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Proposed Front Elevation

Scale: 1/4" = 1'-0" 1
A3.0



Proposed Right Elevation

Scale: 1/4" = 1'-0" 2
A3.0

Revisions		
Rev.:	Description :	Date :
001		
002		
003		
004		
005		
006		

Contractor :

Gambrioli Developments

Contact: Greg Gambrioli

812 Linden Ave

Hillabroough, CA 94010

P: 650-333-6844

Owner :

4843 SILVER SPRINGS DRIVE

Park City, UT 84098

Ph: 415.619.0304

E-mail: TIMEFORMONEDSIGN.COM

812 LINDEN AVE

BURLINGAME, CA 94010

zoning: -

APN#: 029-032-160

form+one

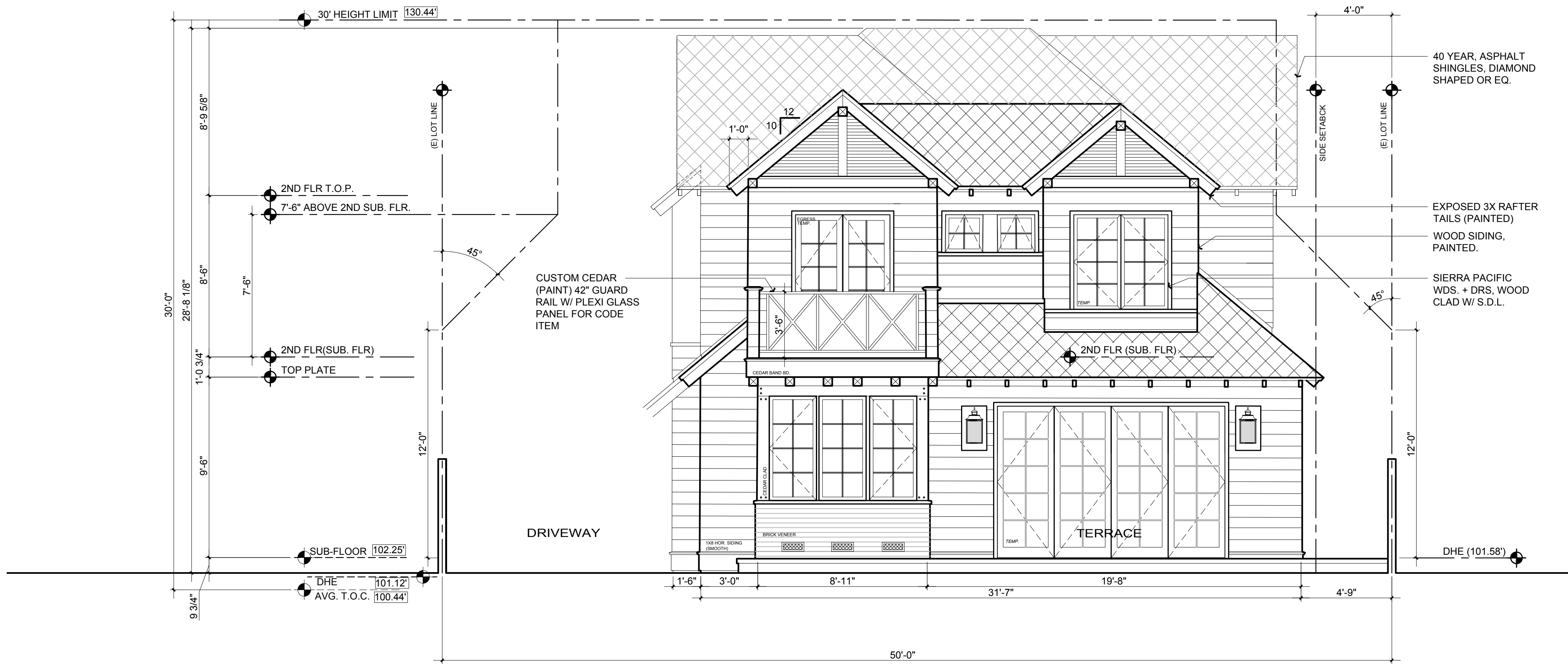
DESIGN ■ PLANNING

Title : Proposed Elevations			
Project : Gambrioli Residence			
812 Linden Avenue			
Burlingame, CA 94010			
Job No. : 19_009	Drawn : TIM RADUENZ	Date : 03/06/2019	

A3.0

Sheet
Scale: See Details

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Proposed Rear Elevation

Scale: 1/4 = 1'-0"

1
A3.1



Proposed Left Elevation

Scale: 1/4 = 1'-0"

2
A3.1

Revisions	
Rev.:	Description :
001	
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004	
005	
006	

Contractor :
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Contact: Greg Gambrioli
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Burlingame, CA 94010
P: 650-333-6844

**BUILDING SET
PLANNING SET**

Owner :
Mr. & Mrs. GREG GAMBRIOLI
812 LINDEN AVE.
BURLINGAME, CA 94010
Zoning: -

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDSIGN.COM

APN#: 029-032-160

form + one
DESIGN ■ PLANNING

Title : **Proposed Elevations**

Project : Gambrioli Residence
812 Linden Avenue
Burlingame, CA 94010

Job No. : 19_009
Drawn : TIM RAQUEZ
Date : 03/08/2019

A3.1

Sheet
Scale: See Details

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- NOTES:
1. (OGEE) G.S.M. GUTTERS, & (3" GSM) DOWNSPOUTS:
LINE ALL VALLEYS WITH GSM, AT LEAST 20" WIDE WITH WITH 1/4" EDGE TURNED OVER AND FASTENED WITH CLEATS. LAP JOINTS AT LEAST 4", BUT DO NOT SOLDER.
2. ROOFING MATERIAL TO BE 40 YR ARCHITECTURAL ASPHALT SHINGLES, SEE CUT SHEET ABOVE. COLOR TO BE DETERMINED, ANTIQUE BLACK OR PEWTER GREY
3. WHEN INSULATION IS INSTALLED IN ENCLOSED RAFTER SPACES WHERE CEILINGS ARE APPLIED DIRECT TO THE UNDERSIDE OF ROOF RAFTERS, A MINIMUM AIR SPACE OF 1 INCH MUST BE PROVIDED. INSULATION BAFFLE NEEDED.
4. FLASHINGS AND COUNTER FLASHINGS SHALL NOT BE LESS THAN 0.016-INCH (28-GAGE) CORROSION RESISTANT METAL, AND VALLEY FLASHING
5. AT THE JUNCTURE OF THE ROOF & VERTICAL SURFACES, FLASHING & COUNTERFLASHINGS SHALL NOT BE LESS THAN 0.019-INCH (26 GAUGE)
6. NA
7. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MIN. OF 3'-0" FROM PROPERTY LINES OR ANY OPENING INTO THE BUILDING (I.E. DRYERS, BATH & UTILITY FANS, ETC., MUST BE 3'-0" AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS, PER CODE
8. (AS REQUIRED) THE TRUSS PLAN AND THE TRUSS CALC. SHALL BE REVIEWED & APPROVED BY THE ENGINEER OF RECORD BEFORE SUBMITTING TO THE BUILDING DEPARTMENT FOR APPROVAL PRIOR TO FABRICATION. TRUSS PLANS SHALL BE WET SIGNED & WET STAMPED BY TRUSS DESIGN ENGINEER.
9. FURNACE LOCATED IN ATTIC SPACE SHALL BE LISTED FOR ATTIC LOCATION AND PROVIDED WITH 24" WIDE SOLID FLOORING ACCESS WAY AND 30" WORKING SPACE AT CONTROLS.
10. ATTIC VENTILATION AT CALIFORNIA FRAMING TO RECEIVE LOW PROFILE VENTS OR OPENING IN THE ROOF SHEATHING BELOW
11. ROOF EAVES SHALL NOT PROJECT WITHIN 2" OF THE PROPERTY LINE WHERE SETBACK IS 4' PER 2016 CRC § TABLE R302.1 (1) OR 2016 CBC TABLE 705.2. ALL ROOF PROJECTIONS WHICH PROJECT BEYOND THE POINT WHERE FIRE- RESISTIVE CONSTRUCTION WOULD BE REQUIRED WILL BE CONSTRUCTED OF ONE-HOUR FIRE-RESISTANCE- RATED CONSTRUCTION PER 2016 CRC § R302.1 (1) OR 2016 CBC § 705.2.

PLUMBING & HVAC NOTE:

1. GROUP ALL EXHAUST FLUES TOGETHER WHEN POSSIBLE & LOCATE ON ROOFS SLOPING TO THE REAR OF HOUSE TYP. VERIFY LOCATION W/ DESIGNER.

SOLAR CONDUIT NOTE:

PROVIDE A PIPE FOR SOLAR CONDUIT FOR FUTURE USE.

*SOLAR PANEL AREA TO BE NO LESS THEN 150 SQ.FT.

- ATTIC FURNACE NOTES:**
1. PROVIDE THE FOLLOWING FOR ATTIC FURNACES (CMC SECTION 904.04)
- A. PASSAGEWAY TO EQUIPMENT LESS THAN 6'-0" IN HEIGHT SHALL BE NOT MORE THAN 20'-0" IN LENGTH WHEN MEASURED ALONG THE CENTER LINE OF PASSAGEWAY FROM THE ACCESS OPENING TO THE EQUIPMENT. SECTION 904.10.1.
- B. UN-OBSTRUCTED PASSAGEWAY W/ A SOLID FLOORING AT LEAST 24" WIDE THROUGH-OUT ITS LENGTH. SECTION 904.10.2
- C. A 30"x30" LEVEL WORKING PLATFORM IN FRONT OF THE SERVICE SIDE OF THE APPLIANCE. SECTION 904.10.3
- D. A PERMANENT 120V RECEPTACLE OUTLET AND LIGHTING FIXTURE NEAR THE APPLIANCE. SECTION 904.10.4.
- E. UPRIGHT FURNACES MAYBE INSTALLED IN ATTIC OR CRAWLSPACE MORE THAN 5'-0" IN HEIGHT, PROVIDED THAT REQUIRED LISTINGS, DUCT AND FURNACE CLEARANCES ARE OBSERVED. SECTION 904.10.5
- F. CLARIFY THE LOCATION OF THE FURANCE ON PLANS BY DASHED LINE OR OTHER SYMBOL.

HOUSE VENTILATION CALC:

SQ. FT. OF (N) ROOF: 1,822 SQ. FT.

(N) 1,822/150 = 12.14 SQ. FT. OF VENTILATION IN NEW ROOF

(N) ROOF VENTS (17 ea. X 75 SQ.FT.) = 12.75 SQ.FT.

