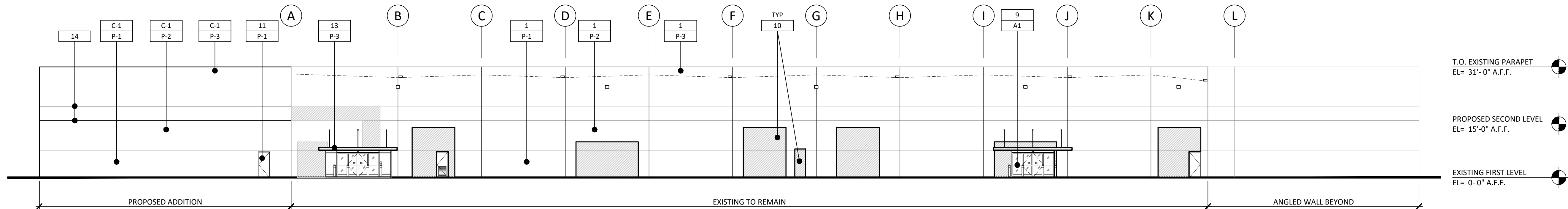
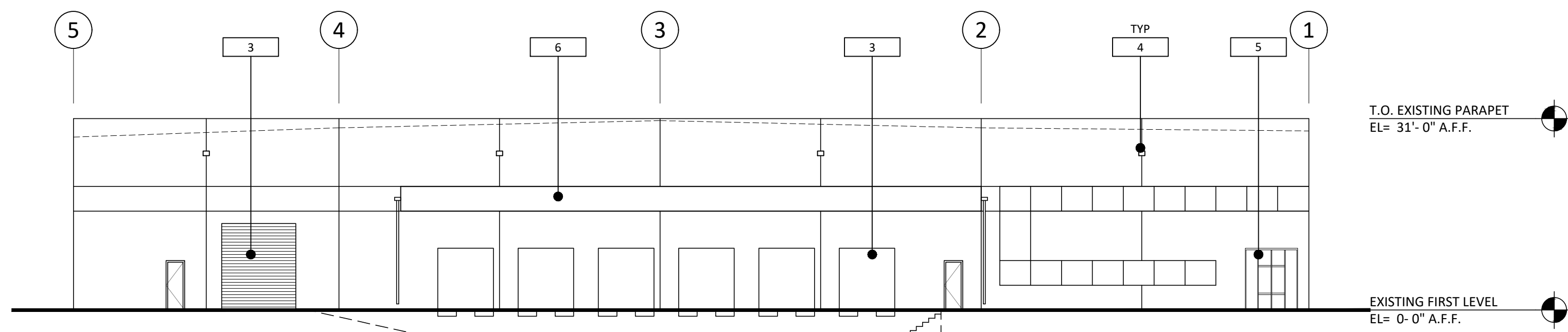


