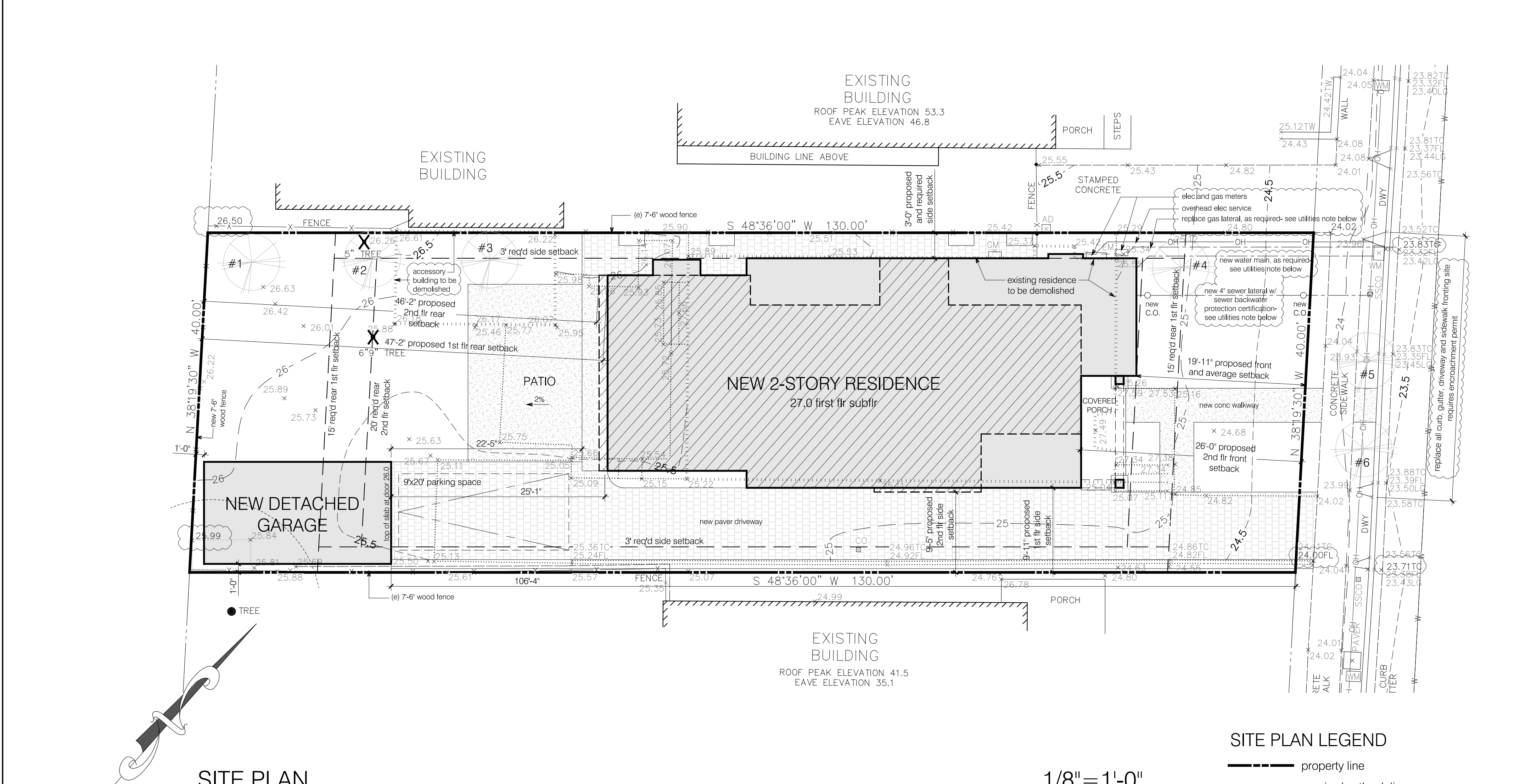


NEW RESIDENCE
757 FARRINGDON LANE, BURLINGAME, CALIFORNIA



Drawn on survey by Dains Land Surveying, dated 5-16-19
There are no existing trees on the project site that are over 48" in circumference
See Landscape plan by NLC

ADDRESS:	SETBACK:	ADDRESS:	SETBACK:
769 FARRINGDON LANE	25.6 FEET	737 FARRINGDON LANE	17.5 FEET
765 FARRINGDON LANE	19.4 FEET	733 FARRINGDON LANE	22.0 FEET
761 FARRINGDON LANE	23.9 FEET	729 FARRINGDON LANE	18.0 FEET
757 FARRINGDON LANE	21.8 FEET	725 FARRINGDON LANE	24.0 FEET
753 FARRINGDON LANE	24.9 FEET	721 FARRINGDON LANE	33.3 FEET
749 FARRINGDON LANE	21.2 FEET	717 FARRINGDON LANE	28.5 FEET
745 FARRINGDON LANE	23.9 FEET	711 FARRINGDON LANE	32.0 FEET
741 FARRINGDON LANE	26.9 FEET	709 FARRINGDON LANE	27.5 FEET
		705 FARRINGDON LANE	23.7 FEET

 property line
 required setback line
 1st floor wall
 2nd floor wall
 fence
 to be demolished
 1st floor building area
 2nd floor building area

- Plug all existing sanitary sewer lateral connections and install a new 4" lateral, all water line connections to city water mains for services or fire line are to be installed per city standard procedures and specification, and any other underground utility works within city's right-of-way. All abandoned sewer lateral or water service shall be disconnected at the main and per City requirements. An encroachment permit will be required for these items.
- All water line connections to city water mains for services or fire line protection are to be installed per city standard procedures and material specifications. Contact the city department for connection fees. If required, all fire services and services 2" and over will be installed by builder. All
- underground fire service connections shall be submitted as separate Underground Fire Service permit for review and approval.
- Sewer Backwater Protection Certification is required for the installation of any new sewer fixture per Ordinance No. 170.0. Sewer Backwater Protection Certificate is required prior to the issuance of Building Permit.

scope of work: Demolish existing residence (1,319 sq. ft.±) and shed (23 sq. ft.±) and build new 2-story residence with 1 car detached garage.

APN: 029-044-040

zoning: R-1

allowable floor area: $0.32 \times 5,193 + 1,100 = 2,762$ sq. ft.

FLOOR AREA	
1st floor	1,545.5
2nd floor	1,216
porch> 100 sq ft	0
TOTAL	2,761.5
detached garage	264

proposed lot coverage: 1,870 sq. ft.

D. H. H.

	existing	proposed
habitable area	1,319±	2,761.5
non-habitable area	192±	264
total area	1,511±	3,025.5
bedrooms	2	4
bathrooms	1	3.5

	existing	proposed
IMPERVIOUS		
structural	1,750	1870
driveway	1,000	0
patio	490	462
walks	140	95
total	3,380	2,427
PERVIOUS		
driveway	0	975
walks	0	190
total	0	1,165

1. Construction Hours
Weekdays 8AM-7PM
Saturdays 9AM-6PM
Sundays and Holidays No Work Allowed
2. Any hidden conditions that require work to be performed beyond the scope of the building permit issued for these plans may require further City approvals including review by the Planning Commission.
3. DEMOLITION PERMIT
A completed Supplemental Demolition Permit Application shall be submitted prior to the issuance of a building permit application. NOTE: The Demolition Permit will not be issued and no work can begin (including the removal of any building components) until a Building Permit is issued for the project. The owner is responsible for assuring that no work is authorized or performed. Demolition of a structure requires a permit from BAAQMD and required signing-off from the City, Sewer, Planning, and Recycling departments. The pink demolition permit application will need to be completed prior to Building Department approval and the start of work. Contact BAAQMD for questions. (415)749-4979, email at www.baaqmd.gov.
4. CITY OF BURLINGAME BUSINESS LICENSE
Anyone doing business in City of Burlingame must have a current City of Burlingame business license.
5. The Certificate of Occupancy will be rescinded once construction begins. A new Certificate of Occupancy will be issued after the project has been finalized. No occupancy of the building is to occur until a new Certificate of Occupancy has been issued.

Two complete copies of the Green Building Mandatory Measures Checklist will be submitted with plans to be submitted for Building plan review

2016 California Building Code
2016 California Residential Code
2016 California Mechanical Code
2016 California Plumbing Code
2016 California Green Building Standards Code
2016 California Electrical Code
2016 California Fire Code
2016 California Energy Code
Burlingame Municipal Code
Burlingame Amendments to the California Codes as adopted in Ordinance 1889
Note: If the Planning Commission has not approved the project prior
to 5:00 p.m. on December 31, 2016 then this project must comply with the 2019 California
Building Codes.