TOTAL VENTILATION INSTALLED = 12.75 SQ.FT.

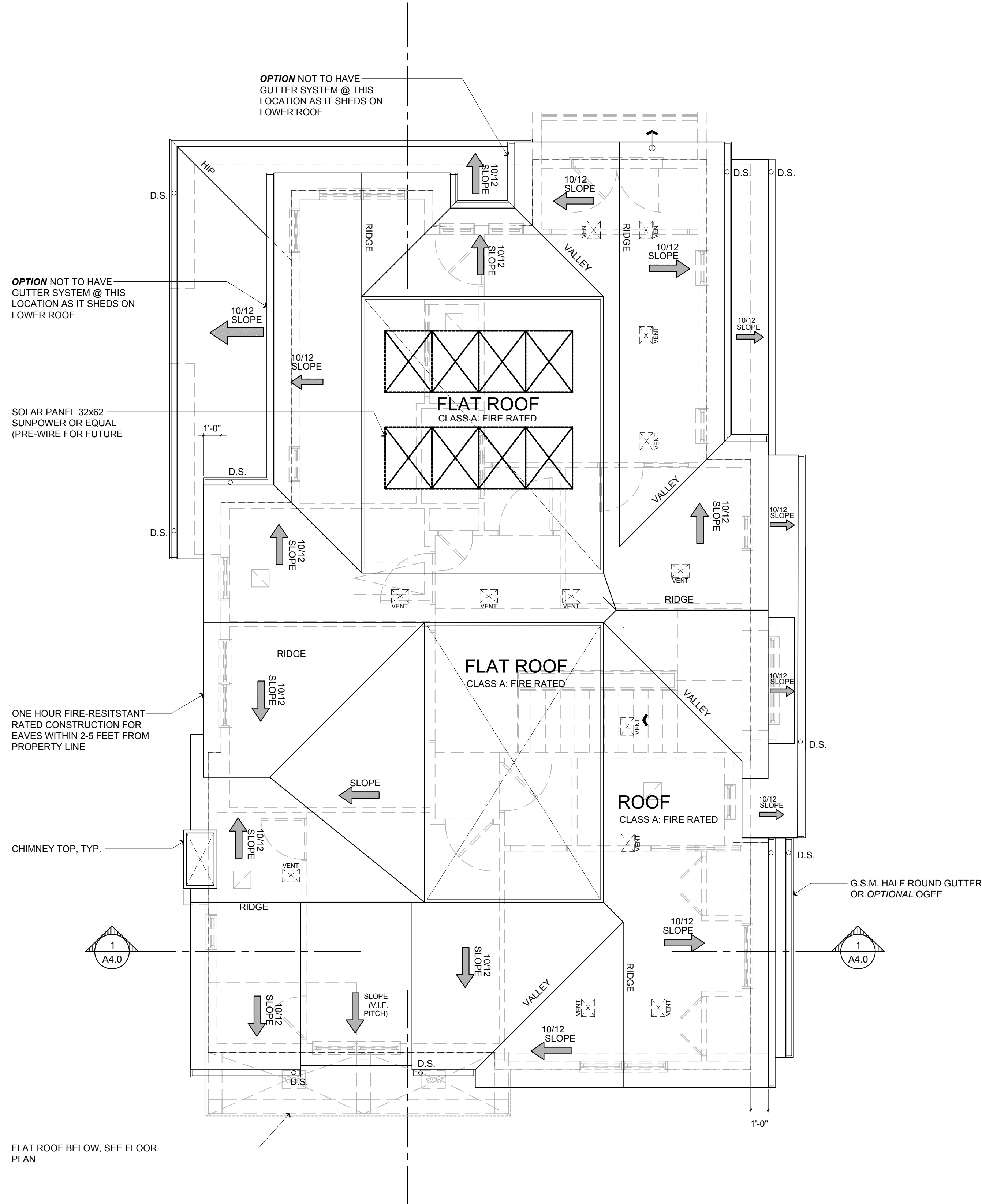
GARAGE VENTILATION CALC:

SQ. FT. OF (N) ROOF: 378 SQ. FT.

(N) 378/150 = 2.52 SQ. FT. OF VENTILATION IN NEW ROOF

(N) ROOF VENTS (4 ea. X 75 SQ.FT.) = 3 SQ.FT.

TOTAL VENTILATION INSTALLED = 3 SQ.FT.

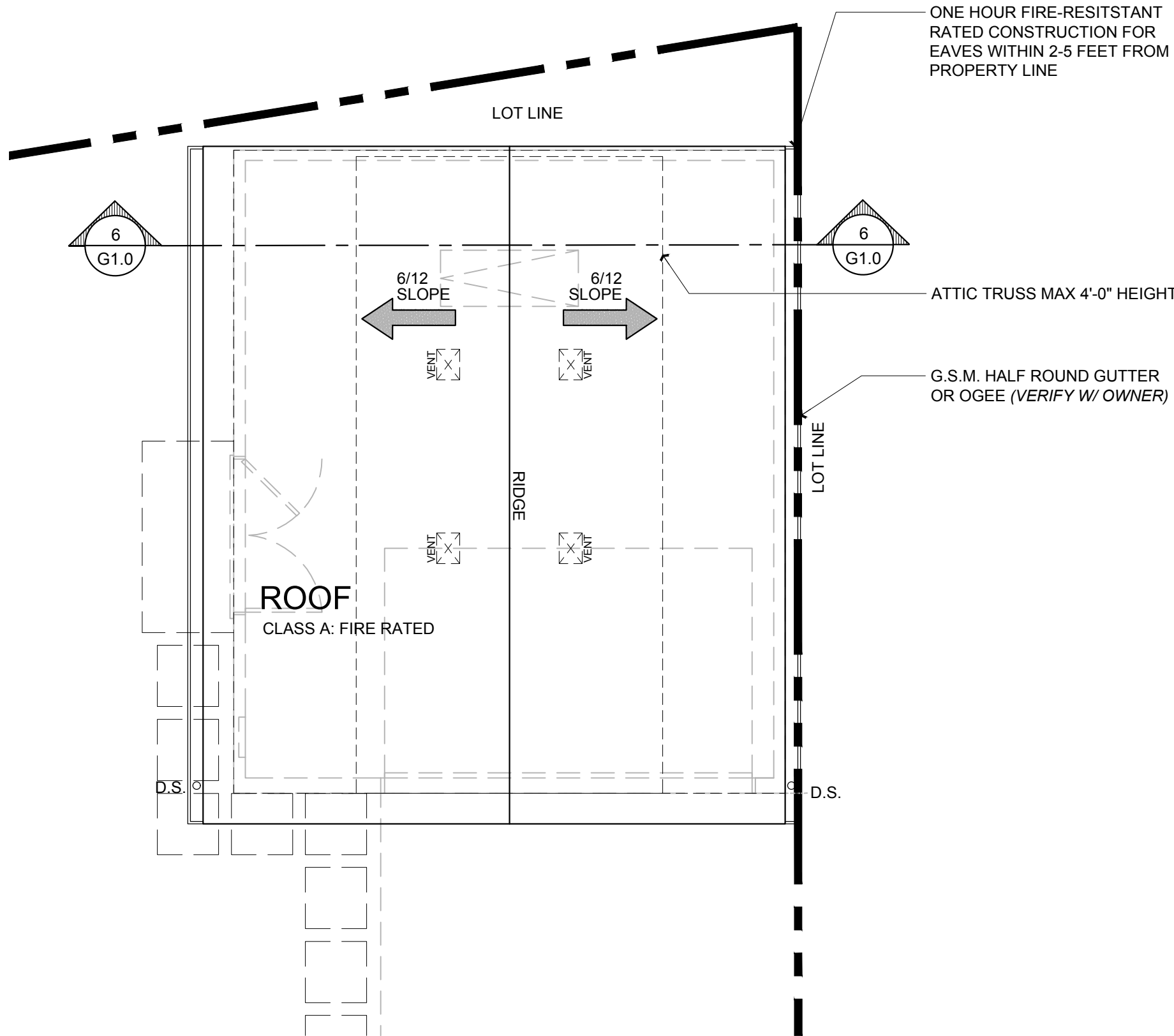


PROPOSED ROOF PLAN

MAIN HOME

Scale: 1/4" = 1'-0"

1
A2.1



PROPOSED ROOF PLAN

GARAGE

Scale: 1/4" = 1'-0"