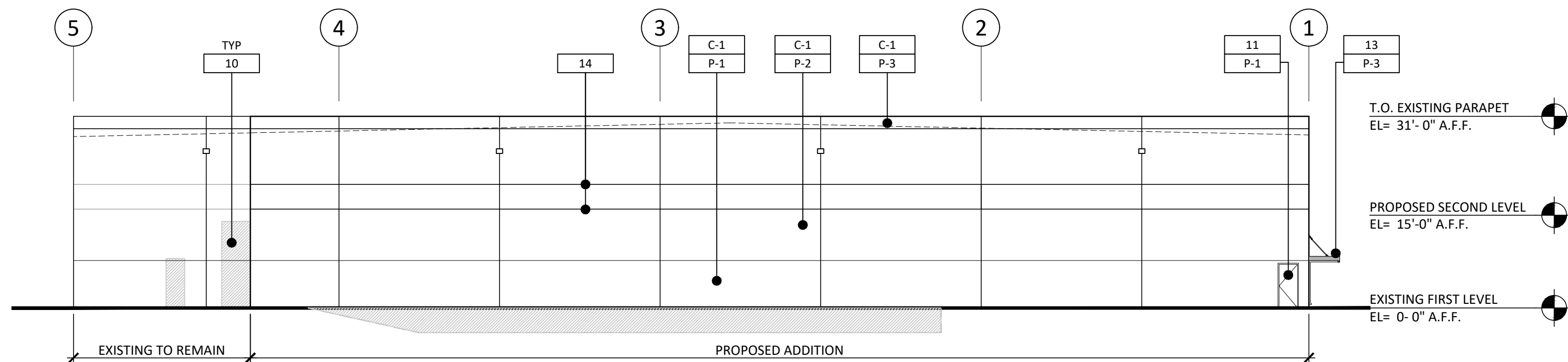
EXISTING NORTHEAST ELEVATION



PROPOSED NORTHEAST ELEVATION



EXISTING SOUTHEAST ELEVATION



PROPOSED SOUTHEAST ELEVATION

COLOR AND MATERIAL:

A1	CLEAR ANODIZED ALUMINUM
C-1	8" SPLIT FACE CMU, WITH STUCCO FINISH
P-1	PAINT "ROLLER COASTER" PPG 1008-5
P-2	PAINT "MOTH GRAY" PPG 14-29
P-3	PUBLIC STORAGE ORANGE

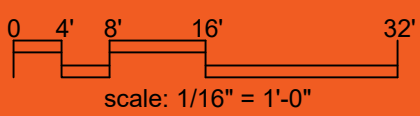
KEYNOTES:

1	EXISTING TILT-UP CONCRETE WALL TO REMAIN, PAINT
2	EXISTING DOWNSPOUT TO REMAIN, PAINT TO MATCH ADJACENT SURFACE
3	EXISTING METAL ROLL-UP DOOR
4	EXISTING LIGHT FIXTURE TO REMAIN
5	EXISTING STOREFRONT
6	EXISTING CANOPY
7	EXISTING OVERFLOW
8	NEW 8" CMU WALL WITH SMOOTH STUCCO FINISH
9	NEW 12' SLIDER
10	INFILL EXISTING OPENING
11	EXTERIOR DOOR, PAINT TO MATCH ADJACENT SURFACE
12	STOREFRONT GLAZING
13	MAPES ARCHITECTURAL LUMISHADE CANOPY WITH INTEGRATED DOWNSPOUT
14	REVEAL TO MATCH EXISTING



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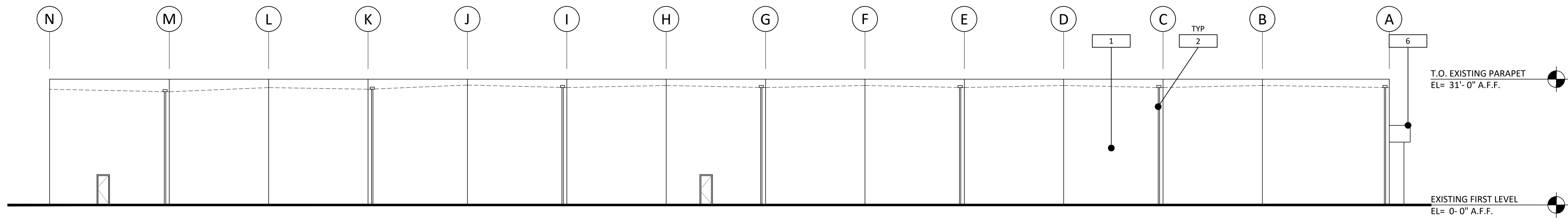
EXISTING AND PROPOSED ELEVATIONS
07.26.19