3223 encinal avenue
alameda, ca 94501
510.847.0377



OWNERS: BETH AND KEITH TAYLOR

drawing title

revisions

△ 10.16.19

Planning Commission Study

date: 8.28.19

scale: as noted

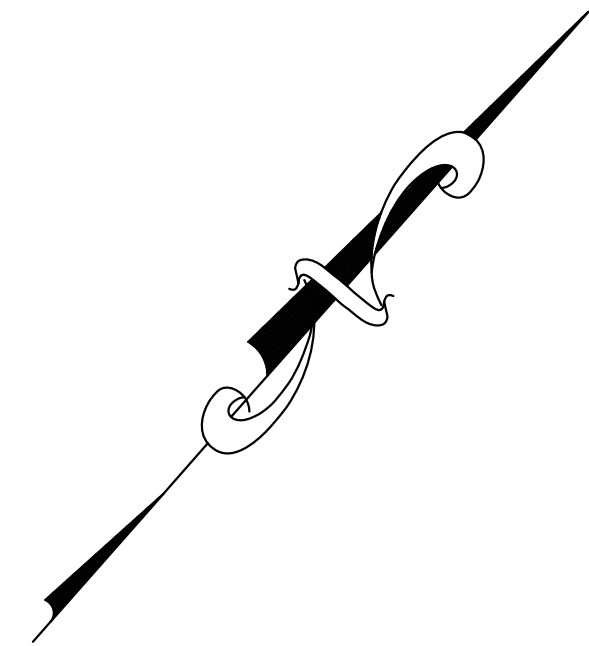
drawn by: EL

job: TAYLOR FARRINGTON

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of 13 sheets



(IN FEET)
inch = 10 ft

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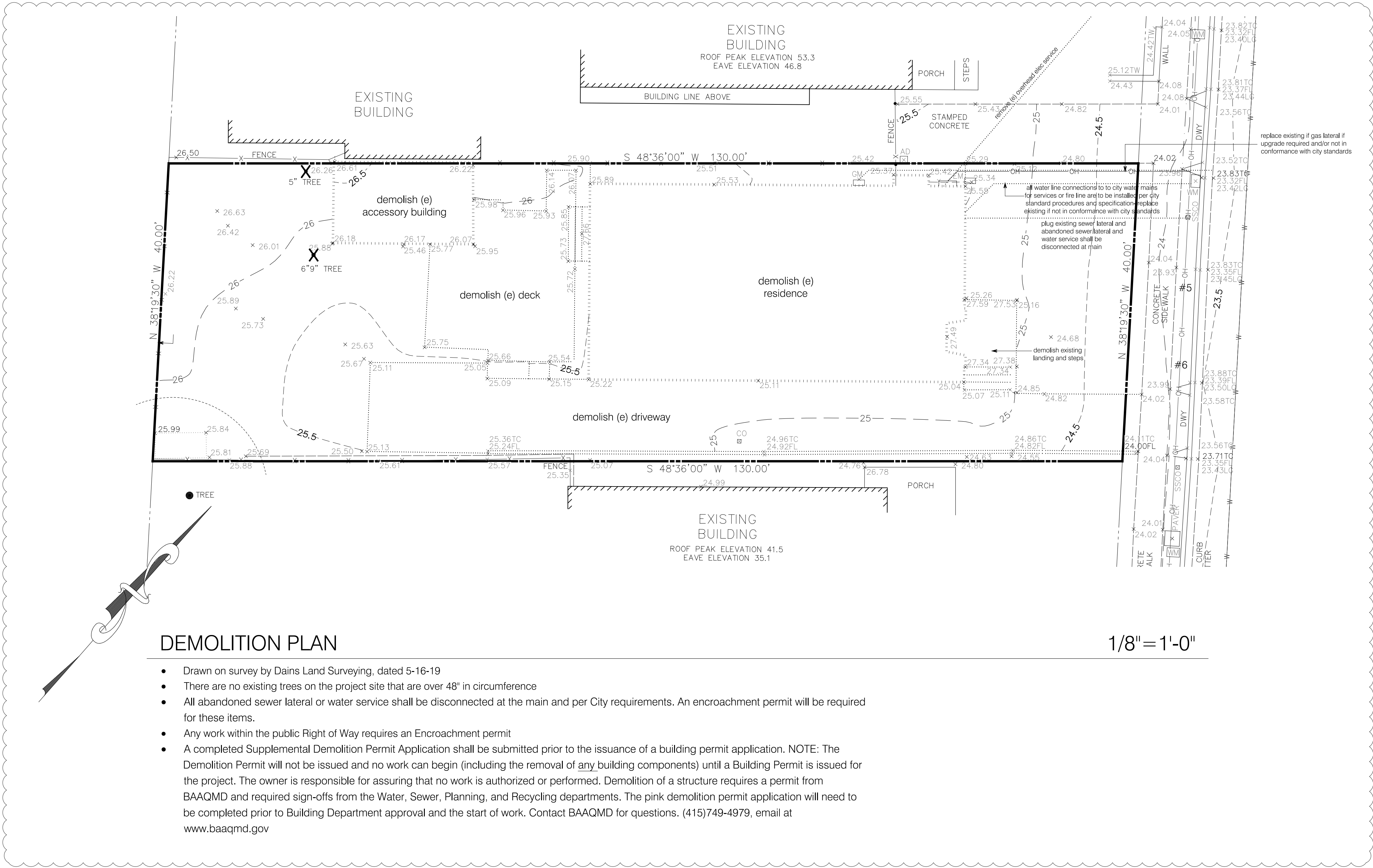
	PROPERTY LINE
AD	AREA DRAIN
CO	CLEANOUT
CONC.	CONCRETE
EM	ELECTRIC METER
FL	FLOWLINE
GM	GAS METER
INV	INVERT
JP	JOINT UTILITY POLE
MH	MANHOLE
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
TC	TOP OF CURB
THRESH	THRESHOLD
TW	TOP OF WALL
WM	WATER METER
	TREE W/ SIZE
	FENCE
	OVERHEAD LINE
	SANITARY SEWER LINE
	WATER LINE

= 5,193 SQ. FT. ±
= 0.119 ACRES ±

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR/ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

EASEMENTS, IF ANY, ARE NOT INDICATED HEREON.

TOPOGRAPHIC SURVEY PLAN 757 FARRINGTON LANE A.P.N. 029-044-040 LOT "E", BLOCK 10, 7 MAPS 38 BURLINGAME SAN MATEO COUNTY CALIFORNIA		PREPARED FOR: BETH TAYLOR		DAINS LAND SURVEYING rdains@dainslandsurveying.net (650) 743-0831				REV.	DESCRIPTION	BY:	DATE:
DRAWN BY: RJD DESIGNED BY: --- CHECKED BY: RJD SCALE: 1"=10' DATE: 05/16/19 PROJECT NO. 19-822		SHEET 1 of 1									





