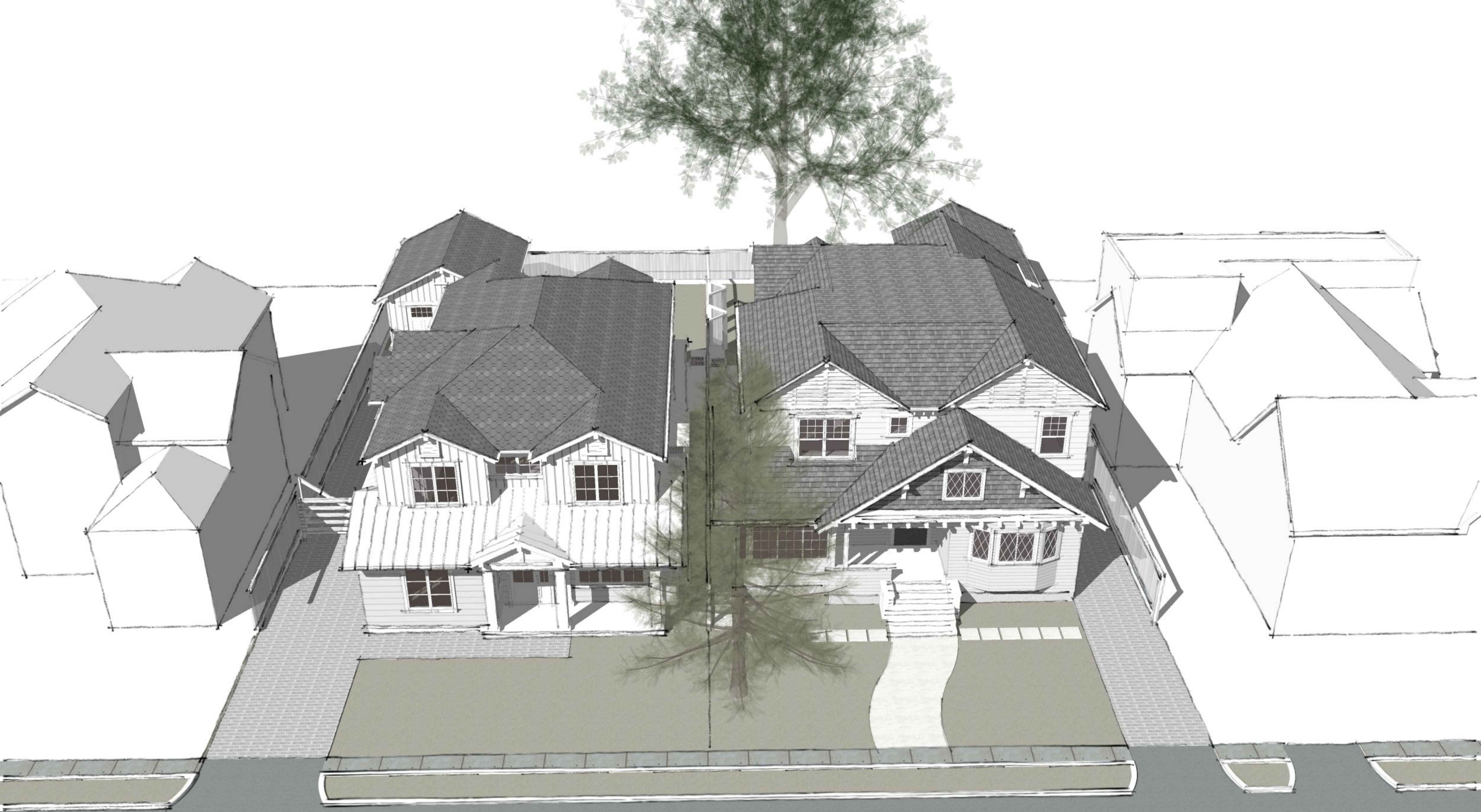










OPTION

[illegible]

Scale: 1/4" = 1'-0"

1
A3.1



1. ANY + ALL REFINISHING SHOULD BE COMPLETED W/ THE GENTLEST MEANS POSSIBLE, IN ORDER TO MEET REHABILITATING STANDARD 7

2. SITE PHOTOS SHOULD BE CATALOGED BEFORE START OF CONSTRUCTION FOR CONSTRUCTION + RE-FINISHING EFFORTS

Scale: 1/4" = 1'-0"

2
A3.1

APN#: 026-044-070



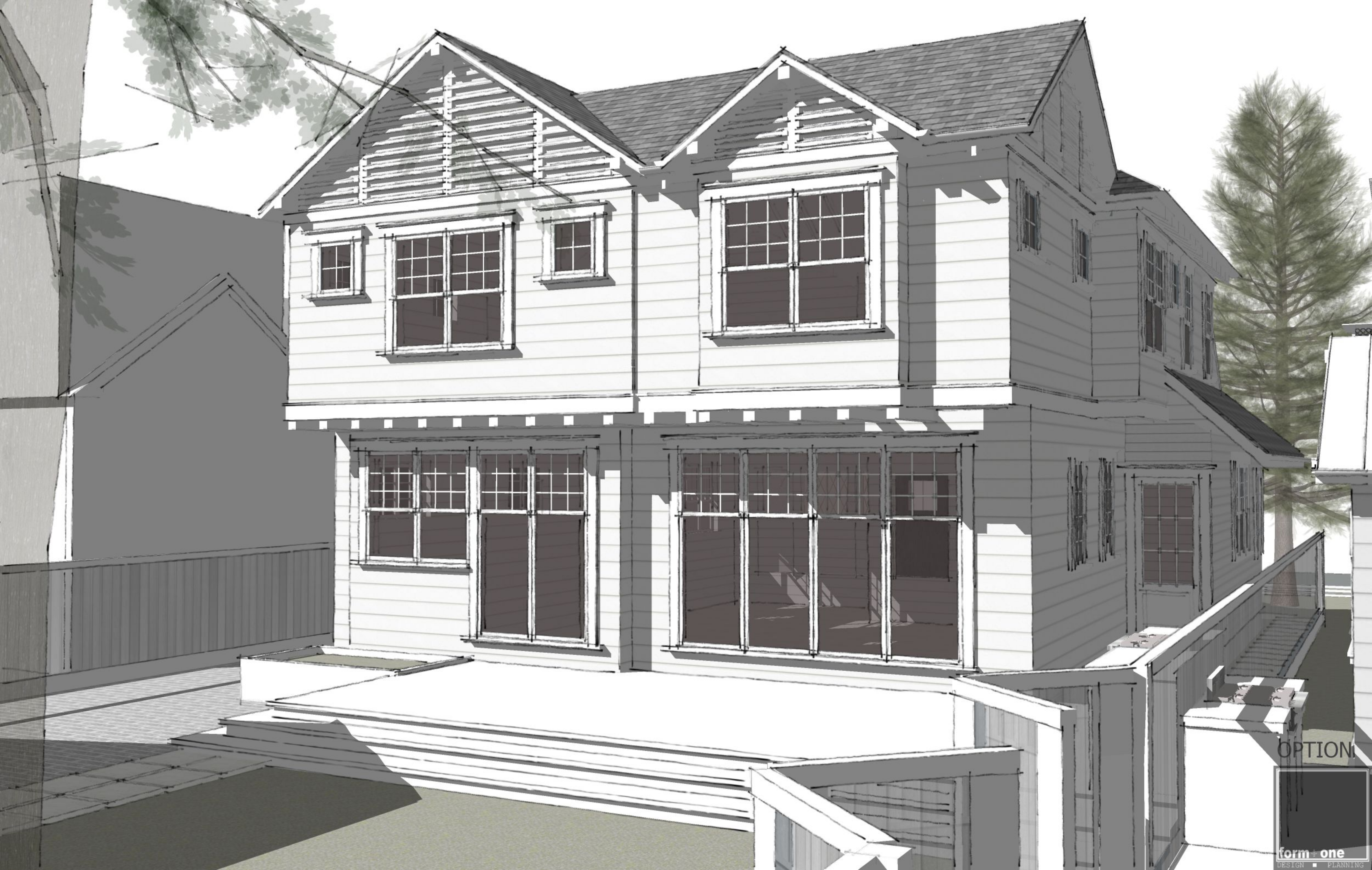
form+one
DESIGN ■ PLANNING

Project : Mr. & Mrs. Baldwin
1457 Bernal Avenue
Burlingame, CA 94011

Job No. : 19_016	Drawn : TIM RADJENZ	Date : 4-5-19
------------------	---------------------	---------------