2
A2.1

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Zoning: -

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DESIGN ■ PLANNING

Title : **Proposed Roof Plan**

Project : Gambrioli Residence
812 Linden Avenue
Burlingame, CA 94010

Job No. : 19_009
Drawn : TIM RADEWZ
Date : 03/08/2019

Revisions

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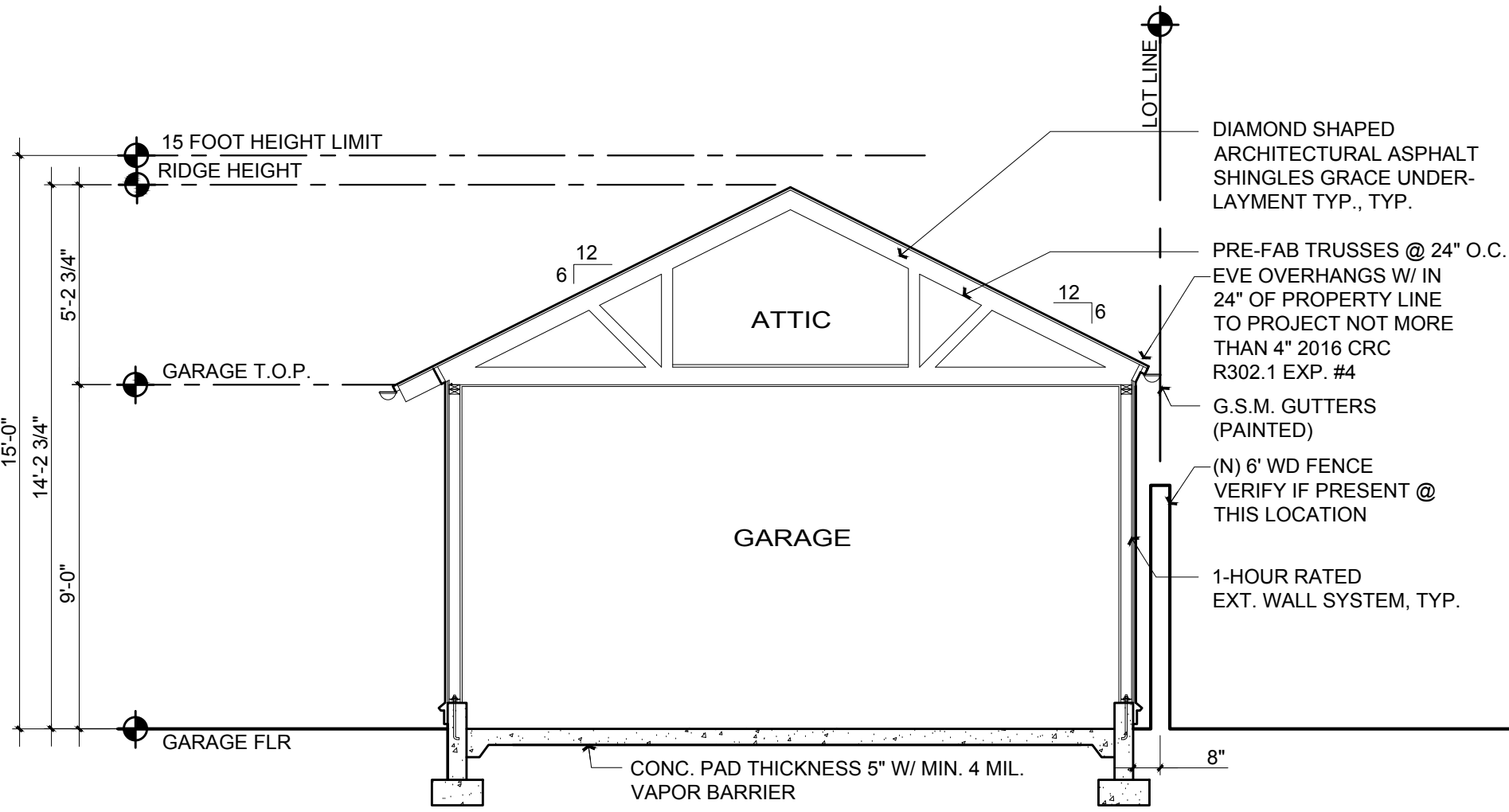
BUILDING SET
PLANNING SET

APN#: 029-032-160

A2.1

Sheet
Scale: See Details

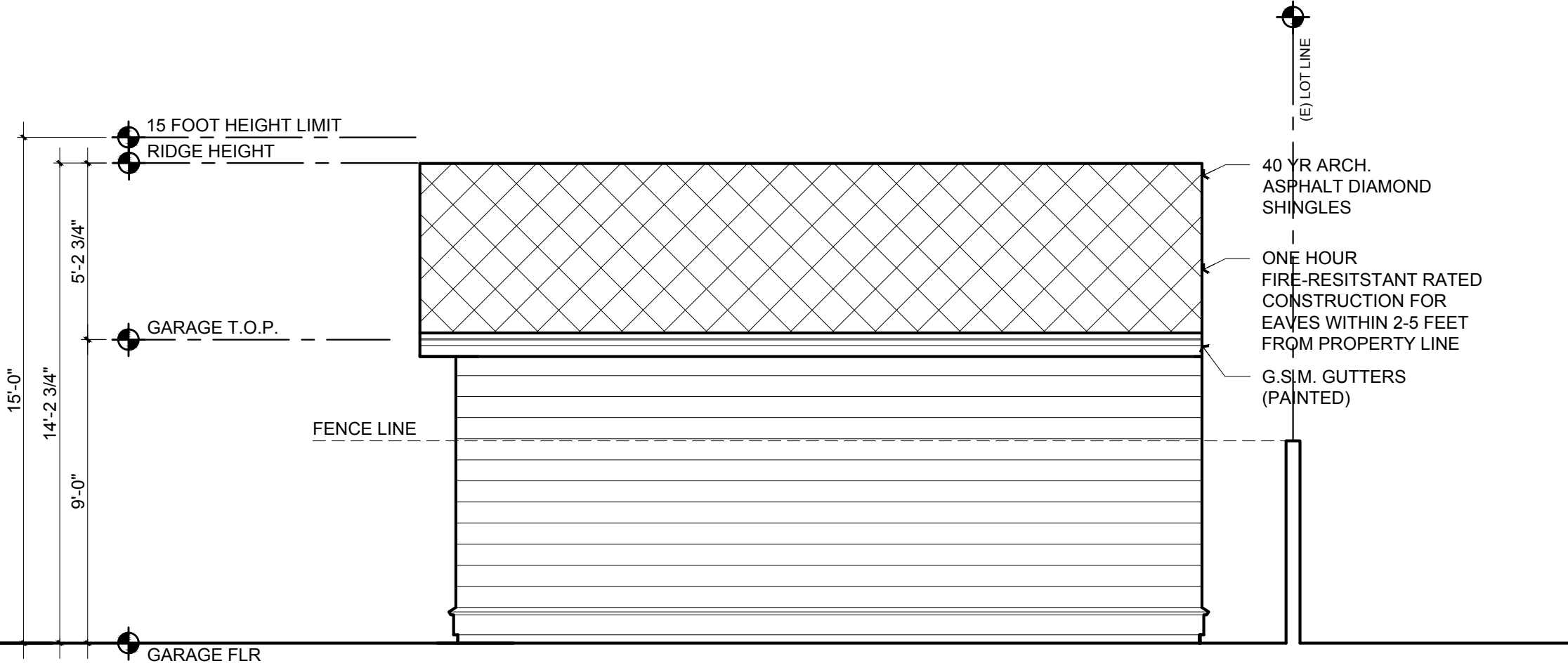
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Proposed Garage Section

Scale: 1/4" = 1'-0"

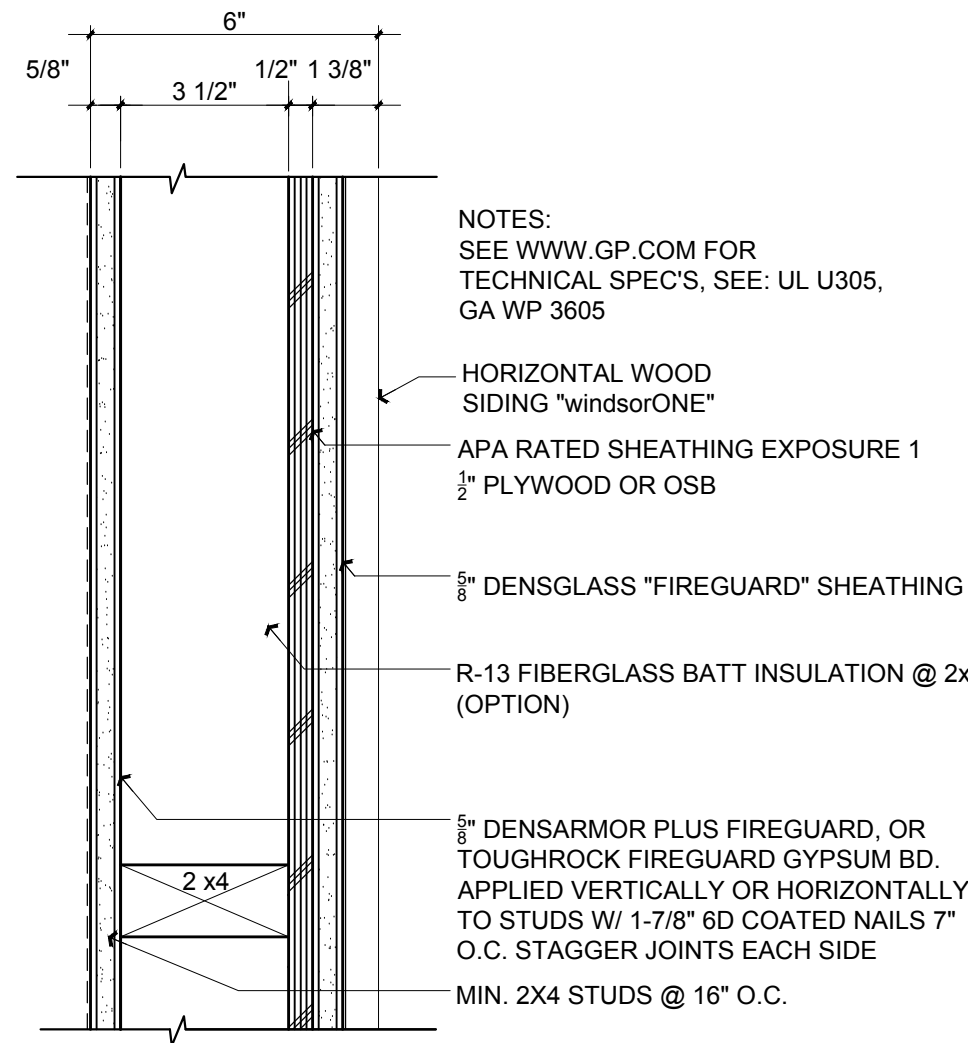
6
G1.0



Proposed Left Elevation

Scale: 1/4" = 1'-0"

3
G1.0

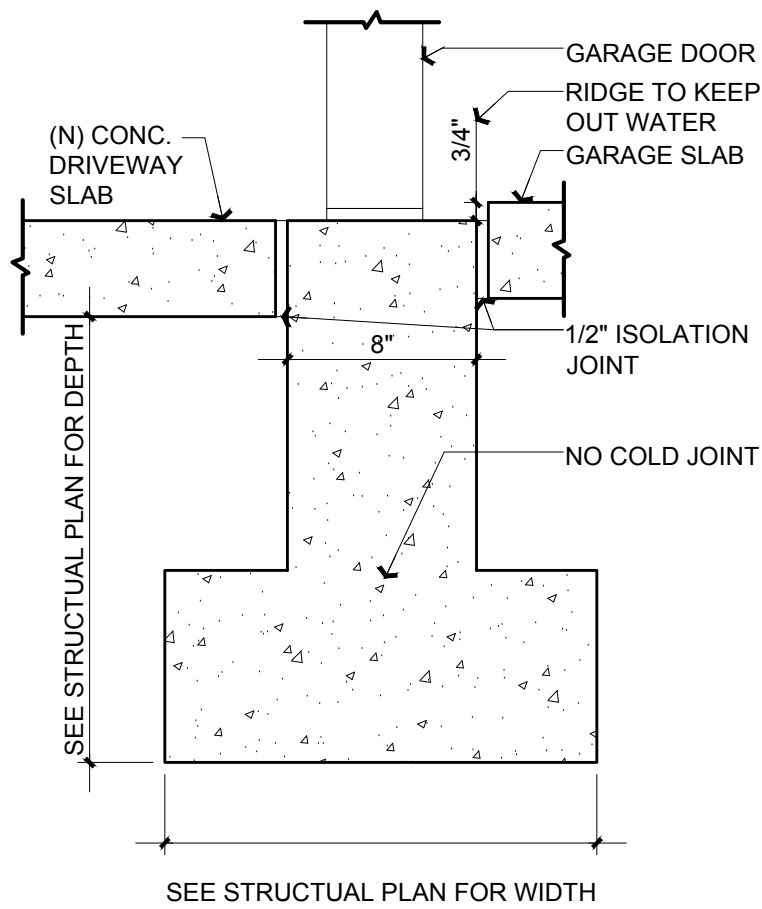


Ext. Wall Details

(1 HR RATED)

