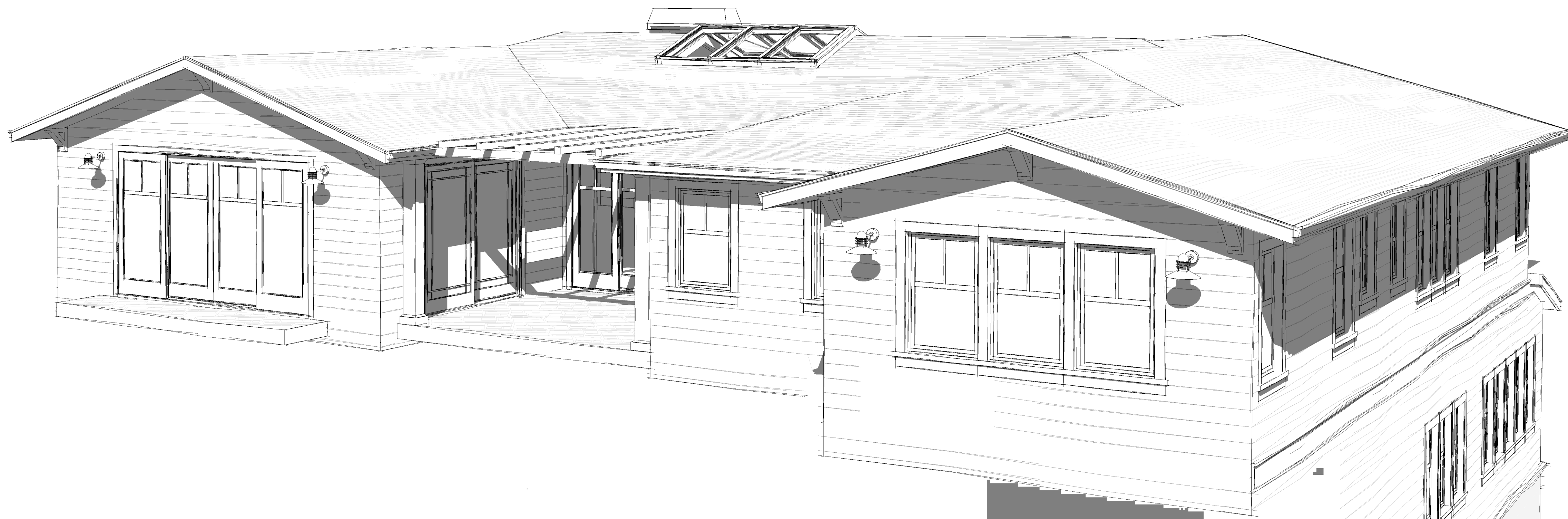


2 FRONT ELEVATION RENDERING



1 REAR COURTYARD RENDERING

PROJECT  
**WILLIAMS**

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APN 027-261-100

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EXTERIOR 3-D  
RENDERINGS



## SHEET NOTES

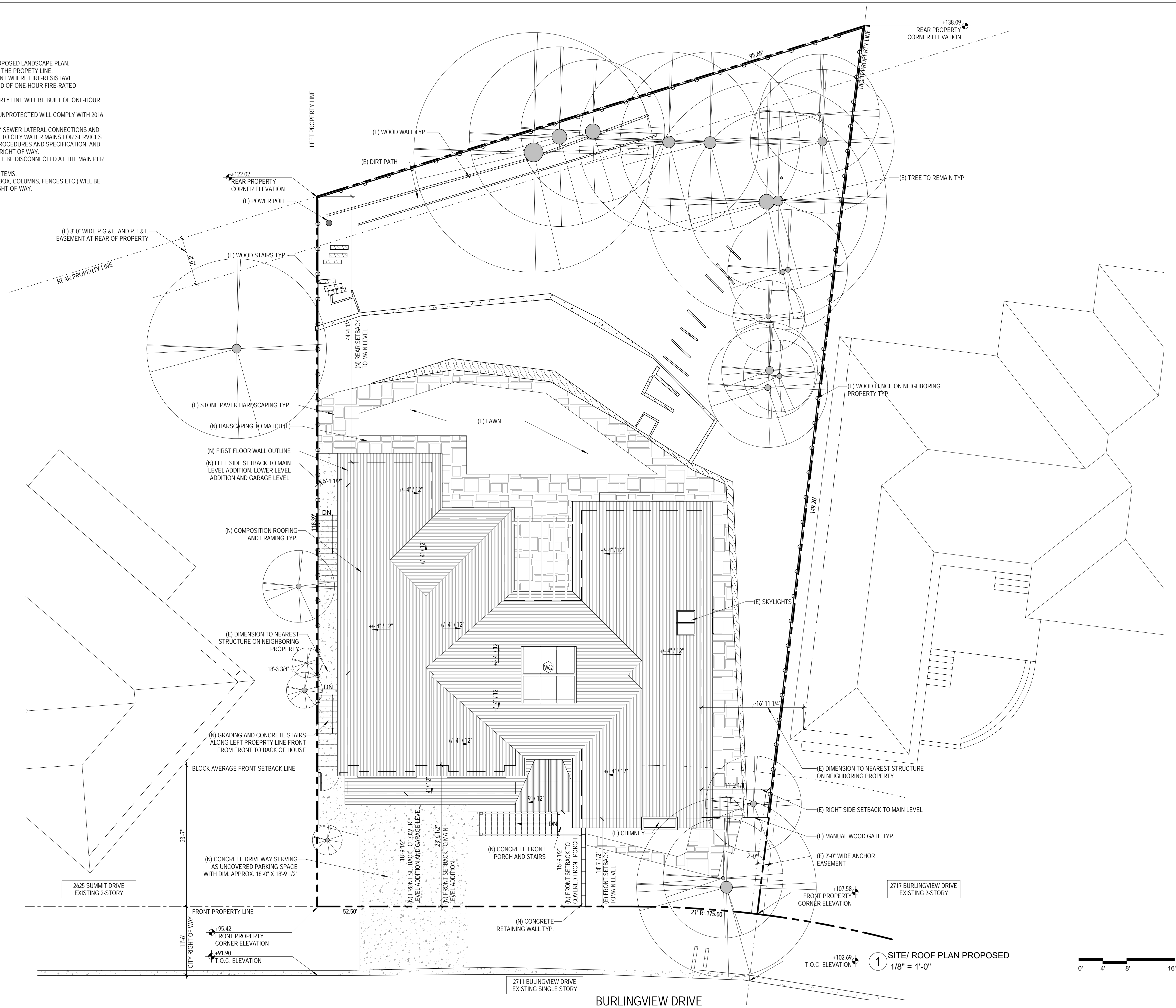
1. FOR ADDITIONAL LANDSCAPING INFORMATION SEE L1.1 PROPOSED LANDSCAPE PLAN.
2. THE ROOF EAVES WILL NOT PROJECT WITHIN TWO FEET OF THE PROPERTY LINE.
3. ALL ROOF PROJECTIONS WHICH PROJECT BEYOND THE POINT WHERE FIRE-RESISTATIVE CONSTRUCTION WOULD BE REQUIRED WILL BE CONSTRUCTED OF ONE-HOUR FIRE-RATED CONSTRUCTION PER 2016 CBC TABLE 602.
4. THE EXTERIOR BEARING WALLS WITHIN 5'-0" OF THE PROPERTY LINE WILL BE BUILT OF ONE-HOUR FIRE RATED CONSTRUCTION PER 2016 CBC TABLE 602.
5. ALL OPENINGS IN EXTERIOR WALL, BOTH PROTECTED AND UNPROTECTED WILL COMPLY WITH 2016 CBC, TABLE 705.8.
6. REPLACE ALL CURB, GUTTER, PLUG ALL EXISTING SANITARY SEWER LATERAL CONNECTIONS AND INSTALL A NEW 4" LATERAL. ALL WATER LINE CONNECTIONS TO CITY WATER MAINS FOR SERVICES OR FIRE LINE ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND SPECIFICATION, AND ANY OTHER UNDERGROUND UTILITY WORKS WITHIN CITY'S RIGHT OF WAY.
7. ALL ABANDONED SEWER LATERAL OR WATER SERVICE SHALL BE DISCONNECTED AT THE MAIN PER CITY REQUIREMENTS.
8. AN ENCROACHMENT PERMIT WILL BE REQUIRED FOR THESE ITEMS.
9. NO PERMANENT STRUCTURES (IE. RETAINING WALLS, MAIL BOX, COLUMNS, FENCES ETC.) WILL BE BUILT OUTSIDE THE PROPERTY LINE AND IN THE PUBLIC RIGHT-OF-WAY.