NEW RESIDENCE
757 FARRINGTON LANE
BURLINGAME, CALIFORNIA
APN: 029-044-040
OWNERS: BETH AND KEITH TAYLOR

drawing title

revisions

10.16.19

Planning Commission Study

date: 8.28.19

scale: as noted

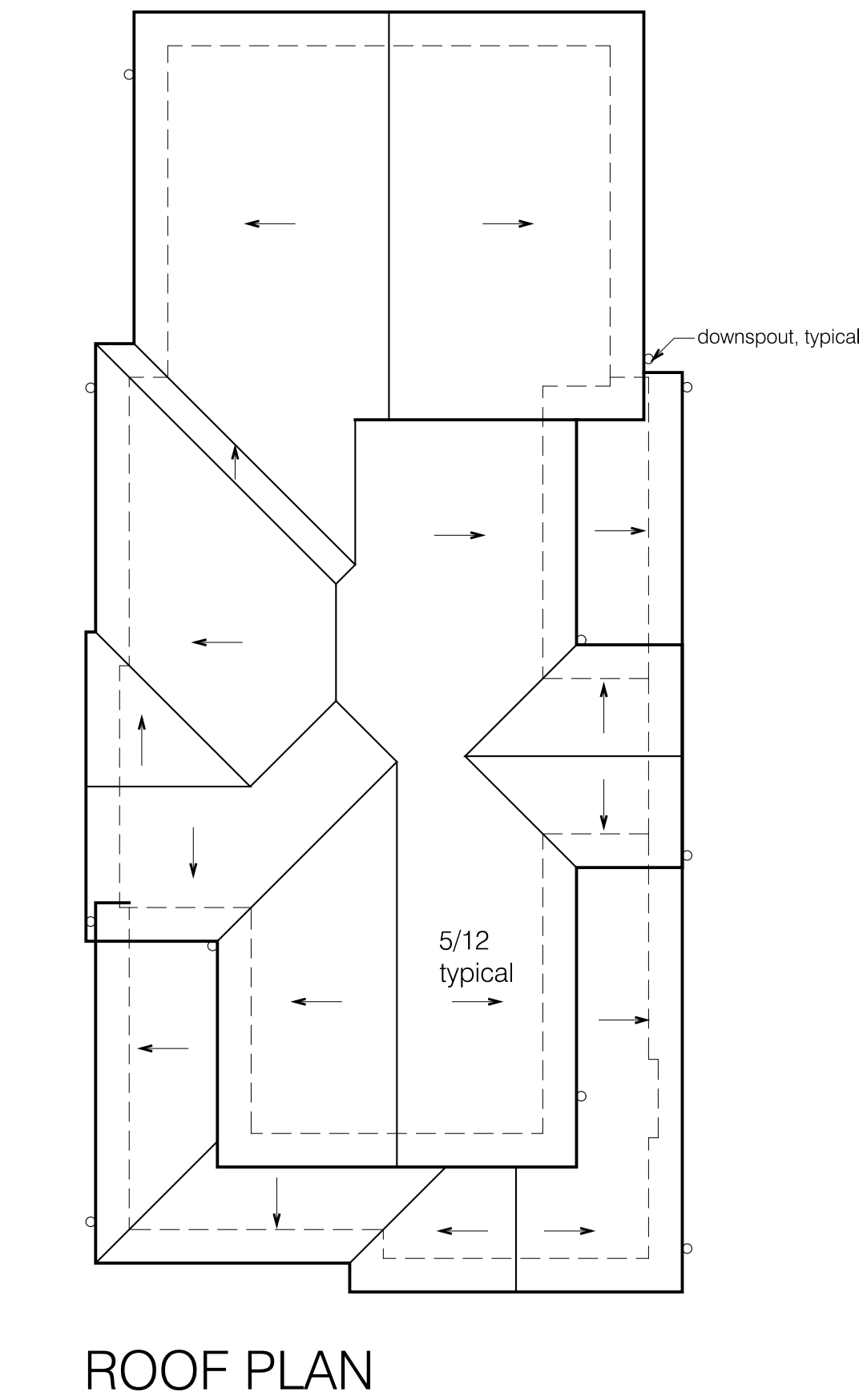
drawn by: EL

job: TAYLOR FARRINGTON

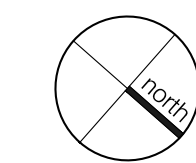
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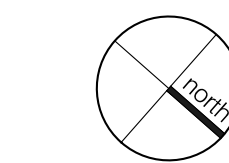
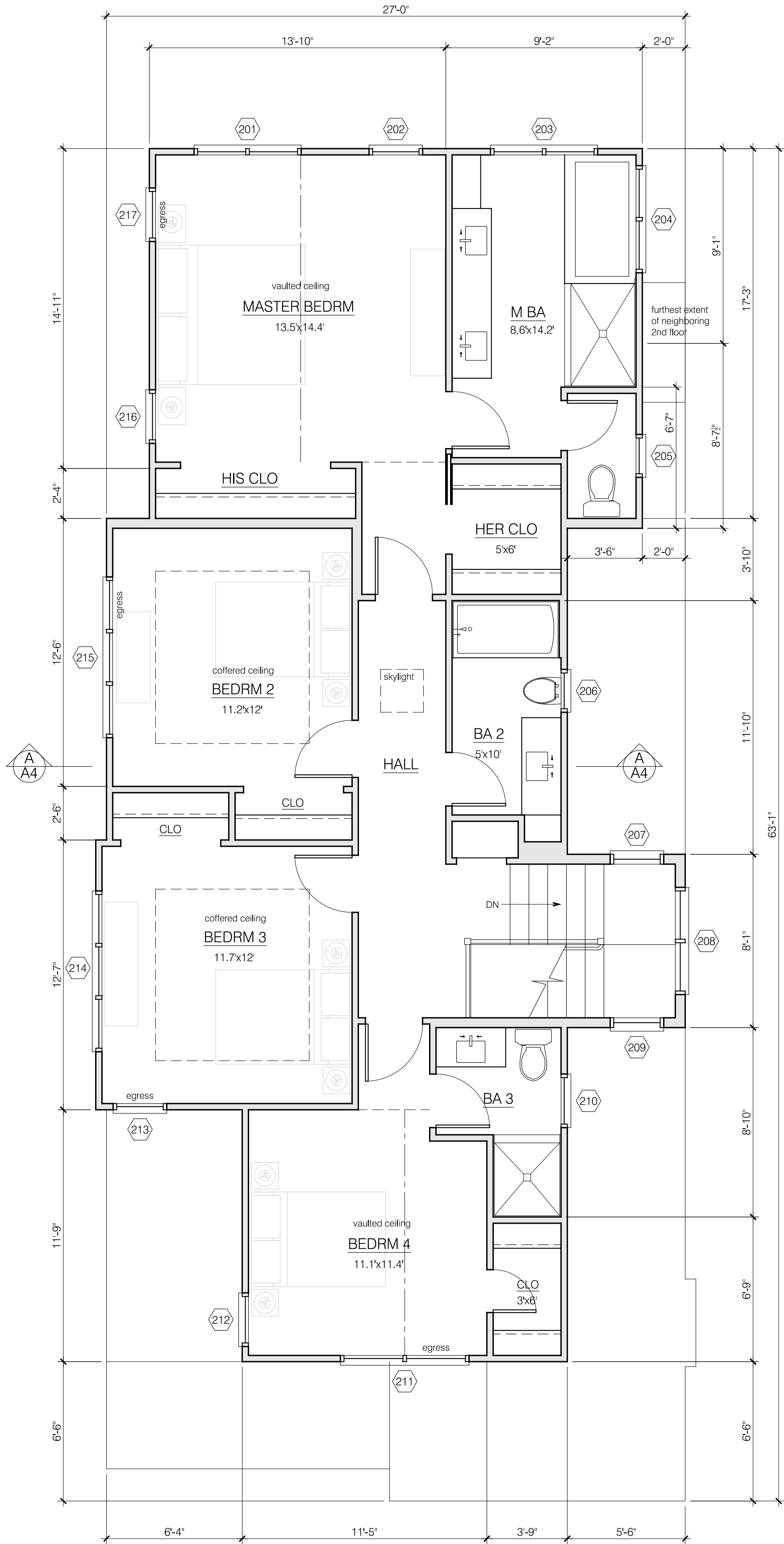
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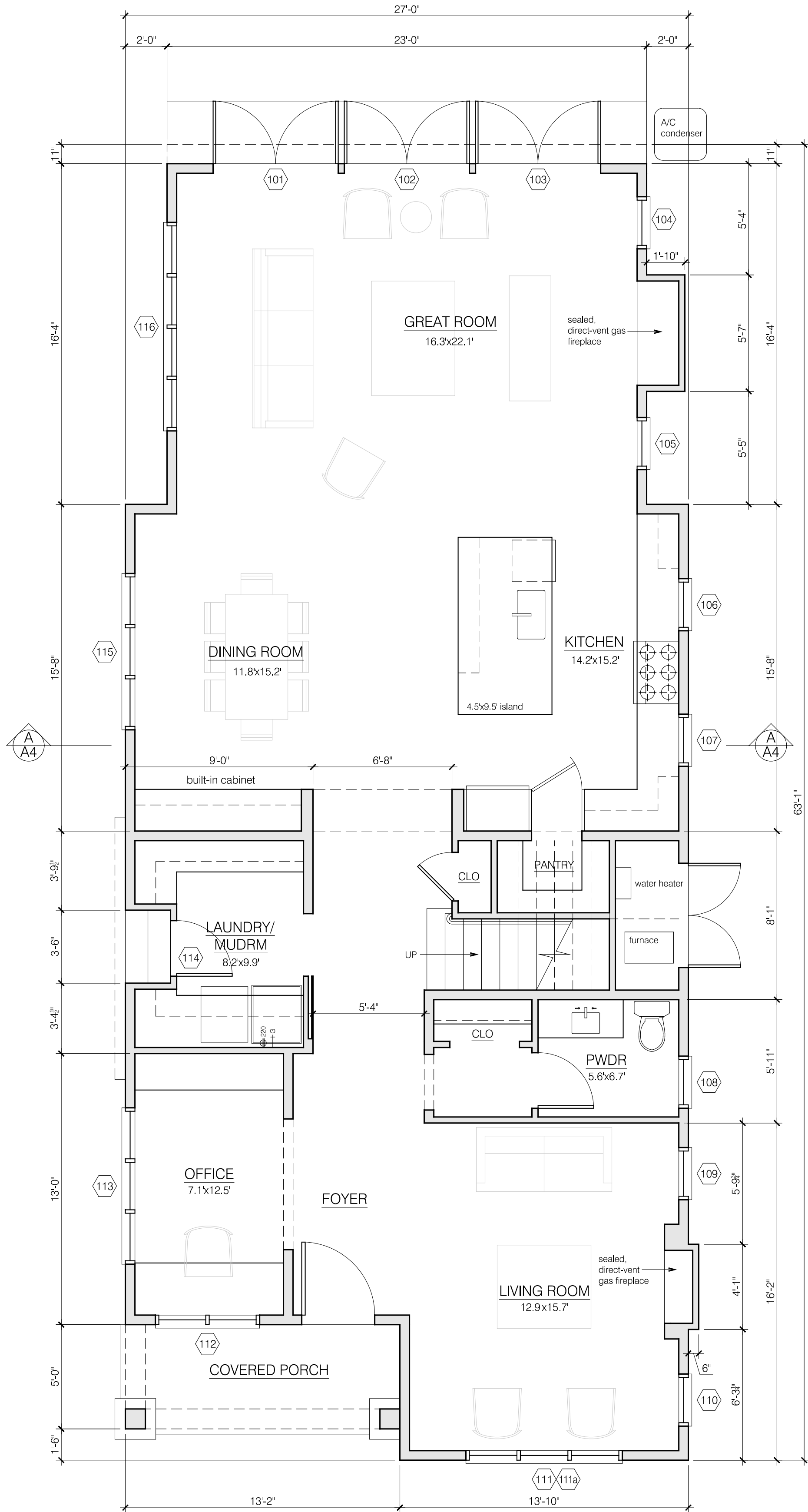
WINDOW SCHEDULE					
TAG	Room	Operation	Width	Height	Comments
FIRST FLOOR					
101	Great Room	French doors	72"	96"	temp. gl.
102	Great Room	French doors	72"	96"	temp. gl.
103	Great Room	French doors	72"	96"	temp. gl.
104	Great Room	casement	30"	60"	
105	Great Room	casement	30"	60"	
106	Kitchen	casement	30"	54"	
107	Kitchen	casement	30"	54"	
108	Powder	casement	30"	60"	
109	Living Room	casement	30"	60"	
110	Living Room	casement	30"	60"	
111	Living Room	csmt-fxd-csmt	90"	60"	
111a	Living Room	fxd transom	90"	16"	
112	Office	csmt-csmt	60"	60"	
113	Office	csmt-fxd-csmt	90"	60"	
114	Laundry	French door	32"	84"	temp. gl.
115	Dining Room	csmt-fxd-csmt	90"	60"	
116	Great Room	csmt-fxd-csmt	120"	60"	
SECOND FLOOR					
201	Master Bdrm	csmt-csmt	60"	54"	
202	Master Bdrm	casement	30"	54"	
203	Master Bath	csmt-csmt	60"	54"	temp. gl.
204	Master Bath	awn-awn	60"	24"	temp. gl.
205	Master Toilet	csmt	24"	48"	
206	Bath 2	csmt	24"	48"	temp. gl.
207	Stairwell	casement	30"	60"	temp. gl.
208	Stairwell	csmt-csmt	60"	60"	temp. gl.
209	Stairwell	casement	30"	60"	temp. gl.
210	Bath 3	casement	30"	48"	temp. gl.
211	Bedroom 4	csmt-csmt	72"	60"	egress
212	Bedroom 4	casement	30"	48"	
213	Bedroom 3	casement	30"	54"	
214	Bedroom 3	csmt-fxd-csmt	90"	54"	egress
215	Bedroom 2	csmt-fxd-csmt	90"	48"	egress
216	Master Bdrm	casement	30"	54"	
217	Master Bdrm	casement	30"	54"	egress



SECOND FLOOR PLAN
1,216 sq ft



FIRST FLOOR PLAN
1,547.5 sq ft





NEW RESIDENCE
757 FARRINGTON LANE
BURLINGAME, CALIFORNIA
APN: 029-044-040
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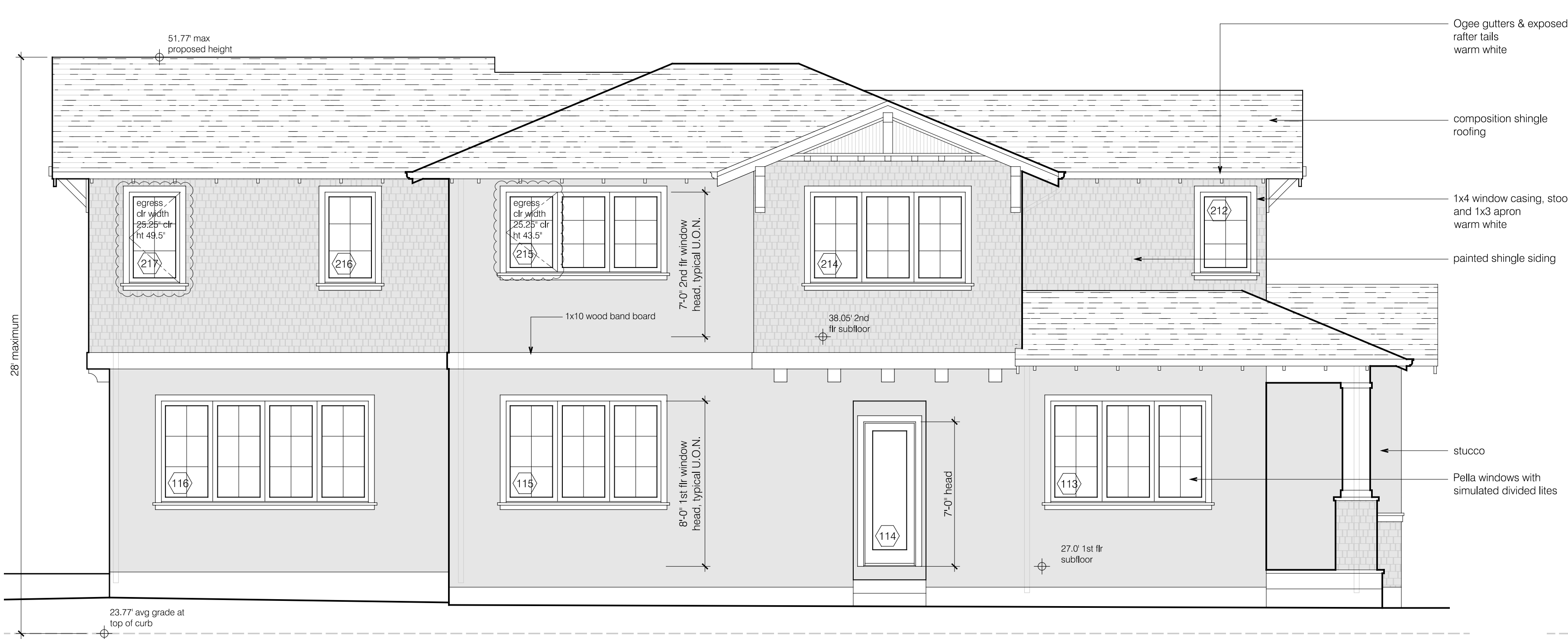
drawn by: EL