Scale: 3" = 1'-0"

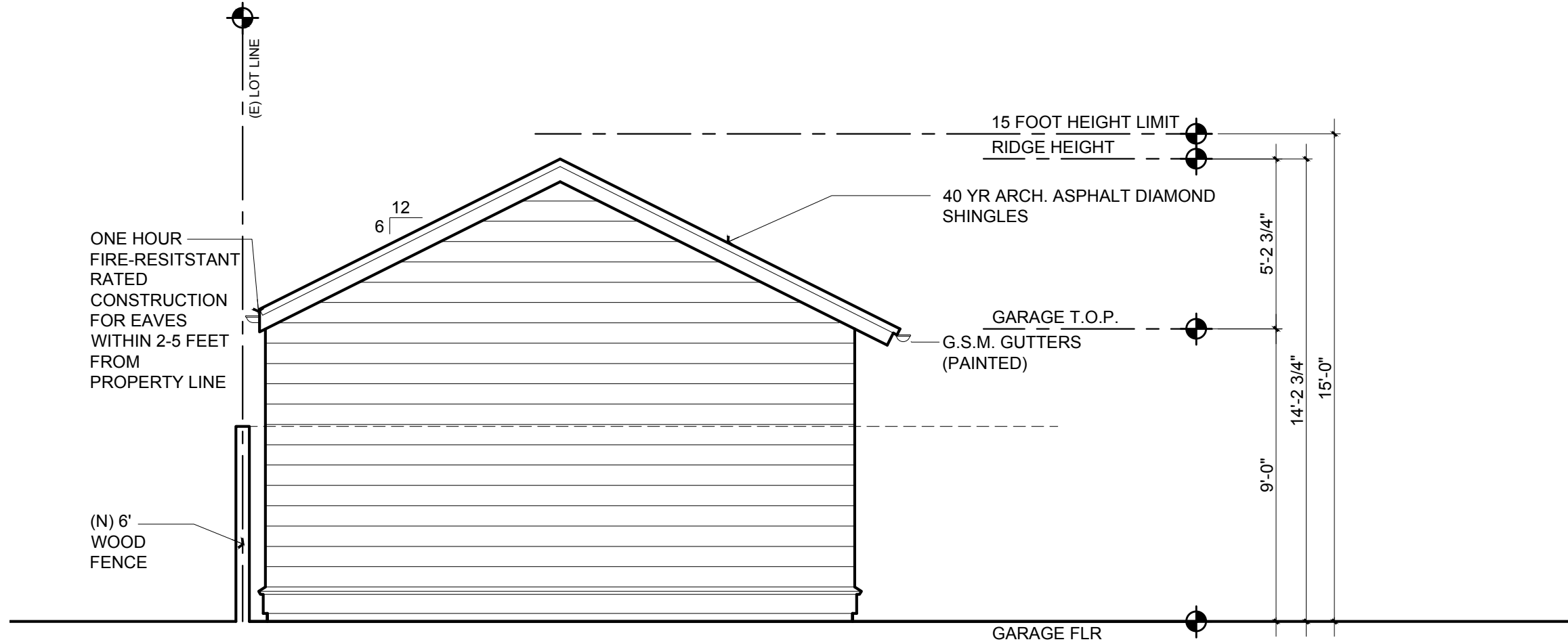
7
G1.0



Garage Door Detail

Scale: 1 1/2" = 1'-0"

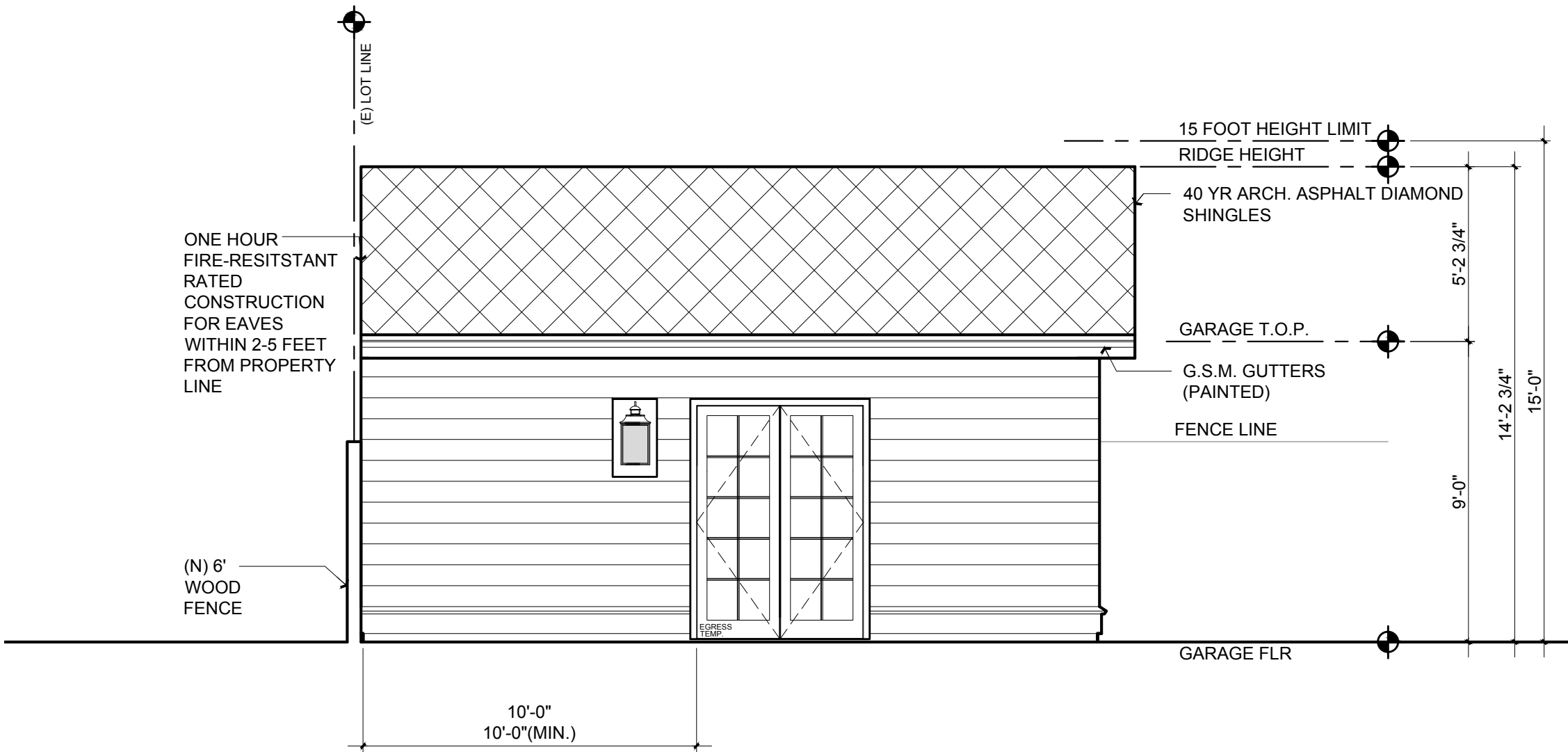
8
G1.0



Proposed Rear Elevation

Scale: 1/4" = 1'-0"

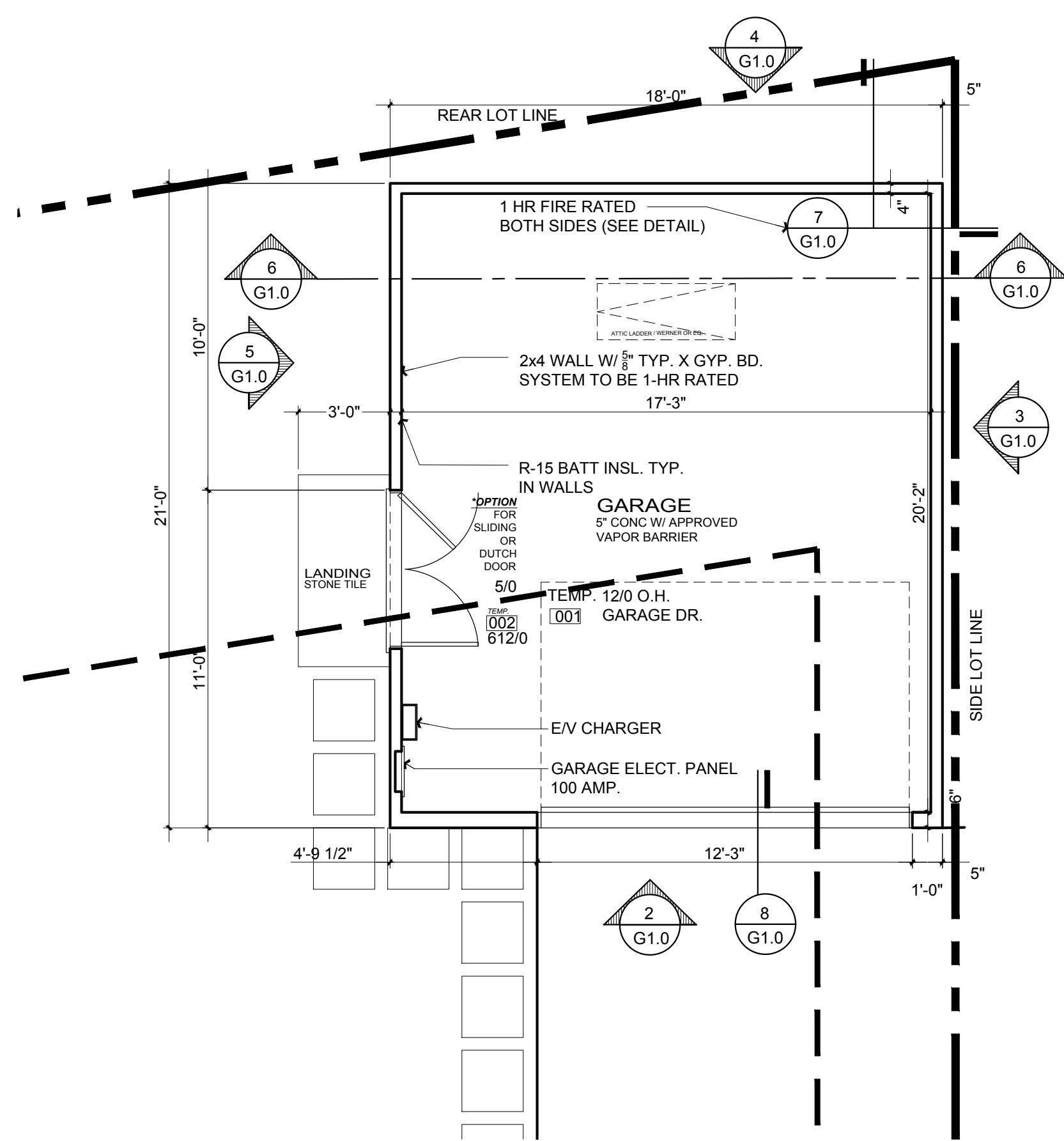
4
G1.0



Proposed Right Elevation

Scale: 1/4" = 1'-0"