## LANDSCAPING LEGEND

- (E) TREE
- (E) SHADE BUSH W/ DIAMETER LESS THAN 6"
- SHRUBBERY
- ANNUALS
- (N) TREE
- SOFTSCAPE
- CONCRETE

## UTILITY LEGEND

- WATER METER
- SEWER CLEAN OUT
- GAS METER
- ELECTRICAL METER
- BACKFLOW PREVENTION DEVICE
- AREA DRAIN
- DOWNSPOUT
- DIRECTION INDICATOR
- WATER LINE
- SEWER LINE
- GAS LINE
- OVERHEAD ELECTRICAL SERVICE
- DRAINAGE LINE
- FENCE



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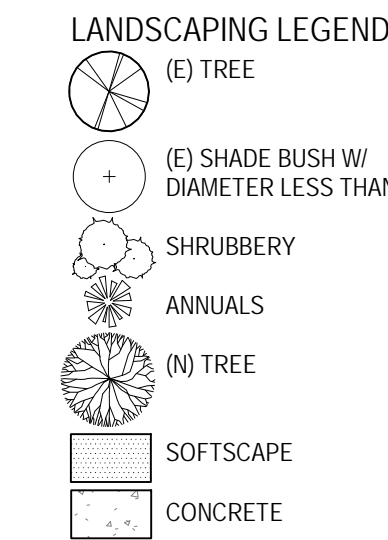
DATE 9/25/2019

PROPOSED SITE/  
ROOF PLAN

A1.1



1. WATER CONSERVATION IN LANDSCAPING ORDINANCE COMPLIANCE- THESE PLANS COMPLY WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING AND IRRIGATION DESIGN PLAN.
2. ALL LANDSCAPING IN REAR OF PROPERTY IS EXISTING TO REMAIN WITH THE EXCEPTION OF NEW HARDSCAPING BEHIND MASTER BEDROOM.



### 1.1



## SHEET NOTES

- ALL WINDOWS AND DOORS IN PROPOSED ELEVATION ARE NEW UNLESS OTHERWISE DENOTED AS EXISTING (E).
- ALL NEW WINDOWS ARE FIBERGLASS CLAD WOOD WINDOWS WITH SIMULATED TRUE DIVIDED LITES AND WOOD TRIM.
- SEE SHEET A5.0 FOR DOOR AND WINDOW SCHEDULE.
- SEE SHEET A9.0 FOR TYPICAL WINDOW DETAIL.
- (N) BUILDING ADDRESS LOCATION SHOW IN PROPOSED ELEVATION. THE TYPE WILL BE SUCH THAT NUMBERS AND ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE FRONT OF THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, SHALL BE A MINIMUM OF ONE-HALF INCH STROKE BY FOUR INCHES HIGH, AND SHALL BE EITHER INTERNALLY OR EXTERNALLY ILLUMINATED IN ALL NEW CONSTRUCTION, ALTERATIONS OR REPAIR OF EXISTING CONSTRUCTION. THE POWER OF SUCH ILLUMINATION SHALL NOT BE NORMALLY SWITCHABLE.

+108.72  
AVG. (E) GRADE ELEVATION  
ON PROPERTY LINE

(E) LEFT SIDE SETBACK TO  
MAIN LEVEL AND GARAGE  
LEVEL TO REMAIN

(E) WOOD AND GLASS GARAGE  
DOOR TO BE DEMOLISHED

(E) COMPOSITION ROOFING AND  
FRAMING TO BE DEMOLISHED

(E) WOOD AND GLASS ENTRY  
DOOR TO BE DEMOLISHED

(E) CHIMNEY TO REMAIN

(E) SKYLIGHT TO REMAIN

(E) CHIMNEY TO  
BE DEMOLISHED

(E) VERTICAL SIDING TO  
BE REMOVED

(E) RIGHT SIDE SETBACK  
MAIN LEVEL AT FRONT OF  
RESIDENCE

(E) ENTRY STAIRS AND WROUGHT  
IRON RAILING TO BE DEMOLISHED

2 SOUTH (FRONT) ELEVATION EXISTING  
1/4" = 1'-0"

0 2 4 8

DECLINING HEIGHT  
ENVELOPE

RIGHT PROPERTY LINE  
AT FRONT OF RESIDENCE

+108.72  
AVG. (E) GRADE ELEVATION  
ON PROPERTY LINE

(N) FIBERGLASS CLAD WOOD WINDOWS W/  
SIMULATED TRUE DIVIDED LITES AND WOOD TRIM  
TYP. SEE A5.0 FOR WINDOW SCHEDULE.