job: TAYLOR FARRINGTON

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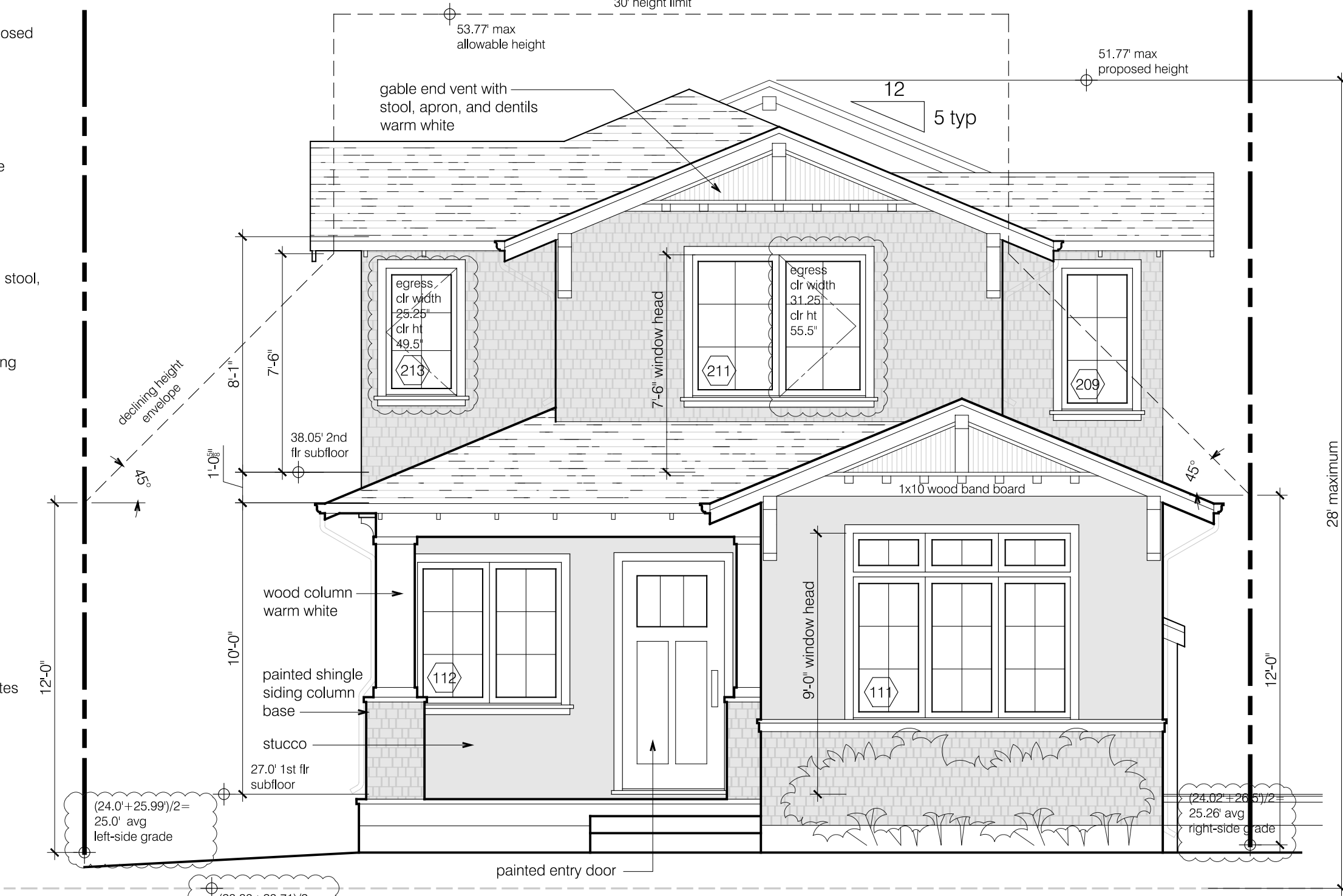
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LEFT-SIDE (SOUTHEAST) ELEVATION

1/4"=1'-0"



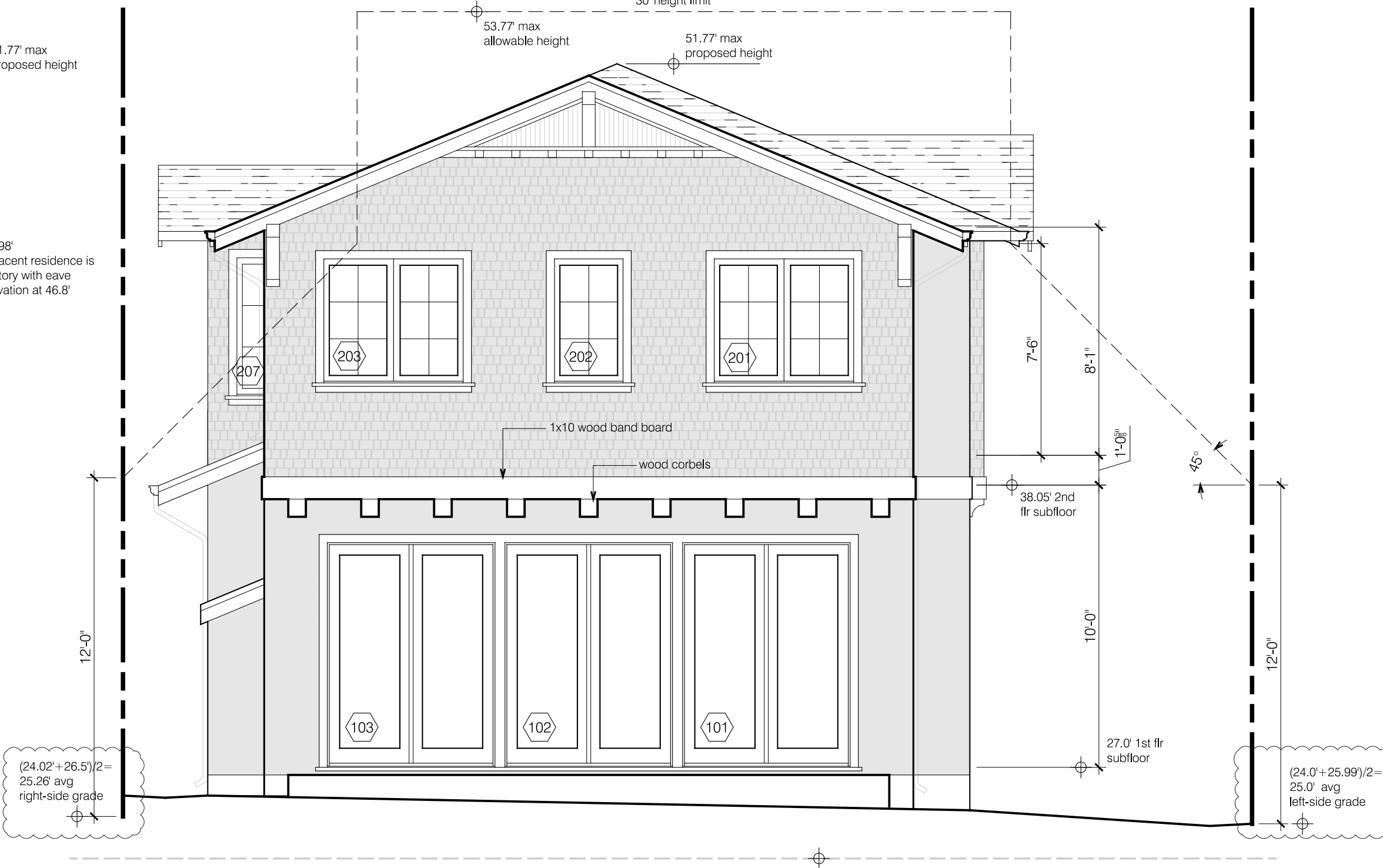
FRONT (NORTHEAST) ELEVATION

1/4"=1'-0"