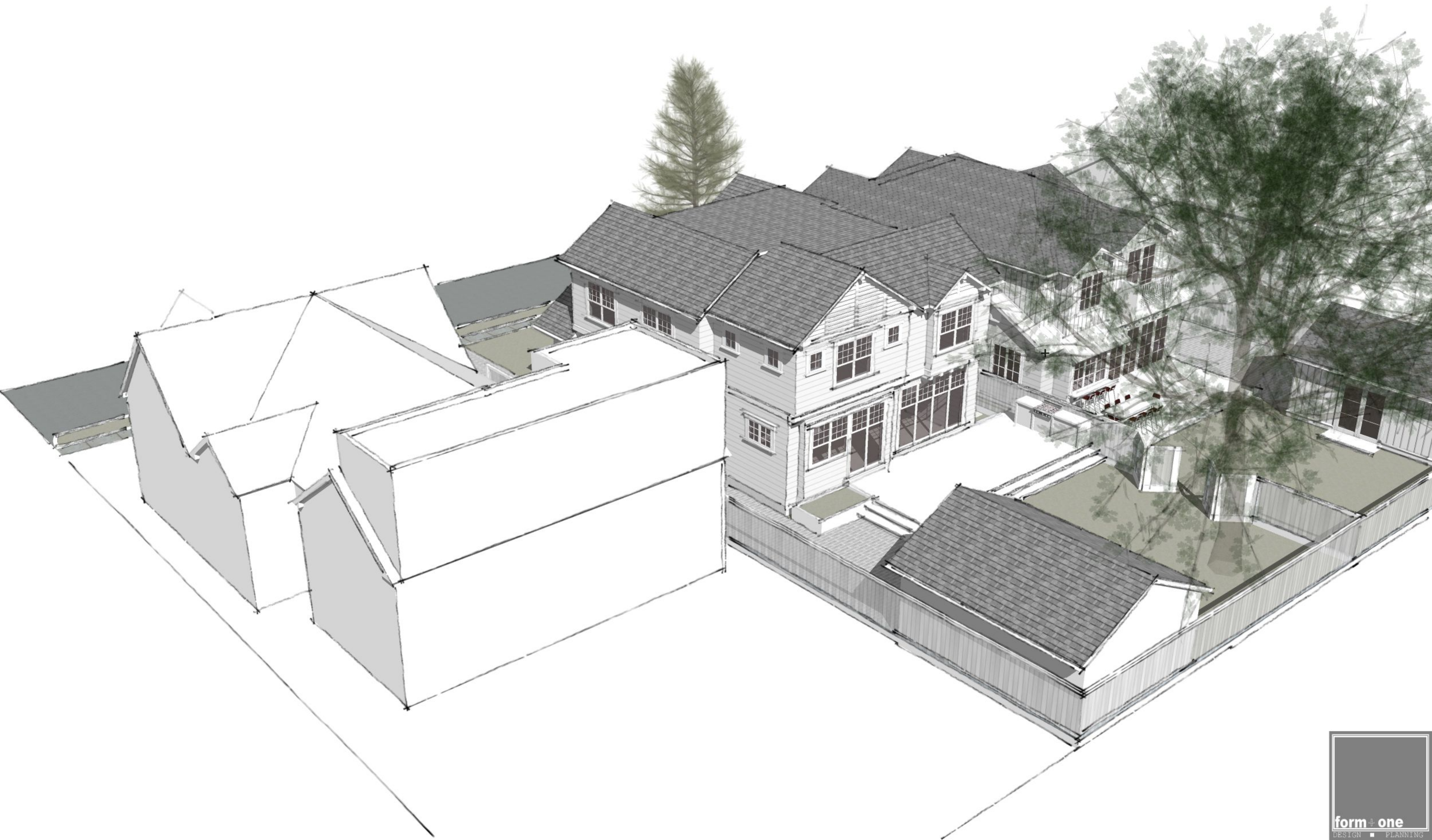
A3.1

Sheet
Scale: See Details



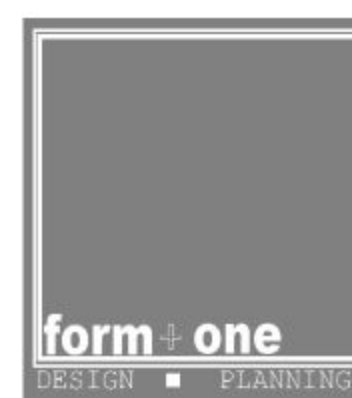
OPTION





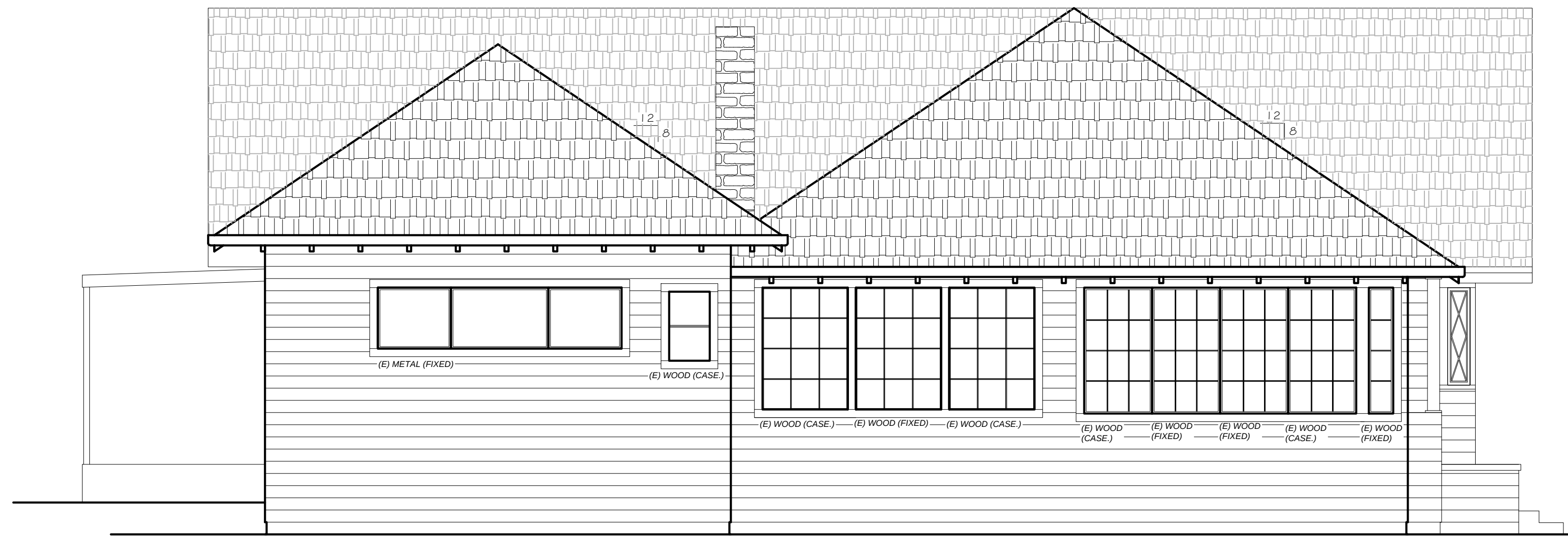


OPTION





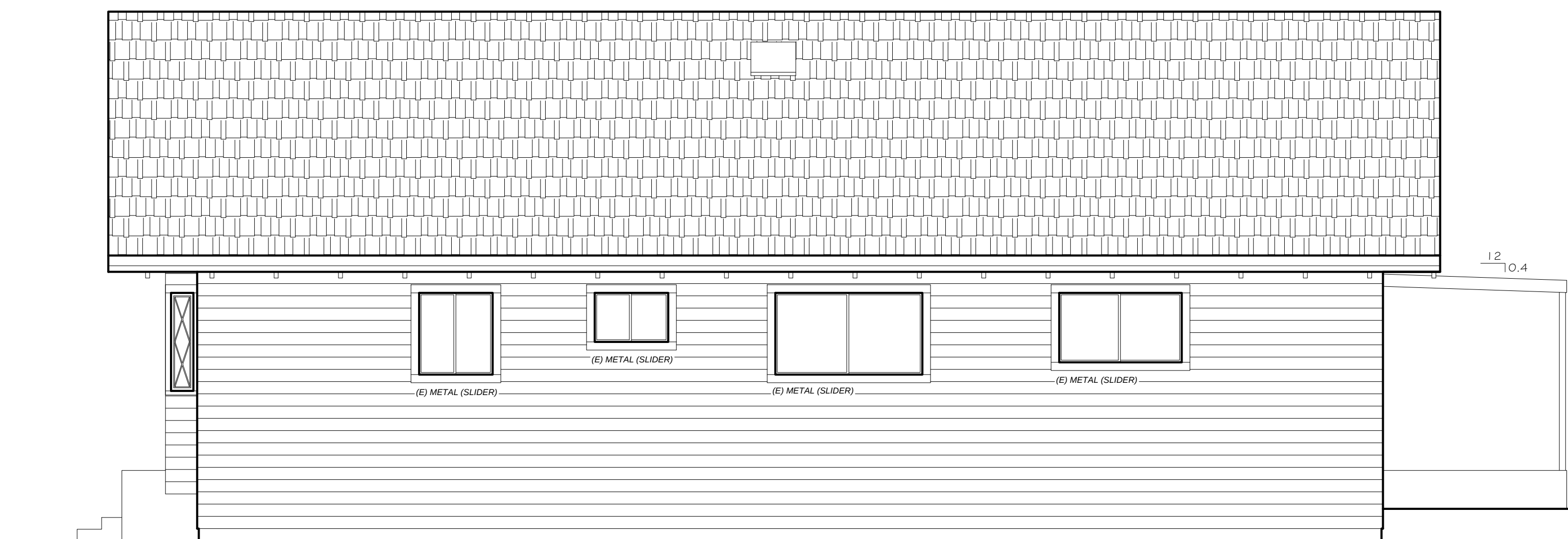
SOUTH



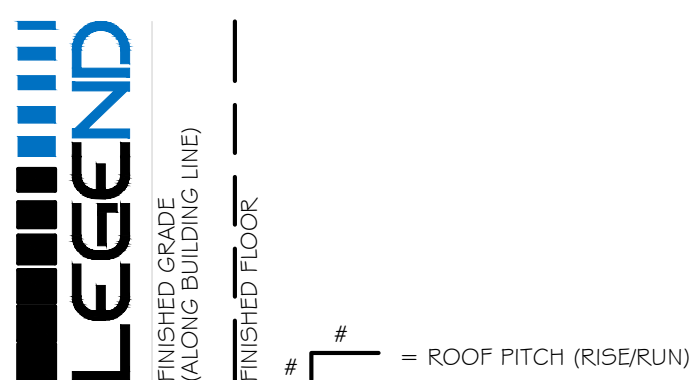
WEST



NORTH



EAST



The image displays a set of architectural drawings for a proposed garage, organized into eight distinct views and details. Each drawing includes a title, scale, and a circular reference marker.

- Proposed Garage Section (6):** A vertical cross-section showing the interior of the garage. It features a gabled roof with 40-year architectural asphalt shingles, pre-fab trusses at 24 inches on center, and 12x6 inch maximum eave overhangs. The walls are constructed with horizontal wood siding (painted) and include G.S.M. gutters (painted). A 6-foot wide fence is shown on the right side. The floor is concrete with a thickness of 5 inches, minimum, and a vapor barrier. The scale is 1/4 inch = 1 foot 0 inches.
- Proposed Left Elevation (3):** A side elevation of the garage. It shows a gabled roof with 40-year architectural asphalt shingles, a 15-foot height limit, and a 6-foot wide fence. The walls are horizontal wood siding (painted) with G.S.M. gutters (painted). The scale is 1/4 inch = 1 foot 0 inches.
- Proposed Garage Plan (1):** A top-down view of the garage. It shows the layout of the garage, including the 1-hour fire-rated walls, 2x4 wall with typical gypsum board system, R-15 batt insulation, and a 5/8 inch concrete vapor barrier. The plan also shows the 12x10 inch overhead garage door, a 12x10 inch overhead garage door, and a 12x10 inch overhead garage door. The scale is 1/4 inch = 1 foot 0 inches.
- Ext. Wall Details (7):** A detail of the exterior wall. It shows the construction of the wall, including horizontal wood siding (painted), APA rated sheathing exposure 1 1/2 inch plywood or OSB, 5/8 inch densglass "fireguard" sheathing, R-13 fiberglass batt insulation at 2x4 (option), 5/8 inch densarmor plus fireguard or toughrock fireguard gypsum board applied vertically or horizontally to studs with 1-7/8 inch 6d coated nails 7 inches on center stagger joints each side, and minimum 2x4 studs at 16 inches on center. The scale is 3 inches = 1 foot 0 inches.
- Proposed Rear Elevation (4):** A rear elevation of the garage. It shows a gabled roof with 40-year architectural asphalt shingles, a 15-foot height limit, and a 6-foot wide fence. The walls are horizontal wood siding (painted) with G.S.M. gutters (painted). The scale is 1/4 inch = 1 foot 0 inches.
- Proposed Right Elevation (5):** A side elevation of the garage. It shows a gabled roof with 40-year architectural asphalt shingles, a 15-foot height limit, and a 6-foot wide fence. The walls are horizontal wood siding (painted) with G.S.M. gutters (painted). The scale is 1/4 inch = 1 foot 0 inches.
- Proposed Front Elevation (2):** A front elevation of the garage. It shows a gabled roof with 40-year architectural asphalt shingles, a 15-foot height limit, and a 6-foot wide fence. The walls are horizontal wood siding (painted) with G.S.M. gutters (painted). The scale is 1/4 inch = 1 foot 0 inches.
- Garage Door Detail (8):** A detail of the garage door. It shows the construction of the door, including the 1-hour fire-rated construction, 2x4 wall with typical gypsum board system, R-15 batt insulation, and a 5/8 inch concrete vapor barrier. The scale is 1 1/2 inches = 1 foot 0 inches.