(N) PAINTED WOOD TRELLIS W/  
DECORATIVE CORBELS

(N) LEFT SIDE SETBACK  
TO (N) GARAGE

+95.42  
PROPERTY CORNER  
ELEVATION

(N) CONCRETE STAIRS  
ALONG LEFT PROPERTY LINE

+91.90  
T.O.C. ELEVATION ON PROPERTY LINE

(N) COMPOSITION ROOFING AND FRAMING  
WITH (N) RIDGE HEIGHT TO MATCH (E)  
(N) PAINTED WOOD 6" WOOD  
FASCIA AND CORBELS TYP.

EGRESS WINDOW BEDROOM 2 W/  
CLEARANCE OF 27 1/2" X 45 1/2"

(N) RIDGE SKYLIGHT OVER FOYER W/  
HEIGHT 6" ABOVE ROOF RIDGE HEIGHT  
(N) PAINTED WOOD SIDING 6"  
EXP W/ MITRED CORNERS TYP.

EGRESS WINDOW BEDROOM 3 W/  
CLEARANCE OF 27 1/2" X 45 1/2"  
SEE A5.0 FOR WINDOW SCHEDULE

(E) LEFT SIDE SETBACK MAIN LEVEL  
AND (N) MAIN LEVEL ADDITION, AND  
LOWER LEVEL

5'-1 1/2"

12'-0"

5'-1 1/2"

12'-0"

5'-1 1/2"

12'-0"

5'-1 1/2"

12'-0"

5'-1 1/2"

12'-0"

5'-1 1/2"

12'-0"

5'-1 1/2"

12'-0"

5'-1 1/2"

12'-0"

5'-1 1/2"

12'-0"

5'-1 1/2"

12'-0"

5'-1 1/2"

12'-0"

5'-1 1/2"

12'-0"

5'-1 1/2"

12'-0"

5'-1 1/2"

12'-0"

5'-1 1/2"

12'-0"

5'-1 1/2"

12'-0"

(N) PAINTED WOOD AND GLASS GARAGE  
DOOR. SEE A5.0 FOR DOOR SCHEDULE

(N) CONCRETE STAIRS FOR FRONT  
ENTRY W/ (N) WROUGHT IRON RAILING

1 SOUTH (FRONT) ELEVATION PROPOSED  
1/4" = 1'-0"

0 2 4 8

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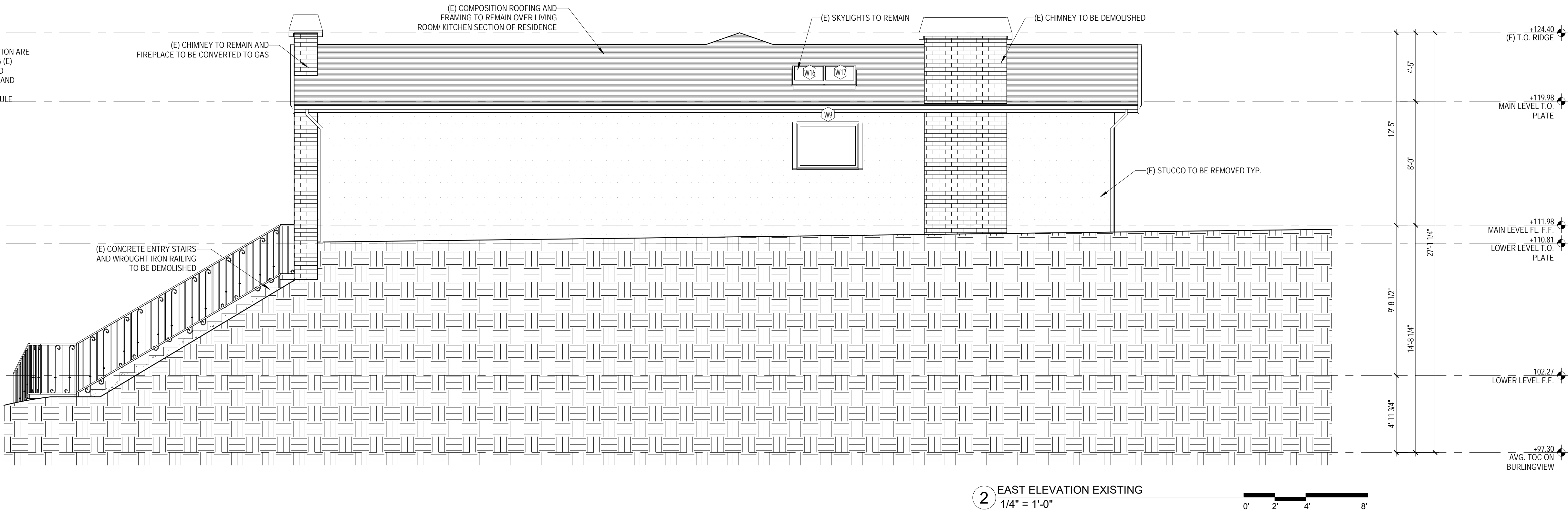
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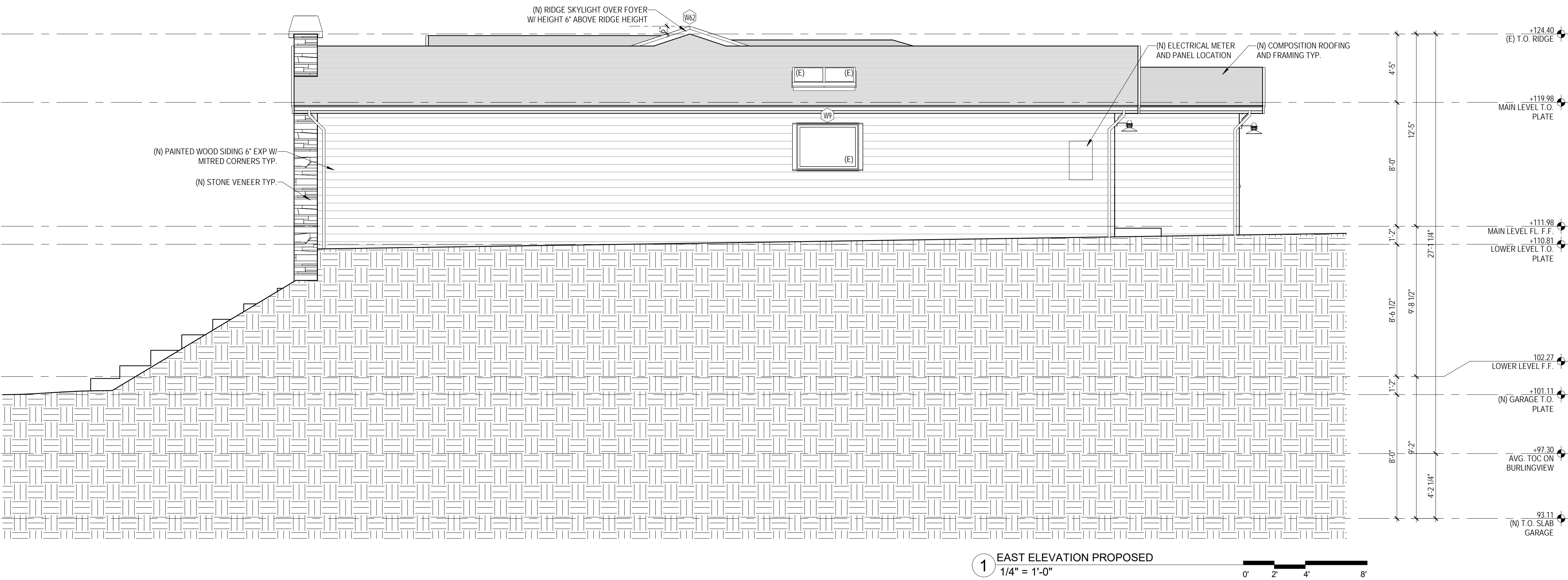
EXISTING AND  
PROPOSED SOUTH  
(FRONT)  
ELEVATIONS