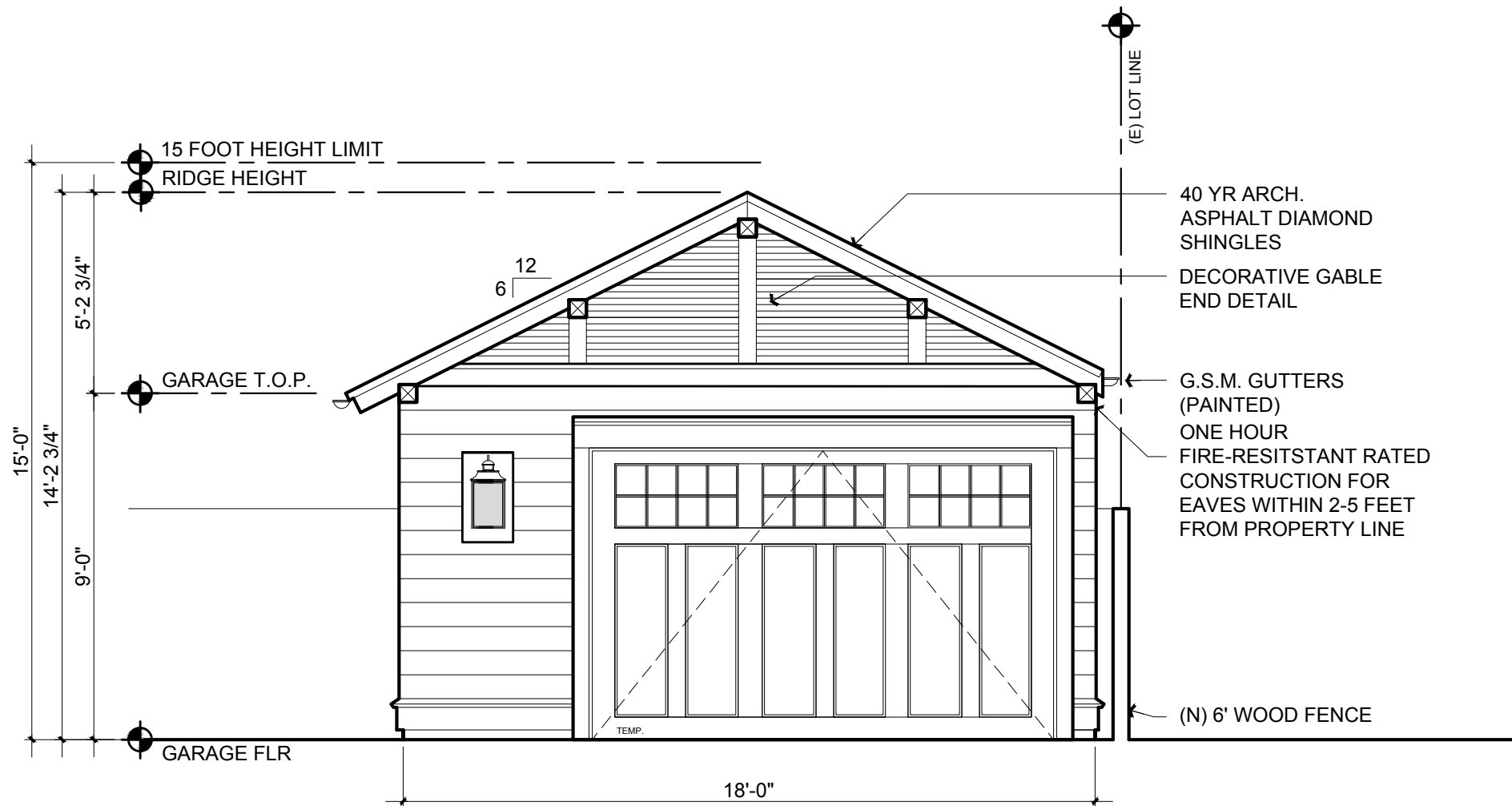
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G1.0



Proposed Garage Plan

Scale: 1/4" = 1'-0"

1
G1.0



Proposed Front Elevation

Scale: 1/4" = 1'-0"

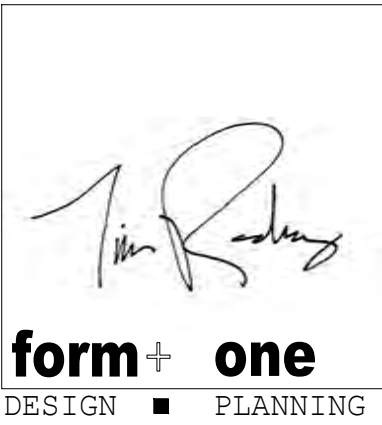
2
G1.0

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001	
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Contractor :
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Title : Proposed Garage	
Project : Gambrioli Residence 812 Linden Avenue Burlingame, CA 94010	
Job No. : 19_009	Drawn : TIM RADEWZ
Date : 03/08/2019	

G1.0

Sheet
Scale: See Details

BUILDING SET
PLANNING SET

APN#: 029-032-160

Zoning: -

	SYM. SCIENTIFIC NAME	COMMON NAME	QTY.	SIZE/ SPACING	GROWTH	WUCOLS	*
TREES	A PYRUS CALLERYANA	FLOWERING PEAR 'ARISTOCRAT'	7	15 GALLON	MOD.	VL	
	B ACER BUERGERANUM	TRIDENT MAPLE	5	24" BOX	FAST	M	
SHRUBS / PERENNIALS	1 LAVANDULA ANGUSTIFOLIA 'HIDCOTE'	ENGLISH LAVENDER	8	1 GALLON	MOD.	L	
	2 ROSMARIUS OFFICINALIS	ROSEMARY	4	1 GALLON	MOD.	VL	
	3 ACHILLE	MOON SINE YARROW	12	1 GALLON	MOD.	VL	
	4 PRUNUS LAUROCERASUS	ENGLISH LAUREL	8	5 GALLON	MOD.	M	
	5 CONALLARIA MAJALIS	TINKERBELL, LILY OF THE VALLEY	9	1 GALLON	FAST	L	
	6 CITRUS MEYERI	MEYER LEMON	3	5 GALLON	FAST	L	
	7 LOROPETALUM CHINESE 'PLUM DELIGHT'	FRINGE FLOWER	16	5 GALLON	MOD.	L	
	8 ROSA 'SALLY HOLMES'	SALLY HOLMES CLIMBING ROSE	6	5 GALLON	MOD.	L	
	9 HYDRANGEA MACROPHYLLA	ENDLESS SUMMER HYDRANGEA	4	5 GALLON	MOD.	H	
	10 GARDENIA JASMINOIDES	AUGUST BEAUTY	13	1 GALLON	MOD.	L	
11 HEMEROCALLIS FULVA	DAY LILY	24	1 GALLON	MOD.	L		
LAWN	BOLERO PLUS BLEND, CONTACT DELTA BLUEGRASS CO. (800) 637-8873		700 SQ. FT.	ROLLS	SLOW		H
	* LAWN NOT INCLUDED IN LOW WATER COUNT CALCULATIONS, SEE AREA CALCS.						
	* IF THERE IS NO WUCOLS VALUE SEE COLUMN *** FOR WATER USE	TOTAL:	118	L & VL TOTAL:	101	85.59%	

1. CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY TO COMPLETE PROPOSED WORK PER CITY REQUIREMENTS.
2. CONTRACTOR SHALL VERIFY ALL GRADES ON SITE, PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, SITE IMPROVEMENTS, WEATHERPROOFING AND UNDERGROUND PIPING BEFORE CONSTRUCTION BEGINS.
3. WORK WITHIN THE RIGHT OF WAY IS SUBJECT TO INSPECTION AND APPROVAL BY THE CITY. CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT PRIOR TO WORK WITHIN THE RIGHT OF WAY. THIS WORK MAY INCLUDE LANDSCAPING IN THE RIGHT OF WAY, NEW CURB DRAINS, AND PARKING STRIP.
4. FINISH GRADES SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND SHALL BE PROPERLY INSTALLED TO PREVENT ANY STANDING WATER. ALL HARDSCAPE SHALL HAVE A MINIMUM GRADE OF 2% UNLESS NOTED OTHERWISE. JUTE MESH EROSION CONTROL NETTING SHALL BE USED ON ALL 3:1 OR GRATER SLOPES & STAKED APPROPRIATELY.
5. CONTRACTOR SHALL PROVIDE PROTECTION FOR EXISTING TREES BY INSTALLING TEMPORARY FENCING AROUND THE TREES AS CLOSE AS POSSIBLE TO THE DRIPLINE. IN THE EVENT THAT THE TREE ROOTS OVER 6" ARE DISCOVERED, THE DESIGNER RESPONSIBLE FOR LANDSCAPE DESIGN.
6. CONTRACTOR SHALL REFER TO ARCHITECTURAL, CIVIL, & OTHER ENGINEERING DRAWINGS & DOCUMENTS FOR WORK IN RELEVANT AREAS.
7. THE LANDSCAPE DESIGNER MAY MAKE SITE OBSERVATIONS DURING CONSTRUCTION BUT SHALL NOT BE UTILIZED TO SUPERVISE CONSTRUCTION ONSITE.
8. THIS PLAN IS NOT A SURVEY OR CONSTRUCTION DOCUMENT. IT IS CONCEPTUAL IN NATURE AND SHOULD BE USED FOR PLANNING PURPOSES.