G1.0

Sheet

Scale: See Details

Job No. : 19_016 Drawn: TIM RAUDENZ Date : 4-5-19

Title : Proposed Garage

Project : Mr. & Mrs. Baldwin
1457 Bernal Avenue
Burlingame, CA 94010

BUILDING SET

PLANNING SET

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
PH: 415.819.0304
E-mail: TIMEFORMEDDESIGN.COM

APN#: 026-044-070

Owner : Tim & Megan Baldwin
1457 Bernal Avenue
Burlingame, CA 94010
P: 650-333-8644
Zoning: -

Revisions

Rev.:	Description:	Date:
001		
002		
003		
004		
005		
006		

Contractor : Gamble Development
Contact: Greg Gamble
1457 Bernal Avenue
Burlingame, CA 94010
P: 650-333-8644

form + one
DESIGN ■ PLANNING



Revisions

Rev.:	Description:	Date:
001		
002		
003		
004		
005		
006		

SSMH
RIM = 86.86
INV = 82.7'
(NOT SHOWN IN TRUE LOCATION)
~ 257' SSMH TO SSMH

DIMENSION NOTE:

THE DIMENSIONED SETBACKS SHOWN ARE MEASURED FROM THE STUCCO OR SIDING.

SSMH
RIM = 102.95'
INV = 99.2'
PVC

SSMH
RIM = 104.63'

BOUNDARY NOTE:

MONUMENTS WILL BE SET AT THE PROPERTY CORNERS AND A RECORD OF SURVEY OR CORNER RECORD WILL BE FILED WITH THE COUNTY OF SAN MATEO.

BASIS OF ELEVATIONS:

ELEVATIONS ARE BASED UPON AN ASSUMED DATUM.

• TBM: FOUND CHISEL CROSS ON TOP OF A CONCRETE CURB ALONG BERNAL AVENUE, AS SHOWN.
ELEVATION = 98.25'

BASIS OF BEARINGS:

THE BEARING N55°04'00"W BETWEEN TWO FOUND IRON PIPES ON THE SOUTHWESTERLY LINE OF BERNAL AVENUE, ASSUMED SET PER THAT CERTAIN SUBDIVISION MAP FILED IN VOLUME 4 OF MAPS AT PAGE 57, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

LEGEND:

- FOUND IRON PIPE AS NOTED
- FOUND 1-1/4" BRASS TAG "RCE 20858" AND MAG NAIL AT BACK OF CONCRETE WALK, ASSUMED PER 12 LLS 60
- A/C ASPHALTIC CONCRETE
- B/W BACK OF WALK
- CB CATCH BASIN
- CIP CAST IRON PIPE
- CMF CORRUGATED METAL PIPE
- CONC CONCRETE
- CO CLEAN-OUT
- DI DROP INLET
- EM ELECTRIC METER
- FD FOUND
- FF FINISHED FLOOR
- FL FLOW LINE
- FH FIRE HYDRANT
- GA GUY ANCHOR
- GM GAS METER
- GRD GROUND
- HCR HANDICAP RAMP
- INV INVERT
- IP IRON PIPE
- JP JOINT POLE
- LAT. LATERAL
- LG LIP OF GUTTER
- O/H OVERHEAD
- P.U.E. PUBLIC UTILITIES EASEMENT
- RCP REINFORCED CONCRETE PIPE
- RET. WALL RETAINING WALL
- R/W RIGHT OF WAY
- SSCO SANITARY SEWER CLEAN-OUT
- SSMH SANITARY SEWER MANHOLE
- SDM STORM DRAIN MANHOLE
- T/C TOP OF CURB
- T/W TOP OF WALL
- U/G UNDERGROUND
- VCP VITRIFIED CLAY PIPE
- WV WATER VALVE
- WM WATER METER BOX
- CTV- CABLE TELEVISION LINE
- E- ELECTRICAL LINE
- G- GAS LINE
- SS- SANITARY SEWER LINE
- SD- STORM DRAIN LINE
- T- TELEPHONE LINE
- W- WATER LINE

UTILITY NOTE:

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.



BOUNDARY AND TOPOGRAPHIC SURVEY

LOTS 6 AND 7, BLOCK 45
"MAP OF THE EASTON ADDITION TO BURLINGAME NO. 4"
VOLUME 4 OF MAPS AT PAGE 57
ASSESSOR'S PARCEL NUMBER: 026-044-060 & 070
(1457 & 1453 BERNAL AVENUE)

BURLINGAME SAN MATEO COUNTY CALIFORNIA
SCALE: 1" = 10' MAY, 2019

B & H SURVEYING, INC.
PROFESSIONAL LAND SURVEYING
901 WALTERMIRE ST.
BELMONT, CA 94002
OFFICE (650) 637-1590

EASEMENT NOTES:

- 1) NO EASEMENTS ARE SHOWN ON THE RECORD SUBDIVISION MAP OTHER THAN SHOWN ON THIS MAP, IF ANY.
- 2) NO TITLE REPORT WAS PROVIDED BY THE CLIENT AND NO REPRESENTATION IS MADE BY B & H SURVEYING, INC. AS TO THE EXISTENCE OR NON-EXISTENCE OF ANY EASEMENTS.

FRONT SETBACKS:

ADDRESS	SETBACK
1401	END - NOT USED
1409	28.8'
1413	20.9'
1417	24.4'
1421	23.5'
1425	19.9'
1429	24.0'
1433	20.5'
1437	25.7'
1441	24.5'
1445	22.7'
1449	22.4'
1453	92.7' (HIGHEST - NOT USED)
1457	24.9'
1461	22.6'
1465	25.1'
1469	15.2' (LOWEST - NOT USED)
1473	27.8'
1477	END - NOT USED
AVERAGE:	23.9'

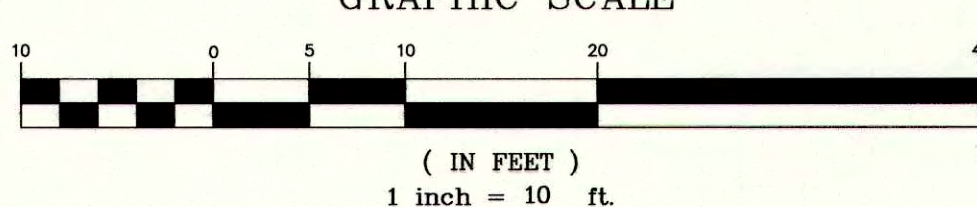
FOUND 3/4" IRON PIPE WITH PLASTIC PLUG "PLS 6163" AND TACK, UP 0.3' NO REFERENCE FOUND

FOUND 3/4" IRON PIPE WITH PLASTIC PLUG "BGT LS 7551" AND TACK, NO REFERENCE FOUND

FOUND CHISEL CROSS ON TOP OF CURB, PER 12 LLS 60
TBM: ELEV = 98.25'

FOUND 3/4" IRON PIPE WITH PLASTIC PLUG "RCE 20858" AND TACK, UP 0.9', LEANING SLIGHTLY NORTHERLY, PER 12 LLS 60

GRAPHIC SCALE



GENERAL NOTES & SCOPE

- 1. PROTECT ALL EXISTING TREES DURING CONSTRUCTION, CONSULT ARBORIST AS REQUIRED.
- 2. NO EXISTING TREES OVER 48" IN CIRCUMFERENCE AT 54" FROM BASE OF TREE MAY BE REMOVED WITHOUT A PROTECTED TREE PERMIT FROM THE PARKS DIVISION (558-7330) NO TREES ARE TO BE REMOVED FOR THIS PROJECT.
- 3. WATER CONSERVATION IN LANDSCAPE ORDINANCE NOT REQUIRED SINCE LANDSCAPE WILL NOT BE REHABILITATED AS NOTED ON PLANS.
- 4. A PLAN HAS BEEN DEVELOPED, AND WILL BE IMPLEMENTED, TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. CGC 4.106.2 & CGC 4.106.3
- 5. ALL SPRINKLER DRAINAGE SHALL BE PLACED INTO LANDSCAPING AREAS

STREET TREES

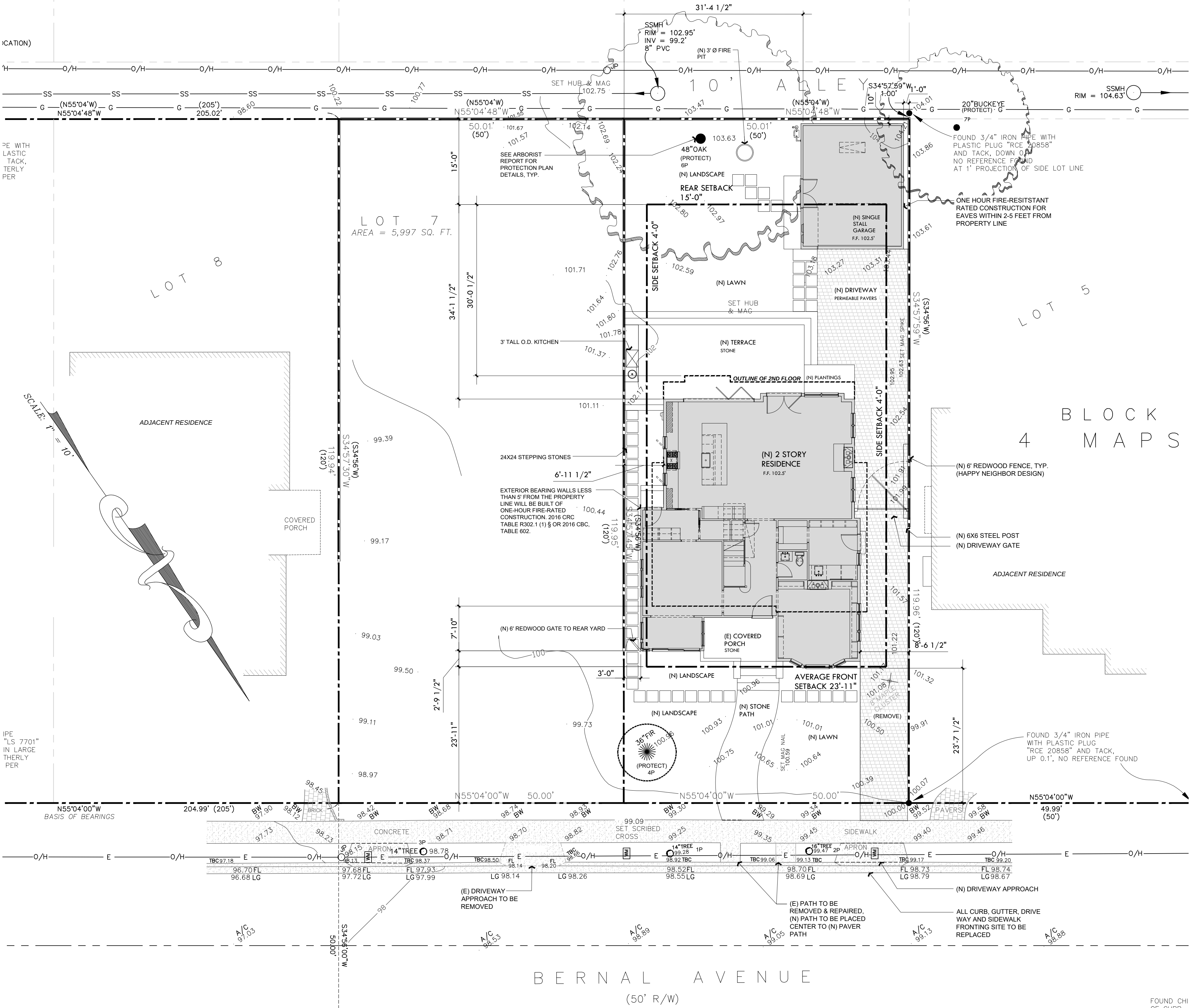
- 1. PROTECT ALL STREET TREES DURING CONSTRUCTION

PUBLIC WORKS NOTES

- 1. A REMOVE/REPLACE UTILITES ENCHROACHMENT PERMIT IS REQUIRED TO (1) REPLACE ALL CURB, GUTTER, DRIVEWAY AND SIDEWALK FRONTING SITE, (2) PLUG ALL EXISTING SANITARY SEWER LATERAL CONNECTIONS AND INSTALL A NEW 4" LATERAL, (3) ALL WATER LINE CONNECTIONS TO CITY WATER MAINS FOR SERVICES OF FIRE LINE ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND SPECIFICATION. (4) AND OTHER UNDERGROUND UTILITY WORKS WITHIN CITY'S RIGHT-OF WAY.
- 2. GRADING PERMIT, IF REQUIRED WILL BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS.