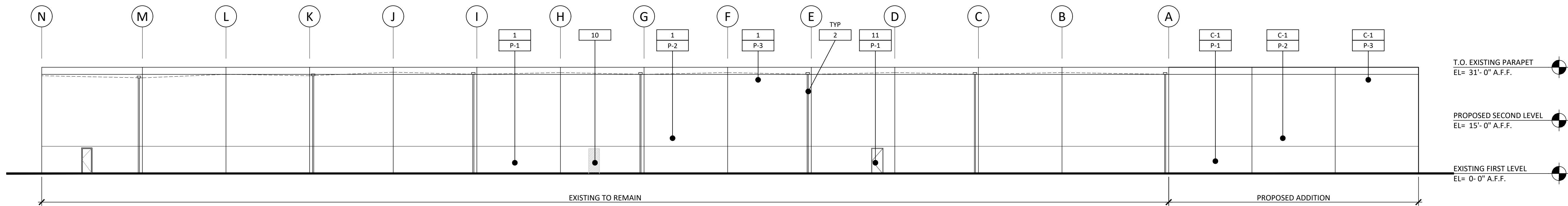
SHEET 11

KSP

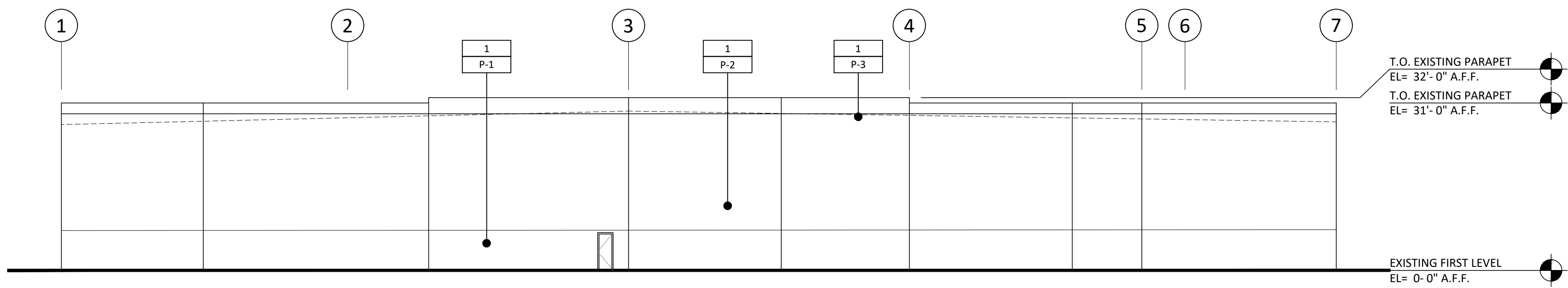
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23 ORCHARD ROAD, SUITE 200
LAKE FOREST, CA 92630
T 949.380.3970 F 949.380.3771