A3.0

- SHEET NOTES
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  3. SEE SHEET A5.0 FOR DOOR AND WINDOW SCHEDULE
  4. SEE SHEET A9.0 FOR TYPICAL WINDOW DETAIL



2 EAST ELEVATION EXISTING  
1/4" = 1'-0"



1 EAST ELEVATION PROPOSED  
1/4" = 1'-0"

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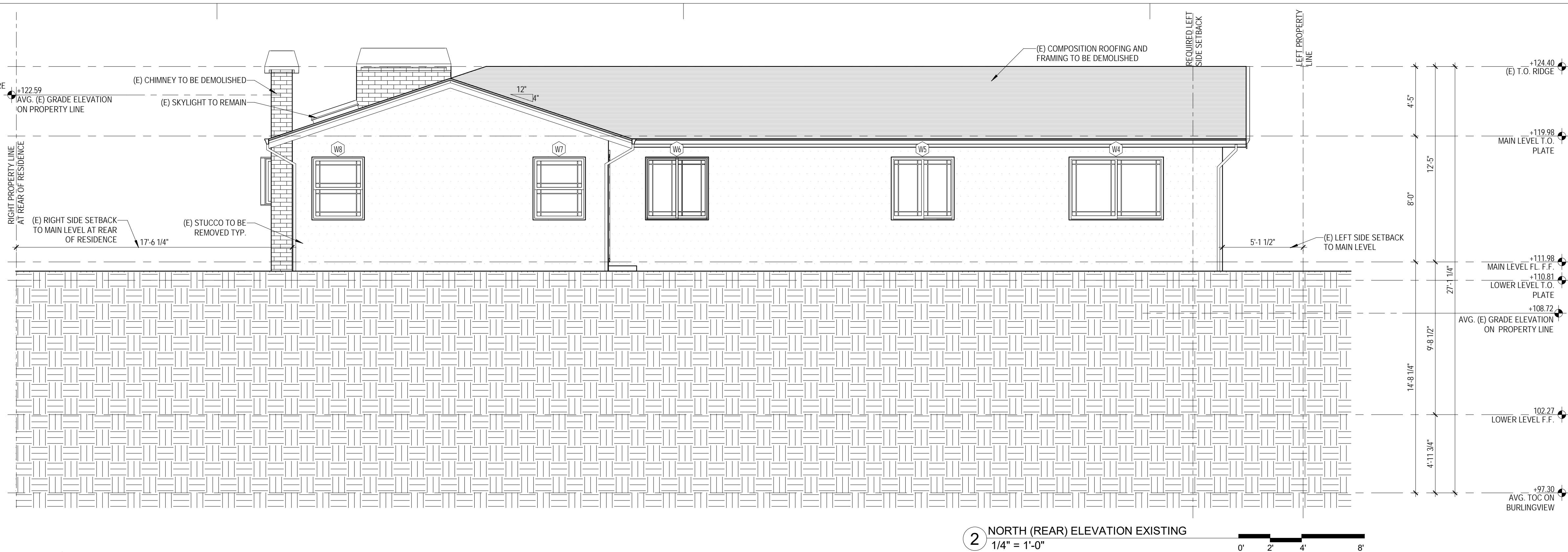
EXISTING AND  
PROPOSED EAST  
ELEVATIONS