1. LANDSCAPE CONTRACTOR SHALL VERIFY PLANT AND SOD QUANTITIES PRIOR TO SUBMITTING BID FOR WORK.
2. ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST STANDARDS OF NURSERY STOCK, PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
3. PLANT MATERIAL CANNOT BE GUARANTEED DEER RESISTANT DUE TO CHANGING HABITS OF DEER.
4. ALL PLANTING AREAS SHALL BE COVERED WITH LAYER OF BARK MULCH TO MINIMUM DEPTH OF 2 INCHES, WITH A CHIP SIZE OF NO LESS THAN 1 INCH. A 2 INCH LAYER OF GREENWASTE MULCH UNDER THE BARK IS RECOMMENDED.
5. SOIL AMENDMENTS SHALL BE USED AS NECESSARY. SOIL AMENDMENT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN 1 INCH DIAMETER WILL NOT BE PERMITTED. SOIL AMENDMENTS ARE NOT PERMITTED IN TYPICAL NATIVE PLANT LANDSCAPE AREAS.
6. PLANTING HOLES SHALL GENERALLY BE 2X-3X THE SIZE OF THE ROOT BALL. THE WALLS AND BASES OF PLANT HOLES SHALL BE SCARIFIED. HOLES SHALL BE BACKFILLED WITH 5% ORGANIC COMPOST & 95% EXISTING SOIL. PLANTING HOLES OF NATIVE PLANT MATERIALS SHOULD BE INOCULATED WITH MYCORRHIZAL FUNGI, PER MANUFACTURER'S SPECS.
7. TRESS SHALL BE STAKED WITH TWO PRESSURE TREATED 2" DIA. POLES. TREE TRUNK SHALL BE SECURED WITH TWO RUBBER TIES OR STRAPS FORMING A FIGURE-EIGHT BETWEEN TRUNK AND STAKE.
8. RESIDUAL WEED PRE-EMERGENT SHALL BE APPLIED BY THE CONTRACTORS AS NECESSARY. APPLICATION SHALL BE ACCORDING TO MANUFACTURE'S INSTRUCTIONS.
9. LAWN SHALL BE INSTALLED ON SLOPES GREATER THAN 25%. ALL TURF AREAS SHALL BE FERTILIZED AT TIME OF INSTALLATION.



Revisions		
Rev.:	Description :	Date :
001		
002		
003		
004		
005		
006		

Contractor :
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2415 Summit Drive
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Ph: 415.819.0304

Zoning: -

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E-mail: TIMEFORMONEDSIGN.COM

BUILDING SET
PLANNING SET

APN#: 029-032-160

form+one
DESIGN ■ PLANNING

Title : Landscape Plan	
Project :	Gambrioli Residence 812 Linden Avenue Burlingame, CA 94010
Job No. :	19_009
Drawn :	TIM RAUDENZ
Date :	03/06/2019

L1.0

Sheet

Scale: See Details



BOUNDARY NOTE:

IRON PIPES OR OTHER PERMANENT MONUMENTS HAVE BEEN SET AT THE PROPERTY CORNERS AND A RECORD OF SURVEY OR CORNER RECORD FILED WITH THE COUNTY OF SAN MATEO AFTER COMPLETION OF DEMOLITION.

BASIS OF ELEVATIONS:

ELEVATIONS ARE BASED UPON AN ASSUMED DATUM.
TBM: SET MAGNETIC NAIL AND SHINER ALONG LINDEN AVENUE
ELEVATION = 100.00

BASIS OF BEARINGS:

THE BEARING S 48°30' 00" W OF THE CENTERLINE OF PARK AVENUE, ESTABLISHED BY CURB SPLITS, AS SHOWN ON "BURLINGAME VILLA PARK" FILED IN VOLUME 3 OF MAPS AT PAGE 65, WAS USED AS THE BASIS OF BEARINGS FOR THIS MAP.

LEGEND:

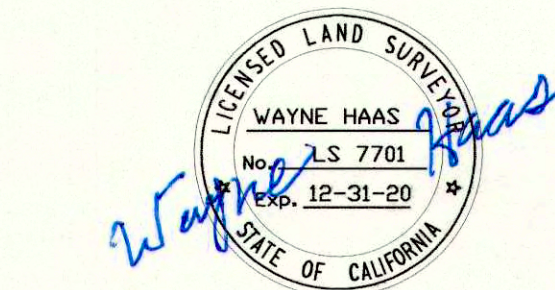
- 3/4" IRON PIPE W/ PLASTIC PLUG "LS 7701" AND TACK, UNLESS NOTED OTHERWISE
- 3/4" BRASS TAG "LS 7701" AND TACK, UNLESS NOTED OTHERWISE
- ASPHALTIC CONCRETE
- BACK OF WALK
- CATCH BASIN
- CAST IRON PIPE
- CORRUGATED METAL PIPE
- CONCRETE
- CLEAN-OUT
- DROP INLET
- ELECTRIC METER
- FOUND
- FINISHED FLOOR
- FLOW LINE
- FIRE HYDRANT
- GUY ANCHOR
- GAS METER
- GROUND
- HANDICAP RAMP
- INVERT
- IRON PIPE
- JOINT POLE
- LATERAL
- LIP OF GUTTER
- OVERHEAD
- P.U.E.
- REINFORCED CONCRETE PIPE
- RETAINING WALL
- RIGHT OF WAY
- SANITARY SEWER CLEAN-OUT
- SANITARY SEWER MANHOLE
- STORM DRAIN MANHOLE
- TOP BACK OF CURB
- TOP OF WALL
- UNDERGROUND
- VITRIFIED CLAY PIPE
- WATER VALVE
- WATER METER BOX
- CABLE TELEVISION LINE
- ELECTRICAL LINE
- GAS LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- TELEPHONE LINE
- WATER LINE

UTILITY NOTE:

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

AVERAGE FRONT SETBACKS

ADDRESS	SETBACK FROM PROPERTY LINE
800	12.0' (EXCLUDED - CORNER LOT)
802	11.0'
816	13.10'
820	7.8' (EXCLUDED - NEAREST)
822	17.2'
824	24.8' (EXCLUDED - FARTHEST)
832	22.8'
836	18.7'
840	1.8' (EXCLUDED - CORNER LOT)
AVERAGE = 16.6'	



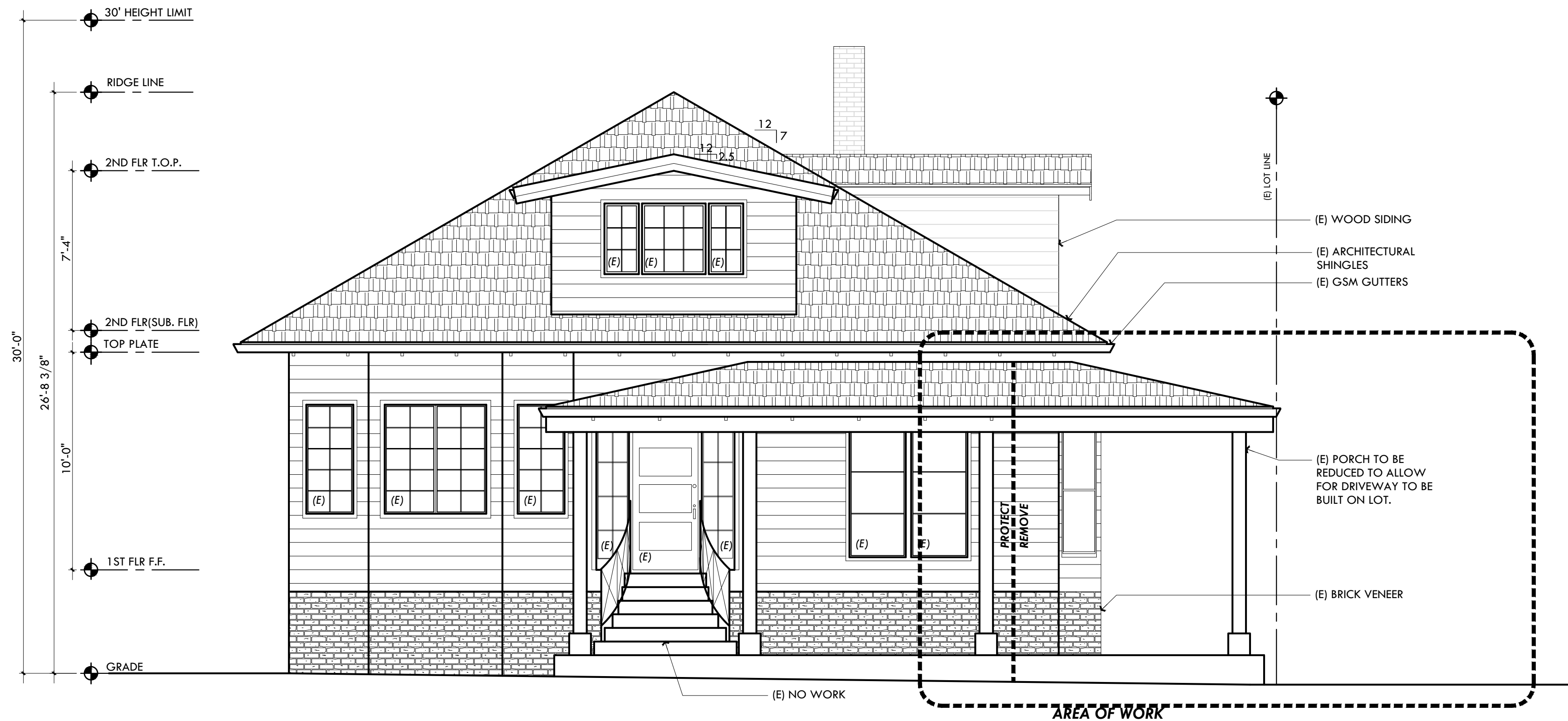
BOUNDARY AND TOPOGRAPHIC SURVEY

LANDS OF GUARALDI
DOCUMENT # O.R.
LOT 22, BLOCK 3
"BURLINGAME VILLA PARK"
VOLUME 3 OF MAPS AT PAGE 65
ASSESSOR'S PARCEL NUMBER: 029-032-160
(816 LINDEN AVENUE)