STORMWATER CHECKLIST NOTES

- 1. DIRECT ROOF RUNOFF INTO CISTERNS OR RAIN BARRELS AND USE RAINWATER FOR IRRIGATION OR OTHER NON-POTABLE USE.
- 2. DIRECT RUNOFF FROM SIDEWALKS, WALKWAYS, AND/OR PATIOS ONTO VEGETATED AREAS.
- 3. DIRECT RUNOFF FROM DRIVEWAYS AND/OR UNCOVERED PARKING LOTS ONTO VEGETATED AREAS.
- 4. CONSTRUCT SIDEWALKS, WALKWAYS AND/OR PATIOS WITH PERMEABLE SURFACES.
- 5. USE MICOR-DETENTION, INCLUDING DISTRIBUTED LANDSCAPE-BASED DETENTION.
- 6. PROTECT SENSITIVE AREAS, INCLUDING WETLAND AND RIPARIAN AREAS, AND MINIMIZE CHANGES TO THE NATURAL TOPOGRAPHY.
- 7. MARK ON SITE INLETS WITH THE WORDS "NO DUMPING! FLOWS TO BAY" OR EQUIVALENT.
- 8. (A.) RETAIN EXISTING VEGETATION AS PRACTICABLE (B) SELECT DIVERSE SPECIES APPROPRIATE TO THE SITE. INCLUDE PLANTS THAT ARE PEST- AND/OR DISEASE-RESISTANT, DROUGHT-TOLERANT, AND/OR ATTRACT BENEFICIAL INSECTS. (C) MINIMIZE USE OF PESTICIDES AND QUICK-RELEASE FERTILIZERS.
- 9. DESIGN FOR DISCHARGE OF FIRE SPRINKLERS TEST WATER TO LANDSCAPE OR SANITARY SEWER.
- 10. TEMPORARY EROSION CONTROLS TO STABILIZE ALL DENUDED AREAS UNTIL PERMANENT EROSION CONTROLS ARE ESTABLISHED.
- 11. DELINEATE WITH FIELD MARKERS THE FOLLOWING AREAS: CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS,BUFFER ZONES, TREES TO BE PROTECTED AND RETAINED, DRAINAGE COURSES.
- 12. PROVIDE NOTES, SPECIFICATIONS OR ATTACHEMENTS DESCRIBING THE FOLLOWING: (A) CONSTRUCTION, OPERATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS, INCLUDE INSPECTION FREQUENCY, (B) METHODS AND SCHEDULE FOR GRADING, EXCAVATION, FILLING, CLEARING OF VEGETATION, AND STORAGE AND DISPOSAL OF EXCAVATED OR CLEARED MATERIAL, (C) SPECIFICATIONS FOR VEGETATIVE COVER & MULCH, INCLUDE METHODS AND SCHEDULES FOR PLANTING AND FERTILIZATION (D) PROVISIONS FOR TEMPORARY AND OR PERMANENT IRRIGATION
- 13. PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER
- 14. USE SEDIMENT CONTROLS OF FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING AND OBTAIN ALL NECESSARY PERMITS.
- 15. PROTECT ALL STORM DRAIN INLETS IN VICINITY OF SITE USING SEDIMENT CONTROLS (E.G. BERMS, SOCKS, FIBER ROLLS OR FILTERS)
- 16. TRAP SEDIMENT ON-SITE, USING BMP'S SUCH AS SEDIMENT BASINS OR TRAPS, EARTHEN DIKES OR BERMS, SILT FENCES, CHECK DAMS, COMPOST BLANKETS OR JUTE MATS, COVERS FOR SOIL STOCK PILES, ETC.
- 17. DIVERT ON-SITE RUNOFF AROUND EXPOSED AREAS; DIVERT OFF-SITE RUNOFF AROUND THE SITE (E.G SWALES AND DIKES)
- 18. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES,MULCHING OR OTHER MEASURES AS APPROPRIATE.
- 19. LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS.
- 20. NO CLEANING, FUELING OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASHWATER IS CONTAINED AND TREATED.
- 21. STORE, HANDLE AND DISPOSE OF CONSTRUCTION MATERIALS/WASTES PROPERLY TO PREVENT CONTACT WITH STORMWATER.
- 22. CONTRACTOR SHALL TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES/SUBCONTRACTORS RE: CONSTRUCTION BMP'S.
- 23. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTINGWASTES,PAINTS,CONCRETE, PETROLEUM PRODUCTS,CHEMICALS,WASHWATEROR SEDIMENTS, RINSE WATER FROM ARCHITECTURAL COPPER, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.



PROPOSED SITE PLAN

Scale: 1"= 10'-0"

1
A1.0

Title : Proposed Site Plan

Project : Mr. & Mrs. Baldwin
1457 Bernal Avenue
Burlingame, CA 94010

Job No. : 19_016
Drawn : TIM BALDWIN
Date : 4-5-19

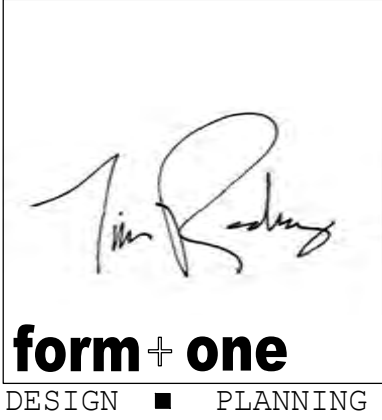
Revisions

Rev.:	Description :	Date :
001		
002		
003		
004		
005		
006		

Contractor :
Gabrioli Developments
Contact: Greg Gabrioli
1457 Bernal Avenue
Burlingame, CA 94010
P: 650-333-6844

Owner :
Tim & Megan Baldwin
1457 Bernal Avenue
Burlingame, CA 94010
Zoning : -

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM



BUILDING SET
PLANNING SET

APN#: 026-044-070

Sheet

Scale: See Details

A1.0

All drawings & Specifications provided as instruments of service are the property of the designer, whether the project is executed or not; it is unlawful for any person, without the written consent of the designer, to duplicate or make copies of these documents, partly or in whole, for use for other projects & buildings.

- NOTES:
- (1. (HALF ROUND) G.S.M. GUTTERS, & (3" GSM) DOWNSPOUTS:
LINE ALL VALLEYS WITH GSM, AT LEAST 20" WIDE WITH WITH 1/4" EDGE TURNED OVER AND FASTENED WITH CLEATS. LAP JOINTS AT LEAST 4", BUT DO NOT SOLDER.
 2. ROOFING MATERIAL TO BE 40 YR ARCHITECTURAL ASPHALT SHINGLES, SEE CUT SHEET ABOVE, COLOR TO BE DETERMINED, ANTIQUE BLACK OR PEWTER GREY
 3. WHEN INSULATION IS INSTALLED IN ENCLOSED RAFTER SPACES WHERE CEILINGS ARE APPLIED DIRECT TO THE UNDERSIDE OF ROOF RAFTERS, A MINIMUM AIR SPACE OF 1 INCH MUST BE PROVIDED, INSULATION BAFFLE NEEDED.
 4. FLASHINGS AND COUNTER FLASHINGS SHALL NOT BE LESS THAN 0.016-INCH (28-GAGE) CORROSION RESISTANT METAL, AND VALLEY FLASHING
 5. AT THE JUNCTURE OF THE ROOF & VERTICAL SURFACES, FLASHING & COUNTERFLASHINGS SHALL NOT BE LESS THAN 0.019-INCH (26 GAUGE)
 6. NA
 7. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MIN. OF 3'-0" FROM PROPERTY LINES OR ANY OPENING INTO THE BUILDING (I.E. DRYERS, BATH& UTILITY FANS, ETC., MUST BE 3'-0" AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS, PER CODE
 8. (AS REQUIRED) THE TRUSS PLAN AND THE TRUSS CALC. SHALL BE REVIEWED & APPROVED BY THE ENGINEER OF RECORD BEFORE SUBMITTING TO THE BUILDING DEPARTMENT FOR APPROVAL PRIOR TO FABRICATION. TRUSS PLANS SHALL BE WET SIGNED & WET STAMPED BY TRUSS DESIGN ENGINEER.
 9. FURNACE LOCATED IN ATTIC SPACE SHALL BE LISTED FOR ATTIC LOCATION AND PROVIDED WITH 24" WIDE SOLID FLOORING ACCESS WAY AND 30" WORKING SPACE AT CONTROLS.
 10. ATTIC VENTILATION AT CALIFORNIA FRAMING TO RECEIVE LOW PROFILE VENTS OR OPENING IN THE ROOF SHEATHING BELOW
 11. ROOF EAVES SHALL NOT PROJECT WITHIN 2" OF THE PROPERTY LINE WHERE SETBACK IS 4' PER 2016 CRC § TABLE R302.1 (1) OR 2016 CBC TABLE 705.2. ALL ROOF PROJECTIONS WHICH PROJECT BEYOND THE POINT WHERE FIRE- RESISTIVE CONSTRUCTION WOULD BE REQUIRED WILL BE CONSTRUCTED OF ONE-HOUR FIRE-RESISTANCE- RATED CONSTRUCTION PER 2016 CRC § R302.1 (1) OR 2016 CBC § 705.2.

PLUMBING & HVAC NOTE:
1. GROUP ALL EXHAUST FLUES TOGETHER WHEN POSSIBLE & LOCATE ON ROOFS SLOPING TO THE REAR OF HOUSE TYP. VERIFY LOCATION W/ DESIGNER.

SOLAR CONDUIT NOTE:
PROVIDE A PIPE FOR SOLAR CONDUIT FOR FUTURE USE.

*SOLAR PANEL AREA TO BE NO LESS THEN 150 SQ.FT.

- ATTIC FURNACE NOTES:**
1. PROVIDE THE FOLLOWING FOR ATTIC FURNACES (CMC SECTION 904.04)
A. PASSAGEWAY TO EQUIPMENT LESS THAN 6'-0" IN HEIGHT SHALL BE NOT MORE THAN 20'-0" IN LENGTH WHEN MEASURED ALONG THE CENTER LINE OF PASSAGEWAY FROM THE ACCESS OPENING TO THE EQUIPMENT. SECTION 904.10.1.
B. UN-OBSTRUCTED PASSAGEWAY W/ A SOLID FLOORING AT LEAST 24" WIDE THROUGH-OUT ITS LENGTH. SECTION 904.10.2
C. A 30"x30" LEVEL WORKING PLATFORM IN FRONT OF THE SERVICE SIDE OF THE APPLIANCE. SECTION 904.10.3
D. A PERMANENT 120V RECEPTACLE OUTLET AND LIGHTING FIXTURE NEAR THE APPLIANCE. SECTION 904.10.4
E. UPRIGHT FURNACES MAYBE INSTALLED IN ATTIC OR CRAWLSPACE MORE THAN 5'-0" IN HEIGHT, PROVIDED THAT REQUIRED LISTINGS, DUCT AND FURNACE CLEARANCES ARE OBSERVED. SECTION 904.10.5
F. CLARIFY THE LOCATION OF THE FURANCE ON PLANS BY DASHED LINE OR OTHER SYMBOL.