A3.1



## SHEET NOTES

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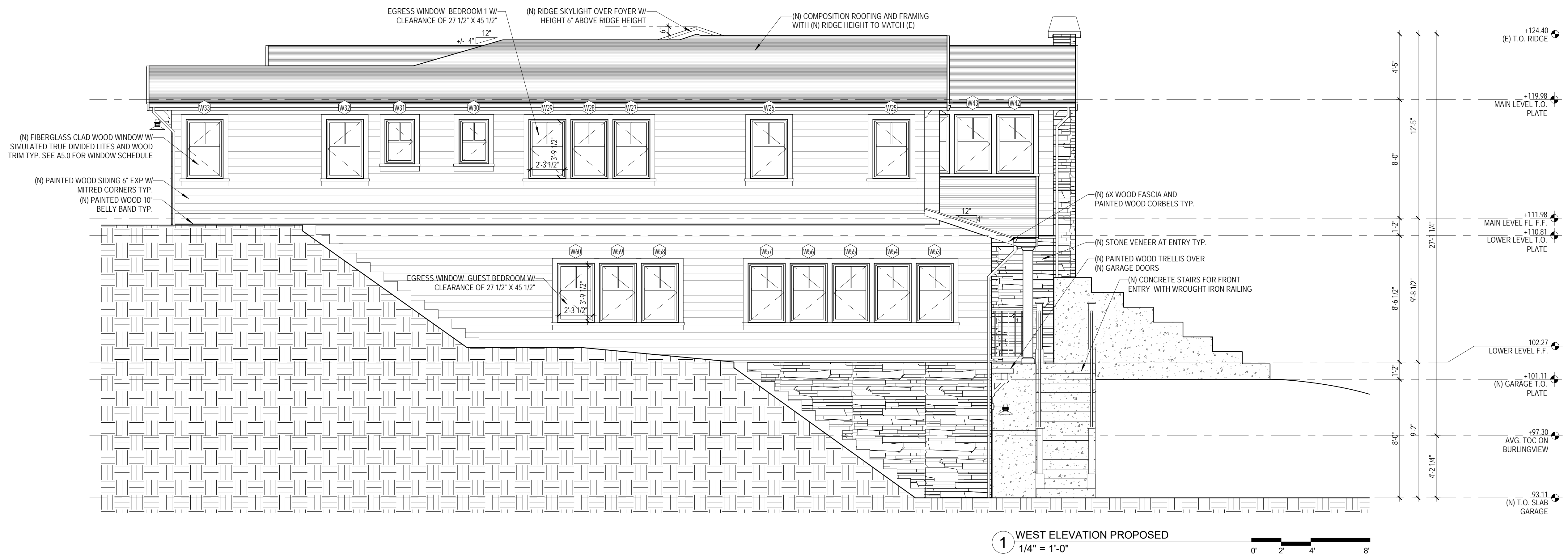
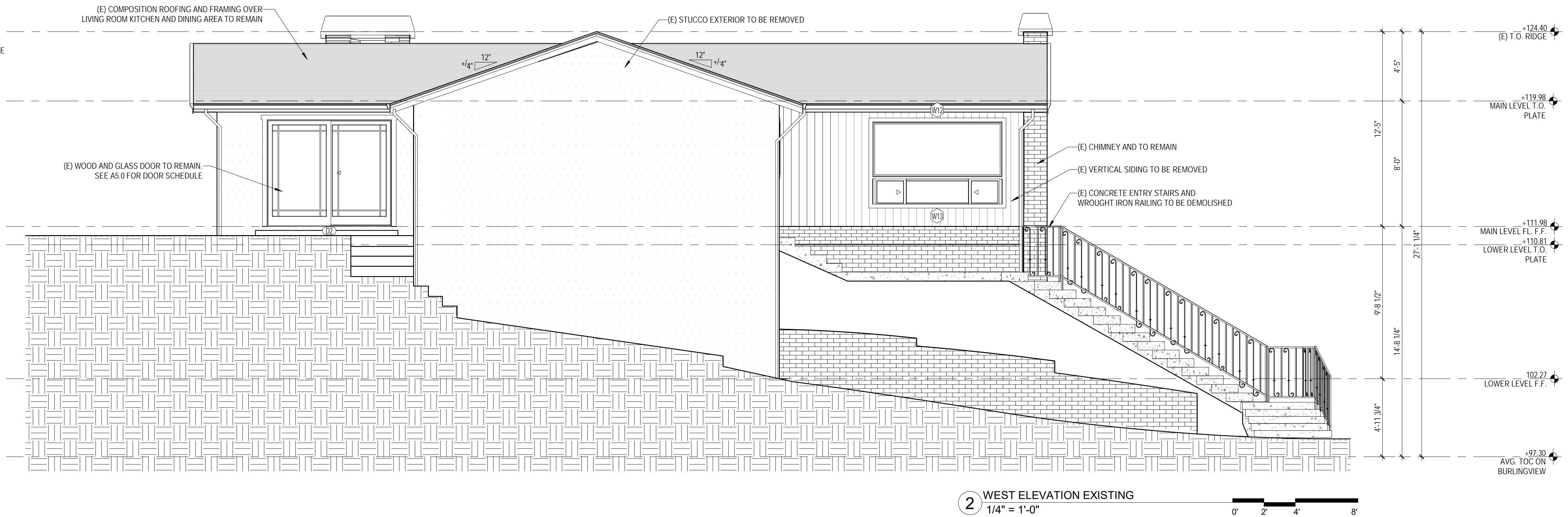
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## EXISTING AND PROPOSED NORTH (REAR) ELEVATIONS

A3.2

## SHEET NOTES

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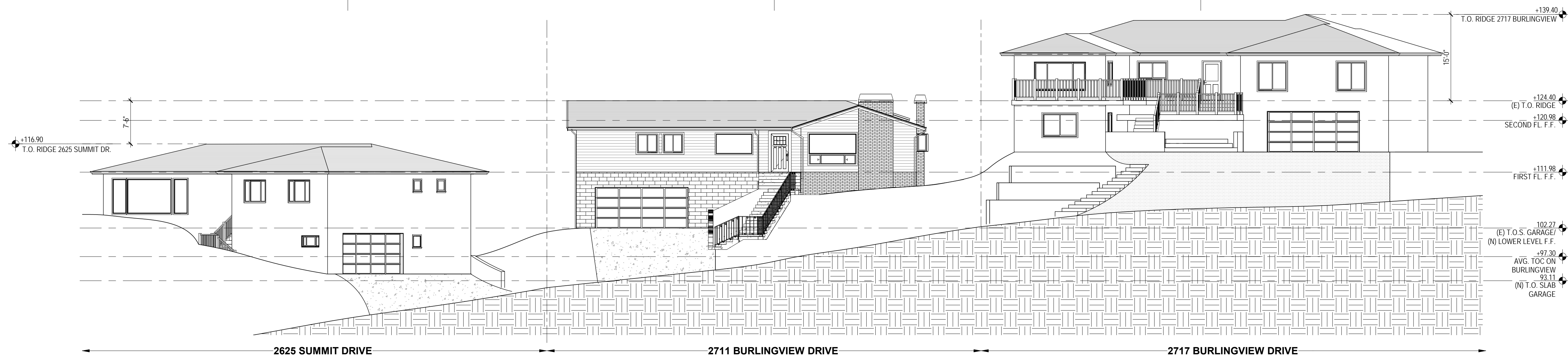
DATE 9/25/2019

EXISTING AND  
PROPOSED WEST  
ELEVATIONS

A3.3



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3 STREET ELEVATION EXISTING  
1" = 10'-0"



2 STREET ELEVATION PROPOSED  
1" = 10'-0"



1 STREET ELEVATION REVISED  
1" = 10'-0"

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EXISTING,  
PROPOSED AND  
REVISED  
BURLINGVIEW  
STREET ELEVATIONS