EXISTING SOUTHWEST ELEVATION



PROPOSED SOUTHWEST ELEVATION



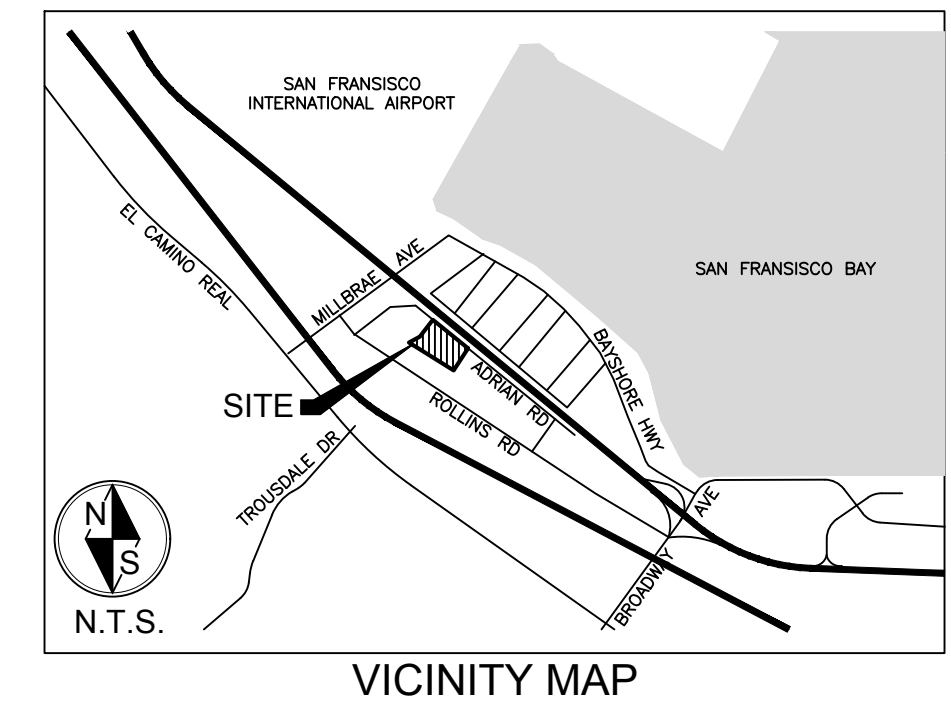
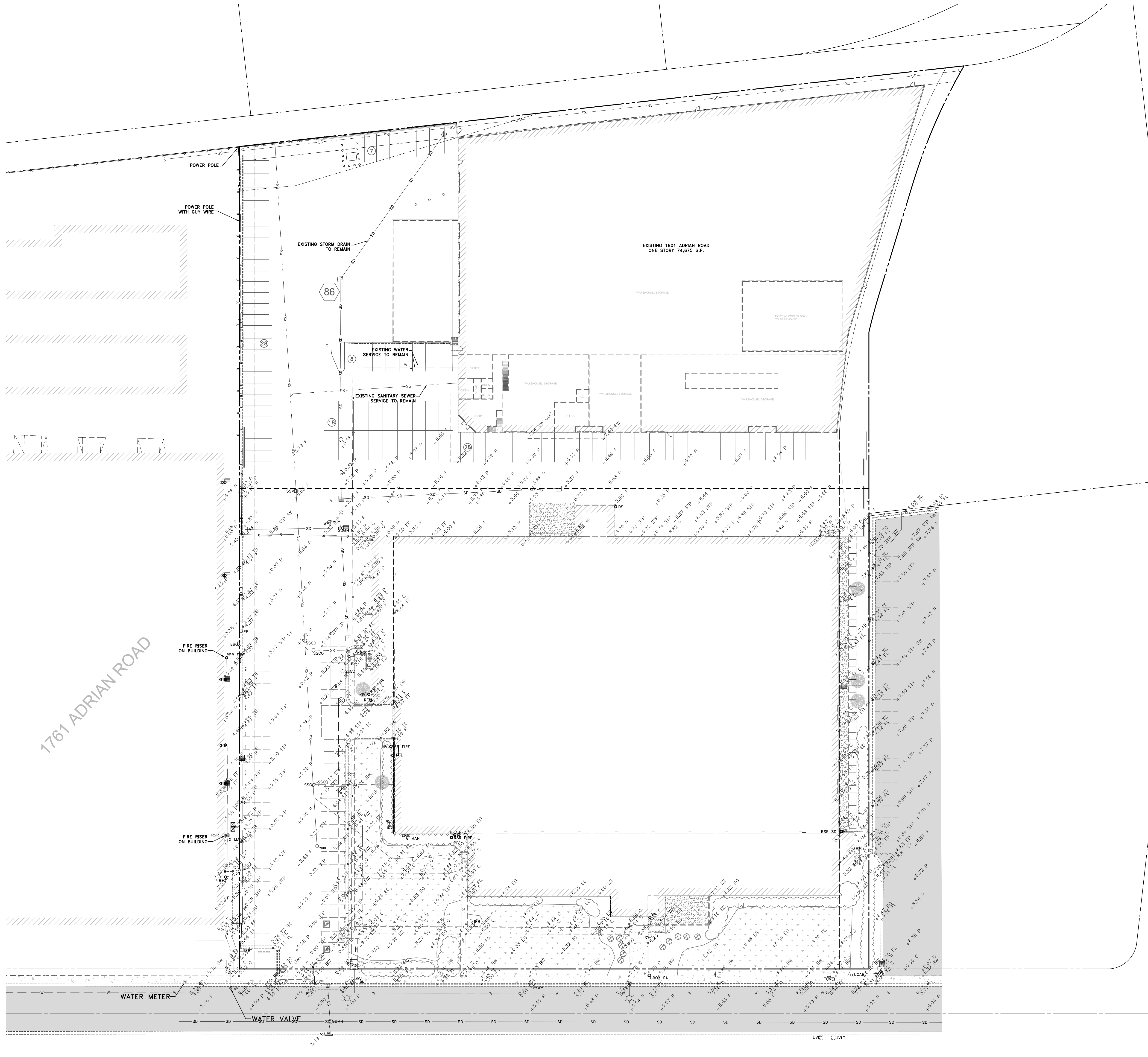
EXISTING NORTHWEST ELEVATION (NO CHANGE)