HOUSE VENTILATION CALC:
SQ. FT. OF (N) ROOF/(E) ROOF: 2,027 SQ. FT.

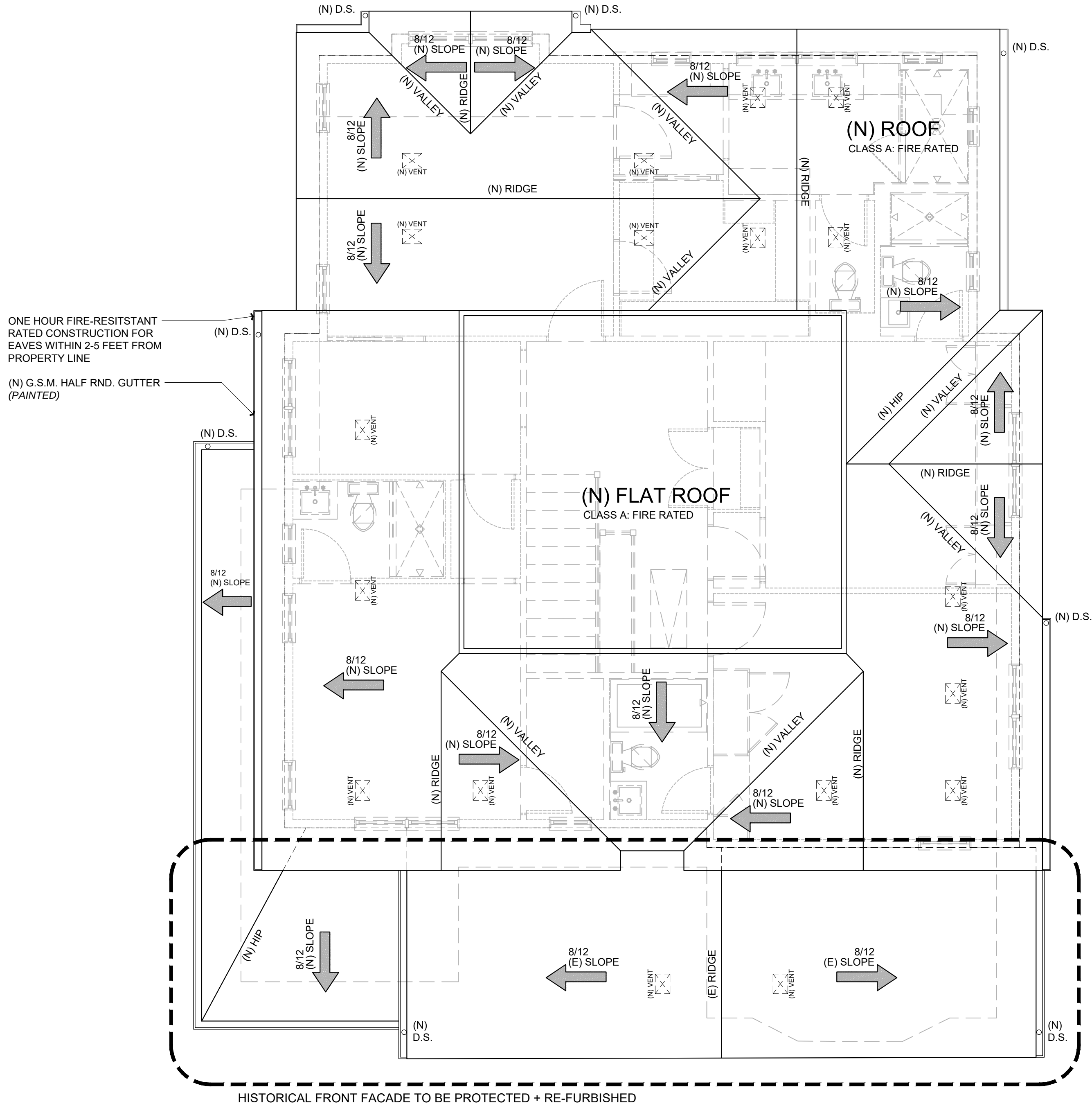
(N)/(E) $2,027/150 = 13.5 \text{ SQ. FT.}$ OF VENTILATION IN NEW ROOF

(N) ROOF VENTS (18 ea. X 75 SQ.FT.) = 13.5 SQ.FT.
TOTAL VENTILATION INSTALLED = 13.5 SQ.FT.

GARAGE VENTILATION CALC:
SQ. FT. OF (N) ROOF: 450 SQ. FT.

(N) $450/150 = 3 \text{ SQ. FT.}$ OF VENTILATION IN NEW ROOF

(N) ROOF VENTS (4 ea. X 75 SQ.FT.) = 3 SQ.FT.
TOTAL VENTILATION INSTALLED = 3 SQ.FT.

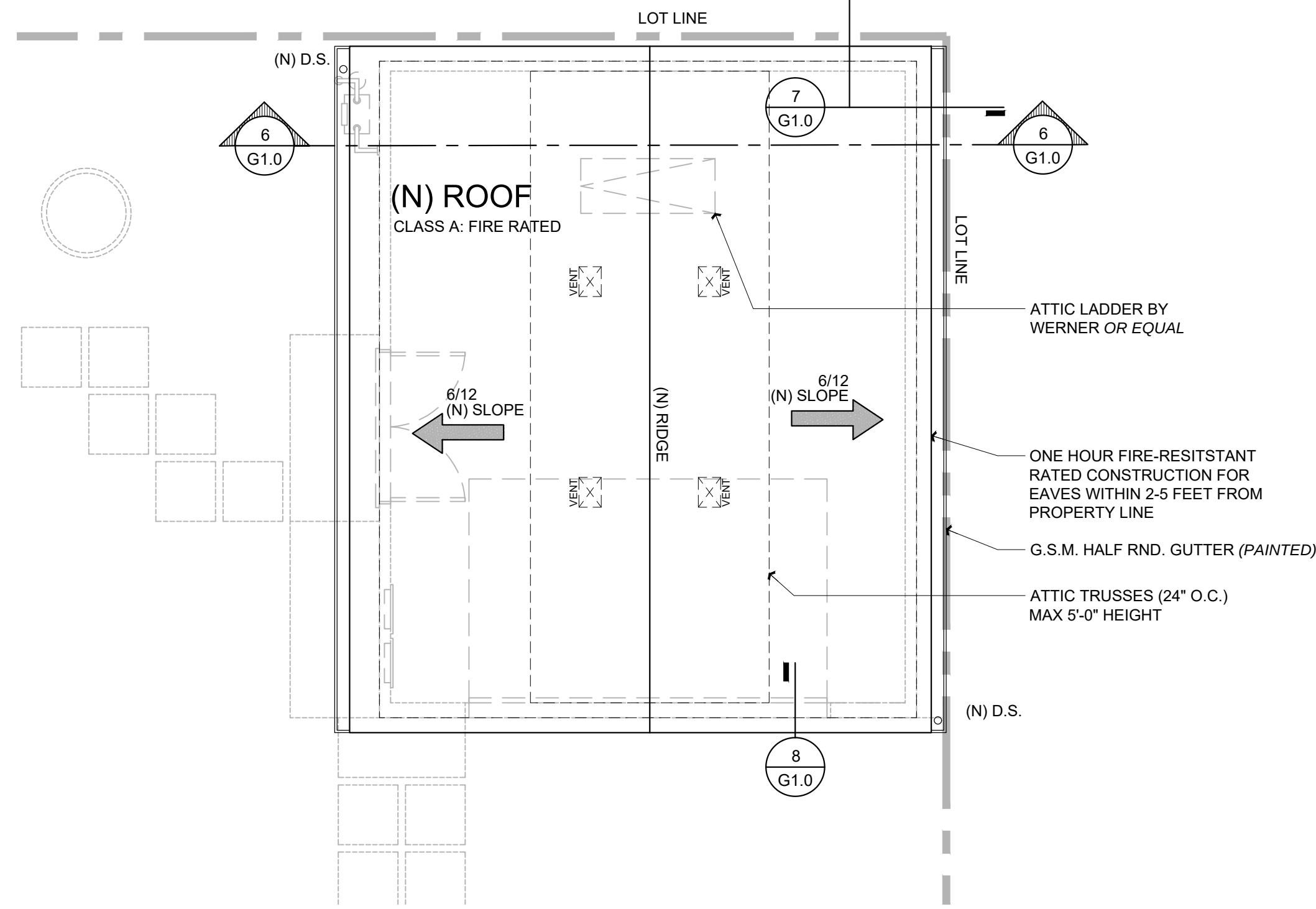


PROPOSED ROOF PLAN

MAIN HOME

Scale: 1/4 = 1'-0"

1
A2.1



PROPOSED GARAGE ROOF PLAN

DETACHED GARAGE

Scale: 1/4 = 1'-0"

2
A2.1

Contractor :
Gabrieli Developments
Contact: Greg Gabrieli
1457 Bernal Avenue
Burlingame, CA 94010
P: 650-333-6844