BURLINGAME SAN MATEO COUNTY CALIFORNIA
SCALE: 1" = 10' APRIL, 2019

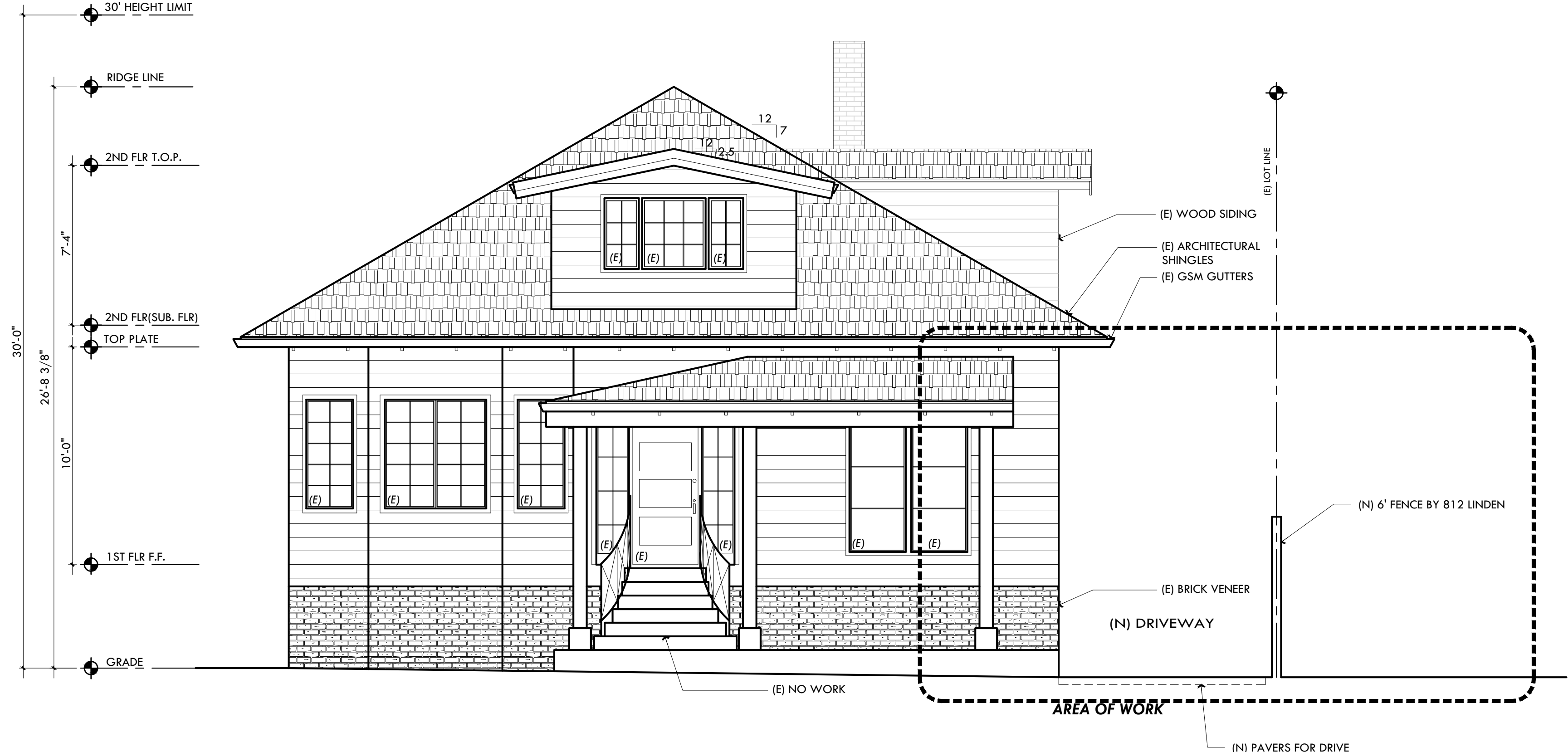
B & H SURVEYING, INC.
PROFESSIONAL LAND SURVEYING
901 WALTERMIRE ST.
BELMONT, CA 94002
OFFICE (650) 637-1590

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EXISTING FRONT ELEVATION

Scale: 1/4" = 1'-0" (A3.0)



PROPOSED FRONT ELEVATION

Scale: 1/4" = 1'-0" (A3.0)

Revisions	
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Contractor :
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Burlingame, CA 94010
Zoning: R-1

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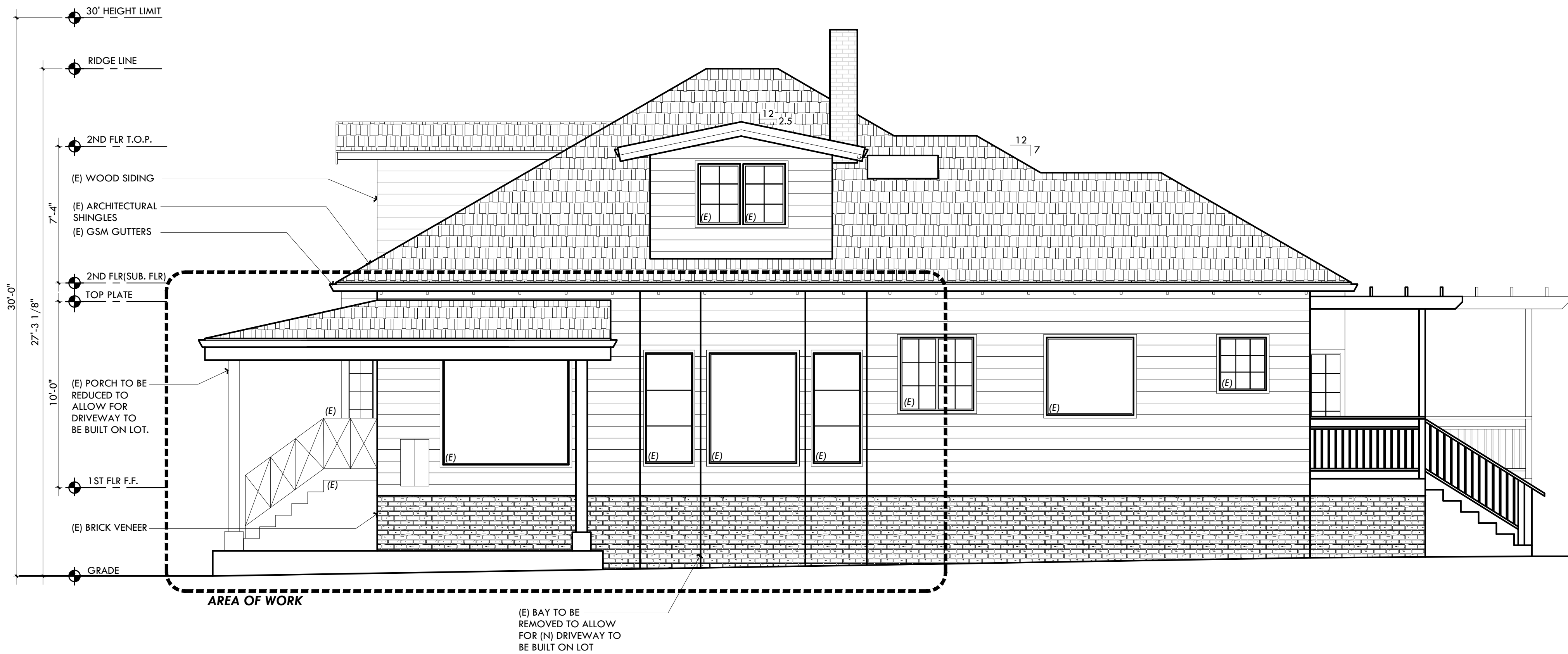
BUILDING SET
PLANNING SET

APN#: 029-032-160

Title : Proposed Elevations	
Project : Gambrioli Residence 816 Linden Avenue Burlingame, CA 94010	
Job No. : 19_010	Drawn : TIM RADUENZ
Date : 03/08/2019	

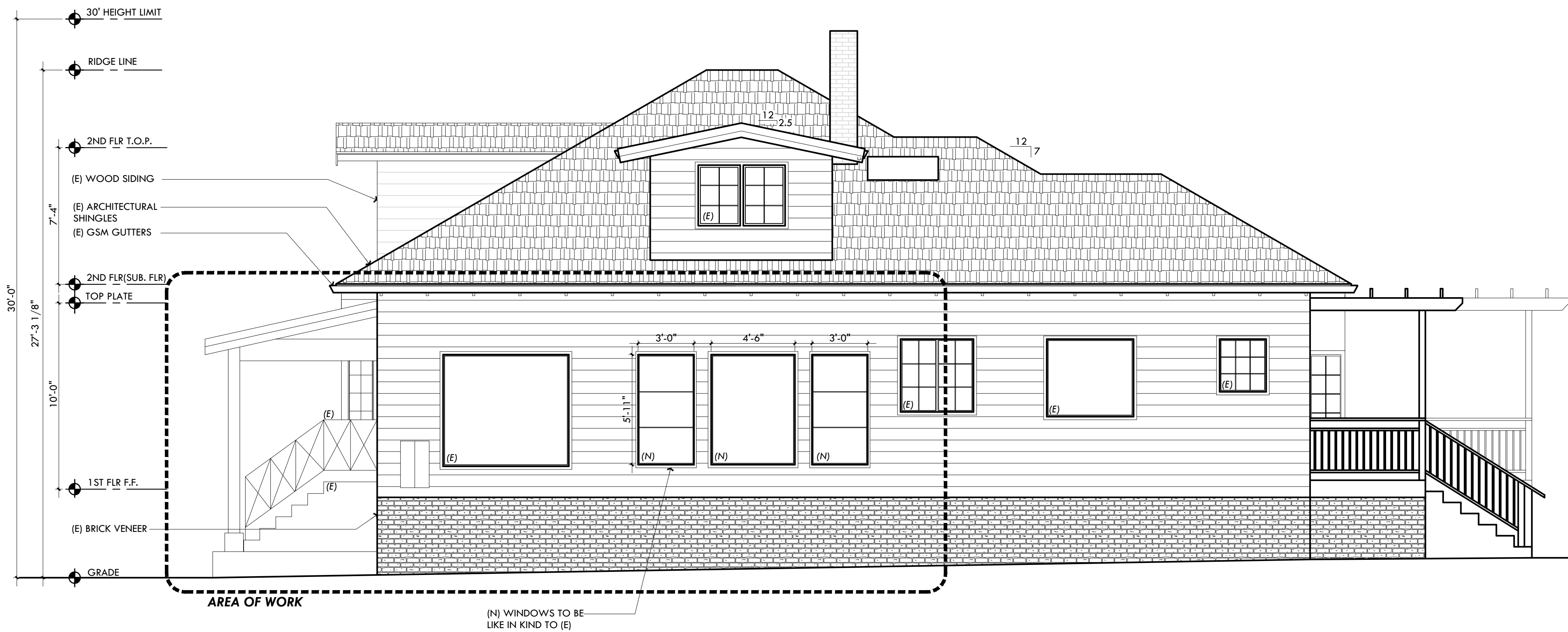
A3.0

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EXISTING RIGHT ELEVATION

Scale: 1/4" = 1'-0" 1
A3.1



PROPOSED RIGHT ELEVATION

Scale: 1/4" = 1'-0" 2
A3.1

Contractor :
Gambrioli Developments
Contact: Greg Gambrioli
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P: 650-333-6844