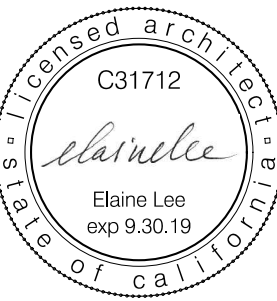
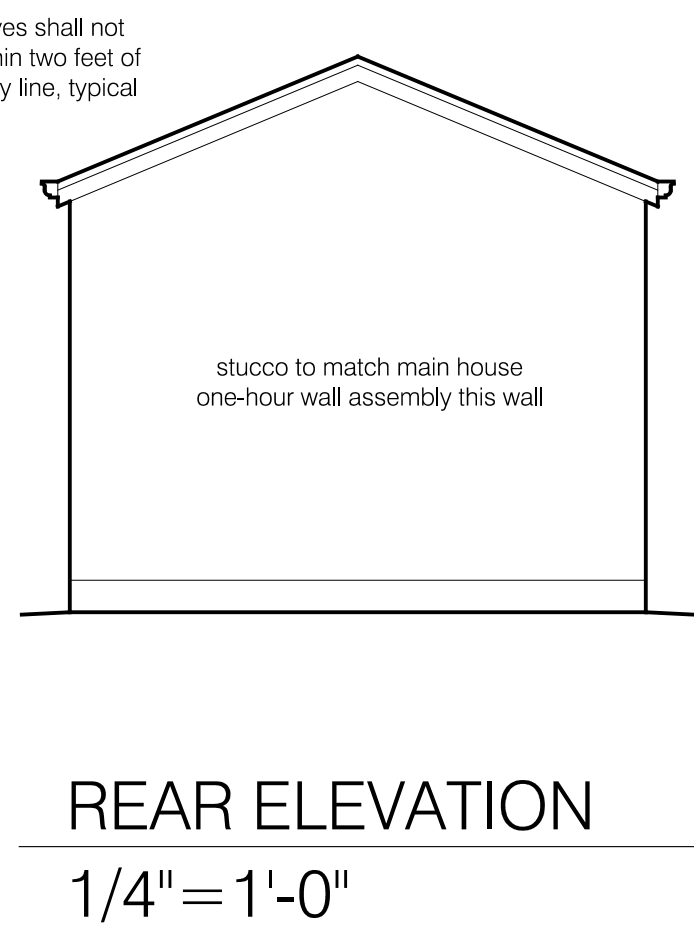
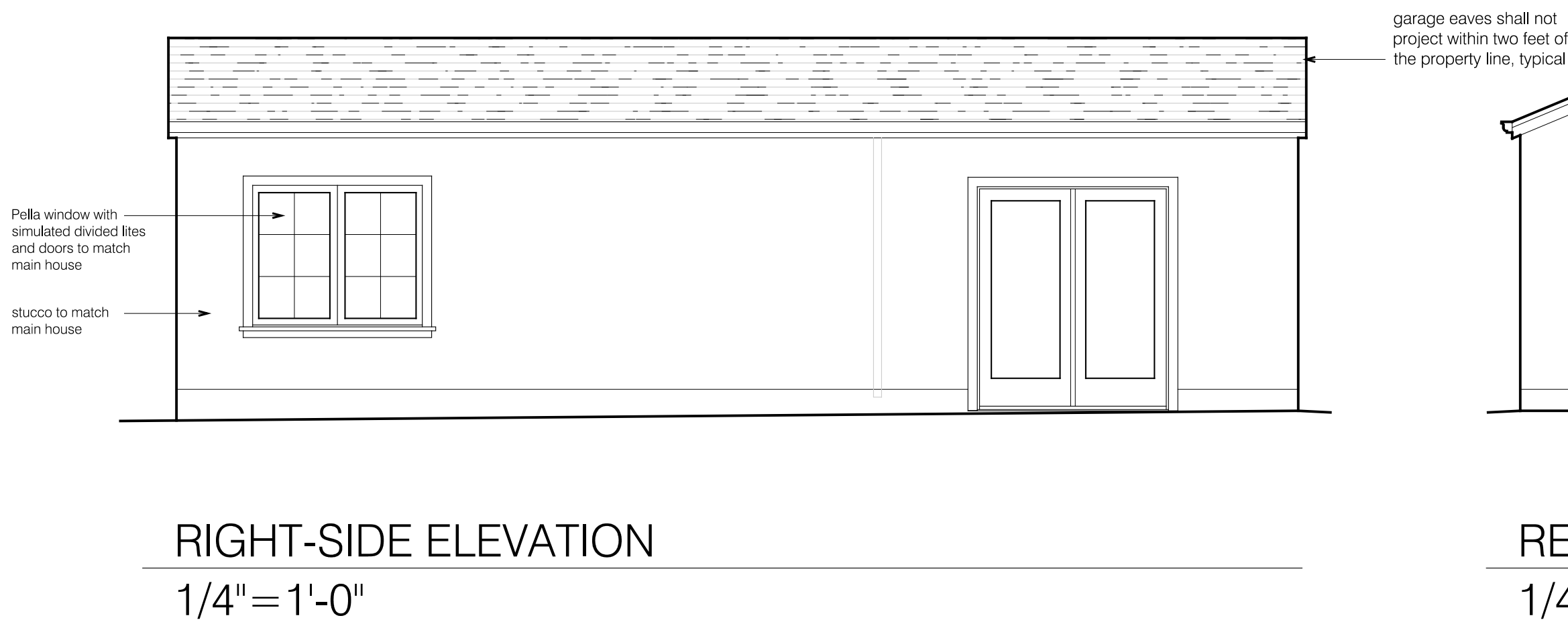
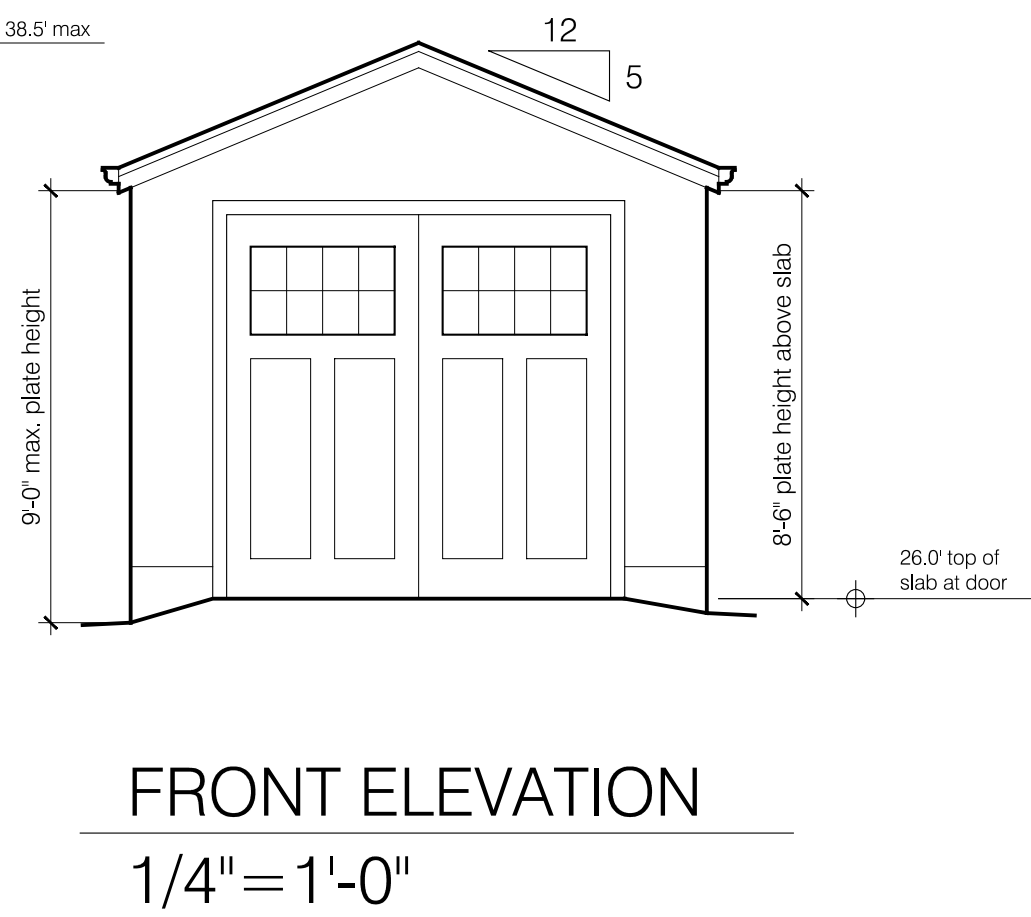
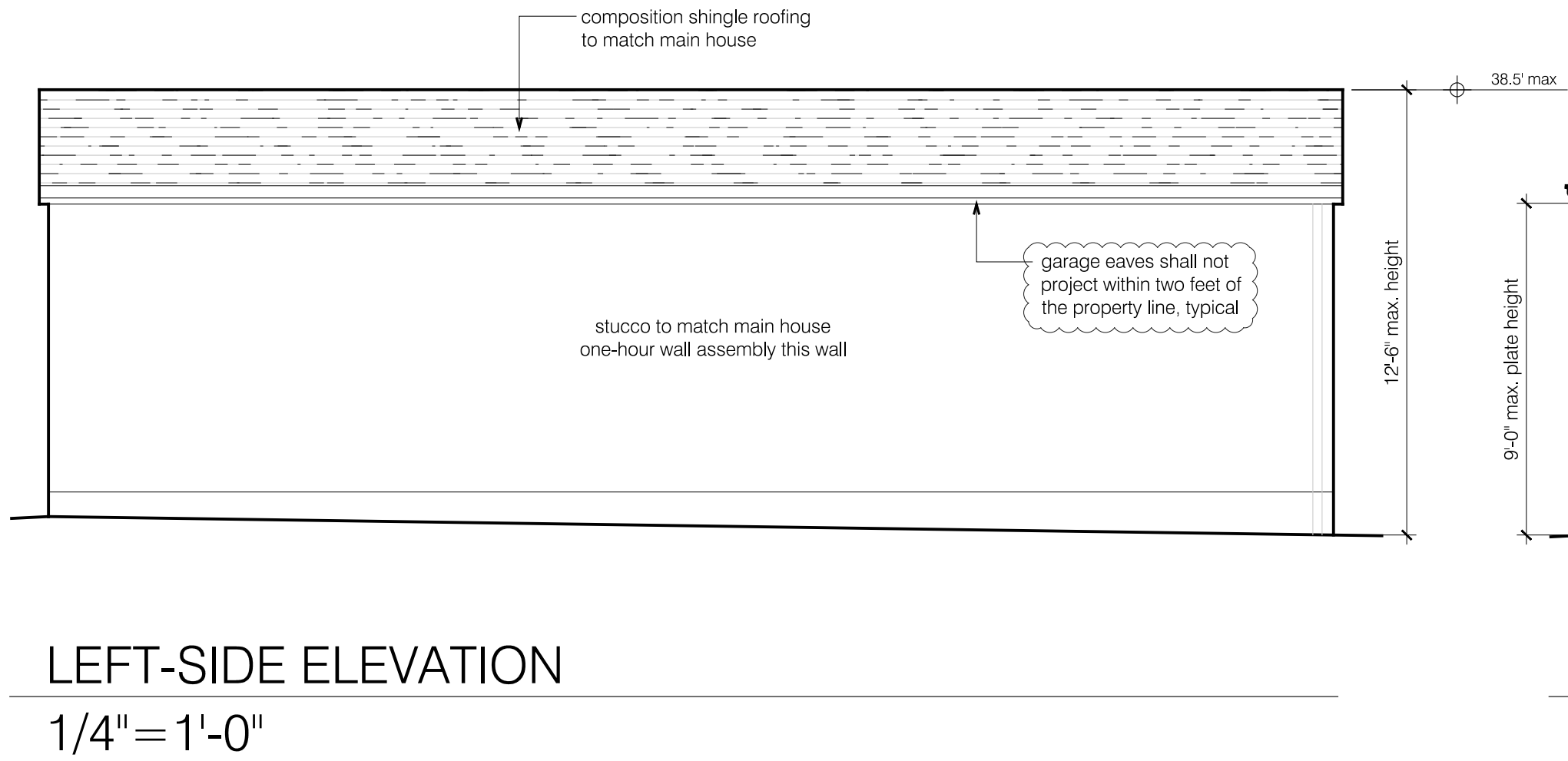