Owner :
Tim & Megan Baldwin
1457 Bernal Avenue
Burlingame, CA 94010
Zoning: -

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDSIGN.COM

form+one
DESIGN ■ PLANNING

Title : Proposed Roof Plan

Project : Mr. & Mrs. Baldwin
1457 Bernal Avenue
Burlingame, CA 94010

Job No. : 19_016
Drawn : TIM BOLDWIN
Date : 4-5-19

Revisions

Rev. :	Description :	Date :
001		
002		
003		
004		
005		
006		

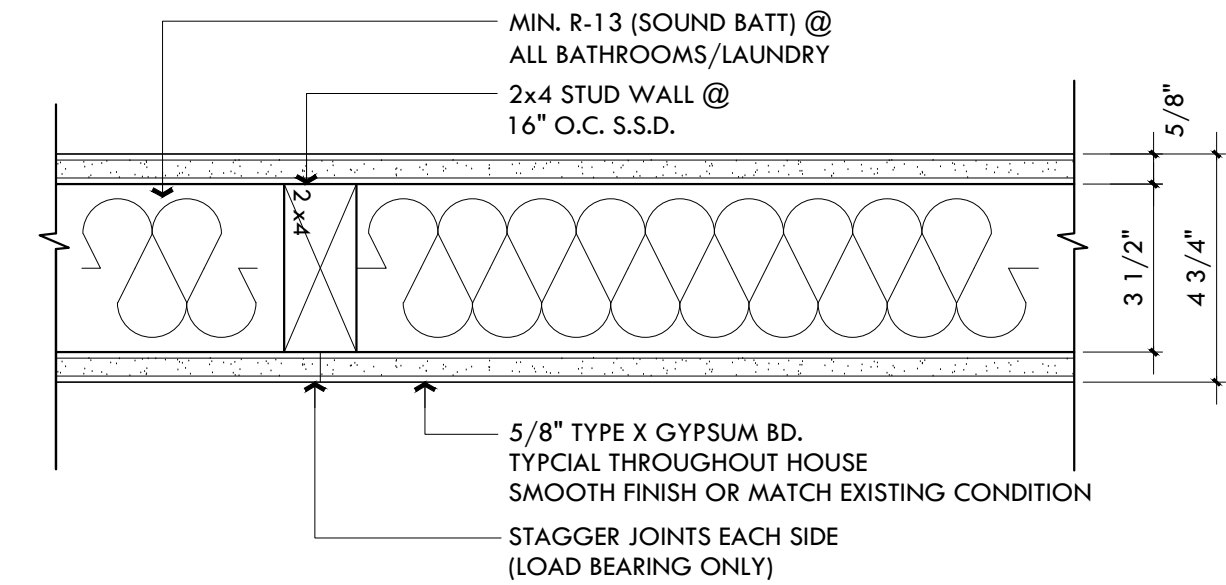
BUILDING SET
PLANNING SET

APN#: 026-044-070

A2.1

Sheet

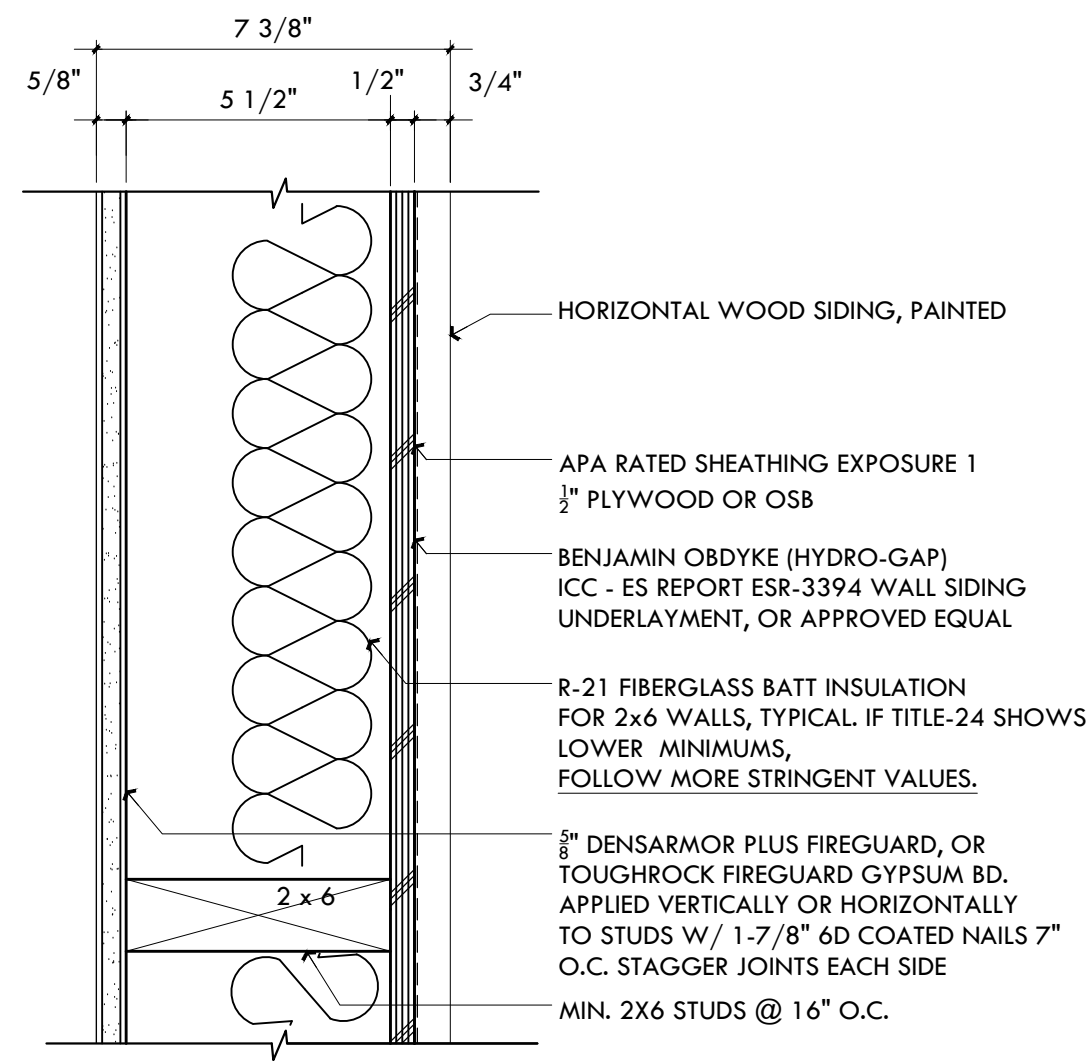
Scale: See Details



INTERIOR WALL DTLS.

Scale: 3" = 1'-0"

1
A5.0



EXT. WALL DTLS.

Scale: 3" = 1'-0"

2
A5.0

WINDOW FLASHING DTLS.

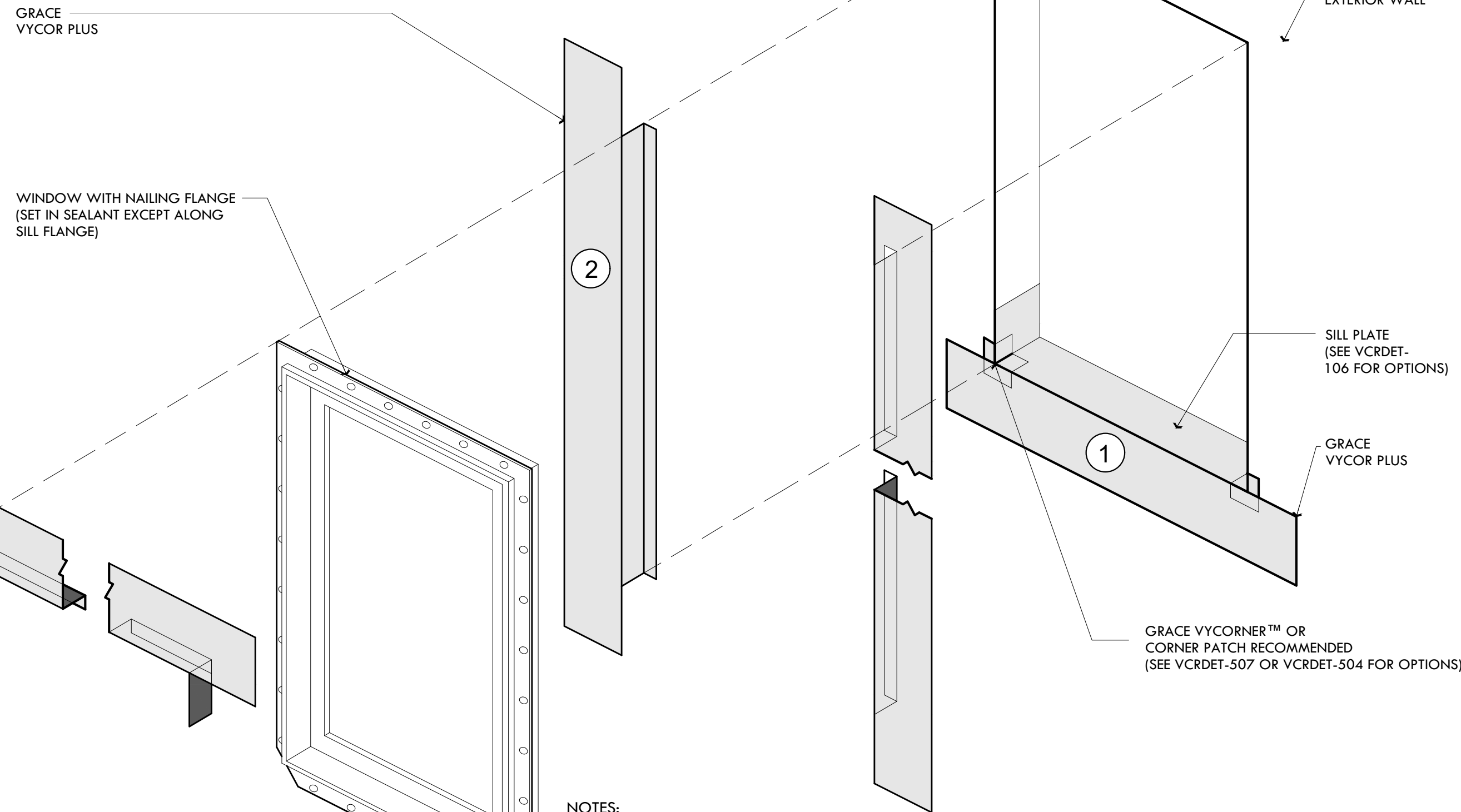
Scale: N.A.

4
A5.0

(N) EXT. WALL VENT DTLS.

Scale: 3" = 1'-0"