A7.0





1 FRONT ELEVATION EXISTING  
NOT TO SCALE



2 FRONT ELEVATION FIRST PROPOSAL  
NOT TO SCALE



3 FRONT ELEVATION REVISED PROPOSAL  
NOT TO SCALE

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EXISTING,  
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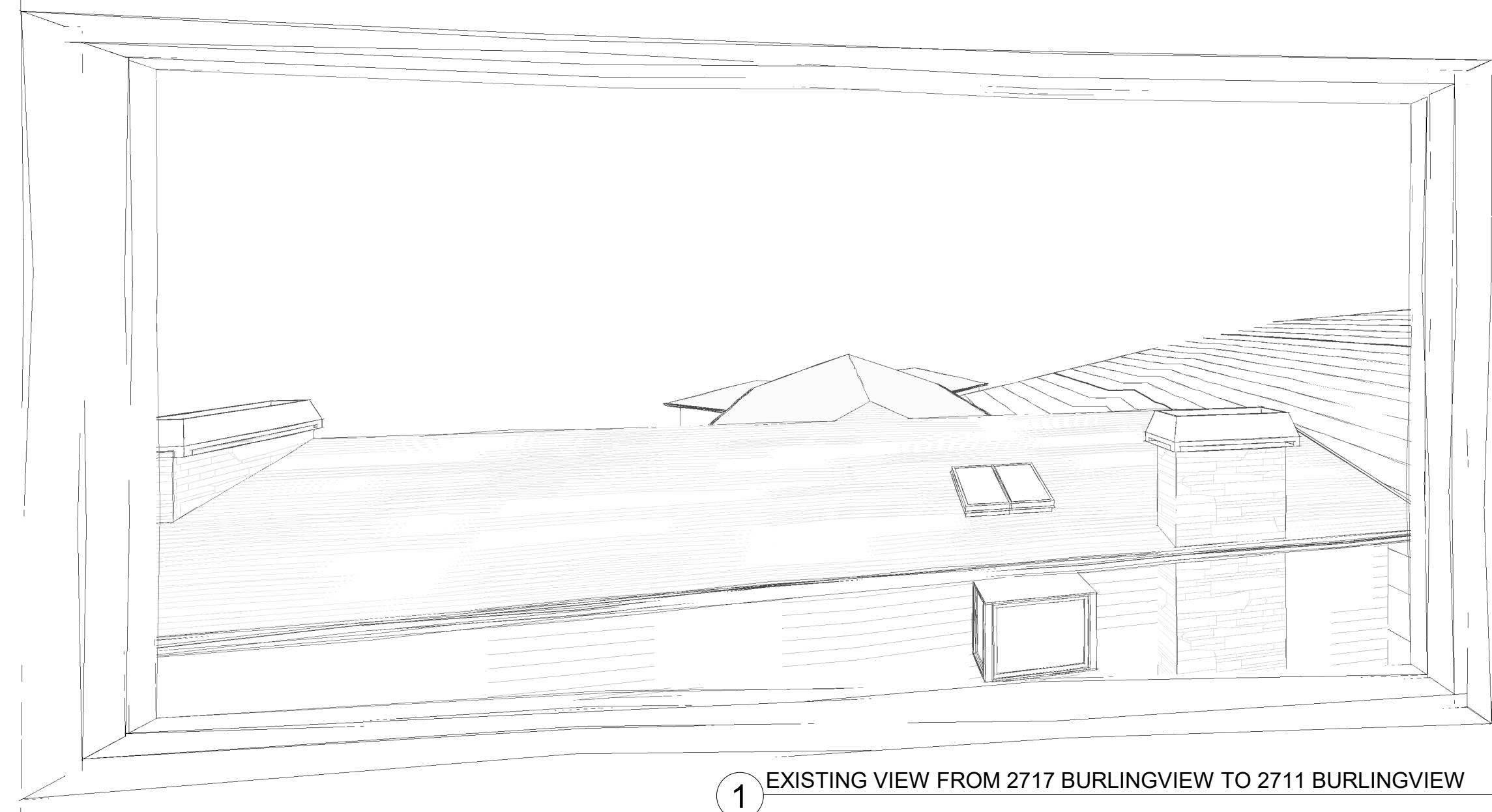