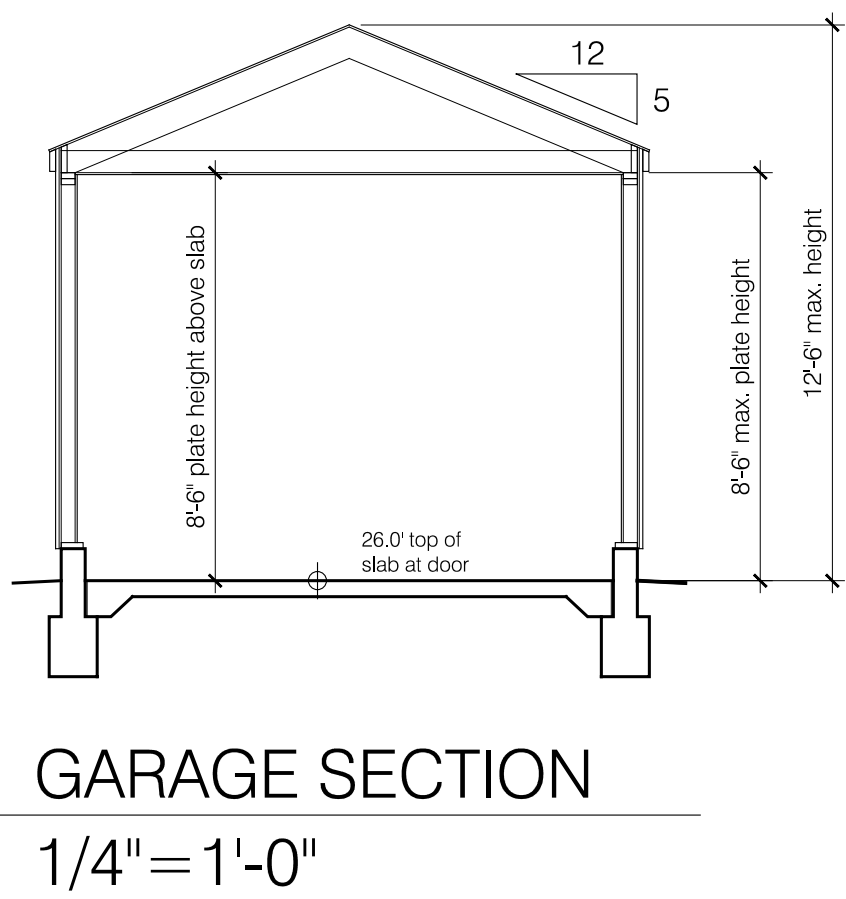
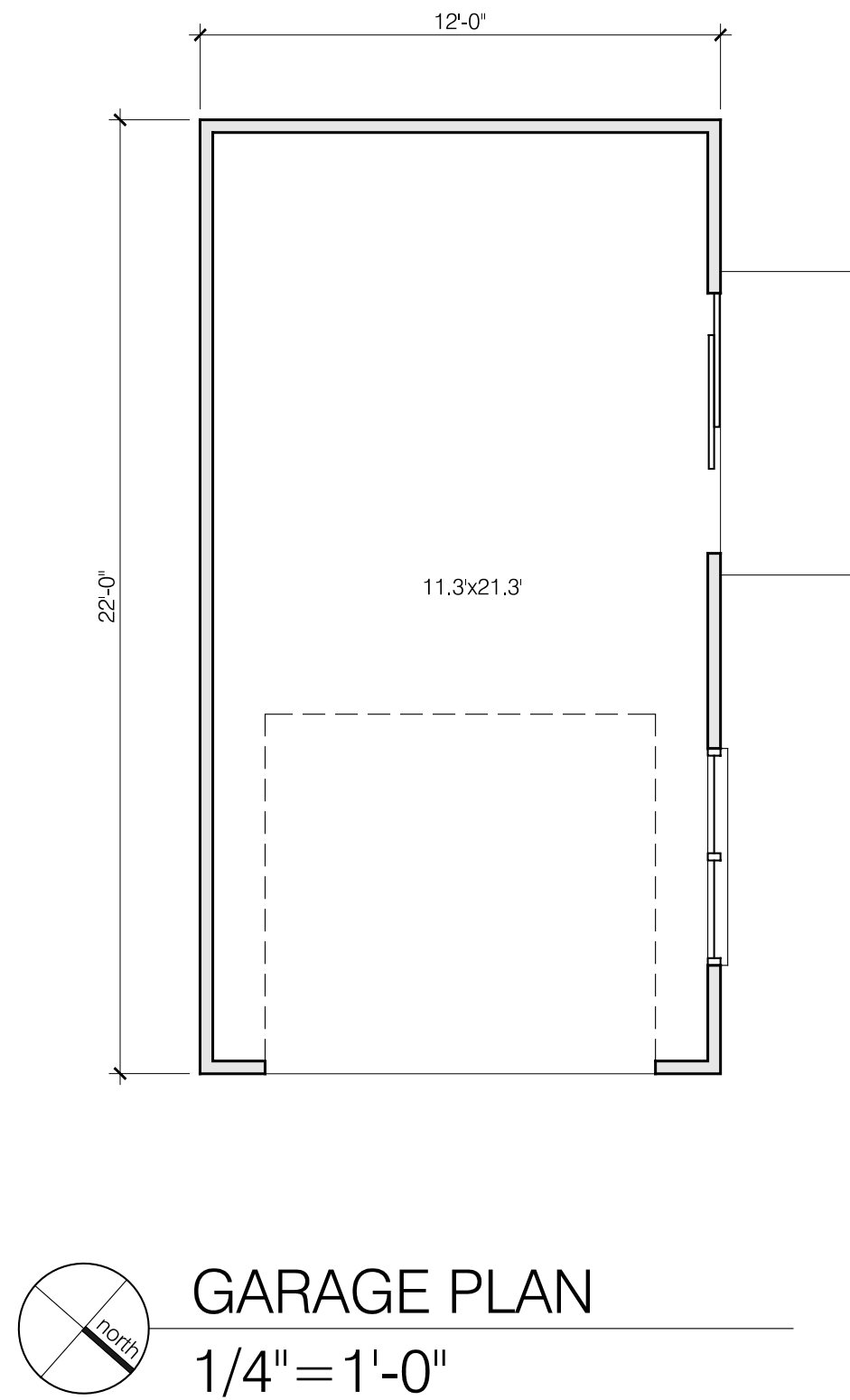
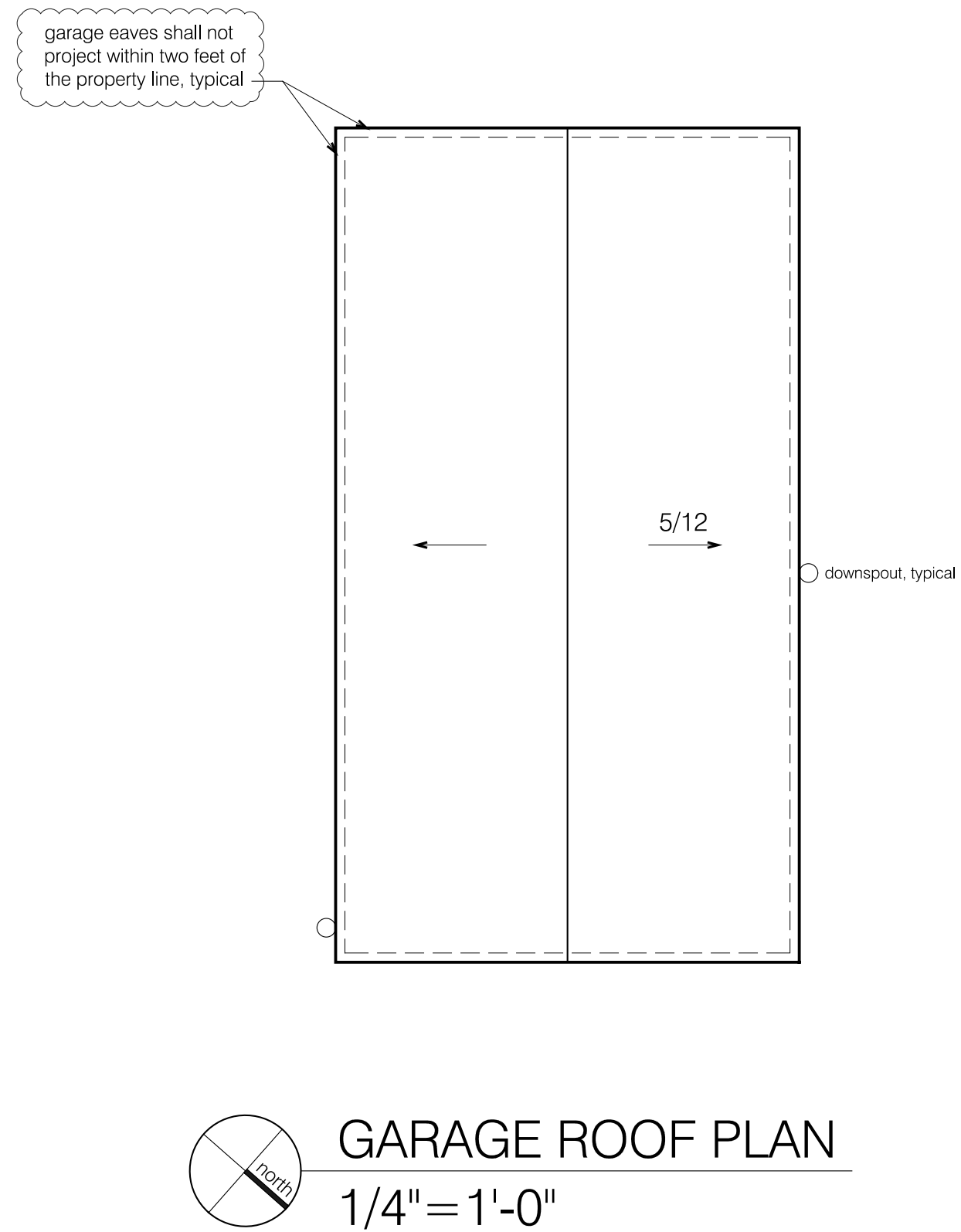
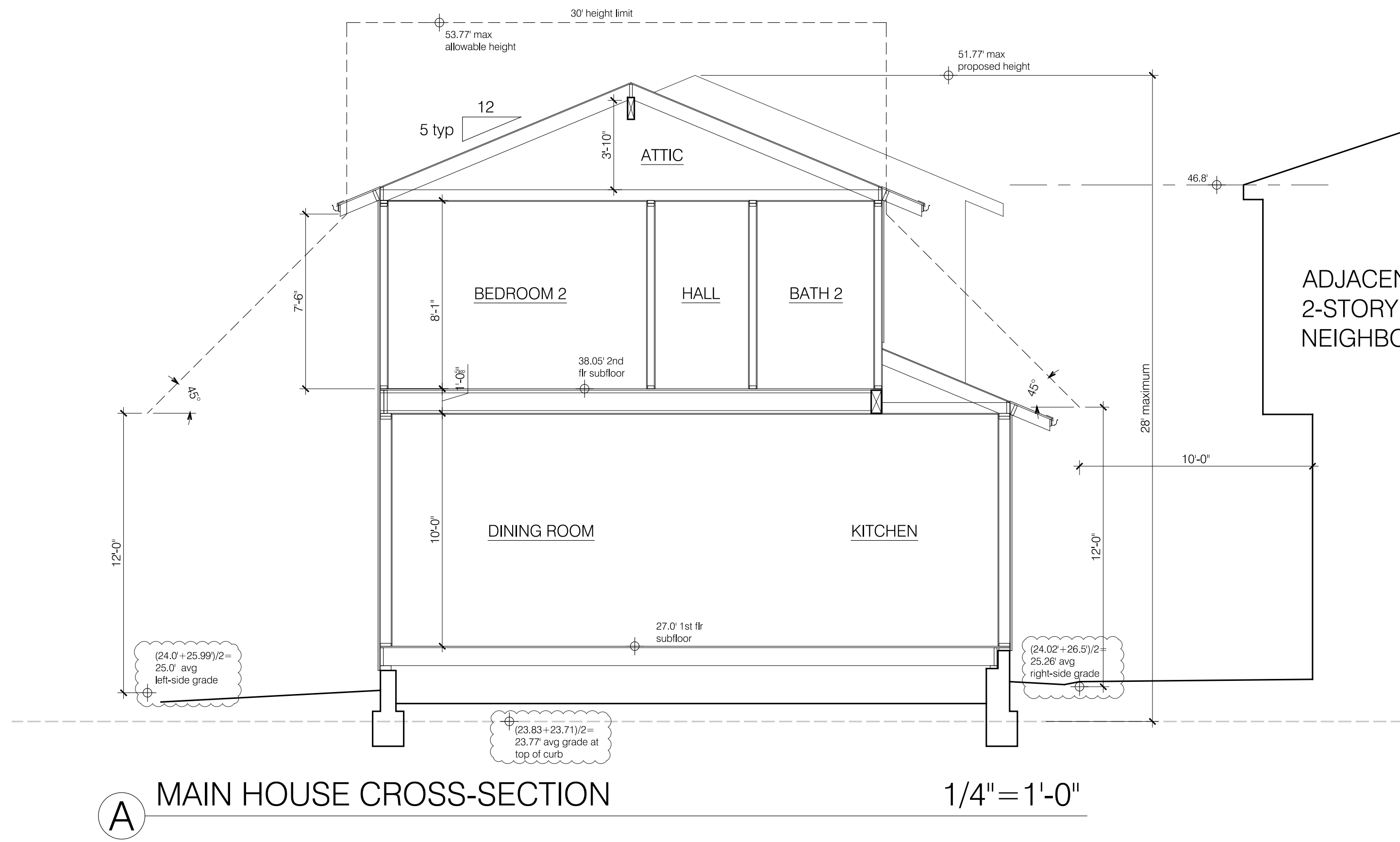
RIGHT-SIDE (NORTHWEST) ELEVATION