COLOR AND MATERIAL:

A1	CLEAR ANODIZED ALUMINUM
C-1	8" SPLIT FACE CMU, WITH STUCCO FINISH
P-1	PAINT 'ROLLER COASTER' PPG 1008-S
P-2	PAINT 'MOTH GRAY' PPG 14-29
P-3	PUBLIC STORAGE ORANGE

KEYNOTES:

1	EXISTING TILT-UP CONCRETE WALL TO REMAIN, PAINT
2	EXISTING DOWNSPOUT TO REMAIN, PAINT TO MATCH ADJACENT SURFACE
3	EXISTING METAL ROLL-UP DOOR
4	EXISTING LIGHT FIXTURE TO REMAIN
5	EXISTING STOREFRONT
6	EXISTING CANOPY
7	EXISTING OVERFLOW
8	NEW 8" CMU WALL WITH SMOOTH STUCCO FINISH
9	NEW 12' SLIDER
10	INFILL EXISTING OPENING
11	EXTERIOR DOOR, PAINT TO MATCH ADJACENT SURFACE
12	STOREFRONT GLAZING
13	MAPES ARCHITECTURAL LUMISHADE CANOPY WITH INTEGRATED DOWNSPOUT



PROJECT DATA:

BASIS OF BEARING:
THE FACE OF CURB ALONG THE SOUTH SIDE OF ADRIAN ROAD IS TAKEN TO BE N50°41'25"W.

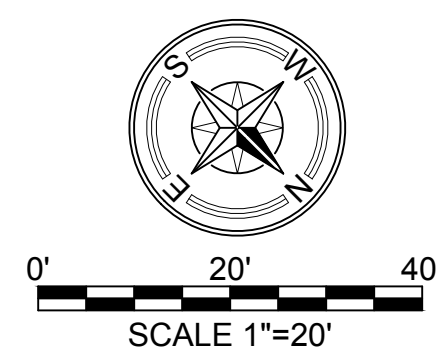
BENCHMARK:
TBM - CHISELED "X" IN TOP OF CURB SOUTH SIDE OF ADRIAN ROAD 10' NORTH WEST OF THE MOST NORTH WESTLY CORNER OF S4D PARCEL.
ELEV. 6.43 CITY DATUM

SOURCES OF DATA:
A FIELD SURVEY CONDUCTED FEBRUARY 2019 BY LARS ANDERSEN & ASSOCIATES INC.

Legend & Abbreviations			
EXISTING GROUND COUNTOUR	533	IRRIGATION VALVE	IRV
EXISTING ELEVATION	+533.000	IRRIGATION BOX	IRB
SIGN	□	FIRE DEPARTMENT CONNECTION	□
CURB & GUTTER	-----	POST INDICATOR VALVE	PIV
CONCRETE CURB	=====	FIRE HYDRANT	HD
FLOWLINE	---	STREET LIGHT/PARKING LIGHT	SL
CONCRETE SIDEWALK	----	POWER POLE	PP
CHAIN LINK FENCE	---x---	UTILITY CABINET	UCAB
WOOD FENCE	---o---	UTILITY VAULT	UVLT
HANDRAIL	---	SANITARY SEWER MANHOLE	SSMH
CONCRETE BLOCK WALL	=====	STORM DRAIN INLET	SDI
EDGE OF PAVEMENT	---	GAS MANIFOLD	G MAN
NATURAL GAS MAIN	NG		
OVERHEAD TELEPHONE LINE	TOH		
WATER LINE	W	TREE	●
SEWER LINE	SS	SHRUB	●
BOLLARD	●	CONCRETE SIDEWALK	----
UTILITY BOX	UBOX	CONCRETE	=====
ELECTRIC BOX	EBOX	AC PAVING	=====
WATER METER	WM		
WATER VALVE	WV		
SANITARY SEWER CLEANOUT	SSCO		
ROOF DRAIN	RFD		
DOWN SPOUT	DS		