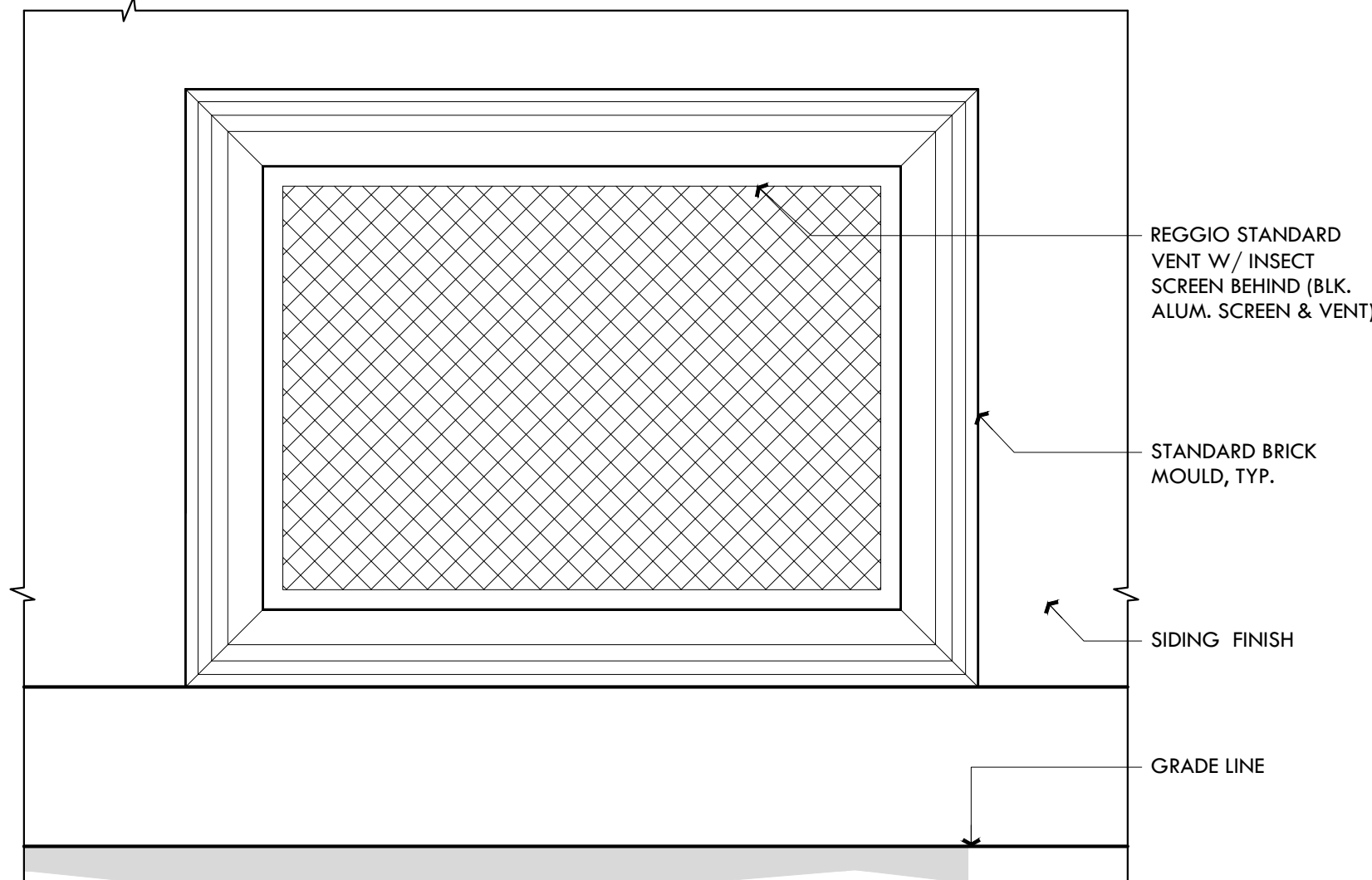
7
A5.0



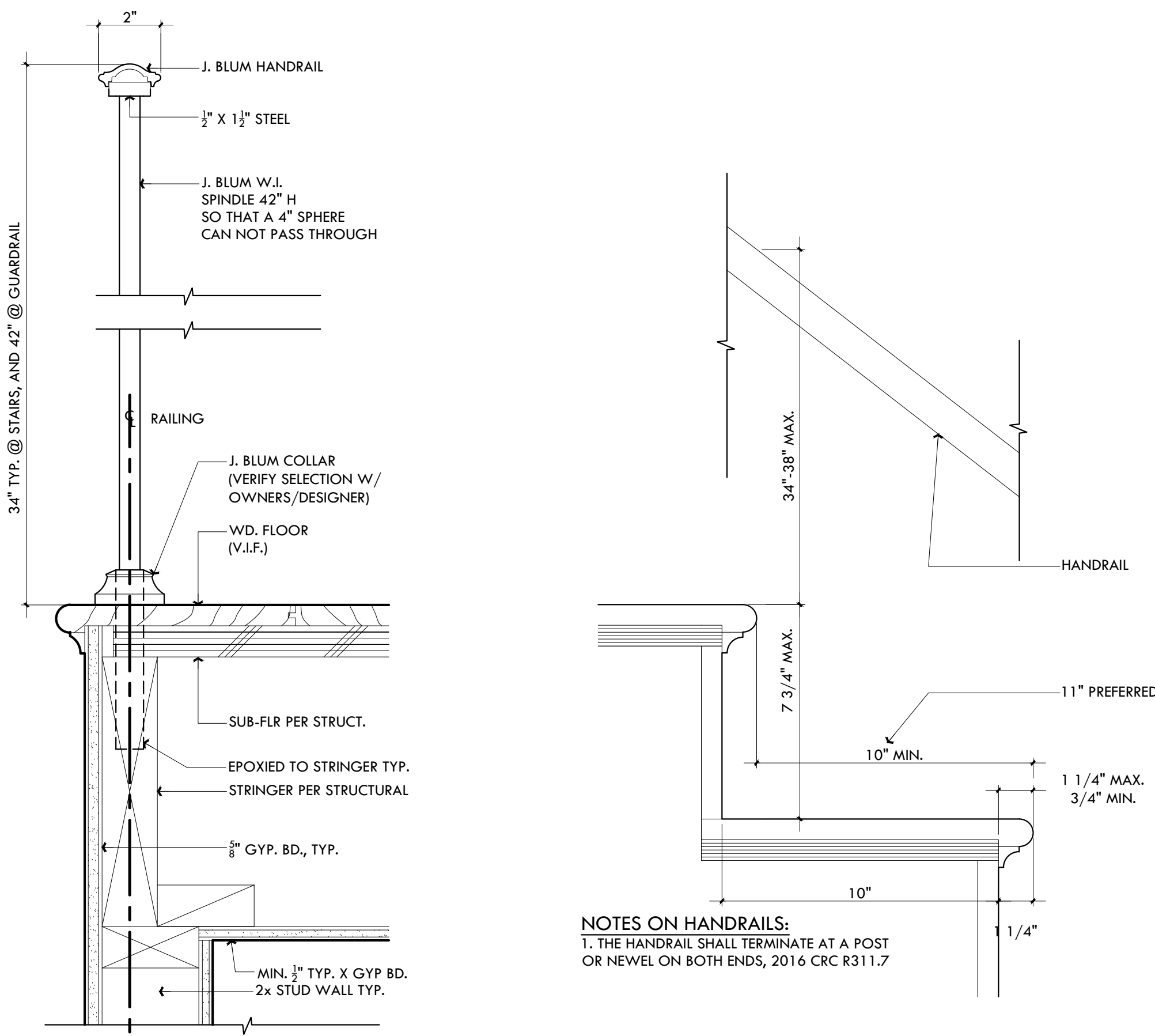
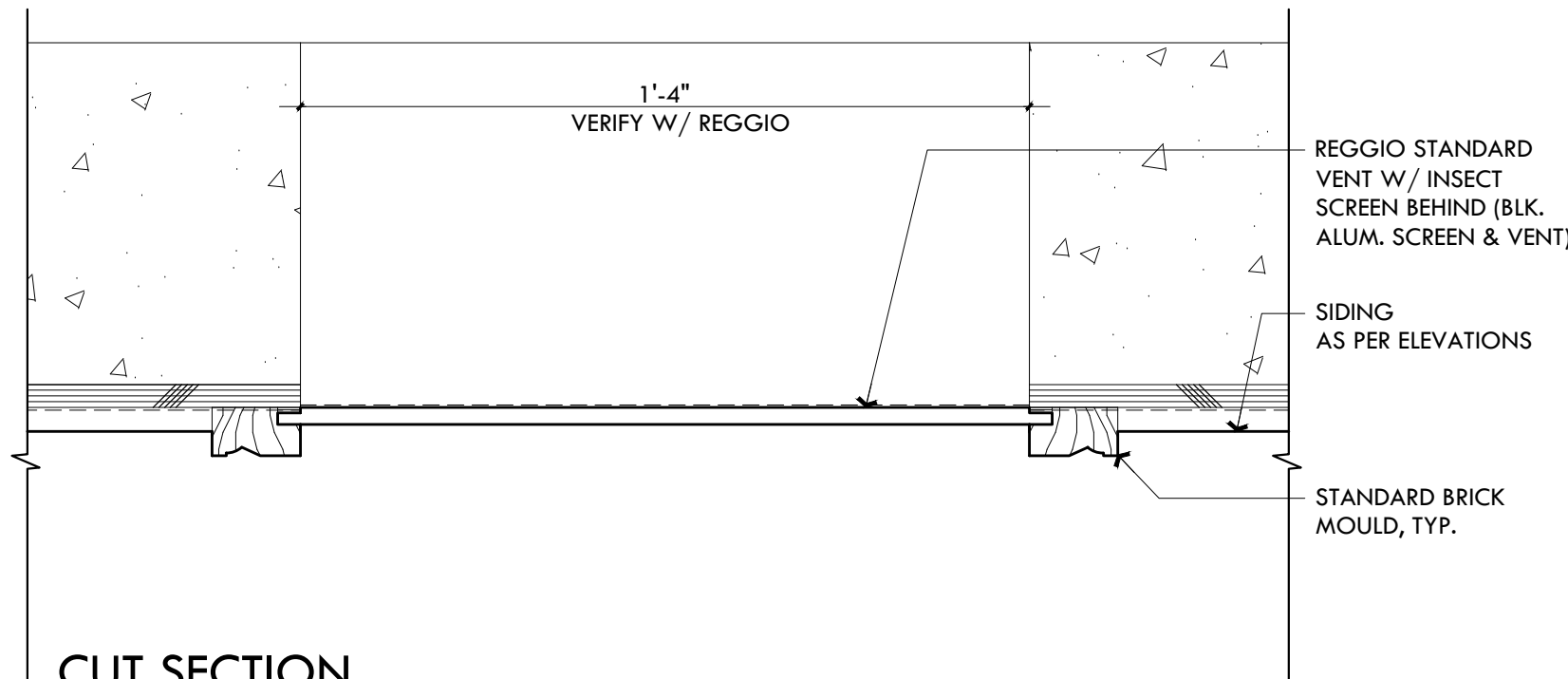
NOTES:

- VISIT GRACECONSTRUCTION.COM FOR THE MOST CURRENT DETAILS, INSTALLATION VIDEO AND PRODUCT DATA SHEETS
- REMOVE RIPCORD® FROM GRACE VYCOR PLUS FOR EASE OF INSTALLATION
- IF APPLICABLE, LEAVE RELEASE PAPER ON LOWER HALF OF SILL FLASHING UNTIL FUTURE TIE-IN WITH WEATHER RESISTIVE BARRIER
- FOR CONCRETE, MASONRY OR WHERE ADHESION IS MARGINAL, USE PERM-A-BARRIER® WB PRIMER TO PROMOTE VYCOR ADHESION
- CHECK LOCAL BUILDING CODES FOR WEATHER RESISTIVE BARRIER REQUIREMENTS AND INSTALL GRACE VYCOR PLUS WITH WEATHER RESISTIVE BARRIER TO FORM WATER-SHEDDING LAPS
- INSTALL WINDOW PER MANUFACTURER'S RECOMMENDATION AND USE APPROPRIATE SEALANT FOR WINDOW AND WOOD BUCK
- DETAIL ALSO RELEVANT FOR GRACE VYCOR V40 AND VYCOR BUTYL

ELEVATION



CUT SECTION



Stair Railing Detail

2016 CRC R311.7.8

Scale: 3" = 1'-0"