1/4"=1'-0"



REAR (SOUTHWEST) ELEVATION

1/4"=1'-0"



NEW RESIDENCE
757 FARRINGTON LANE
BURLINGAME, CALIFORNIA
APN: 029-044-040
OWNERS: BETH AND KEITH TAYLOR

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scale: as noted

drawn by: EL

job: TAYLOR FARRINGTON

sheet

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of 13 sheets

	DOWN SPOUT		CONTAINER POT
	IRRIGATION VALVES		DESIGNED CHANGE ITEM
	HOSE BIB		AIR CONDITIONING UNIT
	STEP RISE		UTILITY BOX
PA	PLANTING AREA		SEWER OUTLET
(E)	EXISTING		ELECTRICAL OUTLET
	POST		(E) SHRUB
	EXTENSION LINE		SOIL MOUND 18"-24" TALL
	(E) TREE TRUNK/CANOPY		
TW	TOP OF WALL		
TF	TOP OF FENCE		
	UTILITY METER		
	WATER METER		

NOTE:
FX LUMINAIRE LIGHTING - WWW.FXL.COM
TRANSFORMER: FX-300-PC-FB

 PATH LIGHT [PLANTING] (QTY: TBD) TM LED PATH LIGHT; ANTIQUE BRONZE FINISH; 12" TALL RISER
TMLEDTA-BZ+A-3LED-1 2RA-BZ

 UP LIGHT [ACCENT TREE] (QTY: TBD) NP 3 LED UP LIGHT; BONZE METALIC
NP-ZD-3LED-BZ

 SPECIALTY LIGHT [FOCAL POINT] (QTY: TBD) LED WELL LIGHT; COMPOSITE FINISH
PE-3LED-RG-CB

 WALL / STEP LIGHT [PATIO] (QTY: TBD) PD 1 LED WALL LIGHT; ANTIQUE BRONZE
PD-2LED-BZ

 DOWN LIGHT [OVERHEAD STRUCTURE] (QTY: NP) PS 6 LED DOWN LIGHT; ANTIQUE BRONZE

 ROPE LIGHT / BISTRO LIGHTS [SIDE SITTING AREA] (/LF *) - MANUFACTURER TBD

** LINEAR FEET DEPENDENT ON HOW LIGHTS ARE STRUNG*

PLANT PALETTE						
CODE	BOTANICAL	COMMON	PLANT TYPE	QTY	SIZE	WOCL RATING / SF PER PLANT
ABE	ABELIA KALEIDOSCOPE	KALEIDOSCOPE ABELIA	shrub	5	5 GAL	medium / 9
ADE	ADENANTHOS SERICEUS 'SILVER HAZE'	WOOLY BUSH	shrub	2	5 GAL	low / 36
AN	ANIGONANTHOS 'BUSH JOEY'	KANGAROO PAW	perennial	40	1 GAL	low / 9
CAR	CARISSA MACROCARPA 'GREEN CARPET'	GREEN CARPET NATAL PLUM	ground cover	8	1 GAL	low / 16
COR	CORREA 'WYNS WONDER'	AUSTRALIAN FUCHSIA	shrub / perennial	8	5 GAL	low / 9
FOR	FORSYTHIA X INTERMEDIA 'SPRING GLORY'	FORSYTHIA	shrub	1	5 GAL	low / 25
GREV	GREVILLEA 'COASTAL GEM'	GREVILLEA	shrub	5	5 GAL	low / 16
GRE	GREWIA OCCIDENTALIS <i>staked</i>	LAVENDER STARFLOWER	shrub	7	15 GAL	low / 25
	LEUCADENDRON 'SAFARI SUNSET'	CONEFLOWER	shrub	<i>if needed</i>	5 GAL	low / 16
LO	LOMANDRA 'BREEZE'	LOMANDRA	perennial	53	1 GAL	low / 4
LOR	LOROPETALUM CH. 'EVER RED'	RED FRINGEFLOWER	shrub	5	5 GAL	low / 16
NEP	NEPETA 'WALKERS LOW'	CREeping CAT MINT	perennial	3	1 GAL	low / 9
	PHORMIUM 'DARK DELIGHT'	FLAX	shrub	<i>if needed</i>	5 GAL	very low / 12
PIT	PITTOSPORUM TENUFOLIUM	PITTOSPORUM	shrub	5	15 GAL	low / 64
PRU	PRUNUS CAROLINIANA COMPACTA	CAROLINA LAUREL	shrub	6	15 GAL	low / 64
TRA	TRACHELOSPERMUM JASMINOIDES <i>staked</i>	STAR JASMINE	shrub / vine	6	5 GAL	low / 25
TREE5:						
CER	CERCIS OCCIDENTALIS MULTI STEM	WESTERN REDBUD	accent tree	1	24" BOX	low / 144
LAG	LAGERSTROEMIA INDICA 'DYNAMITE'	CRAPE MYRTLE	accent tree	2	24" BOX	low / 144
LAU	LAURUS NOBILIS 'SARATOGA'	SARATOGA LAUREL	tree	2	36" BOX	low / 225
PIS	PISTACIA CHINENSIS	CHINESE PISTACHE	tree	1	24" BOX	low / 625
sub lau	TRISTANIA LAURINA 'ELEGANS'	TRISTANIA	tree	2	24" BOX	medium / 625
sub cer	ACER PALMATUM 'SANGO KAKU'	CORAL BARK MAPLE	accent tree	1	24" BOX	medium / 81

NOTE:

Installation contractor to verify in-field measurement of linear and square footage of materials prior to ordering. Property owner is responsible in obtaining all necessary permits prior to demolition (if applicable = driveways, decks, retaining walls or other over 36" tall).

- Prior to building final, applicant must call city planning for landscape final. Call once irrigation and landscaping are installed to plan, and irrigation controller is scheduled.
- At time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, certificate of installation, irrigation schedule of landscape and irrigation maintenance. A Certificate of Completion shall be filled out and certified by either the designer of the landscape plans, irrigation plans, or the licensed landscape installation contractor for the project.
- A diagram of the irrigation plan showing hydro-zones shall be kept with the irrigation controller for subsequent management purposes.
- An irrigation audit report shall be completed at the time of final inspection.
- Re-circulating water systems shall be used for water features.

TOTALS: Landscaping: ~1,165 sf permeable hardscape; ~579 sf nonpermeable hardscape; ~440 sf turf; ~1,232 sf softscape (including 52 sf DG # 75 sf gravel # 30 sf dry set flagstone steppers).

Contractor to ensure proper drainage away from foundation.

Demolition to avoid disrupting roots (as much as possible) of existing shrubs & trees that are to remain. Do not till soil under existing tree & shrub canopies; hand grading only in these areas.

- Unless contradicted by a soils test, compost at a rate of a minimum of 4 cubic yards per 1,000 square feet of permeable areas shall be incorporated to a depth of 6 inches into the soil.

- Ensure that all plant crowns are set slightly higher than existing grade to ensure positive drainage & to avoid crown rot. For plant pits, back fill with amended soil in a 2:1 ratio with native soil. Double stake all new trees with a rubber 4 wire tree tie.
- A minimum 3-inch layer of mulch shall be applied to all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcover, or direct seeding applications where mulch is contraindicated.
- Utilize mesh gopher baskets (Pacific Nurseries) or gopher wire with turf installation if site requires it.

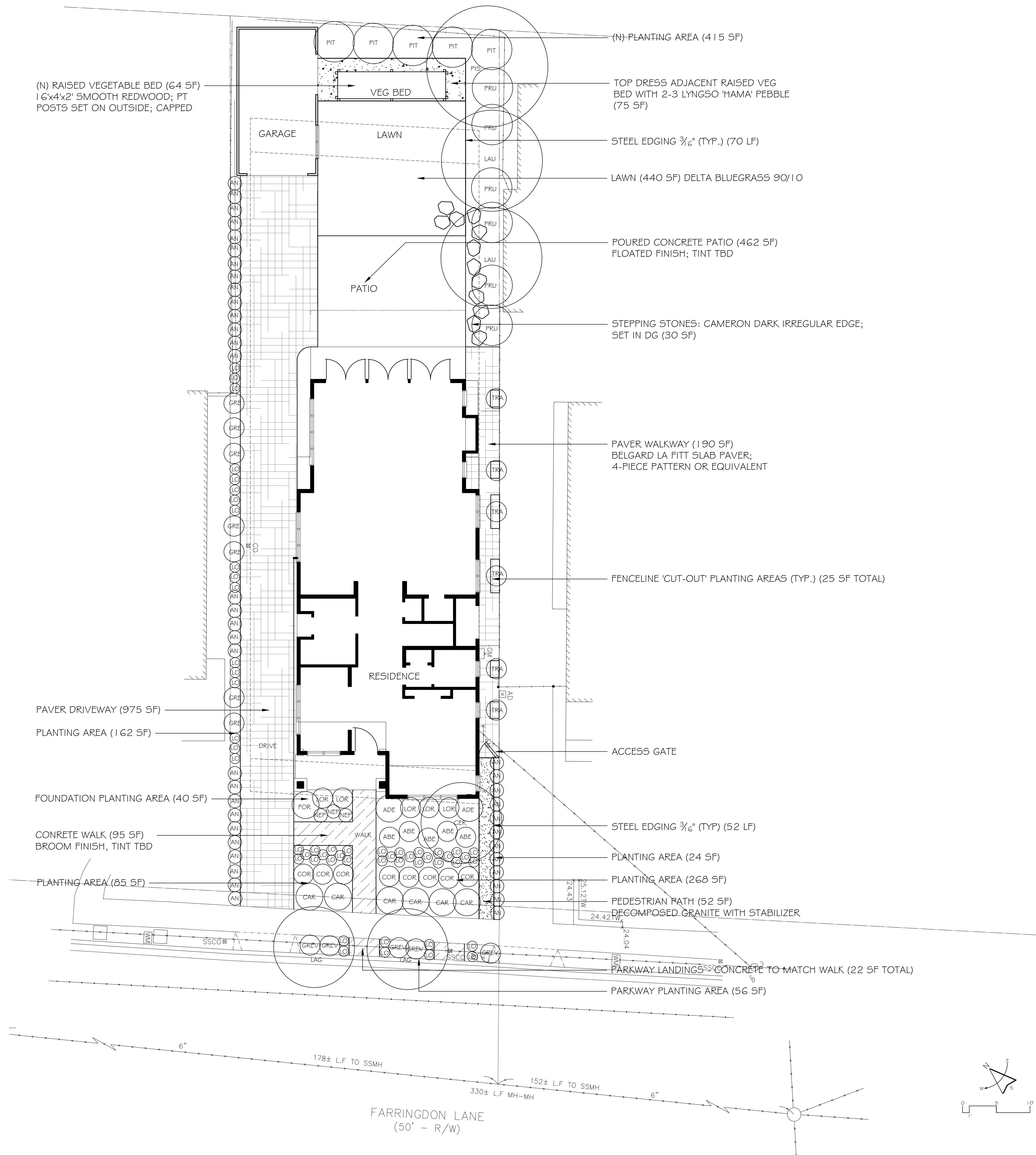
- Install climate adapted plants that require occasional, little, or no summer water - average WUCOLS plant factor 0.3 (low water use) for 75% of the plant area.
- Turf shall not exceed 25% of the landscape area in residential areas. No turf permitted in non-residential areas. Turf not permitted on slopes greater than 25%. Turf is prohibited in parkways less than 10 feet wide.

"I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package."