UTILITIES STATEMENT

THE UNDERGROUND UTILITIES SHOWN THIS HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND INFORMATION SUPPLIED BY THE UTILITY COMPANIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



LARS ANDERSEN & ASSOCIATES, INC.
CIVIL ENGINEERS - LAND SURVEYORS - PLANNERS

4094 WEST JACQUELYN AVENUE FRESNO CALIFORNIA 93722
TEL: 559.276-2790 FAX: 559.276-0850 WWW.LARSANDERSEN.COM



SHEET 1.1



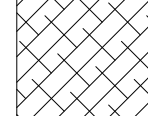
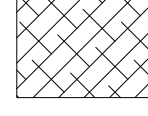
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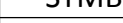


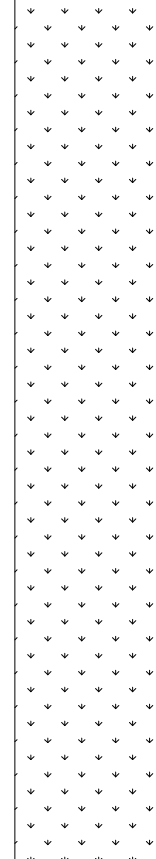
1801 ADRIAN RD. | BURLINGAME, CA

EXISTING SITE PLAN
07.26.19

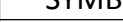


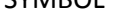
SHRUBS - 750 s.f. APPROX. +/- 139 PLANTS @ 30" O.C.						
SYMBOL	BOTANICAL/COMMON NAME	SIZE	SPACING	WUCOLS	REMARKS	
	Dasyliiron wheeleri Desert Spoon	5 Gal	Per plan	VL		
	Arctostaphylos edmundsii 'Carmel Sur' Carmel Sur Manzanita	5 Gal	30" O.C.	L		
	Callistemon 'Little John' Dwarf Bottle Brush	5 Gal	30" O.C.	L		
	Ceanothus 'Wheeler Canyon' Blue Mountain Lilac	5 Gal	30" O.C.	L		
	Hesperaloe parviflora Red Yucca	5 Gal	Per Plan	L		
	Heteromeles arbutifolia Toyon	5 Gal	48" O.C.	L		

GROUNDCOVER - 754 S.F. APPROX. +/- 55 PLANTS @ 48" O.C.					
SYMBOL	BOTANICAL/COMMON NAME	SIZE	SPACING	WUCOLS	REMARKS
	Rosmarinus o. 'Prostratus' Prostrate Rosemary	5 Gal	48" O.C.	L	

BIO-RETENTION BASIN - 3,095 S.F. APPROX. +/- 893 PLANTS @ 24" O.C.					
SYMBOL	BOTANICAL/COMMON NAME	SIZE	SPACING/QTY	WUCOLS	REMARKS
	Aristida purpurea Purple Three-Awn	1 Gal	18" O.C.	L	
	Baccharis p. 'Twin Peaks' Twin Peaks Coyote Brush	1 Gal	48" O.C.	L	
	Carex Pansa Twin Peaks Coyote Brush	1 Gal	24" O.C.	L	
	Chondropetalum tectorum Cape Rush	1 Gal	36" O.C.	L	
	Deschampsia cespitosa Tufted Hairgrass	1 Gal	18" O.C.	L	
	Elymus glaucus Blue Wild Rye	1 Gal	12" O.C.	L	
	Festuca californica California Fescue	1 Gal	30" O.C.	L	
	Salvia clevelandii Cleveland Sage	1 Gal	48" O.C.	L	
	Muhlenbergia rigens Deer Grass	1 Gal	48" O.C.	L	
	Juncus patens 'Elks Blue' Elks Blue Rush	4" Pots	18" O.C.	L	

THIS PRELIMINARY PLANT PALETTE IS INTENDED TO REPRESENT A TYPICAL SAMPLE OF THE PROPOSED PLANT BUT DOES NOT INDICATE THE EXACT SPECIES WHICH WILL BE DEVELOPED ON THE DETAILED PLANS.