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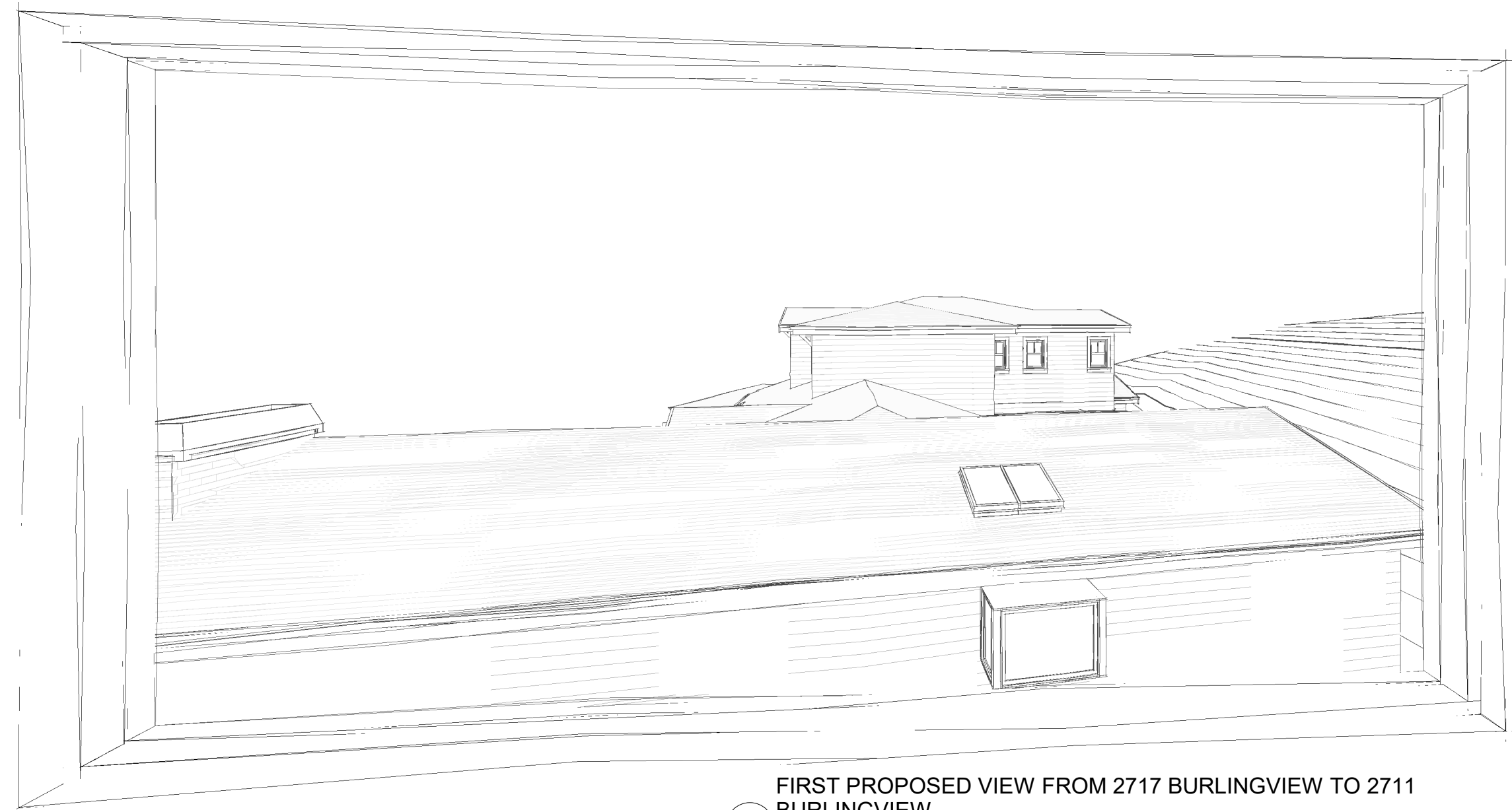
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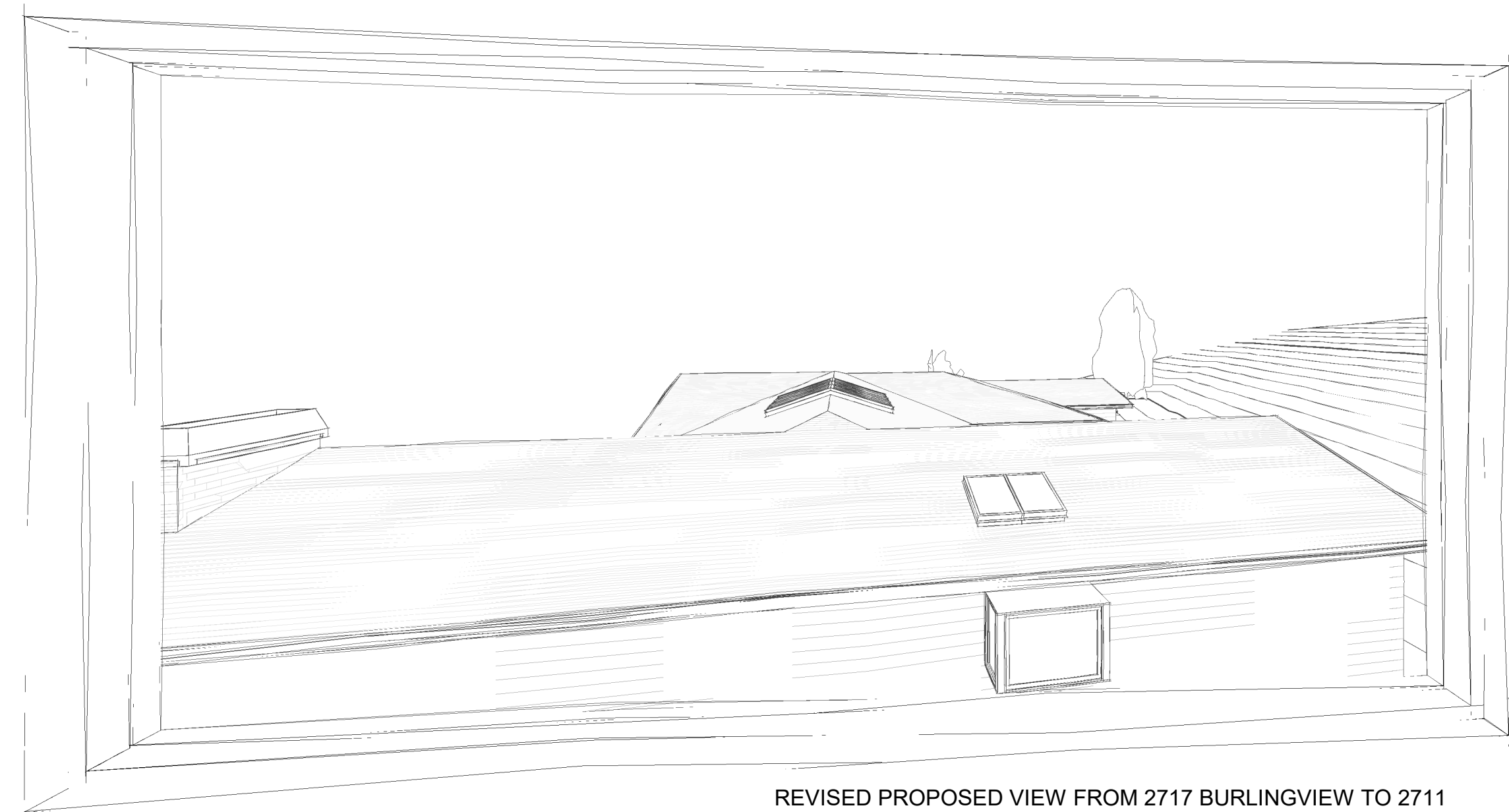
EXISTING,  
PROPOSED AND  
REVISED NEIGHBOR  
VIEW