Owner :
Mr. & Mrs. Greg Gambrioli
816 Linden Ave.
Burlingame, CA 94010
Zoning: R-1

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

Revisions

Rev. #	Description	Date
001		
002		
003		
004		
005		
006		

APN# : 029-032-160

form + one

DESIGN ■ PLANNING

Tim Raduenz

Title : Proposed Elevations

Project : Gambrioli Residence
816 Linden Avenue
Burlingame, CA 94010

Job No. : 19_010

Drawn : TIM RADUENZ

Date : 03/06/2019

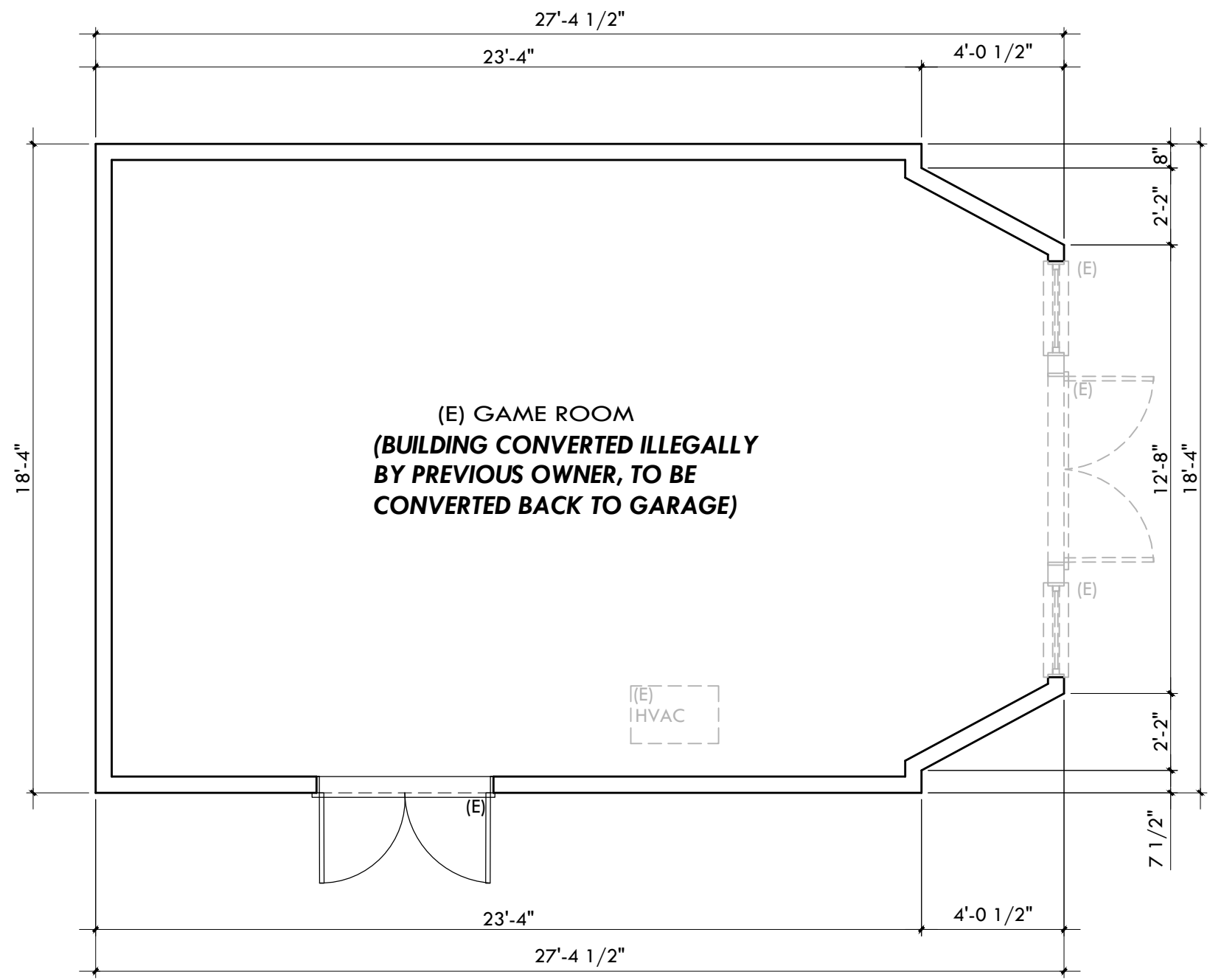
BUILDING SET

PLANNING SET

A3.1

Sheet
Scale: See Details

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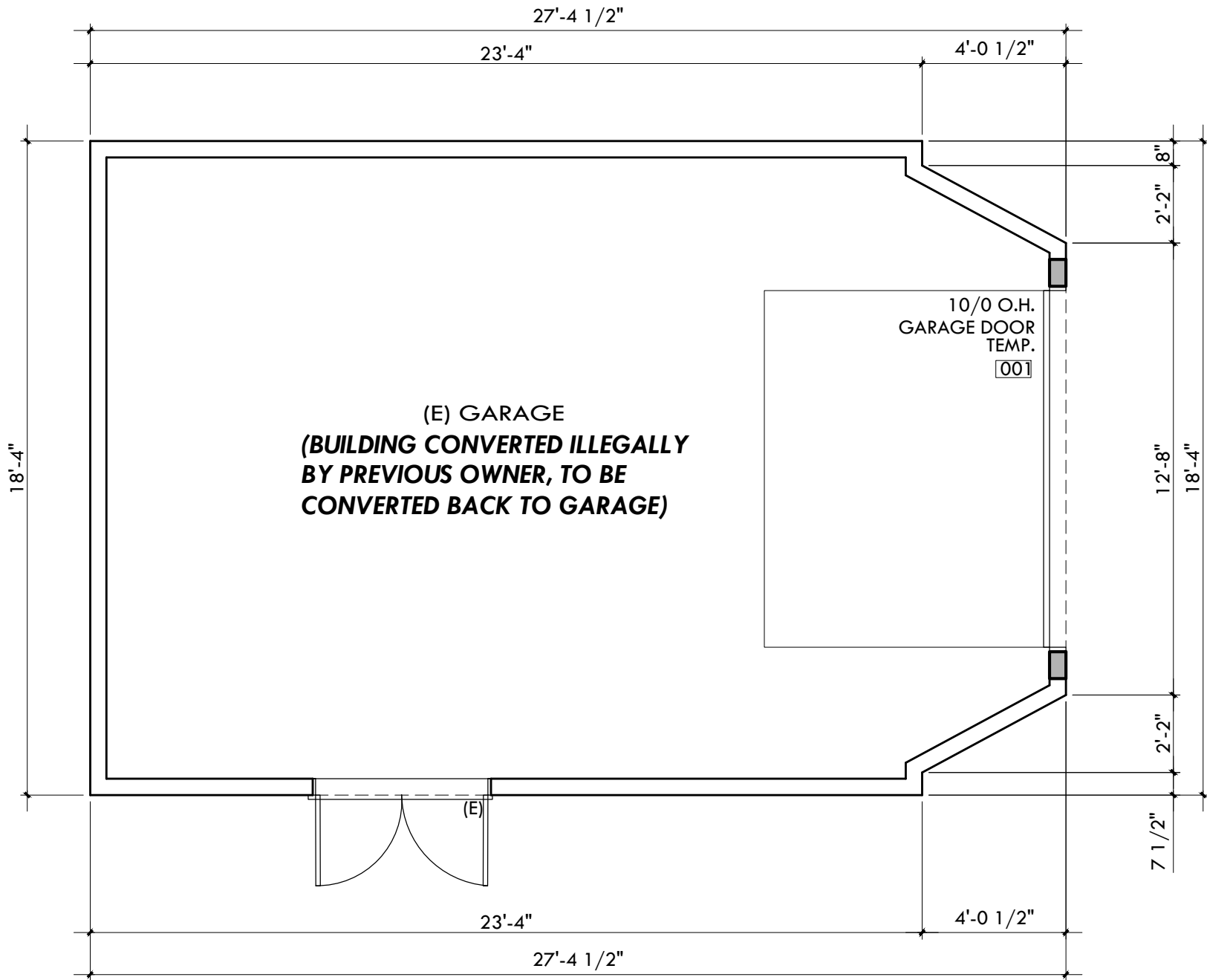


EXISTING GAME ROOM

(TO BE CONVERTED BACK TO A GARAGE) Scale: 1/4" = 1'-0" 1
G1.0

LEGEND:

- EXISTING WALLS
- WALLS/ITEMS TO BE REMOVES
- NEW WALLS



PROPOSED GARAGE

(TO BE CONVERTED BACK TO A GARAGE) Scale: 1/4" = 1'-0" 2
G1.0

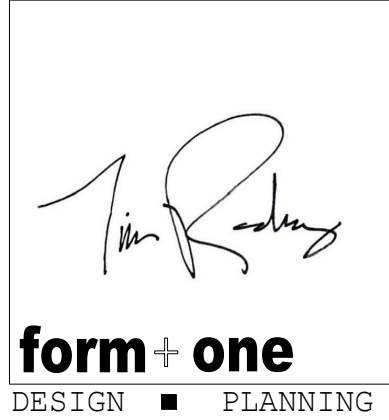
Title : Existing & Proposed Garage

Project : Gambrioli Residence
816 Linden Avenue
Burlingame, CA 94010

Job No. : 19_010 Drawn : TIM RADUENZ Date : 03/06/2019

Owner :
Mr. & Mrs. GREG GAMBRIOLI
816 LINDEN AVE.
BURLINGAME, CA 94010
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Contractor :
Gambrioli Developments
Contact: Greg Gambrioli
816 LINDEN AVE.
BURLINGAME, CA 94010
P: 650-333-6844

BUILDING SET
PLANNING SET

APN#: 029-032-160

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001		
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G1.0

Sheet
Scale: See Details