"I have complied with the criteria of the Model Water Efficient Landscape Ordinance Appendix D Prescriptive Requirements and have applied them for the efficient use of water in the landscape design plan"

Nancy L. Curtis
Landscape Designer

Nancy L. Curtis
Landscape Designer



NANCY L CURTIS
650-274-5064
WWW.NILLANDSCAPE.COM
NILLANDSCAPEDESIGN@GMAIL.COM

APLD CERTIFIED
QWEL CERTIFIED

n | c
NATURAL
LANDSCAPES
FOR CALIFORNIA

CONCEPTUAL LANDSCAPE PLAN

757 FARRINGTON LANE
BURLINGAME, CA

DATE: 8/12/2019

SCALE: 1/8"=1'-0"

VERSION: 2.0

DRAFTED BY: NLC

SHEET **LI** OF 2

IRRIGATION LEGEND				
SYM	DESCRIPTION	PSI	GPM	REMARKS
	HYDROZONE # / WATER USE	-	-	LOW, MEDIUM (MED), HIGH etc.
	CONTROLLER: RAINBIRD ESP-SMTE SMART CONTROLLER	-	-	WITH WEATHER STATION
	BACKFLOW ASSEMBLY	175 max	-	WITH SHUT OFF VALVES
	SHUT OFF VALVE	60-100	-	BRASS BALL VALVE
	IRRITOL 100 SERIES CONTROL VALVE	60-100	-	WITH GLOBE VALVE
	FILTER / PRESSURE REGULATOR	-	-	AS NEEDED PER MPG SPECS
	RAINBIRD XERI-BUBBLER SPIKE	15-30	.02-.22	AS NEEDED, SEE DETAIL
	PVC 5CH 40 1" MAINLINE	60-100	-	1.5" - SIZING TBD BY CONTRACTOR
	PVC 5CH 40 SLEEVING	-	-	4" PIPE UNDER ALL HARDSCAPE
	DRIPLINE / RAINBIRD XERI-BUBBLER SPIKE	15-50	-	SIZING TBD BY CONTRACTOR
	DRIPLINE ADJUSTABLE MICRO BUBBLER	15-50	-	AS NEEDED, SEE DETAIL
	POINT OF CONNECTION	-	-	-
	HOSE BIB	60-100	-	30" TALL BRASS LINE # FIXTURE

IRRIGATION SCHEDULE				
VALVE	PLANT WATER USE (AREA)	IRRIGATION TYPE	EMITTERS	IRRIGATION EFFICIENCY
	LOW (FRONT TREES)	BUBBLER	PER TREE	.85
	LOW (FRONT RIGHT OF WALK)	DRIPLINE	12" O/C	.81
	LOW (FRONT LEFT OF WALK)	DRIPLINE	12" O/C	.81
	LOW (FRONT DRIVEWAY)	DRIPLINE	12" O/C	.81
	LOW (REAR TREES)	BUBBLER	PER TREE	.85
	LOW (REAR VEGETABLE BED)	DRIPLINE	PER SHRUB	.81
	LOW (LEFT OF DRIVE PLANTING STRIP)	DRIPLINE	12" O/C	.81
	HIGH (REAR LAWN)	OVERHEAD SPRAY	MP ROTATORS	.75

WATER EFFICIENT LANDSCAPE WORKSHEET							
This worksheet is filled out by the project applicant & is required element of the Landscape Documentation Package							
Reference Evapotranspiration (Eto):	49.50	(BURLINGAME)					
Hydrozone # / Planting description (water use)	Plant Factor (PF)	Irrigation Method	Irrigatin Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
REGULAR LANDSCAPE AREAS:							
1 / front trees (low)	0.30	bubbler	0.85	0.352941176	450.0	158.8	4,874.3
2 / front right of walk planting area (low)	0.30	dripline	0.81	0.370370370	295.0	109.3	3,353.2
3 / front left of walk planting area (low)	0.30	dripline	0.81	0.370370370	125.0	46.3	1,420.6
4 / front driveway planting area (low)	0.30	dripline	0.81	0.370370370	22.0	8.1	250.1
5 / night side yard & rear fence-line shrubs (low)	0.50	dripline	0.81	0.617283951	440.0	271.6	8,335.6
6 / rear trees (low)	0.30	bubbler	0.85	0.352941176	450.0	158.8	4,874.3
7 / rear vegetable bed (low)	0.30	dripline	0.81	0.370370370	64.0	23.7	727.5
8 / left of drive planting strip (low)	0.30	dripline	0.81	0.370370370	162.0	60.0	1,841.4
9 / rear lawn (high)	0.75	spray	0.75	1.000000000	440.0	440.0	13,503.6
				TOTALS	2,448.0	1,276.7	
SPECIAL LANDSCAPE AREAS:							
None				TOTALS	0.0	0.0	
						ETWU TOTAL (estimated total water use in gallons)	39,180.7
						MAXIMUM ALLOWED WATER ALLOWANCE (MAWA)	41,321.0
ETAF CALCULATIONS:	total etaf x area (B)=	1,276.66					
	total area (A)=	2,448.00					
	(B) / (A): =	0.52					

NOTES:

IRRIGATION:

All planting areas to be irrigated with drip emitters (single plant application or Netafim). All drip tubing to be securely u-clipped to grade (every 24-36" or as needed) to avoid any visibility or tripping hazard after mulching.

All lawn areas to be irrigated on MP rotators to ensure adequate coverage & minimal overspray (not applicable at this site). Check valves or anti-drain valves area required on all sprinkler heads where low point drainage could occur.

Overhead irrigation shall not be permitted within 24 inches of any non permeable surface.

All new & transplanted trees to have adjustable bubblers and 2-4" soil berm basins established & irrigated on separate valve.

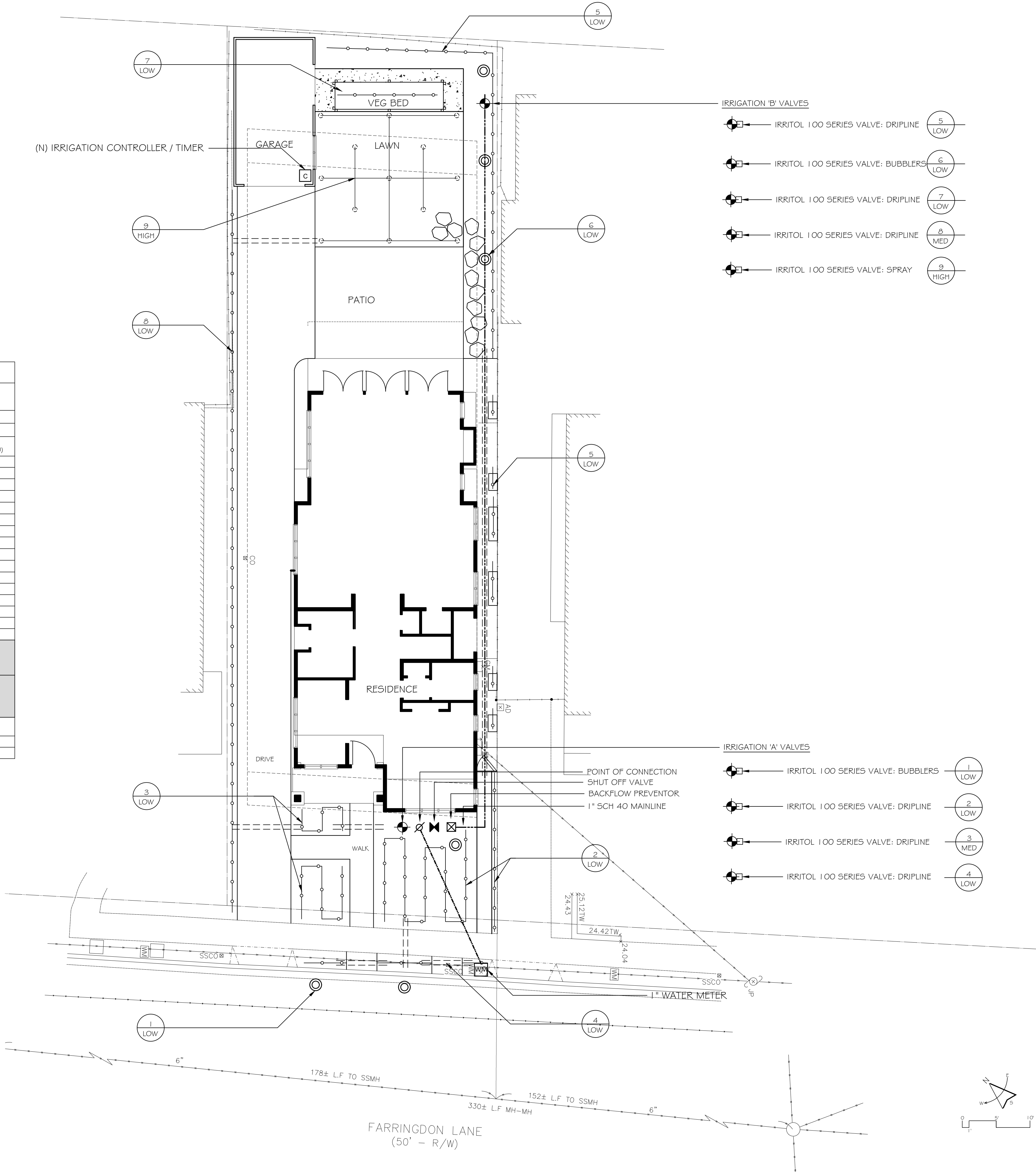
- Lawn, planting areas, & trees to be irrigated on separate valves.
- Automatic weather-based or soil-moisture based irrigation controllers shall be installed on the irrigation system.
 - Pressure regulators shall be installed on the irrigation system to ensure dynamic pressure of the system is within the manufacturer's recommended pressure range.
 - Pressure regulating devices are required if water pressure is below or exceeds the recommended pressure of the specified irrigation devices.
 - Manual shut-off valves shall be installed as close as possible to the point of connection of the water supply.
 - Irrigation controller to utilize evapo-transpiration or soil moisture data & utilize rain sensor; irrigation controller programming data will not be lost due to an interruption in the primary power source.
 - A diagram of the irrigation plan showing hydrozones shall be kept with the irrigation controller for subsequent management purposes.
 - Areas less than 10 feet in width in any direction to utilize sub surface irrigation of technology that prevents over-spray or runoff.
 - An irrigation audit report shall be completed at the time of final inspection.
 - Limit maximum irrigation demand to less than 5 GPM by utilizing Netafim with 12" emitter spacing (.6 GPH) and lateral row spacing at 18". Irrigation zone run times not to exceed 12 minute intervals per 100' of drip line.
 - STATEMENT OF INSPECTION: Prior to building final, applicant must call for landscape final (MWELI Inspection). Call once irrigation & landscaping are installed to plan, & irrigation controller is scheduled.

"I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package."

Nancy L. Curtis
Landscape Designer

"I have complied with the criteria of the Model Water Efficient Landscape Ordinance Appendix D Prescriptive Requirements and have applied them for the efficient use of water in the landscape design plan"

Nancy L. Curtis
Landscape Designer



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nlc
NATURAL
LANDSCAPES
FOR CALIFORNIA

LANDSCAPE IRRIGATION PLAN

757 FARRINGTON LANE
BURLINGAME, CA

DATE: 8/12/2019

SCALE: 1/8"= 1'-0"

VERSION: 2.0

DRAFTED BY: NLC

SHEET L2 OF 2