GROUNDCOVER - 5,920 S.F.		
SYMBOL	DESCRIPTION	SIZE
	Decorative Rock Mulch	2" min.

EXISTING TREE LEGEND		
SYMBOL	DESCRIPTION	QUANTITY
	EXISTING TREE TO REMAIN PROTECT IN PLACE	12

GENERAL NOTES:

1. All Trees within 5' of hardscape to have a 12" deep linear root barrier.
2. All non-turf landscape areas to receive a 3" layer of shredded organic mulch. Groundcover areas to receive 2" layer.
3. All backfills and above ground equipment to be placed at least 5' from hardscape on flat areas.
4. All equipment to be screened from view with plant material.
5. Soil compaction to be no greater than 85% on landscape areas.
6. All finish grades to be 12" below finish surface paving.
7. Agronomical soil testing report to be included in landscape plans.
8. All irrigation emission devices must meet the requirements set in ANSI std. ASABE/ICC 802-2013 Landscape Irrigation Sprinkler and Emmitter Standard." All sprinkler heads installed in the landscape must document a distribution uniformity low quarter of 0.65 or higher using the protocol defined in ASABE/ICC 802-2014
9. Irrigation design shall adhere to the city mandated Model Water Landscape Ordinance.
10. The project shall comply with all applicable codes outlined in Burlingame Municipal Code.
11. Refer to civil eng. plans for water quality control measures to be implemented on this project
12. Project will be maintained by the property owner
13. The project shall comply with the Rollins Road Zoning Overlay guidelines
14. Bio-retention areas shall comply with Appendix A of the San Mateo Countywide Pollution Prevention Program
15. The project shall implement Bay Friendly Landscape Practices on site.
16. All existing trees to be remain and protected in place.

LANDSCAPE AREA TABLE - INCLUDED AREA		
AREA	AREA	PERCENTAGE
EXISTING (INCLUDES Existing Basins)	27,191 S.F.	69%
PROPOSED (INCLUDES LS area along West Perimeter)	10,504 S.F.	24%
BIO-RETENTION BASIN	3,095 S.F.	8%
OVERALL TOTAL	40,790 S.F.	100%

A DEVELOPMENT FOR PUBLIC STORAGE

VICINITY MAP



NOT TO SCALE

BUILDING CODES

THIS PROJECT WILL COMPLY WITH:
2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA RESIDENTIAL CODE (WHERE APPLICABLE)
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA PLUMBING CODE
ALL AMENDMENTS INCLUDED AS ADOPTED IN ORDINANCE 1889

CONSTRUCTION HOURS

WEEKDAYS: 8:00 A.M.-7:00 P.M.
SATURDAYS: 9:00 A.M.-6:00 P.M.
SUNDAYS & HOLIDAYS: NO WORK ALLOWED
(PER BURLINGAME MUNICIPAL CODE SECTION 18.07.110)
CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT-OF-WAY ARE
LIMITED TO WEEKDAYS & NON-CITY HOLIDAYS BETWEEN 8AM-5PM
(PER CITY OF BURLINGAME MUNICIPAL CODE SECTION 13.04.100)



SHEET INDEX

ARCHITECTURAL

1. COVER SHEET
- 1.1 EXISTING SITE PLAN
- 1.2 CONCEPTUAL STORMWATER CONTROL PLAN
2. CONCEPTUAL SITE PLAN
3. LANDSCAPE PLAN
4. EXISTING FLOOR PLAN
5. DEMOLITION FLOOR PLAN
6. CONCEPTUAL FIRST FLOOR PLAN
7. CONCEPTUAL SECOND FLOOR PLAN
8. EXISTING ROOF PLAN
9. DEMOLITION ROOF PLAN
10. CONCEPTUAL ROOF PLAN
11. EXISTING AND PROPOSED ELEVATIONS
12. EXISTING AND PROPOSED ELEVATIONS

DEVELOPER

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701 WESTERN AVE
GLENDALE, CA 91201
TEL: (800) 688-8057

ARCHITECT

KSP STUDIO
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LAKE FOREST, CA 92630
CONTACT: SHABNAM VAKILI
TEL: (949) 380-3970