1 EXISTING VIEW FROM 2717 BURLINGVIEW TO 2711 BURLINGVIEW



2 FIRST PROPOSED VIEW FROM 2717 BURLINGVIEW TO 2711 BURLINGVIEW



2 REVISED PROPOSED VIEW FROM 2717 BURLINGVIEW TO 2711 BURLINGVIEW



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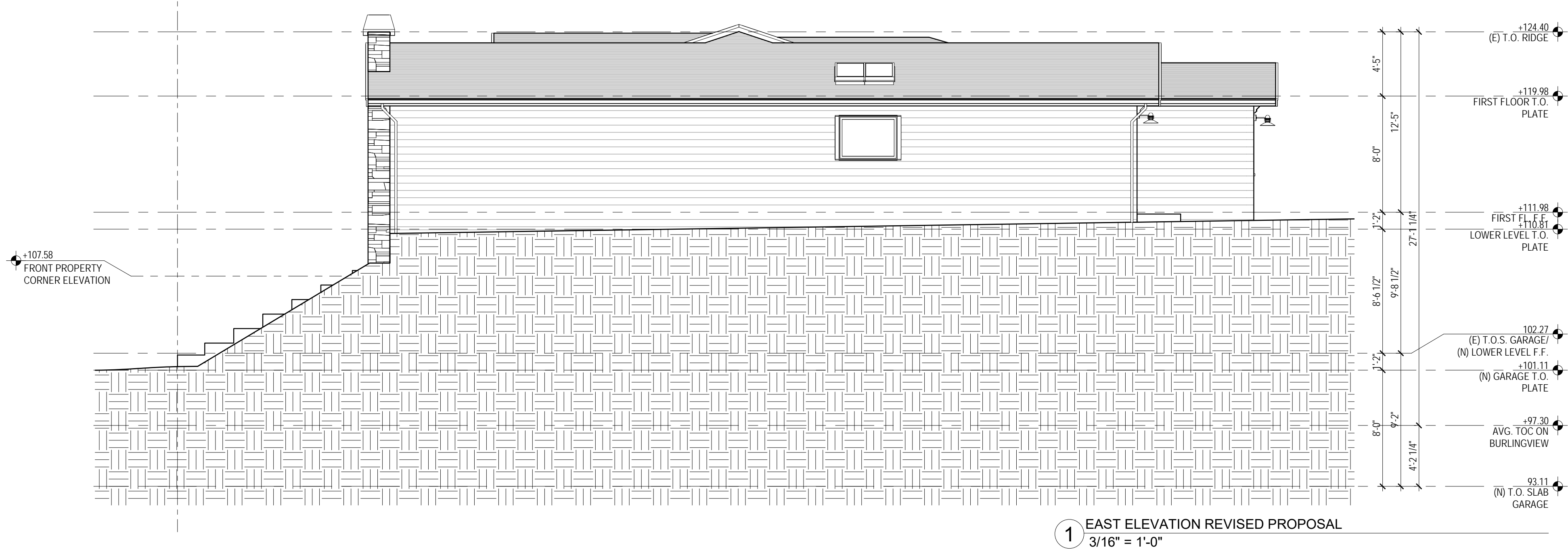
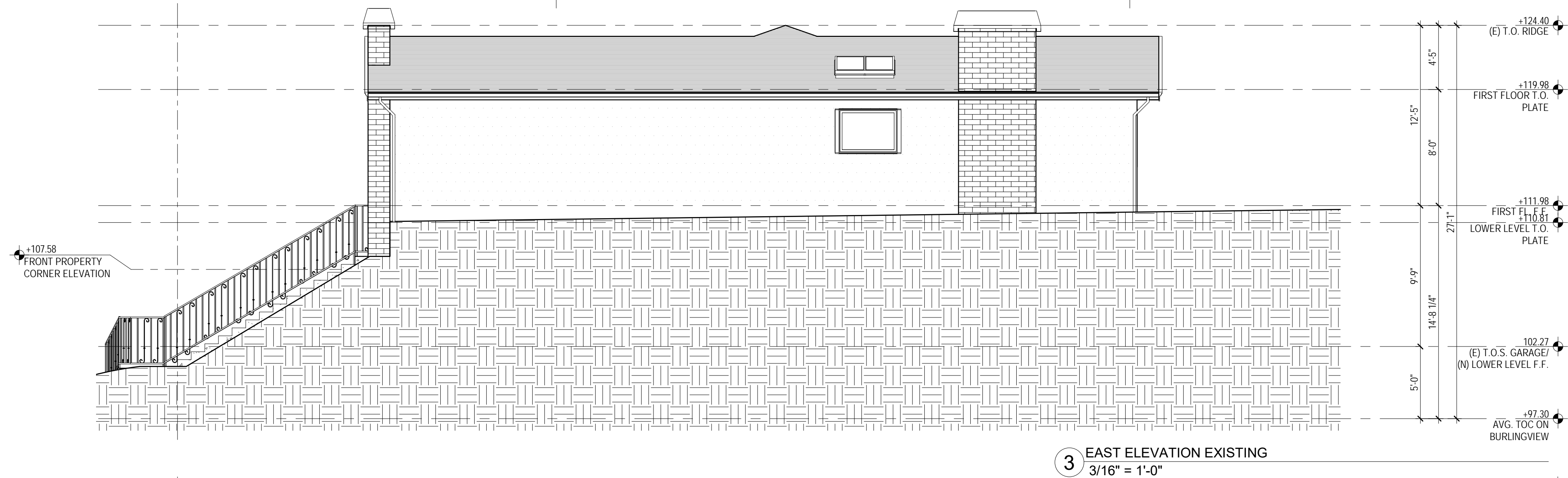
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EXISTING,  
PROPOSED AND  
REVISED SOUTH  
(FRONT)  
ELEVATIONS

A7.3



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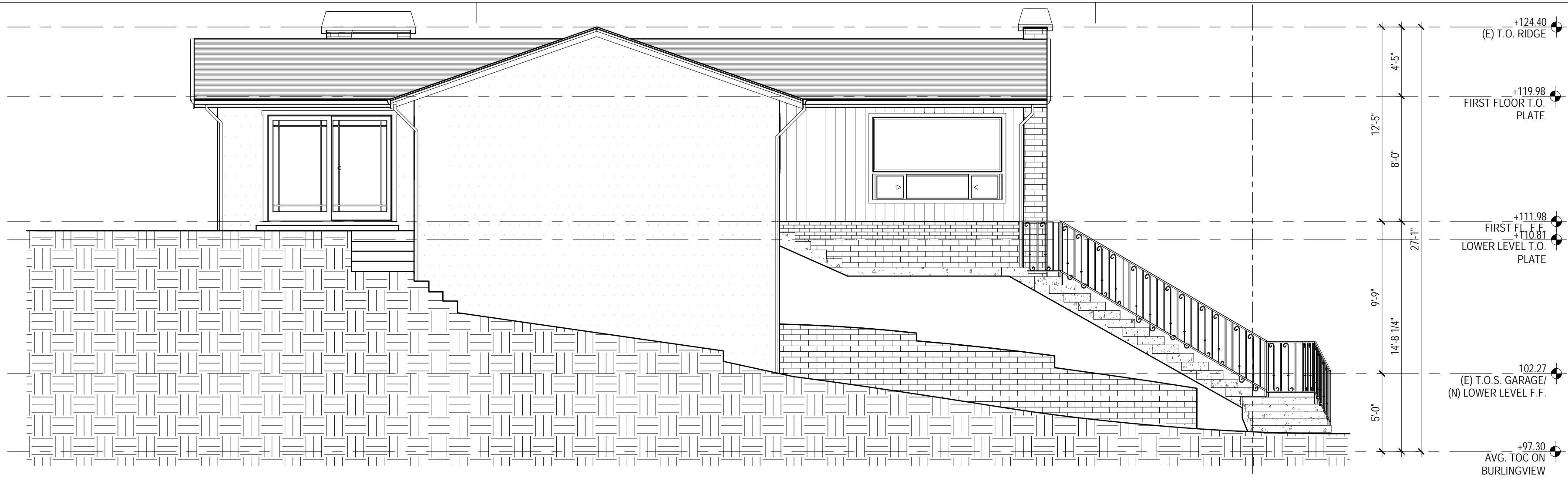
EXISTING,  
PROPOSED AND  
REVISED EAST  
ELEVATIONS

A7.4





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3 WEST ELEVATION EXISTING  
3/16" = 1'-0"



2 WEST ELEVATION FIRST PROPOSAL  
3/16" = 1'-0"



1 WEST ELEVATION REVISED PROPOSAL  
3/16" = 1'-0"

PROJECT  
**WILLIAMS**  
RESIDENCE  
2711 Burlingame Drive  
Burlingame, CA 94010  
APN 027-261-100

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CLIENT  
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NOTES:

Issue	
Date	Description
9/4/2019	Planning Department Submittal 2
9/25/2019	Planning Commission Mtg 10/28/19

Revisions		
No.	Date	Description

SCALE AS NOTED  
FORMAT 36"x 24"  
DATE 9/25/2019

EXISTING,  
PROPOSED AND  
REVISED WEST  
ELEVATIONS

A7.6