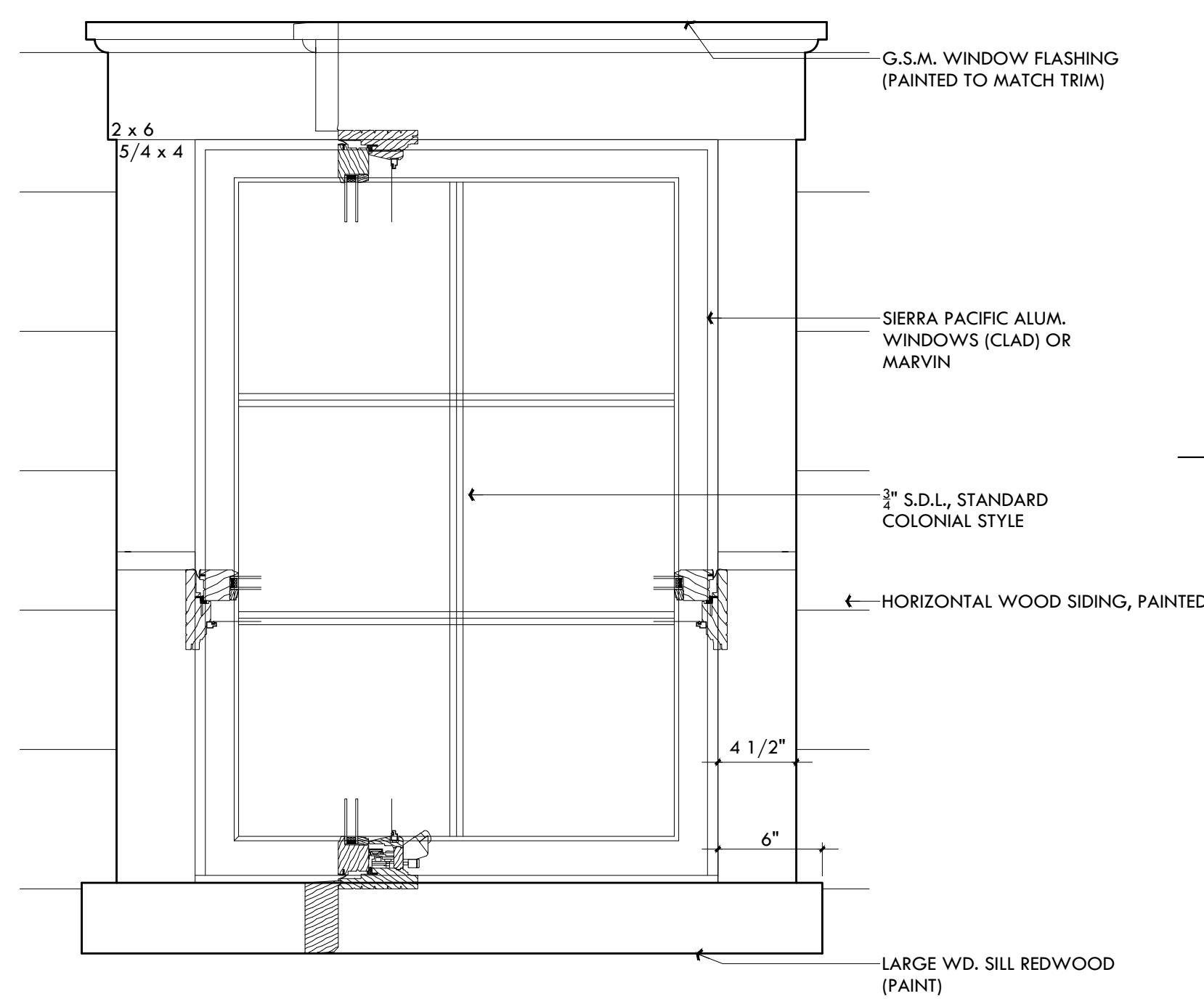
3
A5.0

Interior Stair Detail

2016 CRC R311.7.8

Scale: 3" = 1'-0"

5
A5.0



Typical Window Detail

Sierra Pacific or Marvin or Equal

Scale: 3" = 1'-0"

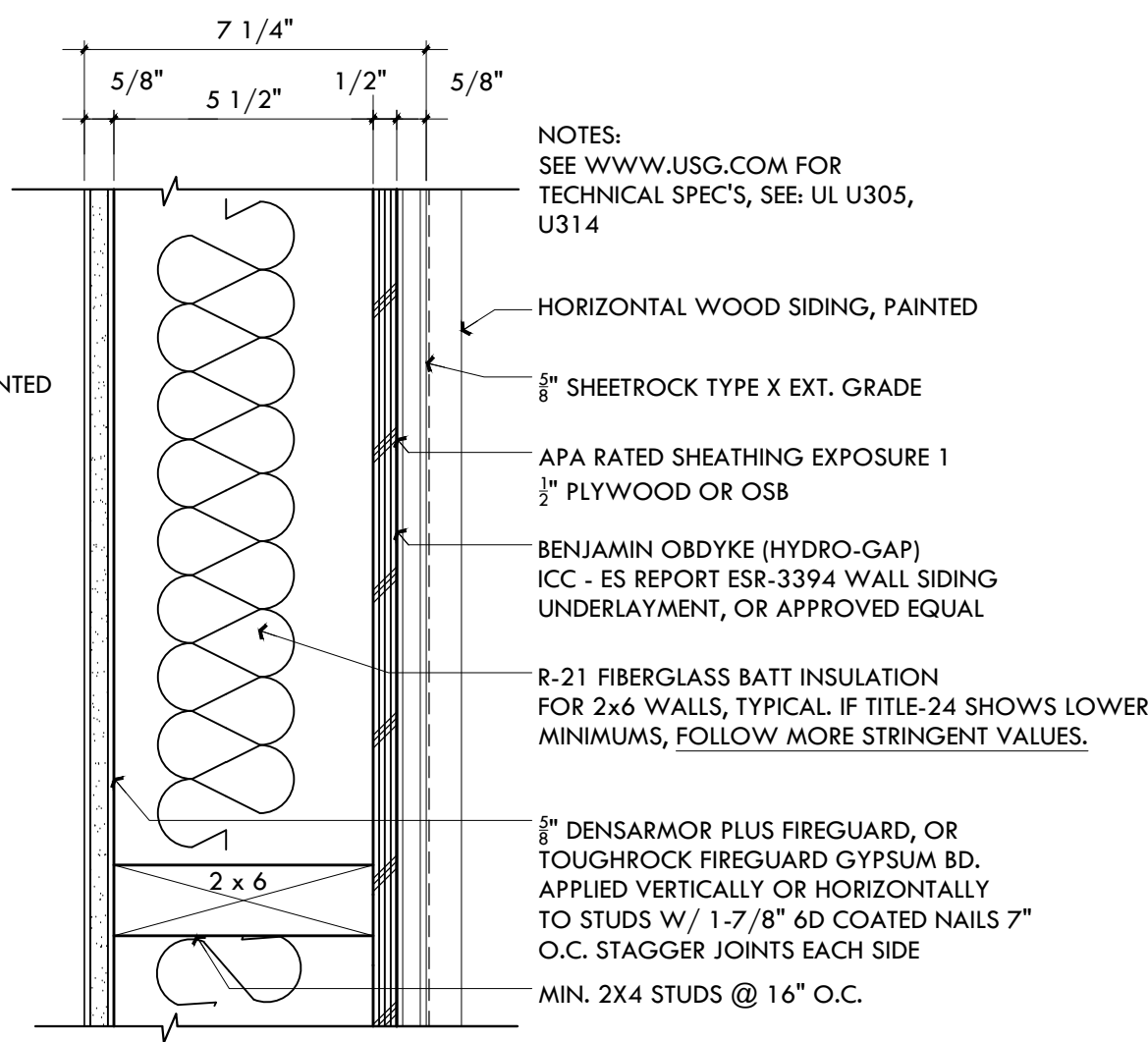
8
A5.0

1-HR RATED EXT. WALL

UL DES. U305, U314
(WWW.USG.COM)

Scale: 3" = 1'-0"

9
A5.0



Revisions

Rev.:	Description:	Date:
001		
002		
003		
004		
005		
006		

Contractor:
Gambrioli Developments
Contact: Greg Gambrioli
1457 Bernal Avenue
Burlingame, CA 94010
P: 650-333-6844

Owner:
Tim & Megan Baldwin
1457 Bernal Avenue
Burlingame, CA 94010
Zoning: -

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIMEFORMONEDSIGN.COM



Title: Building Details

Project: Mr. & Mrs. Baldwin
1457 Bernal Avenue
Burlingame, CA 94010

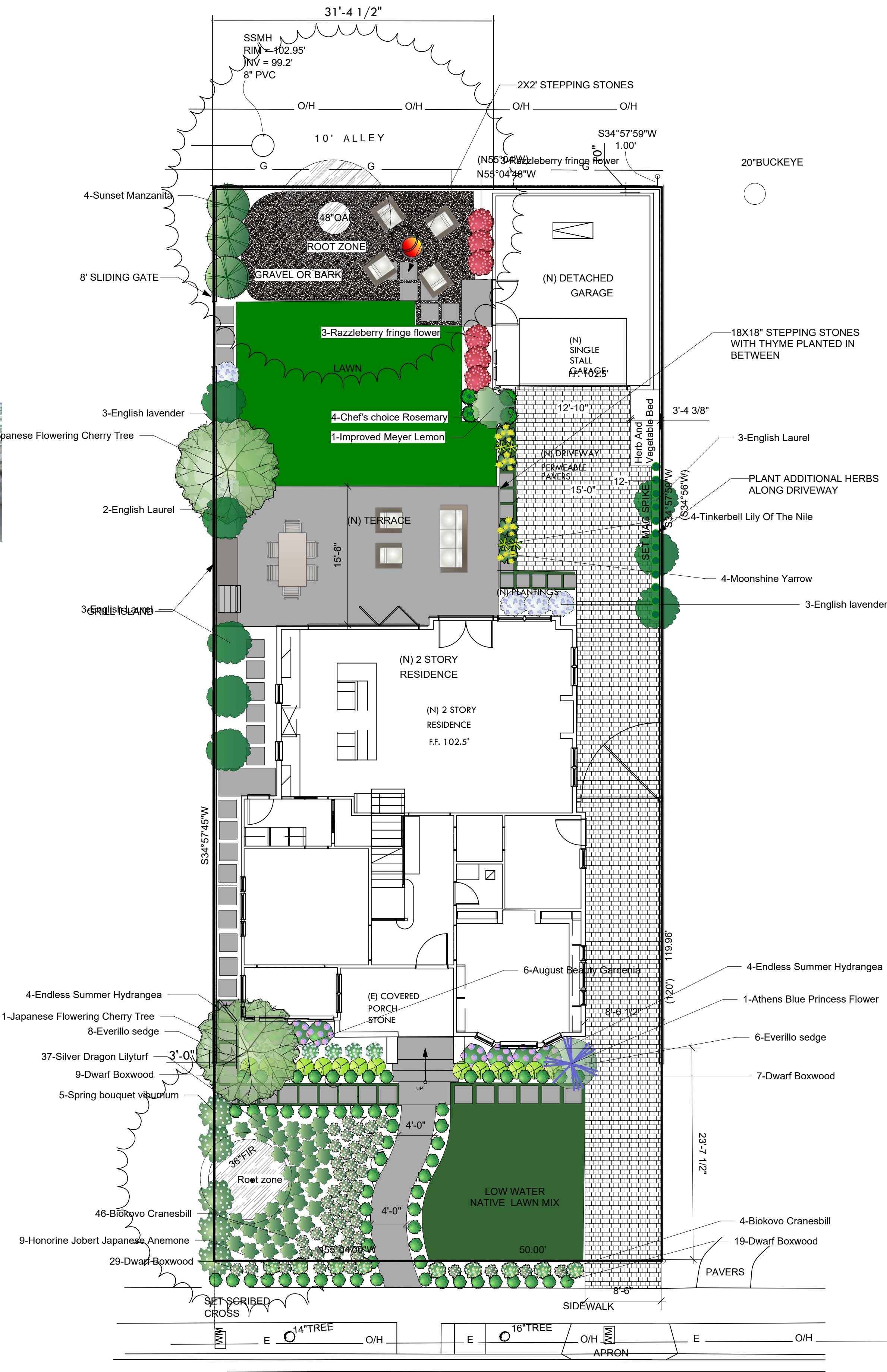
Job No.: 19_016
Drawn: TIM BALDWIN
Date: 4-5-19

A5.0

Sheet
Scale: See Details

Measurements are approximate and not guaranteed for construction purposes. This is not a construction drawing and parts may need verification by a soils or structural engineer, landscape architect, or the licensed landscape contractor who builds and installs the plan. It is the sole responsibility of the licensed contractor to discover all conditions, necessary local permits, and local codes that apply to the project.

BACKYARD AND SIDE YARD PLANS



FRONT YARD



BERNAL AVENUE

(50' R/W)



REVISIONS	



1025 ALAMEDA DE LAS PULGAS
SUITE 107
BELMONT, CA 94002
650-576-1935
KRISTEN@RUDGERLANDSCAPES.COM

BALDWIN RESIDENCE
1457 BERNAL AVENUE
BURLINGAME, CA 94101

DATE
AUGUST 2, 2019
DRAWN BY
KRISTEN RUDGER
TITLE
LANDSCAPE PLANS
SCALE
1/8"=1'-0"
SHEET NO.
L1.0